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GENERAL NOTES:

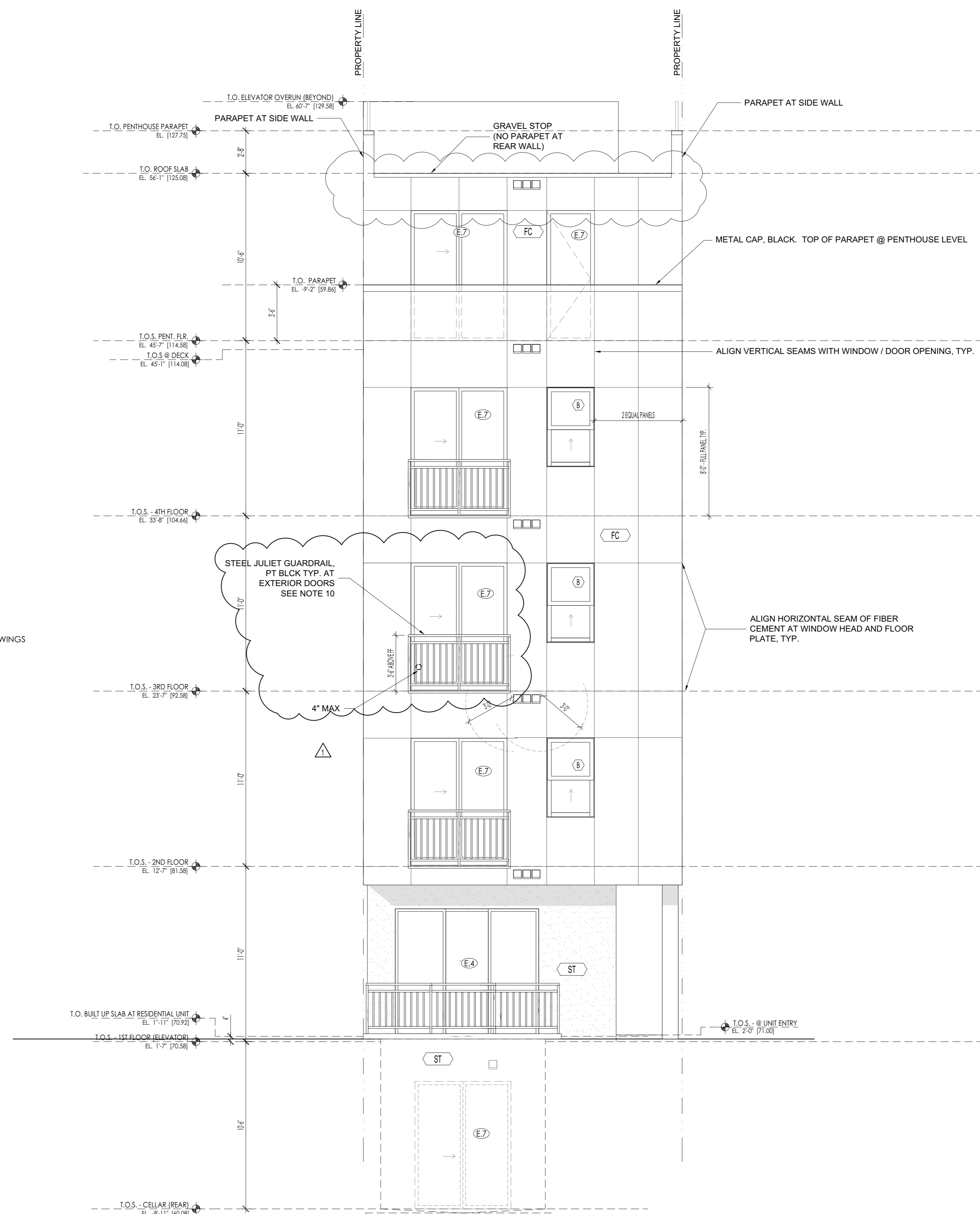
- DO NOT SCALE DRAWINGS - DIMENSIONS GOVERN. VERIFY DIMENSIONS ILLUSTRATED WITH FIELD AND AS BUILT CONDITIONS. IF DISCREPANCIES ARE DISCOVERED BETWEEN FIELD AND AS BUILT CONDITIONS AND DRAWINGS, CONTACT ARCHITECT FOR RESOLUTION BEFORE PROCEEDING.
- DOOR KEY TAG, SEE A801
- WINDOW TAG, SEE A801
- SEE PLANS AND SECTIONS FOR ROUGH OPENINGS DIMENSION.
- ALL WINDOWS TO HAVE A SILL 3'-0" ABOVE FINISH FLOOR. COORDINATE ROUGH OPENING HEIGHT ACCORDINGLY. SEE PLANS AND SECTIONS FOR FURTHER INFORMATION.
- AREA OF GLAZING:
 FER WALL (SEE ELEVATION DRAWINGS):
 NORTH - 38.8%; SOUTH - 29.8%; EAST - 1.3%; WEST - 0.1%
 GLOBALLY:
 TOTAL AREA OF WALL: 18,098 SF
 TOTAL AREA OF GLAZING: 1,065 SF
 PERCENTAGE OF GLAZING: 5.9%
- $A_w = 40$, $A_b = 105$, $A_v/4 = 266.25$. Both A_w and A_b are less than $A_v/4$ per DC Energy Code 5.5.4.5 a.
- SEE ALL ELEVATION FOR BALANCE OF NOTES
- PROVIDE SAMPLES OF ALL MATERIALS / PAINT COLORS / WINDOW FINISHES PRIOR TO ORDERING OR PURCHASE
- ALL JULIET GUARDRAILS ON WINDOWS TO MEET THE REQUIREMENTS OF DC CMR 12A.1015 TO BE MIN 42" ABOVE F.F. NOT ALLOW PASSAGE OF 4" SPHERE

MATERIAL KEY:

- FIBER CEMENT SIDING
 (FC) FIBER CEMENT PANELS, THROUGH COLOR: CHARCOAL OR GREY (BY SUBMITTAL TO ARCHITECT)
- FACE BRICK - PROVIDE SAMPLES PRIOR TO ORDERING - TYP.
 (BR1) FACE BRICK - STANDARD MODULAR - ENDICOTT DESERT IRONSPOT LIGHT (SMOOTH)
 (BR2) THIN BRICK - STANDARD MODULAR - ENDICOTT LIGHT SANDSTONE (SMOOTH)
 (BR3) FACE BRICK - STANDARD MODULAR - ENDICOTT MANGANESE IRONSPOT (VELOUR OR ARTISAN)
 (BR4) THIN BRICK - STANDARD MODULAR - ENDICOTT MANGANESE IRONSPOT (VELOUR OR ARTISAN)
 (BR5) GLAZED BRICK - STANDARD FACE BRICK AND THIN BRICK. THIN BRICK ON JULIET GUARDRAIL
- (STN) CAST STONE BANDING, 4". COLOR TO MATCH BRICK 1. ARCHITECT PROVIDE SHOP DRAWINGS
 CAST STONE CAP, SLOPED, WITH DRIP EDGE. COLOR TO MATCH BRICK 1.
- (ST) STUCCO PARING OVER BLOCK

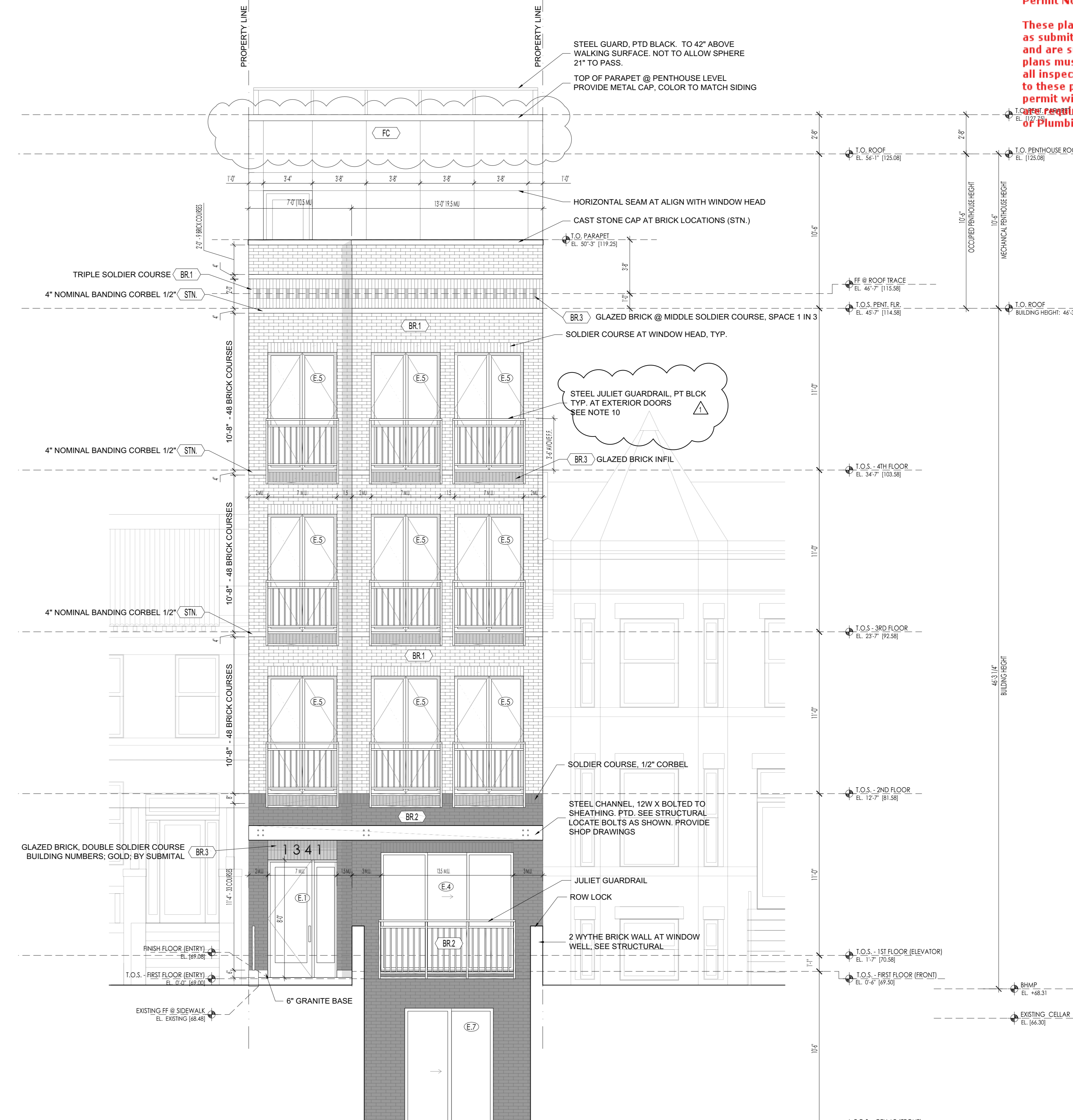
SHEET NOTES:

-
-



2 SOUTH / ALLEY ELEVATION
 A201 3/16" = 1'-0"

WALL AREA: 1,313 SF
 GLAZING AREA: 372 SF
 PERCENTAGE OF GLAZING: 29.8%



1 PENNSYLVANIA AVE. ELEVATION
 A201 1/4" = 1'-0"

WALL AREA: 1,313 SF
 GLAZING AREA: 500 SF
 PERCENTAGE OF GLAZING: 38.6%



3 3D ILLUSTRATIONS - 3D ILLUSTRATIONS
 A201 N15

PROJECT
 1341 Pennsylvania Avenue SE,
 Washington, DC 20003

1341 PENNSYLVANIA AVENUE SE

studiomuzz
 architects

CLIENT

PECUM INC
 4300 Forbes Blvd #130
 Lutherm, MD 20708
 301.341.3435

PROJECT TEAM

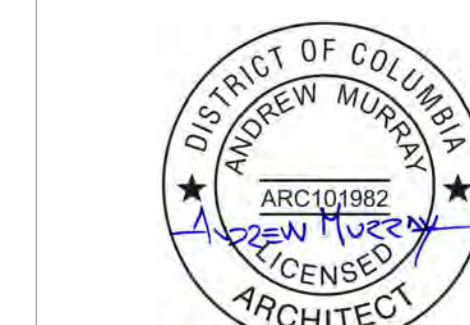
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LANDSCAPE ARCHITECT
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 703.291.1700



I am responsible for determining that the architectural designs included in this application are in compliance with all laws and regulations of the District of Columbia. I have personally prepared, or directly supervised the development of, the architectural designs included in this application.

ISSUE
 0. PERMIT SET 03/15/2021
 0. PERMIT COMMENTS 8/9/2022

ELEVATIONS
 NORTH & SOUTH

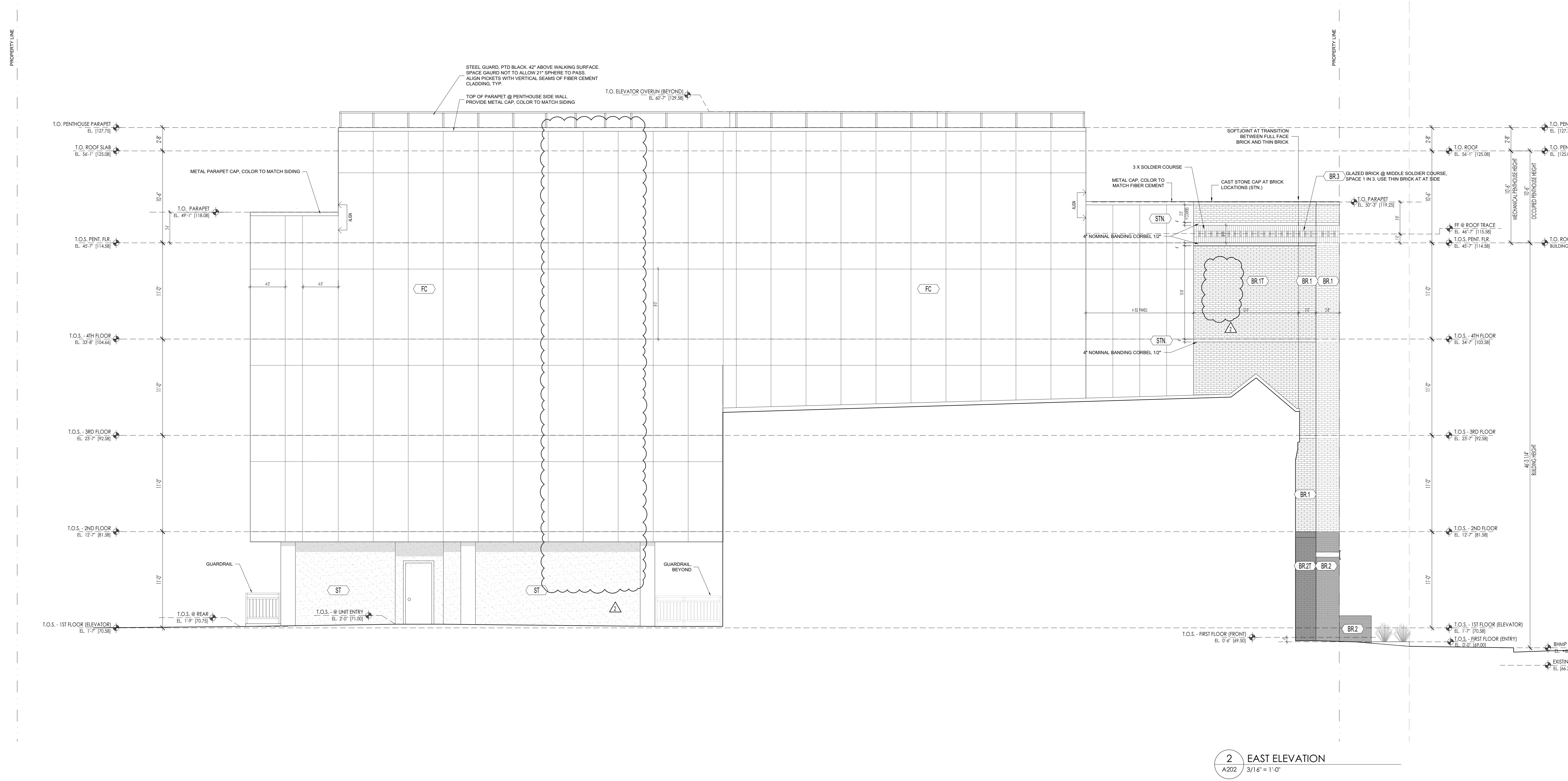
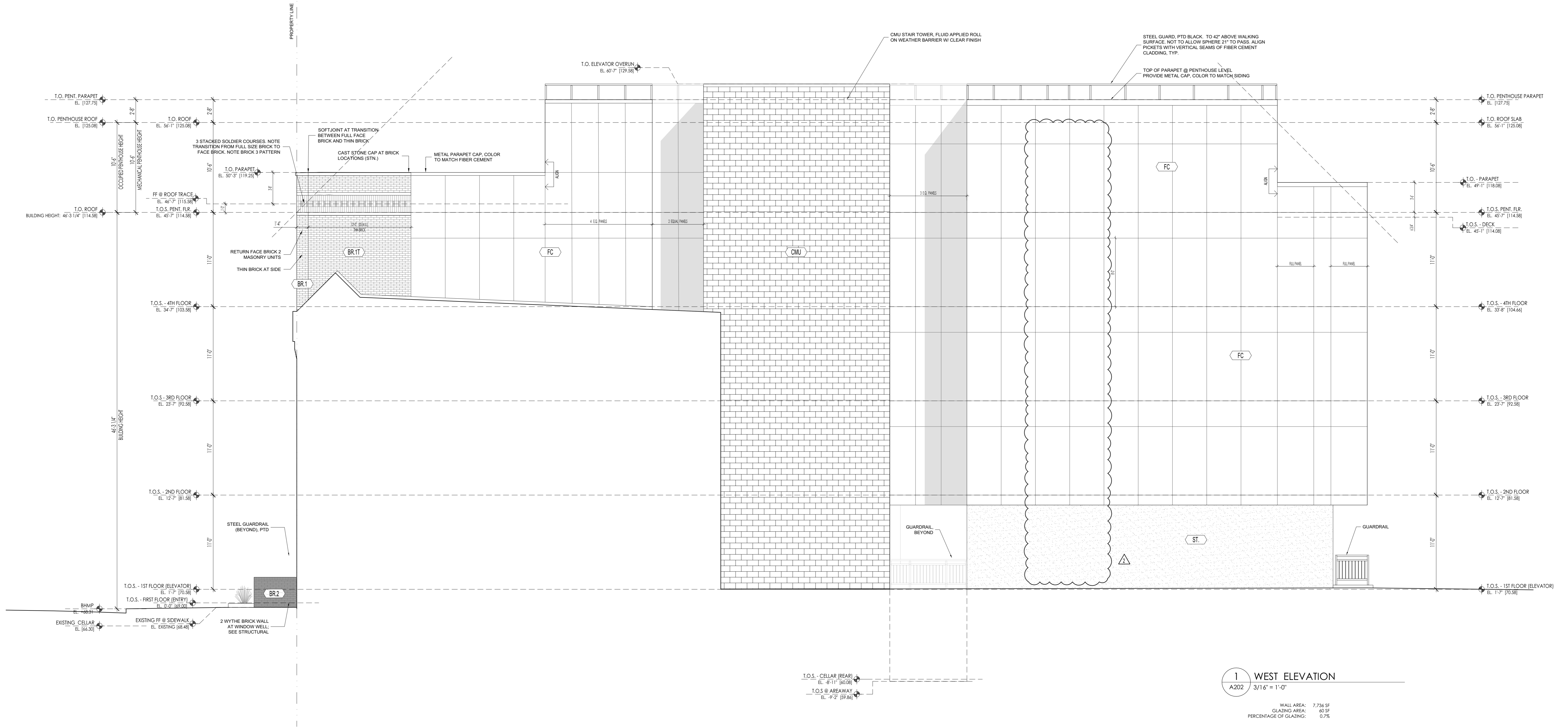
A201
 Exhibit No. 6

