



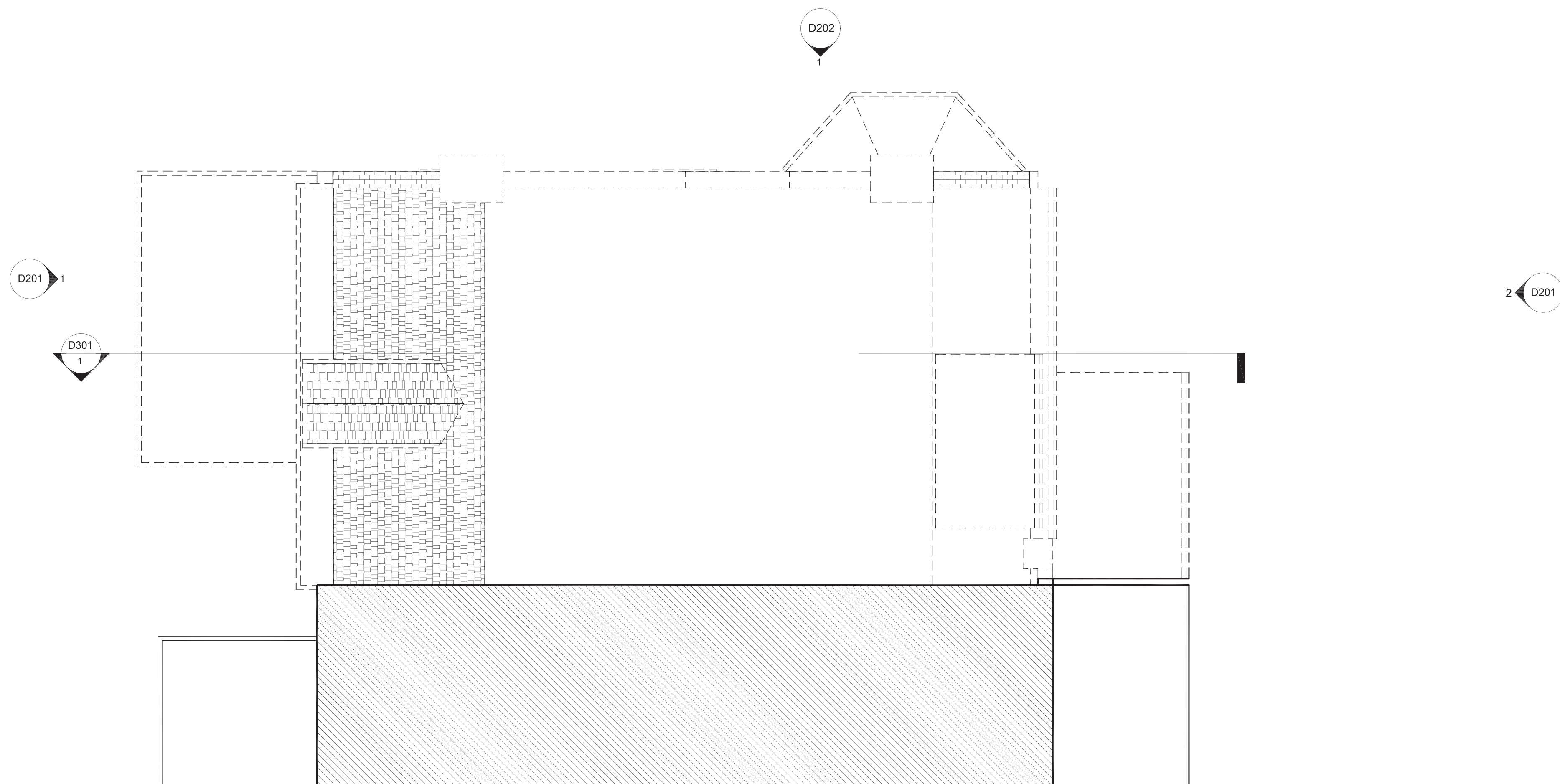


DEMO GENERAL NOTES

- A. COORDINATE ALL DEMOLITION WITH NEW CONSTRUCTION
- B. CONTRACTOR TO PROVIDE CONSTRUCTION WASTE MANAGEMENT PLAN FOR SALVAGE/RECYCLING OF DEMOLITION AND CONSTRUCTION WASTE.
- C. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING OF TEMPORARY WALL, FLOOR AND ROOF SUPPORTS THROUGHOUT THE DURATION OF THE PROJECT, IF NECESSARY.
- D. COMPLY WITH APPLICABLE LOCAL AND FEDERAL REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY, AND ENVIRONMENTAL PROTECTION.
- E. ERECT AND MAINTAIN DUSTPROOF PARTITIONS TO PREVENT THE SPREAD OF DUST, FUMES, ETC.
- F. PROTECT ALL EXISTING INTERIOR SURFACES TO REMAIN. IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE AFFECTED AREAS AT NO COST TO OWNER.

WALL KEY:

-  EXISTING WALLS TO BE DEMOLISHED
-  EXISTING WALLS TO REMAIN
-  NEW WALL
-  1 HR FIRE SEPARATION WALL



1 EXISTING ROOF PLAN
1/4" = 1'-0"



DESIGN - BUILD
LAND DEVELOPMENT
MAINTENANCE

TELEPHONE: 202 487-3085

REVISIONS	DATE	NO.	DESCRIPTION	QUANTITY
		1		
		2		
		3		
		4		
		5		

DATE: _____
PROPOSED ROOF PLAN
DRAWN BY: M. D. BARNES
APPROVED BY: _____

PROJECT NO: 06-10

PROJECT TITLE:
438 PARK ROAD NW
PROJECT ADDRESS:
438 PARK ROAD NW
WASHINGTON, DC

D103

SHEET:

DEMO GENERAL NOTES

- A. COORDINATE ALL DEMOLITION WITH NEW CONSTRUCTION
- B. CONTRACTOR TO PROVIDE CONSTRUCTION WASTE MANAGEMENT PLAN FOR SALVAGE/RECYCLING OF DEMOLITION AND CONSTRUCTION WASTE.
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- E. ERECT AND MAINTAIN DUSTPROOF PARTITIONS TO PREVENT THE SPEAD OF DUST, FUMES, ETC.
- F. PROTECT ALL EXISTING INTERIOR SURFACES TO REMAIN. IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE AFFECTED AREAS AT NO COST TO OWNER.

WALL KEY:

- [- - - -] EXISTING WALLS TO BE DEMOLISHED
- [Solid Grey] EXISTING WALLS TO REMAIN
- [Solid White] NEW WALL
- [- · - · - ·] 1 HR FIRE SEPARATION WALL

DIAMOND ENTERPRISE, LLC

DESIGN - BUILD
LAND DEVELOPMENT
MAINTENANCE

TELEPHONE: 202 487-3085

DATE	NO.	REVISION TYPE	QUANTITY
	1	A	
	2	A	
	3	A	
	4	A	

DATE:

PROPOSED BUILDING ELEVATIONS

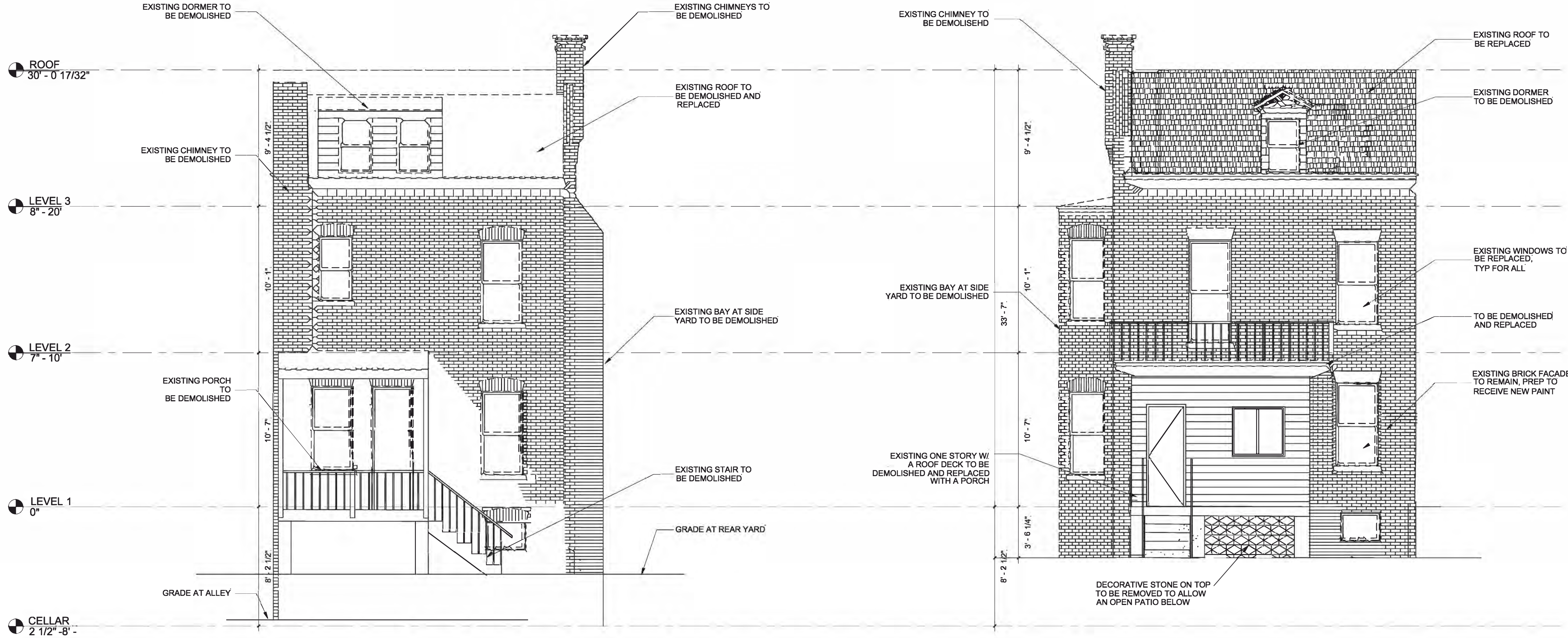
DRAWN BY: M. D. BARNES APPROVED BY:

PROJECT NO: 06-10

438 PARK ROAD NW
PROJECT ADDRESS:
438 PARK ROAD NW
WASHINGTON, DC

D201





SHEET:

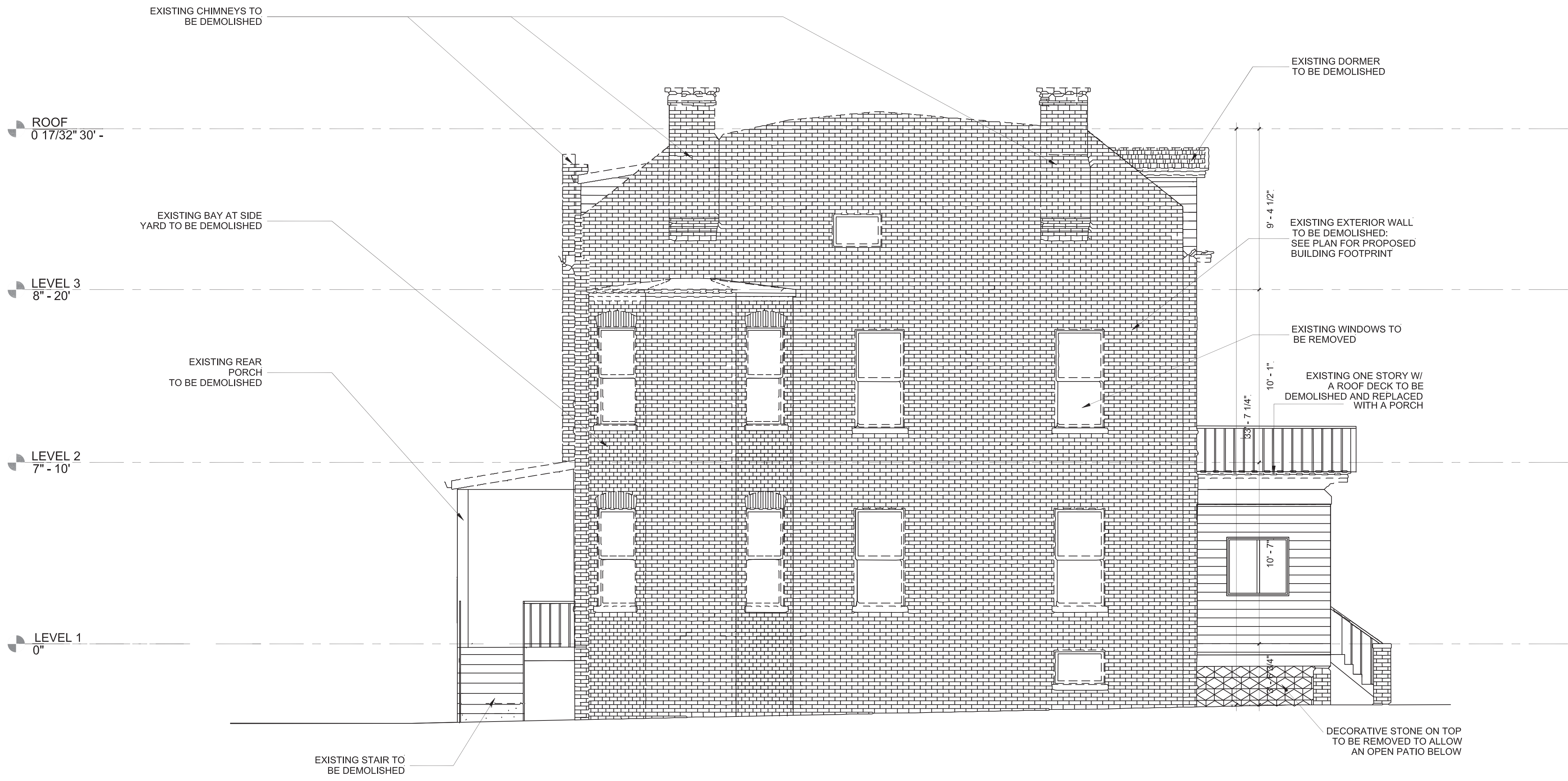


DEMO GENERAL NOTES

- A. COORDINATE ALL DEMOLITION WITH NEW CONSTRUCTION
- B. CONTRACTOR TO PROVIDE CONSTRUCTION WASTE MANAGEMENT PLAN FOR SALVAGE/RECYCLING OF DEMOLITION AND CONSTRUCTION WASTE. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING OF TEMPORARY WALL, FLOOR AND ROOF SUPPORTS THROUGHOUT THE DURATION OF THE PROJECT, IF NECESSARY.
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WALL KEY:

-  EXISTING WALLS TO BE DEMOLISHED
-  EXISTING WALLS TO REMAIN
-  NEW WALL
-  1 HR FIRE SEPARATION WALL



1 EXISTING WEST ELEVATION
1/4" = 1'-0"



DESIGN - BUILD
LAND DEVELOPMENT
MAINTENANCE

TELEPHONE: 202 487-3085

NO.	DATE	REVISION	TYPE	QUANTITY
1				
2				
3				
4				
5				

DATE: _____
PROPOSED BUILDING ELEVATIONS
DRAWN BY: M. D. BARNES
APPROVED BY: _____

PROJECT NO: 06-10

438 PARK ROAD NW
PROJECT ADDRESS:
438 PARK ROAD NW
WASHINGTON, DC

D202

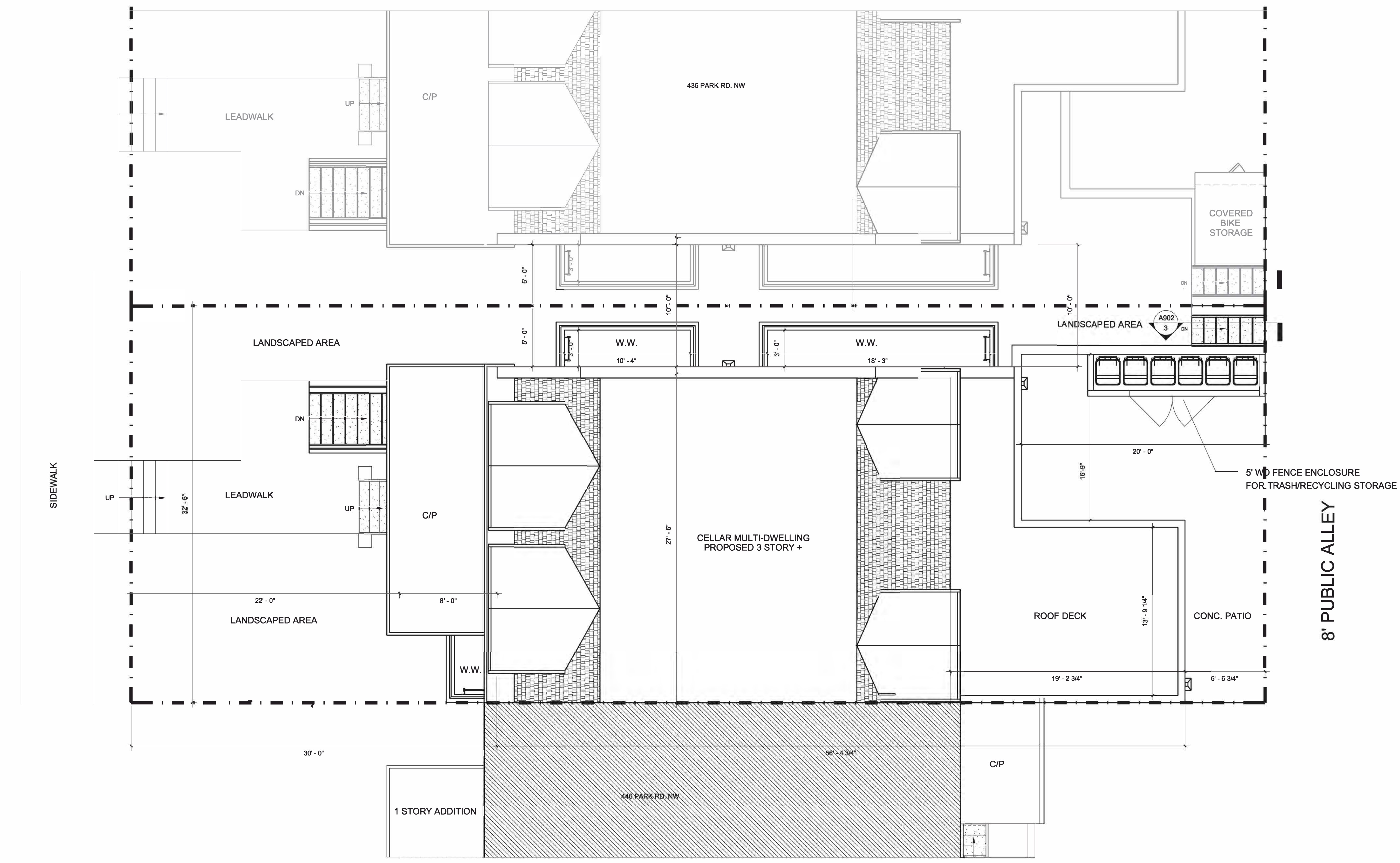
SHEET:

PROPOSED SITE INFORMATION

PROPOSED PERVIOUS AREA: 888 SF OR 29.5%
 PROPOSED TOTAL FOOTPRINT: 1,542 SF OR 51%

PROPOSED HOUSE: 1,378.2 SF
 PROPOSED PORCH: 159.4 SF

LOT AREA: 3,011 SF



DIAMOND ENTERPRISE, LLC

DESIGN - BUILD
 LAND DEVELOPMENT
 MAINTENANCE

TELEPHONE: 202 487-3085

REVISIONS	DATE	NO.	DESCRIPTION	QUANTITY
		1		
		2		
		3		
		4		
		5		

DATE:

PROPOSED SITE PLAN

DRAWN BY: M. D. BARNES
 APPROVED BY:

PROJECT NO: 06-10

PROJECT TITLE:
438 PARK ROAD NW

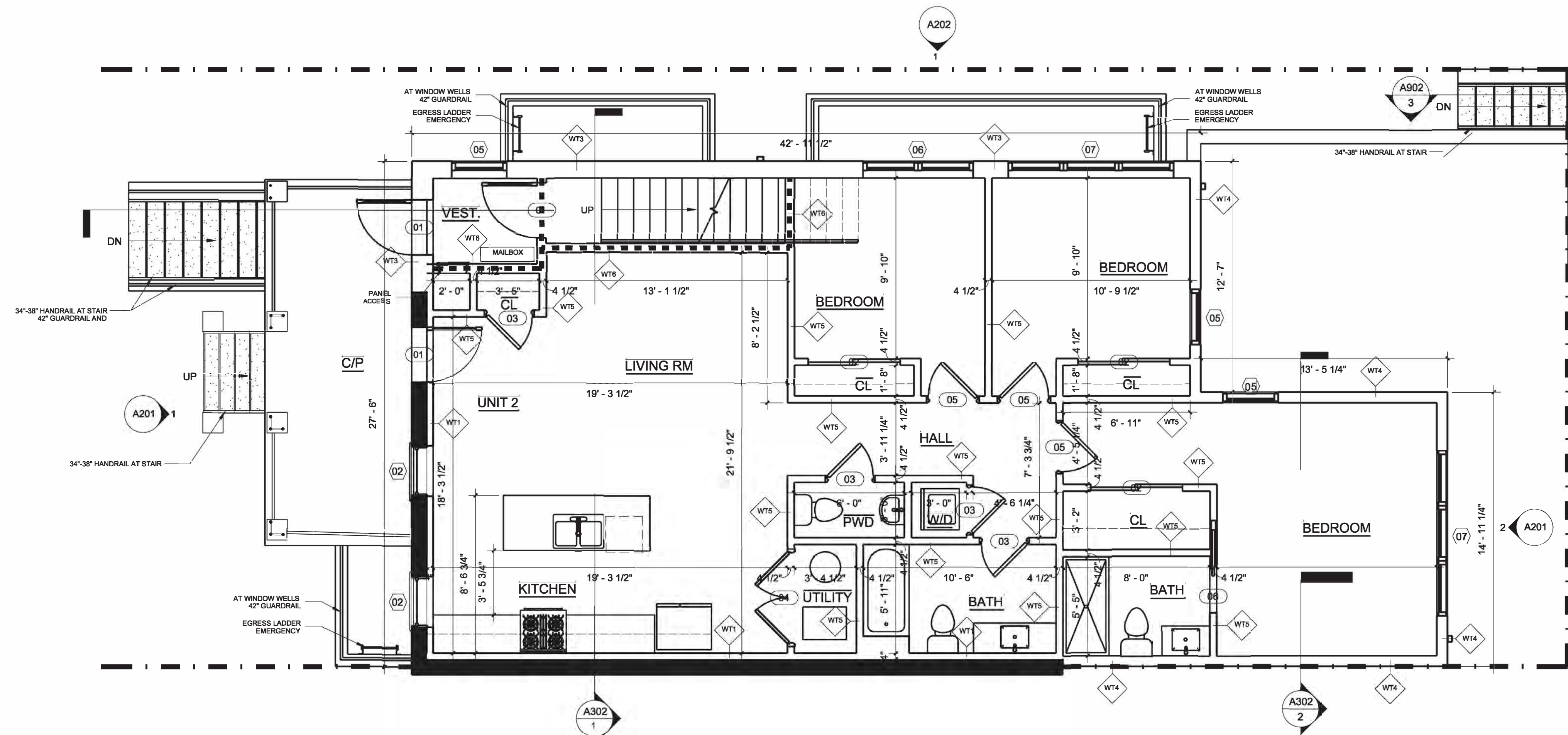
PROJECT ADDRESS:
**438 PARK ROAD NW
 WASHINGTON, DC**

A100

SHEET:

1 PROPOSED SITE PLAN
 1/4" = 1'-0"





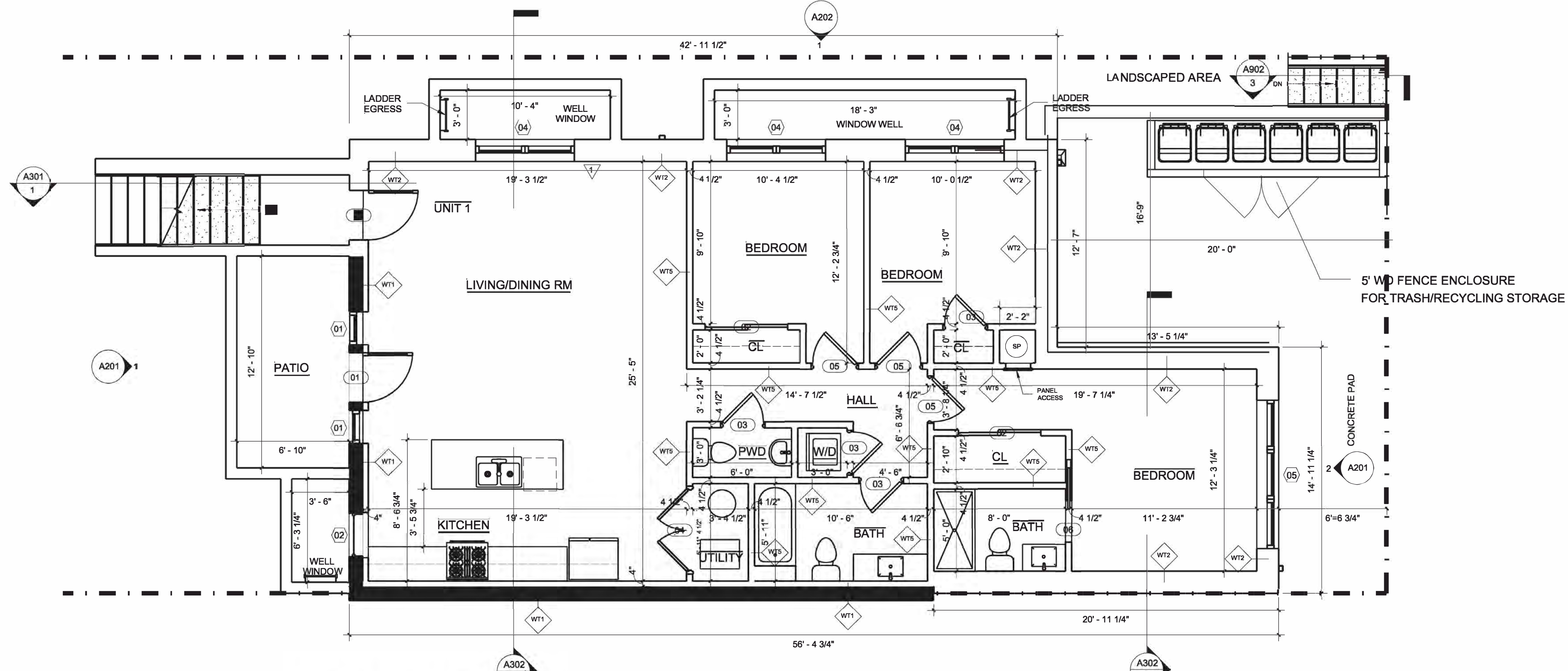
2 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

GENERAL CONSTRUCTION NOTES

1. CONTRACTOR SHALL REVIEW ANY DISCREPANCIES BETWEEN DOCUMENTED AND ACTU CONDITIONS WITH THE ARCHITECT PRIOR TO COMMENCING WORK IN AFFECTED AREAS
2. COORDINATE ALL DEMOLITION WITH NEW CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY INFORMATION, DIMENSIONS, COORDINATION OF TRADES, SITE CONDITIONS PRIOR TO ORDERING OF MATERIALS TO ENSURE FIT, QUALITY AND RELATIONSHIPS OF MATERIALS ACCORDING TO THE CONSTRUCTION DOCUMENTS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ANY DA RESULTING FROM PERFORMANCE OF THE WORK.
5. REFER TO PROJECT INFORMATION SHEET FOR SYMBOL ABBREVIATIONS.
6. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, LOCAL, GOVERNING ORDINANCES, CODES, ZONING, LAWS AND REGULATIONS.
7. ANY MODIFICATIONS OF DESIGN OR SPECIFICATIONS TO COMPLY WITH CODES IS TO BE PRESENTED TO, COORDINATED WITH, AND APPROVED BY DESIGNER PRIOR TO COMMENCING THE AFFECTED WORK.
8. WALL TYPES: NEW INTERIOR PARTITIONS TO BE 3 1/2" WD STUDS FROM FLOOR TO UNDERSIDE OF STRUCTURE w/ 1/2" DRYWALL TO BOTH SIDES, UNO
9. COORDINATE PAINT + FINISH SELECTIONS w/ OWNER PRIOR TO INSTALLATION.
10. ALL SPACES AFFECTED TO RECEIVE NEW FLOORING, UNO.
11. PROVIDE NEW WD BASE @ ALL SPACES w/ NEW FLOORING.
12. PROVIDE THRESHOLD OR REDUCER STRIP WHERE FLOOR FINISHES CHANGE UNO.
13. ALL INSULATION SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS
14. WINDOWS: ALL WINDOWS LOCATED WITHIN A BEDROOM SHALL MAINTAIN A MIN SILL HEIGHT OF 44" AFF WITH A MIN OPENING AREA OF 5.7 SF, HAVE A MIN HEIGHT OF 24" AND OPENING WIDTH OF 20". ALL OPERABLE WINDOWS SHALL BE OPERABLE FROM THE INSIDE AND WITHOUT THE USE OF KEYS OR TOOLS.

WALL KEY:

- EXISTING WALLS TO BE DEMOLISHED
- EXISTING WALLS TO REMAIN
- NEW WALL
- 1 HR FIRE SEPARATION WALL



1 PROPOSED CELLAR
1/4" = 1'-0"



DESIGN - BUILD
LAND DEVELOPMENT
MAINTENANCE

TELEPHONE: 202 487-3085

REVISIONS	NO.	DATE	REVISION TYPE	QUANTITY
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	2			
	3			
	4			