GENERAL NOTES:

- DO NOT SCALE DRAWINGS - DIMENSIONS GOVERN. VERIFY DIMENSIONS ILLUSTRATED WITH FIELD AND AS BUILT CONDITIONS. IF DISCREPANCIES ARE DISCOVERED BETWEEN FIELD AND AS BUILT CONDITIONS AND DRAWINGS, CONTACT ARCHITECT FOR RESOLUTION BEFORE PROCEEDING.
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- ALL WINDOWS TO HAVE A SILL 3'-0" ABOVE FINISH FLOOR. COORDINATE ROUGH OPENING HEIGHT ACCORDINGLY. SEE PLANS AND SECTIONS FOR FURTHER INFORMATION.
- AREA OF GLAZING:
 PER WALL (SEE ELEVATION DRAWINGS):
 NORTH - 36.45; SOUTH - 29.81; EAST - 1.35; WEST - 0.15.
 TOTAL AREA OF WALL: 18,098 SF
 TOTAL AREA OF GLAZING: 1,065 SF
 PERCENTAGE OF GLAZING: 5.9%
- Aw = 40 A_s = 105 A_v = 266.25. Both A_w and A_v are less than A_s/4 per DC Energy Code 5.5.4.5.a.
- SEE ALL ELEVATION FOR BALANCE OF NOTES
- PROVIDE SAMPLES OF ALL MATERIALS / PAINT COLORS / WINDOW FINISHES PRIOR TO ORDER OF PURCHASE.
- ALL JULIET GUARDRAILS ON WINDOWS TO MEET THE REQUIREMENTS OF DC MR 12A 1015 TO BE MIN 42" ABOVE F.F. NOT ALLOW PASSAGE OF 4" SPHERE

- MATERIAL KEY: (C) FIBER CEMENT SIDING
 (FC) FIBER CEMENT PANELS, THROUGH COLOR: CHARCOAL OR GREY (BY SUBMITAL TO ARCHITECT)
 (FB) FACE BRICK - STANDARD MODULAR - ENDICOTT DESERT IRONSPOT LIGHT (SMOOTH)
 (FT) THIN BRICK - STANDARD MODULAR - ENDICOTT LIGHT SANDSTONE (SMOOTH)
 (MT) METAL PARAPET CAP, COLOR TO MATCH SIDING
 (ST) STUCCO PARPING OVER BLOCK
 (BR1) FACE BRICK - STANDARD MODULAR - ENDICOTT LIGHT SANDSTONE (SMOOTH)
 (BR2) THIN BRICK - STANDARD MODULAR - ENDICOTT MANGANESE IRONSPOT (VELOUR OR ARTISAN)
 (BR3) THIN BRICK - STANDARD MODULAR - ENDICOTT MANGANESE IRONSPOT (VELOUR OR ARTISAN)
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 (BR5) GLAZED BRICK - STANDARD FACE BRICK AND THIN BRICK. THIN BRICK ON JULIET GUARDRAIL
 (STN) CAST STONE BANDING, 4" - COLOR TO MATCH BRICK 1.
 (STC) CAST STONE CAP, SLOPED, WITH DRIP EDGE. COLOR TO MATCH BRICK 1. ARCHITECT PROVIDE
 (STP) STUCCO PARPING OVER BLOCK

SHEET NOTES:
 1.
 2.



PROJECT
 1341 Pennsylvania Avenue SE,
 Washington, DC 20003

1341 PENNSYLVANIA AVENUE SE

studiomuzz architects

CLIENT
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 301.341.3435

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ISSUE
 0. PERMIT SET 03/15/2021
 1. PERMIT COMMENTS - REV 1 6/8/2022
 2. PERMIT COMMENTS - REV 2 12/5/2022

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 ARCHITECT
 ANDREW MURRAY
 LICENSED ARCHITECT

ELEVATIONS
 EAST & WEST
 A202

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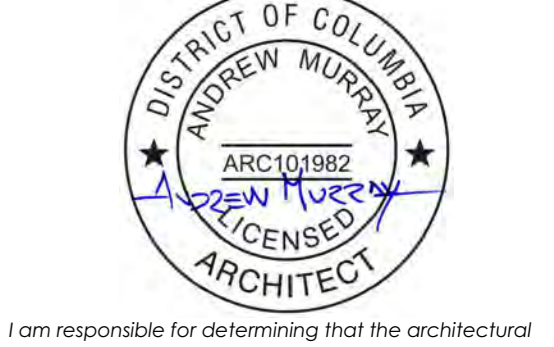
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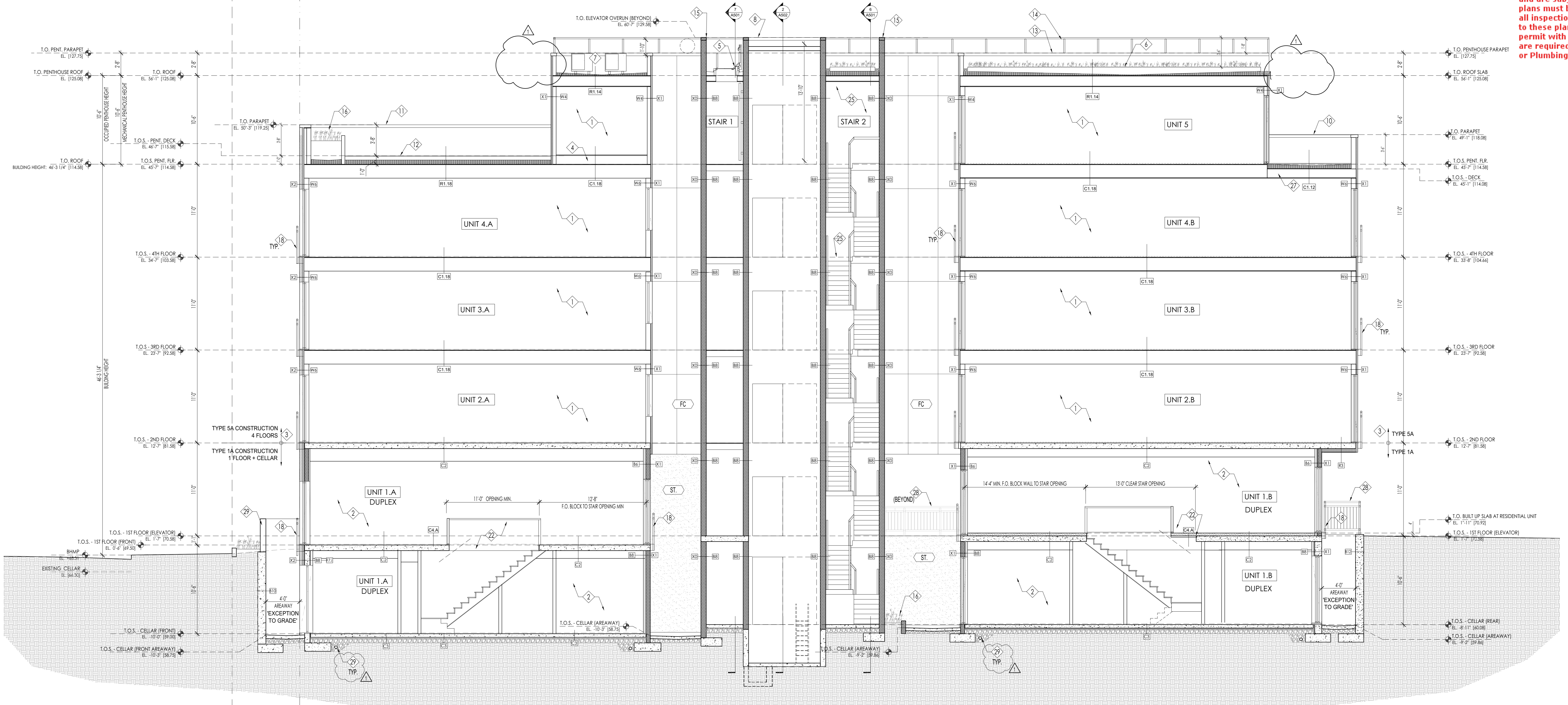


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 ISSUE

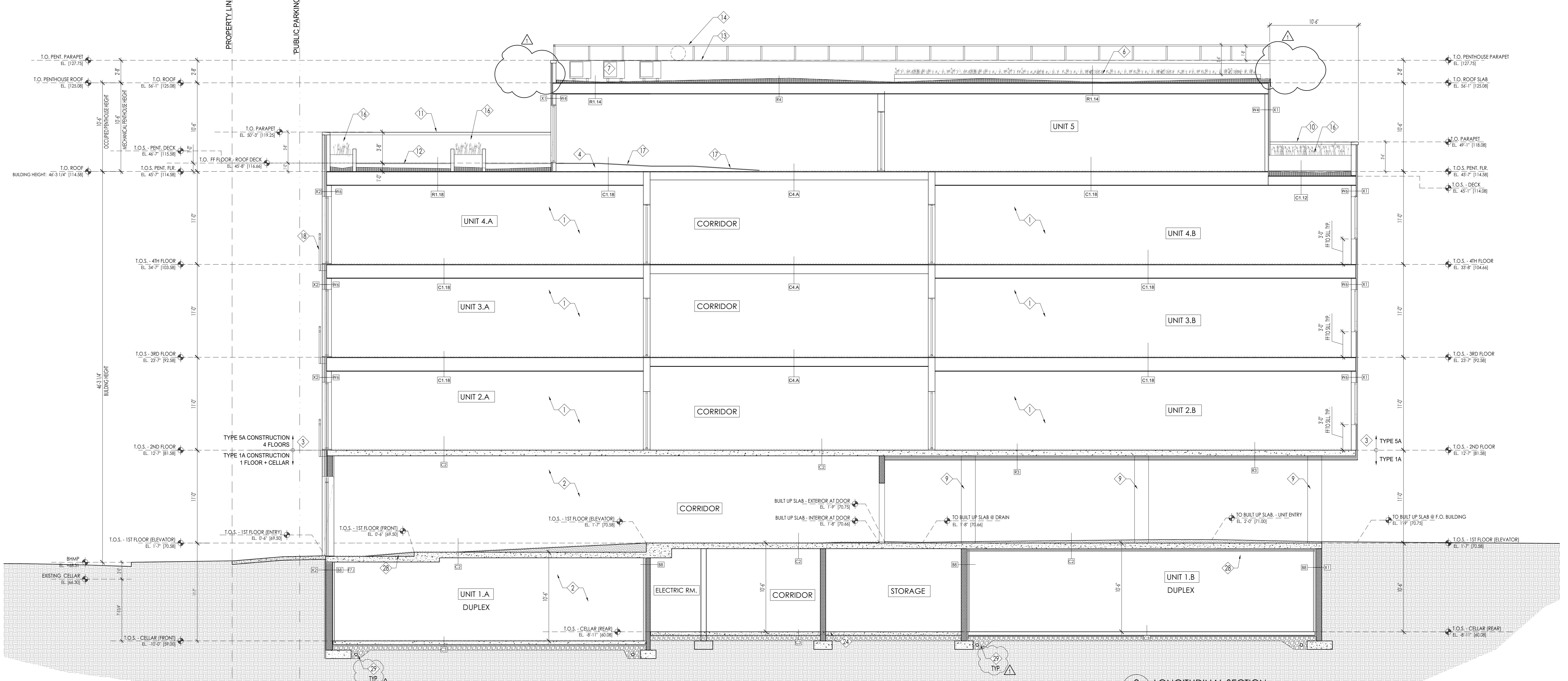
D. PERMIT SET 03/15/2021
 D. PERMIT COMMENTS 8/8/2022

BUILDING SECTIONS
 LONGITUDINAL
A301

- GENERAL NOTES:**
- DO NOT SCALE DRAWINGS - DIMENSIONS GOVERN. VERIFY DIMENSIONS ILLUSTRATED WITH FIELD AND AS BUILT CONDITIONS. IF DISCREPANCIES ARE DISCOVERED BETWEEN FIELD AND AS BUILT CONDITIONS AND DRAWINGS, CONTACT ARCHITECT FOR RESOLUTION BEFORE PROCEEDING.
 - REFER TO WALL SCHEDULE, A800 FOR INFORMATION ON ASSEMBLY.
 - WINDOW ROUGH OPENING (R.O.) DIMENSIONS SHOWN ARE FROM TOP OF FLOOR SHEATHING.
 - SEE ELEVATIONS FOR BALANCE OF NOTES FOR WALL FINISHES
- DRAWING LEGEND:**
- NEW CONSTRUCTION (2 HR)
 - NEW WALL / FLOOR CONSTRUCTION
 - CONCRETE MASONRY UNIT WALL (2HR)
 - EXISTING ADJACENT BUILDING
 - PROPERTY LINE
 - EXISTING MASONRY WALL / PARTY WALL / FIREWALL (10HRI)**
* PER IBC 2012 RESOURCE A ITEM CODE W-12-M-34
 - WALL TYPE MARKER, SEE WALL SCHEDULE A800
 - SHEET NOTE, SEE ADJACENT
- SHEET NOTES:**
- TYPICAL INTERIOR PARTITION ON FLOORS 2 THROUGH 5 TO BE TYPE 1/A800 W/ 5/8" TYPE X DRYWALL. SEE DETAIL 11/A800 FOR PENETRATION AT RATED CEILING ASSEMBLY.
 - TYPICAL INTERIOR PARTITION TO BE 2/A800 ON CELLAR AND FIRST FLOOR OR AGAINST MASONRY PARTITIONS WITH 1/2" DRYWALL.
 - HORIZONTAL SEPARATION PER §101.2 WITH TYPE 1A CONSTRUCTION BELOW A FLOOR ASSEMBLY 3HR MIN
 - BUILD UP FLOOR @ COMMON AREA WITH 2X CONSTRUCTION.
 - ROOF HATCH PROVIDING ACCESS TO ROOF PER REQUIREMENTS OF IRC 1009.16 AND AS PERMITTED BY 1009.16.1 EXEMPTION, FOR SERVICE AND MAINTENANCE OF MECHANICAL EQUIPMENT AND GREEN ROOF ONLY. NOT AN OCCUPIED ROOF. ACCESS PERMITTED VIA LADDER COMPLYING WITH THE REQUIREMENTS OF DC MECHANICAL CODE 304.5.
 - GREEN ROOF, SEE GAR PLANS FOR DETAILS
 - ROOFTOP MECHANICAL EQUIPMENT, SEE MECHANICAL
 - ELEVATOR OVERRUN
 - COLUMN BEYOND, SEE STRUCTURAL
 - TOP OF PARAPET AT REAR OF BUILDING MIN. 3'-6" FROM FINISH FLOOR.
 - TOP OF PARAPET AT FRONT OF THE BUILDING TO CORRESPOND TO BRICK COURSEING AT FRONT ELEVATION. SEE ELEVATIONS. FINISH PARAPET TO BE A MINIMUM 3'-6" ABOVE FINISH FLOOR AT EXTERIOR DECK.
 - TOP OF FINISH FLOOR AT SHARED ROOF TERRACE 1'-0" ABOVE ROOF SLAB. BUILT UP FLOOR WITH FT WOOD SLEEPERS OR FEDESTAL SYSTEM, ALIGN FINISH FLOOR WITH ADJACENT INTERIOR SPACE. MAXIMUM ELEVATION DIFFERENCE 1.5" PER ACCESSIBILITY REQUIREMENTS. MAINTAIN DRAINAGE.
 - TOP OF PARAPET ON PENTHOUSE ROOF TO BE 2'-8" ABOVE ROOF SLAB.
 - PROVIDE STEEL GUARDRAIL, PTD TO 42" ABOVE FINISH FLOOR. RAIL TO HAVE NO OPENINGS THAT ALLOW PASSAGE OF SPHERE 2" IN DIAMETER. ONLY TOP RAIL REQUIRED. PLACE PICKETS AS ALIGNED AS DEPICTED IN ELEVATIONS. TYPICALLY ALIGNED WITH VERTICAL SEAM OF FRBR CEMENT SIDING. PROVIDE 2" STEEL BAR WITH SQUARE OR RECTANGULAR PROFILE.
 - TOP OF STAIR TOWER TO ALIGN WITH ELEVATOR OVERRUN WHERE INDICATED.
 - INTENSIVE PLANTER, SEE GAR PLANS FOR PLANTING AND DETAIL
 - RAMP, MAX RISE 1:12. TWO SEPARATE RISES OF 6" WITH 60" RAMP BETWEEN. NO HANDRAIL. SEE PLANS.
 - JULIET GUARDRAIL, SEE STAIR SHEETS
 - EXISTING MASONRY PARTY WALL, SEE STRUCTURAL
 - CONCRETE LINER WALL, 8" SEE STRUCTURAL. MAINTAIN PLAN CLEARANCES AND COORDINATE WALL DIMENSION WHERE EXISTING PARTY WALL THICKNESS MAY VARY AT CELLAR LEVEL ABOVE FIRST FLOOR.
 - UNDERPINNING SEE STRUCTURAL
 - STAIR OPENINGS IN CONCRETE SLAB AT DUPLEX DWELLING UNIT. COORDINATE WITH PLANS TO ENSURE STAIR CLEARANCES. INFILL WITH 2X CONSTRUCTION AS REQUIRED TO PLAN FLOOR DIMENSIONS AND TO MAINTAIN REQUIRED HEAD CLEARANCES AT STAIR.
 - PROVIDE BEAM AND BREAK IN LINER WALL AT ELEVATOR ENTRANCE TO ENSURE CLEARANCES, SEE STRUCTURAL AND ARCHITECTURAL PLANS
 - NO UNDER-SLAB CONTINUOUS INSULATION AT CORRIDOR / SEMI-HEATED LOCATIONS
 - WOOD STAIR AND FLOOR FRAMING IN 2HR STAIR ENCLOSURE. SEE A501. COORDINATE STAIR RUN WITH FINISH FLOOR AT CORRIDOR LOCATIONS. MAKE ALLOWANCE FOR FLOOR CONSTRUCTION FINISH FLOOR INCLUDING HOMASOTE BOARD AND SCHEDULED FLOOR FINISH. SEE A800. MAXIMUM CHANGE IN ELEVATION BETWEEN STAIR LANDING AND CORRIDOR PER ADA REQUIREMENTS 1/2". SEE 003.
 - PROVIDE HAUNCH IN POURED CONCRETE WALL, MASONRY WALL ABOVE TO ALIGN WITH PROPERTY LINE
 - GUARDRAIL TO 42" INCHES ABOVE ADJACENT FINISH FLOOR. CONSTRUCTION NOT TO ALLOW PASSAGE OF 4" SPHERE.
 - MASONRY WALL ABOVE GRADE TO 42" ABOVE ADJACENT GRADE. FACE BRICK PER ELEVATIONS.
 - PROVIDE SUBSOIL DRAIN AT FOUNDATIONS. SEE 2100 AND 2101C