**FLOOR PLANS:
PROPOSED CELLAR AN FIRST FLOOR**

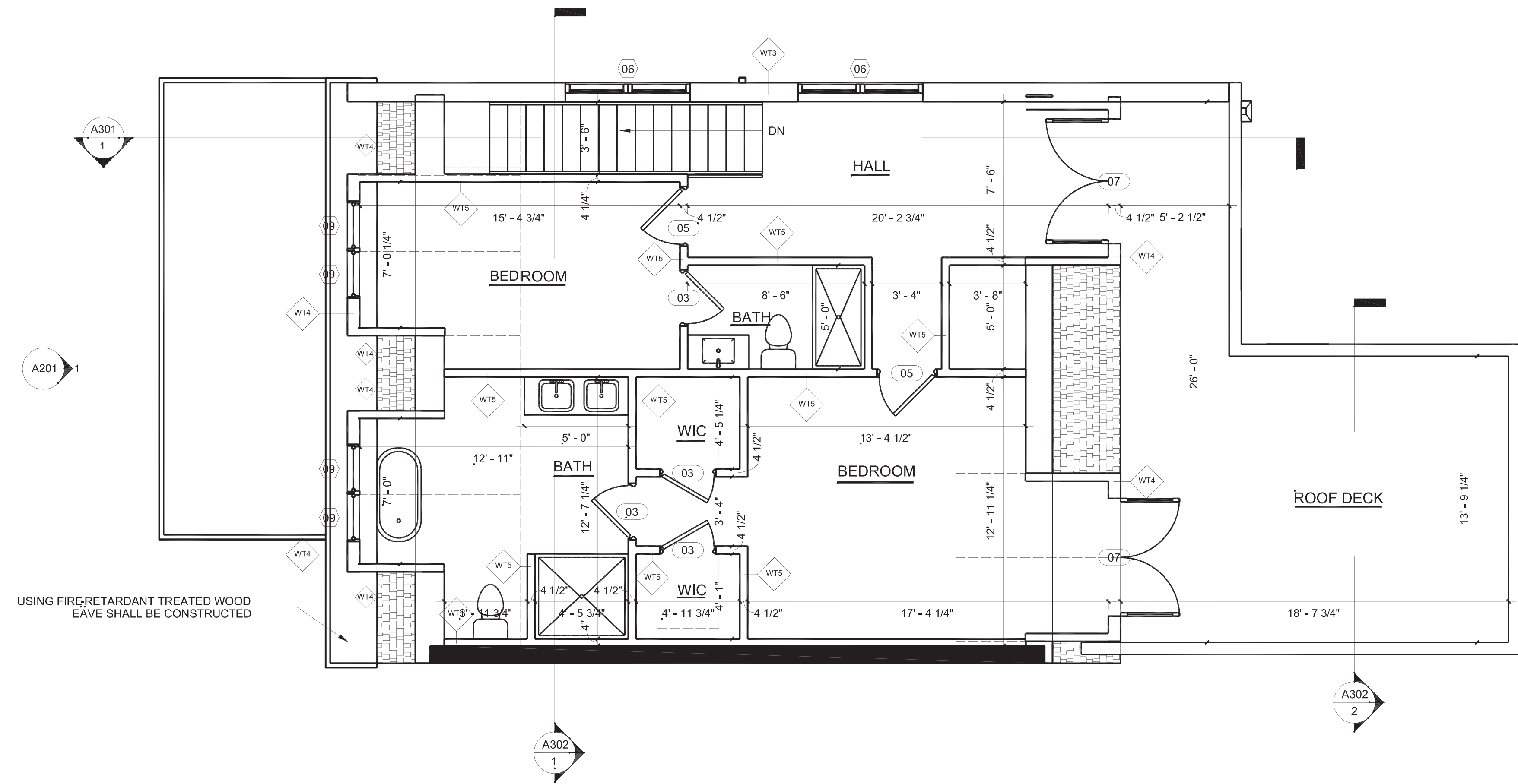
PROJECT NO: 06-10

PROJECT TITLE:
**438 PARK ROAD NW
438 PARK ROAD NW
WASHINGTON, DC**

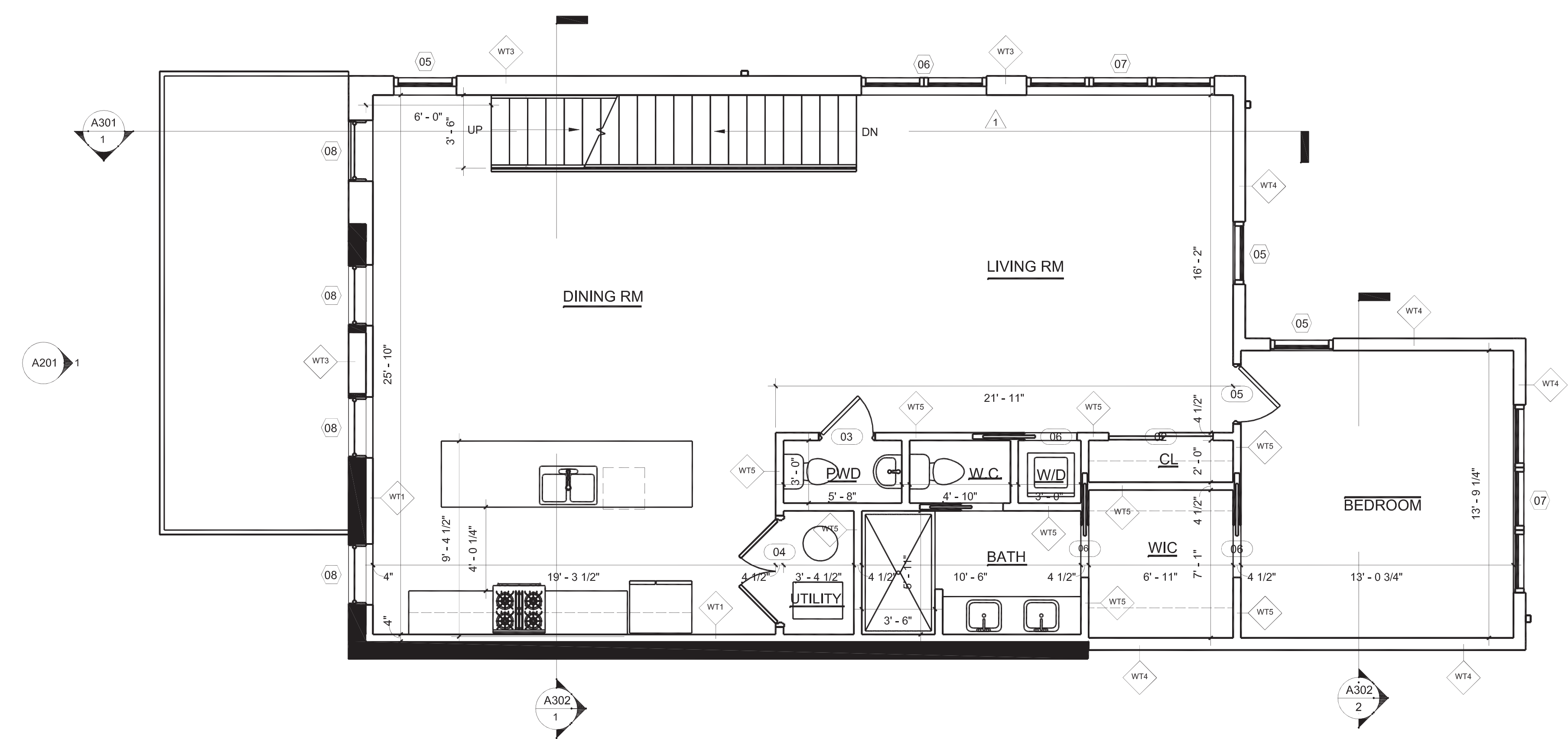
A101

SHEET:

DRAWN BY: M. D. BARNES APPROVED BY:



2 PROPOSED THIRD FLOOR PLAN
1/4" = 1'-0"



1 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"

GENERAL CONSTRUCTION NOTES

1. CONTRACTOR SHALL REVIEW ANY DISCREPANCIES BETWEEN DOCUMENTED AND ACTUAL CONDITIONS WITH THE ARCHITECT PRIOR TO COMMENCING WORK IN AFFECTED AREAS.
2. CONTRACTOR SHALL VERIFY INFORMATION, DIMENSIONS, COORDINATION OF TRADES, SITE CONDITIONS PRIOR TO ORDERING OF MATERIALS TO ENSURE FIT, QUALITY AND RELATIONSHIPS OF MATERIALS ACCORDING TO THE CONSTRUCTION DOCUMENTS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ANY DAMAGE RESULTING FROM PERFORMANCE OF THE WORK.
4. REFER TO PROJECT INFORMATION SHEET FOR SYMBOL ABBREVIATIONS.
5. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, LOCAL, GOVERNING ORDINANCES, CODES, ZONING LAWS AND REGULATIONS.
6. ANY MODIFICATIONS OF DESIGN OR SPECIFICATIONS TO COMPLY WITH CODES IS TO BE PRESENTED TO, COORDINATED WITH, AND APPROVED BY DESIGNER PRIOR TO COMMENCING THE AFFECTED WORK.
7. WALL TYPES-NEW INTERIOR PARTITIONS TO BE 3 1/2" WD STUDS FROM FLOOR TO UNDERSIDE OF STRUCTURE w/ 1/2" DRYWALL TO BOTH SIDES, UNO.
8. COORDINATE PAINT + FINISH SELECTIONS w/ OWNER PRIOR TO INSTALLATION.
9. ALL SPACES AFFECTED TO RECEIVE NEW FLOORING, UNO.
10. PROVIDE NEW WD BASE @ ALL SPACES w/ NEW FLOORING.
11. PROVIDE THRESHOLD OR REDUCER STRIP WHERE FLOOR FINISHES CHANGE UNO.
12. ALL INSULATION SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
13. WINDOWS: ALL WINDOWS LOCATED WITHIN A BEDROOM SHALL MAINTAIN A MIN SILL HEIGHT OF 44" AFF WITH A MIN OPENING AREA OF 5.7 SF, HAVE A MIN HEIGHT OF 24" AND OPENING WIDTH OF 20". ALL OPERABLE WINDOWS SHALL BE OPERABLE FROM THE INSIDE AND WITHOUT THE USE OF KEYS OR TOOLS.
- 14.

WALL KEY:

- EXISTING WALLS TO BE DEMOLISHED
- EXISTING WALLS TO REMAIN
- NEW WALL
- 1 HR FIRE SEPARATION WALL



TELEPHONE: 202 487-3085

REVISIONS	NO.	DATE	REVISION TYPE	QUANTITY
	1			
	2			

**FLOOR PLANS:
PROPOSED SECOND AND THIRD FLOOR PLANS**

DATE: _____

PROJECT NO: 06-10

PROJECT TITLE:
438 PARK ROAD NW
PROJECT ADDRESS:
438 PARK ROAD NW
WASHINGTON, DC

DRAWN BY: M. D. BARNES APPROVED BY: _____

PROJECT NO: 06-10

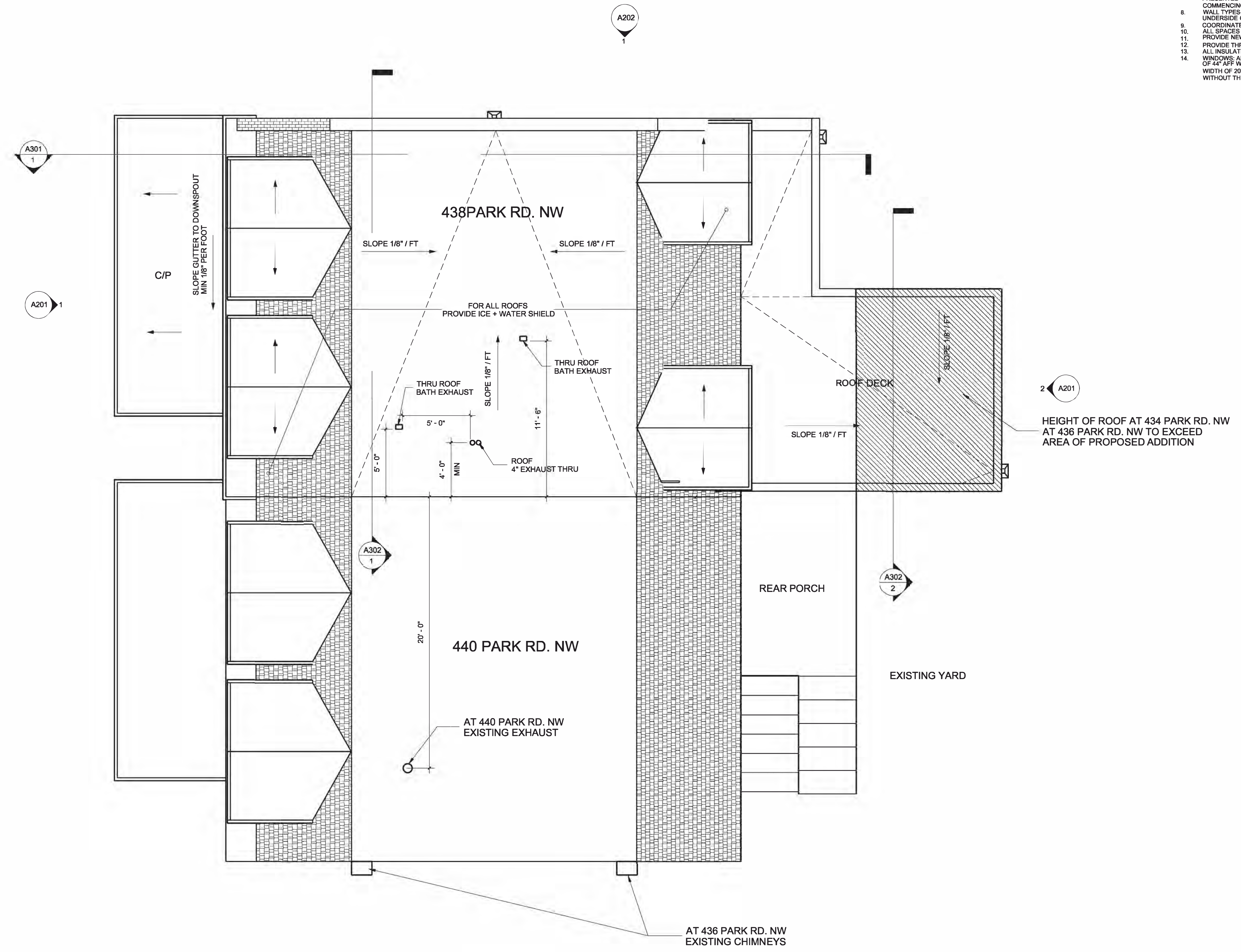
PROJECT TITLE:
438 PARK ROAD NW
PROJECT ADDRESS:
438 PARK ROAD NW
WASHINGTON, DC