1 LONGITUDINAL SECTION
 A301 3/16" = 1'-0"

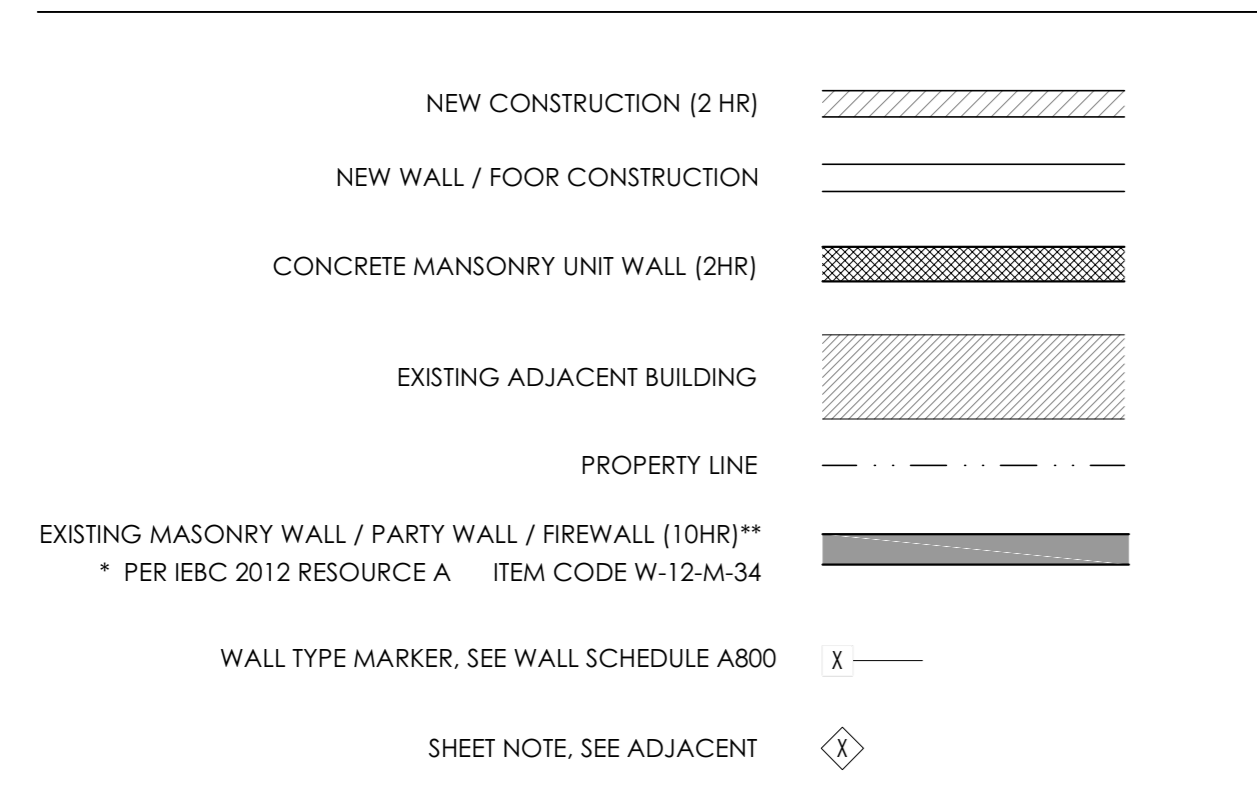


2 LONGITUDINAL SECTION
 A301 3/16" = 1'-0"

GENERAL NOTES:

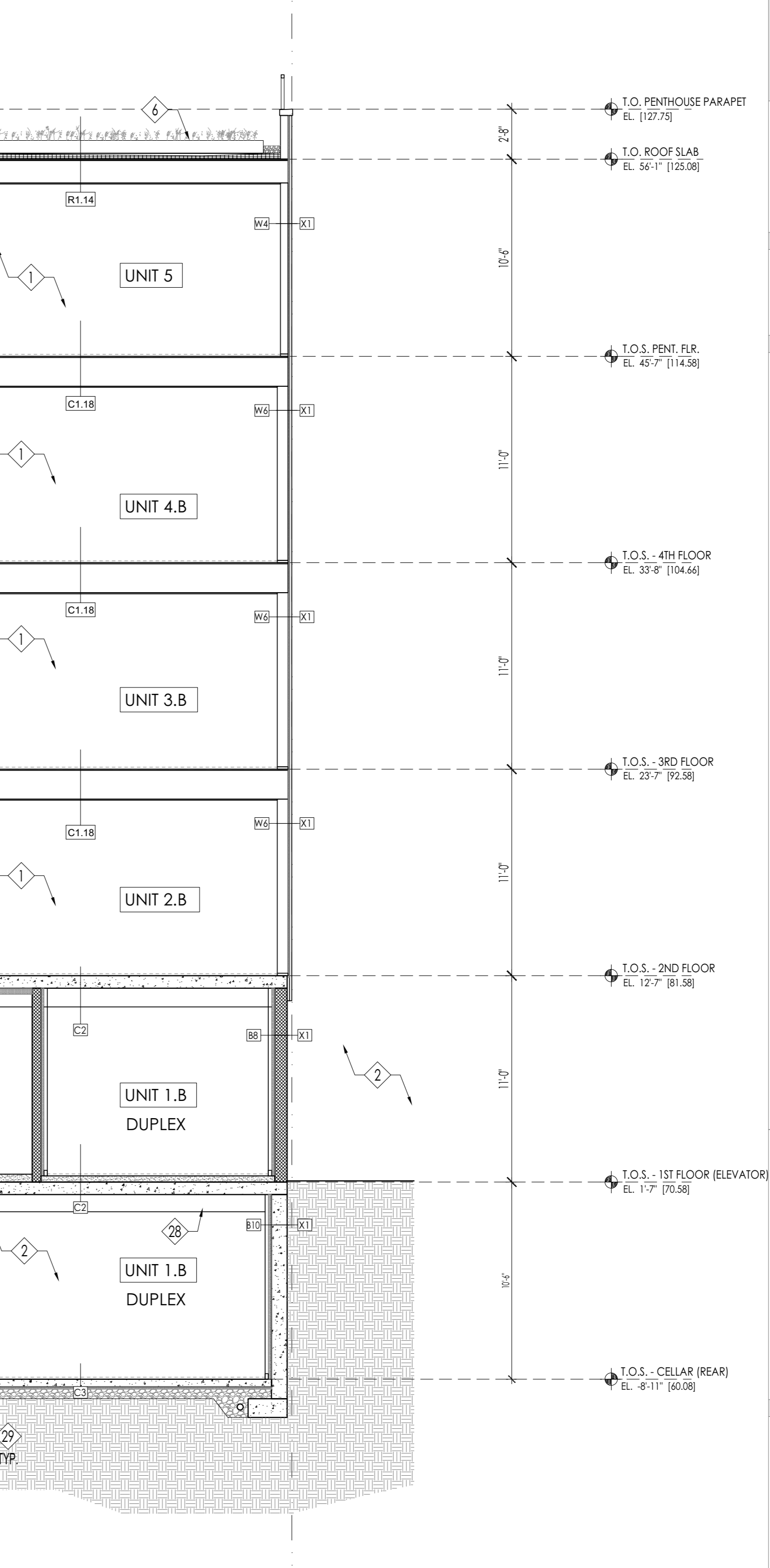
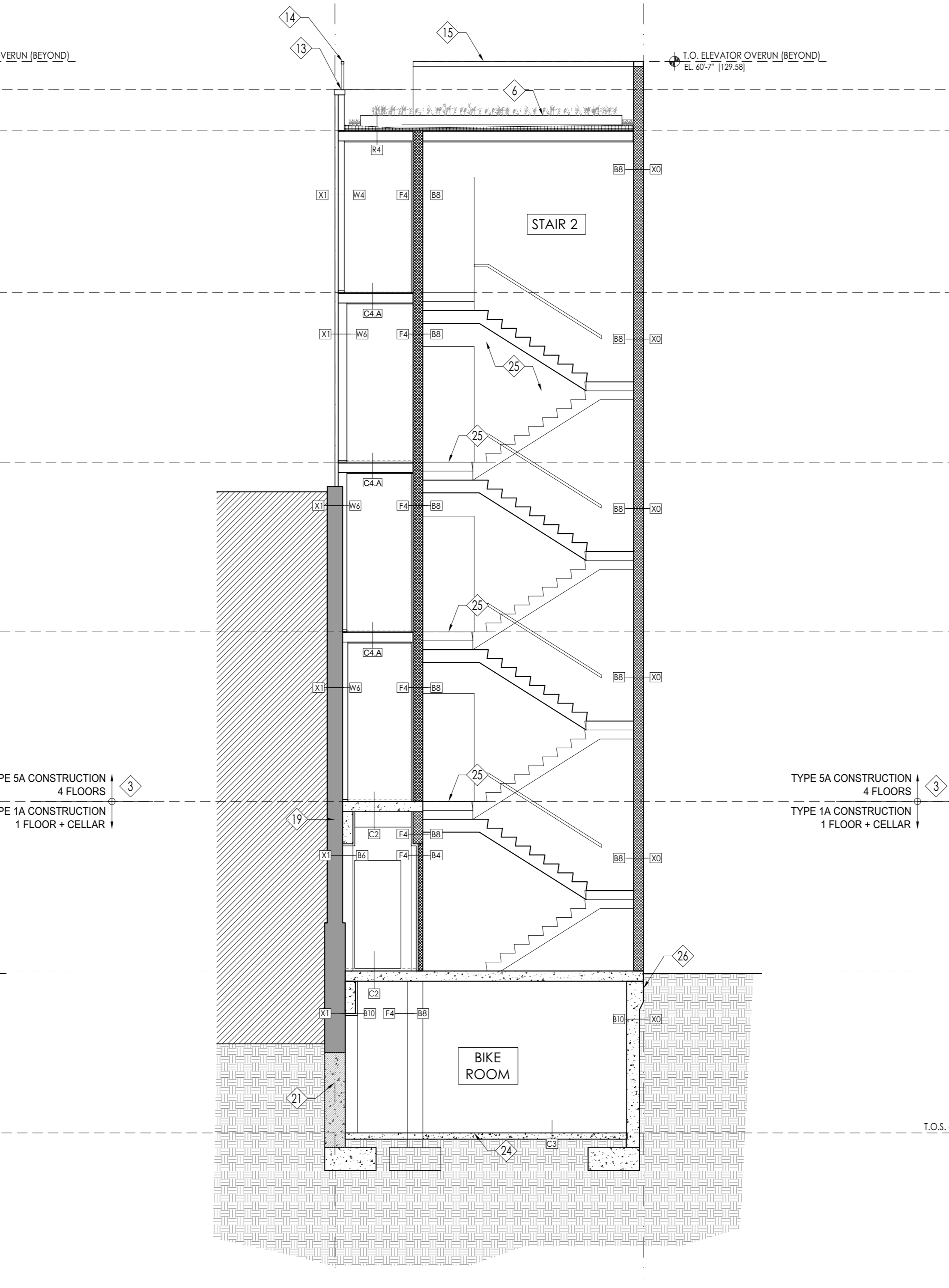
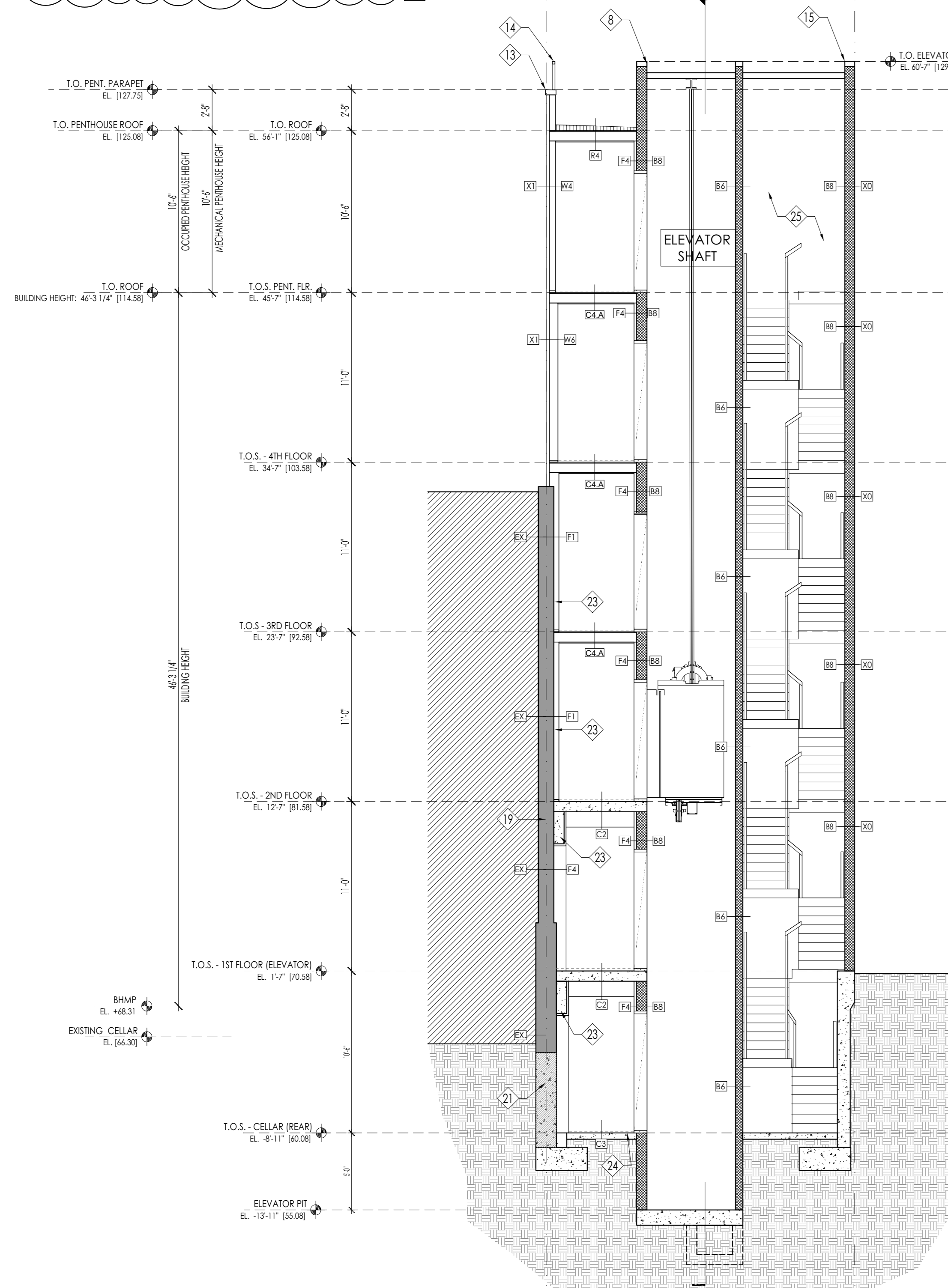
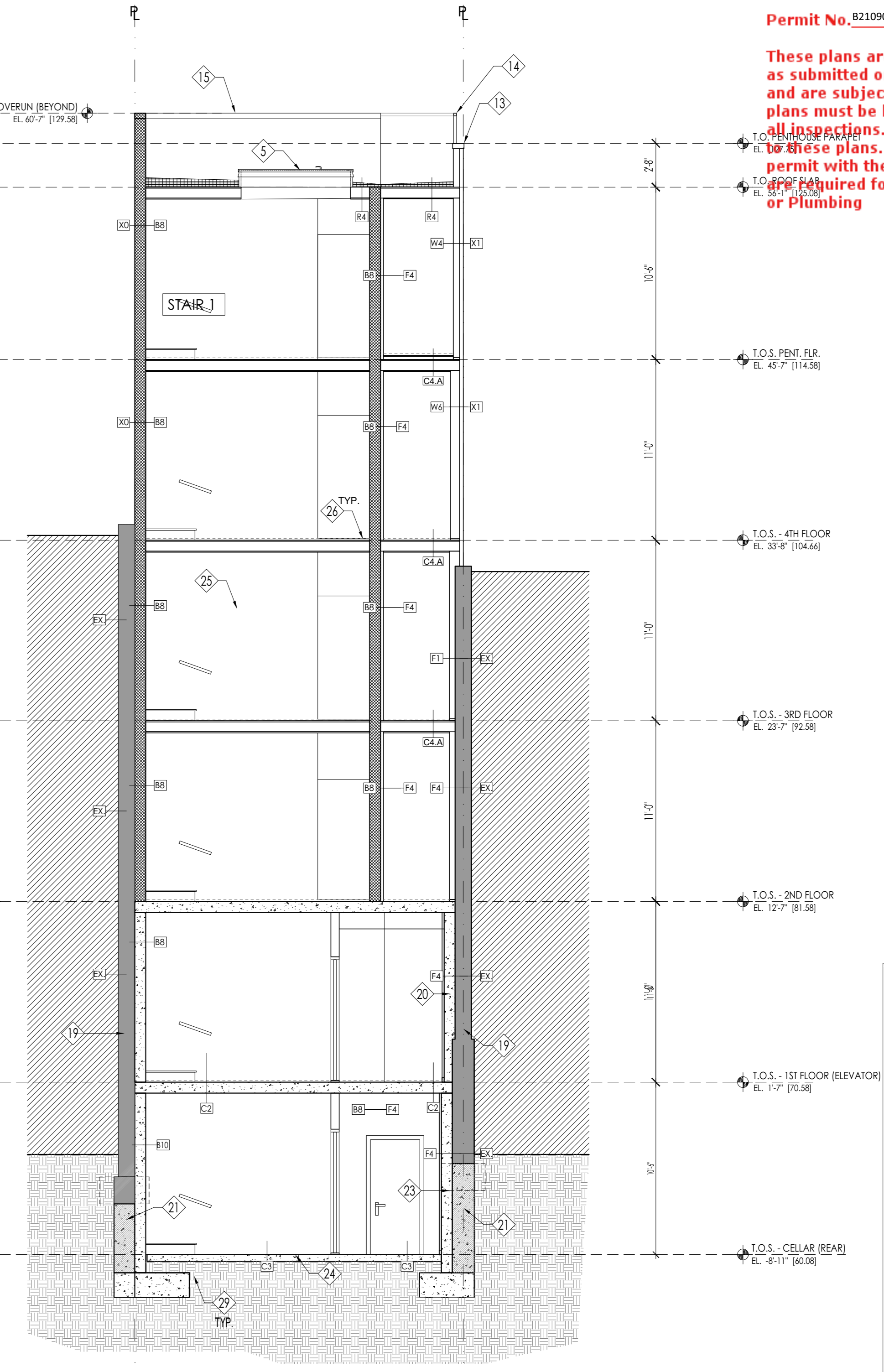
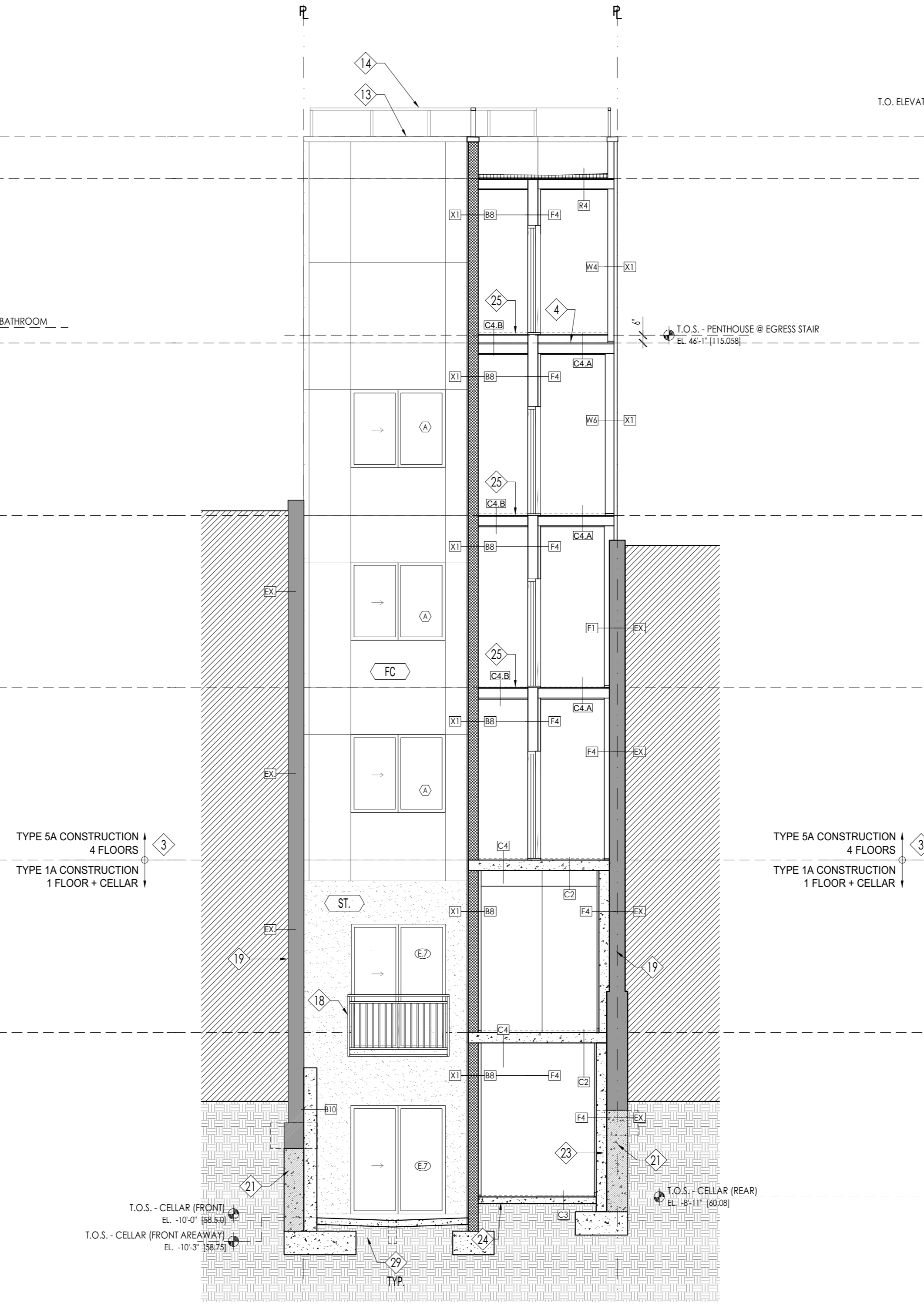
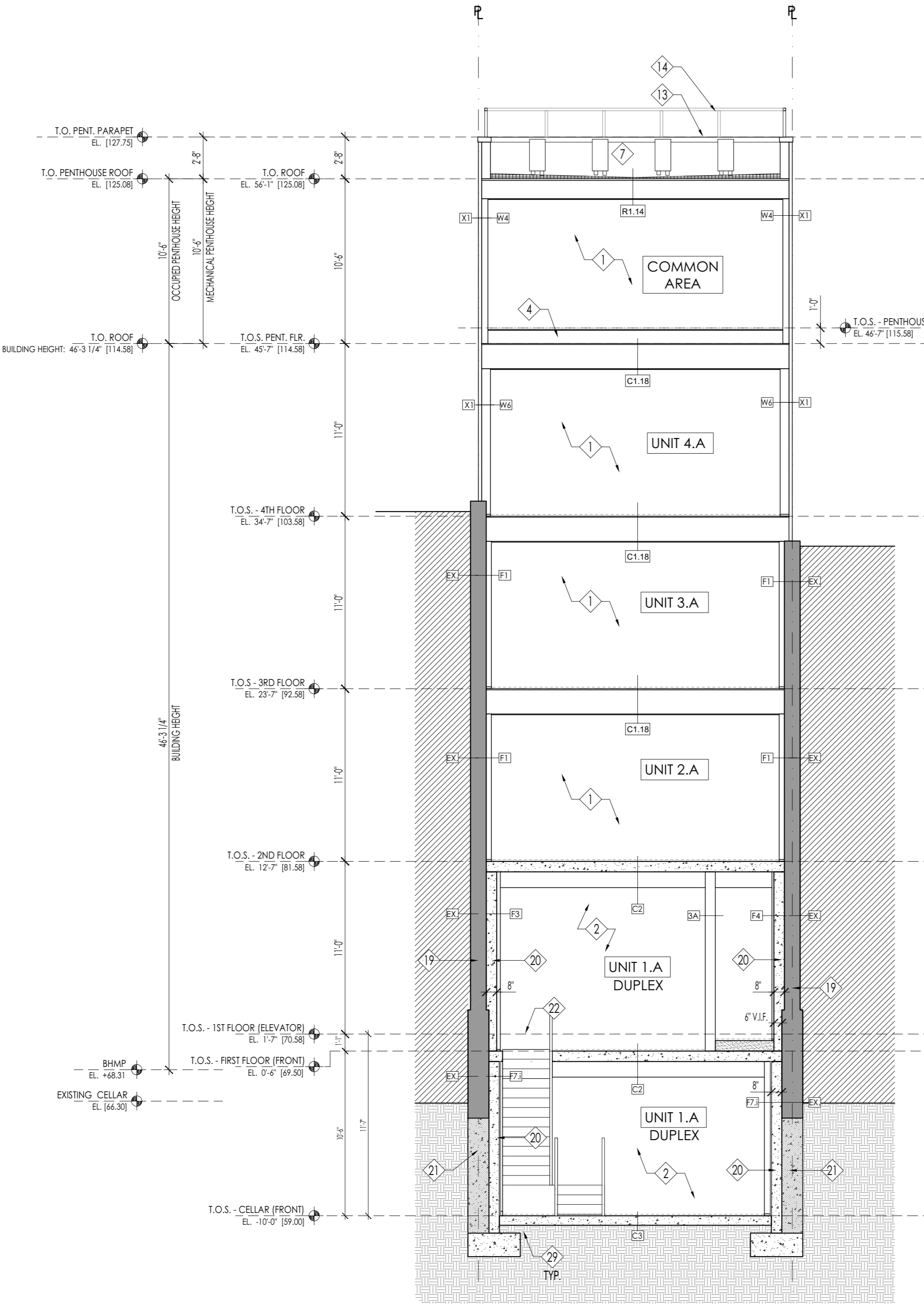
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- REFER TO WALL SCHEDULE, A800 FOR INFORMATION ON ASSEMBLY.
- WINDOW ROUGH OPENING (R.O.) DIMENSIONS SHOWN ARE FROM TOP OF FLOOR SHEATHING.
- SEE ELEVATIONS FOR BALANCE OF NOTES FOR WALL FINISHES