A102

SHEET:

GENERAL CONSTRUCTION NOTES

1. CONTRACTOR SHALL REVIEW ANY DISCREPANCIES BETWEEN DOCUMENTED AND ACTU CONDITIONS WITH THE ARCHITECT PRIOR TO COMMENCING WORK IN AFFECTED AREAS
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1 PROPOSED ROOF PLAN
1/4" = 1'-0"



TELEPHONE: 202 487-3085

REVISIONS	DATE	NO.	DESCRIPTION	QUANTITY
		1		
		2		
		3		
		4		
		5		

DATE: _____

PROPOSED ROOF PLAN

DRAWN BY: M. D. BARNES APPROVED BY: _____

PROJECT NO: 06-10

PROJECT TITLE:
438 PARK ROAD NW

PROJECT ADDRESS:
**438 PARK ROAD NW
WASHINGTON, DC**

A103

SHEET:





DESIGN - BUILD
LAND DEVELOPMENT
MAINTENANCE

TELEPHONE: 202 487-3085

REVISIONS	NO.	DATE	REVISION TYPE	QUANTITY
	1			
	2			
	3			
	4			
	5			

DATE: _____

PROPOSED BUILDING ELEVATIONS

DRAWN BY: M. D. BARNES APPROVED BY: _____

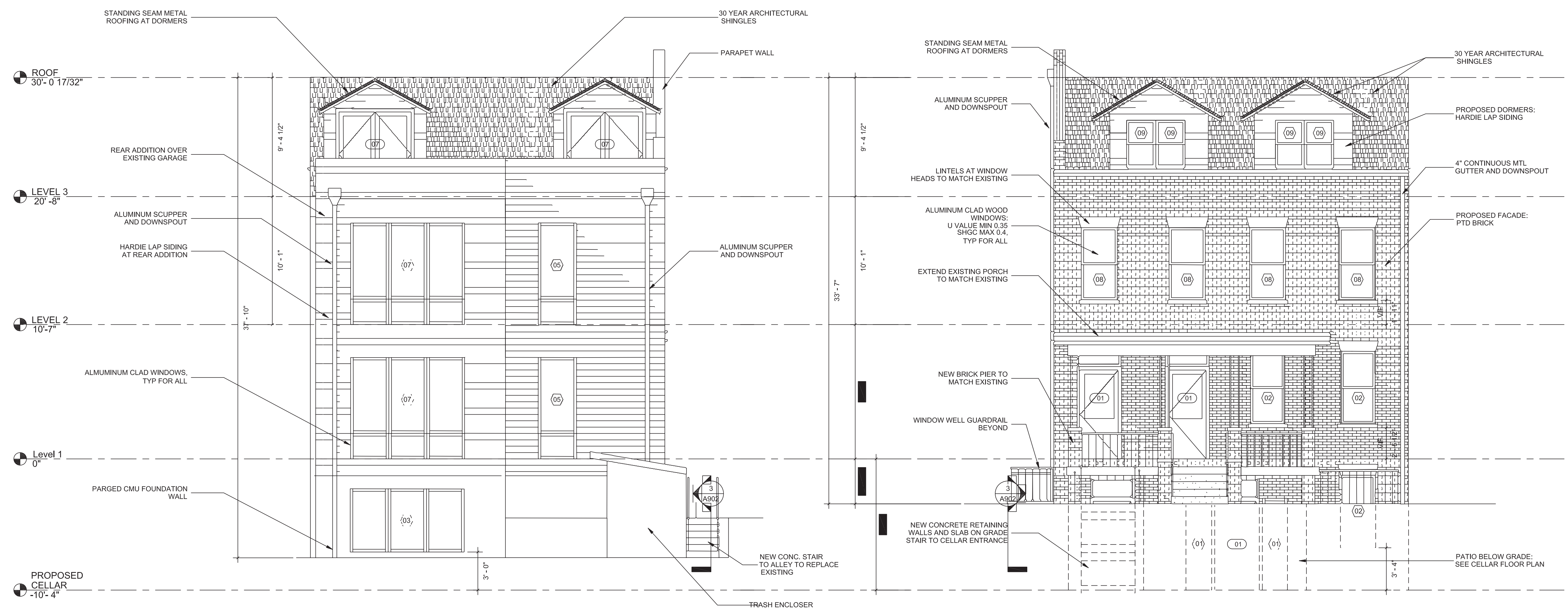
PROJECT NO: 06-10

PROJECT TITLE:
438 PARK ROAD NW

PROJECT ADDRESS:
**438 PARK ROAD NW
WASHINGTON, DC**

A201

SHEET:



1 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

2 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



DESIGN - BUILD
LAND DEVELOPMENT
MAINTENANCE

TELEPHONE: 202 487-3085

REVISIONS	NO.	DATE	REVISION TYPE	QUANTITY
	1			
	2			
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	5			

DATE:

PROPOSED BUILDING ELEVATIONS

PROJECT NO: 06-10

PROJECT TITLE:
438 PARK ROAD NW

PROJECT ADDRESS:
**438 PARK ROAD NW
WASHINGTON, DC**

A202

SHEET:



1 PROPOSED EAST ELEVATION
1/4" = 1'-0"