DRAWING LEGEND:



SHEET NOTES:

- TYPICAL INTERIOR PARTITION ON FLOORS 2 THROUGH 3 TO BE TYPE I/AB00 W/ 5/8" TYPE X DRYWALL. SEE DETAIL 11/AB00 FOR PENETRATION AT RATED CEILING ASSEMBLY.
- TYPICAL INTERIOR PARTITION TO BE 2X800 ON CELLAR AND FIRST FLOOR OR AGAINST MASONRY PARTITIONS WITH 1/2" DRYWALL.
- HORIZONTAL SEPARATION PER §102.2 WITH TYPE IA CONSTRUCTION BELOW A FLOOR ASSEMBLY 3HR MIN 4" BUILD UP FLOOR @ COMMON AREA WITH 2X CONSTRUCTION.
- ROOF HATCH PROVIDING ACCESS TO ROOF PER REQUIREMENTS OF IBC 1009.16 AND AS PERMITTED BY 1009.16.1 EXCEPTION, FOR SERVICE AND MAINTENANCE OF MECHANICAL EQUIPMENT AND GREEN ROOF ONLY. NOT AN OCCUPIED ROOF. ACCESS PERMITTED VIA LADDER COMPLYING WITH THE REQUIREMENTS OF DC MECHANICAL CODE 306.5.
- GREEN ROOF, SEE GAR PLANS FOR DETAILS.
- ROOFTOP MECHANICAL EQUIPMENT, SEE MECHANICAL.
- ELEVATOR OVRERRUN.
- COLLUM BEYOND, SEE STRUCTURAL.
- TOP OF PARAPET AT REAR OF BUILDING MIN. 3'-6" FROM FINISH FLOOR.
- TOP OF PARAPET AT FRONT OF THE BUILDING TO CORRESPOND TO BRICK COURSING AT FRONT ELEVATION. SEE ELEVATIONS. FINISH PARAPET TO BE A MINIMUM 3'-6" ABOVE FINISH FLOOR AT EXTERIOR DECK.
- TOP OF FINISH FLOOR AT SHARED ROOF TERRACE 1'-0" ABOVE ROOF SLAB. BUILT UP FLOOR WITH PT WOOD SLEEPERS OR FEDERAL SYSTEM. ALIGN FINISH FLOOR WITH ADJACENT INTERIOR SPACE. MAXIMUM ELEVATION DIFFERENCE 1.5" PER ACCESSIBILITY REQUIREMENTS. MAINTAIN DRAINAGE.
- TOP OF PARAPET ON PENTHOUSE ROOF TO BE 2'-8" ABOVE ROOF SLAB.
- PROVIDE STEEL GUARDRAIL, PFD TO 42" ABOVE FINISH FLOOR. RAIL TO HAVE NO OPENINGS THAT ALLOW PASSAGE OF SPHERE 21" IN DIAMETER. ONLY TOP RAIL REQUIRED. PLACE PICKETS AS SHOWN AND AS DETICED IN ELEVATIONS. TYPICALLY ALIGNED WITH VERTICAL SEAM OF FIBER CEMENT SIDING. PROVIDE 2" STEEL BAR WITH SQUARE OR RECTANGULAR PROFILE.
- TOP OF STAIR TOWER TO ALIGN WITH ELEVATOR OVRERRUN WHERE INDICATED.
- INTENSIVE PLANTER, SEE GAR PLANS FOR PLANTING AND DETAIL.
- RAMP: MAX RISE 1:12. TWO SEPARATE RISES OF 6" WITH 60° RAMP BETWEEN. NO HANDRAIL. SEE PLANS.
- JULIET GUARDRAIL, SEE STAIR SHEETS.
- EXISTING MASONRY PARTY WALL, SEE STRUCTURAL.
- CONCRETE LINER WALL 8" SEE STRUCTURAL. MAINTAIN PLAN CLEARANCES AND COORDINATE WALL DIMENSION WHERE EXISTING PARTY WALL THICKNESS MAY VARY AT CELLAR LEVEL ABOVE FIRST FLOOR.
- UNDERPINNING SEE STRUCTURAL.
- STAIR OPENING IN CONCRETE SLAB AT DUPLEX DWELLING UNIT. COORDINATE WITH PLANS TO ENSURE STAIR CLEARANCES. INSTALL WITH 2X CONSTRUCTION AS REQUIRED TO PLAN FLOOR DIMENSIONS AND TO MAINTAIN REQUIRED HEAD CLEARANCES AT STAIR.
- PROVIDE BEAM AND BREAK IN LINER WALL AT ELEVATOR ENTRANCE TO ENSURE CLEARANCES. SEE STRUCTURAL AND ARCHITECTURAL PLANS.
- NO UNDER-SLAB CONTINUOUS INSULATION AT CORRIDOR / SEMI-HEATED LOCATIONS.
- WOOD STAIR AND FLOOR FRAMING IN 2HR STAIR ENCLOSURE, SEE A501. COORDINATE STAIR RUN WITH FINISH FLOOR AT CORRIDOR LOCATIONS. MAKE ALLOWANCE FOR FLOOR CONSTRUCTION FINISH FLOOR INCLUDING HOMASOTE BOARD AND SCHEDULED FLOOR FINISH. SEE A800. MAXIMUM CHANGE IN ELEVATION BETWEEN STAIR LANDINGS AND CORRIDOR PER ADA REQUIREMENTS 1/2". SEE 003.
- PROVIDE HAUNCH IN POURED CONCRETE WALL MASONRY WALL ABOVE TO ALIGN WITH PROPERTY LINE
- GUARDRAIL TO 42 INCHES ABOVE ADJACENT FINISH FLOOR. CONSTRUCTION NOT TO ALLOW PASSAGE OF 4" SPHERE.
- MASONRY WALL ABOVE GRADE TO 42" ABOVE ADJACENT GRADE. FACE BRICK PER ELEVATIONS
- PROVIDE SUBSOIL DRAIN AT FOUNDATIONS. SEE §100 AND 210.00.



PERMITS APPROVED
 Permit No. R2100990 Date 02/14/23
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studiomuzz architects

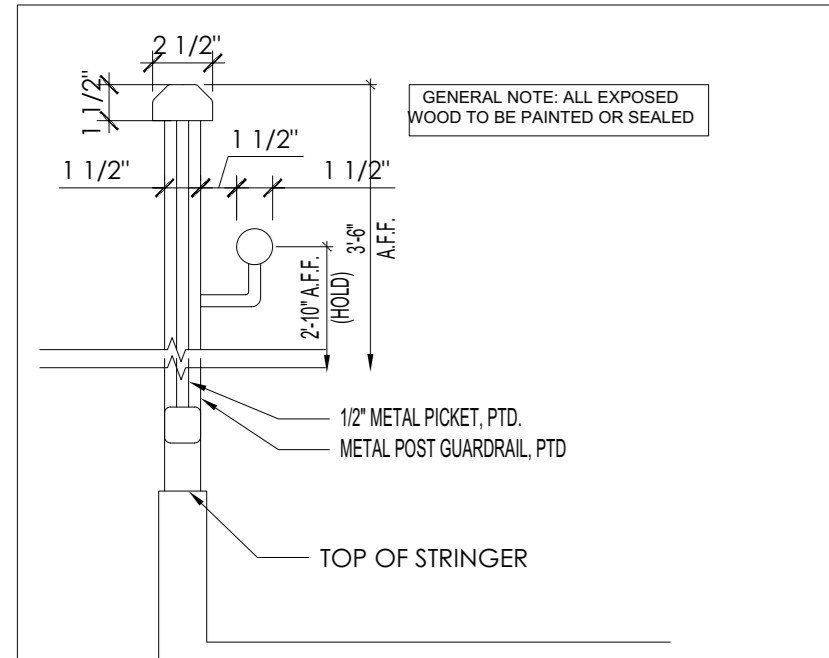
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 Lutham, MD 20708
 301.341.3435
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I am responsible for determining that the architectural design included in this application is in compliance with all laws and regulations of the District of Columbia. I have personally prepared, or directly supervised the development of, the architectural designs included in this application.

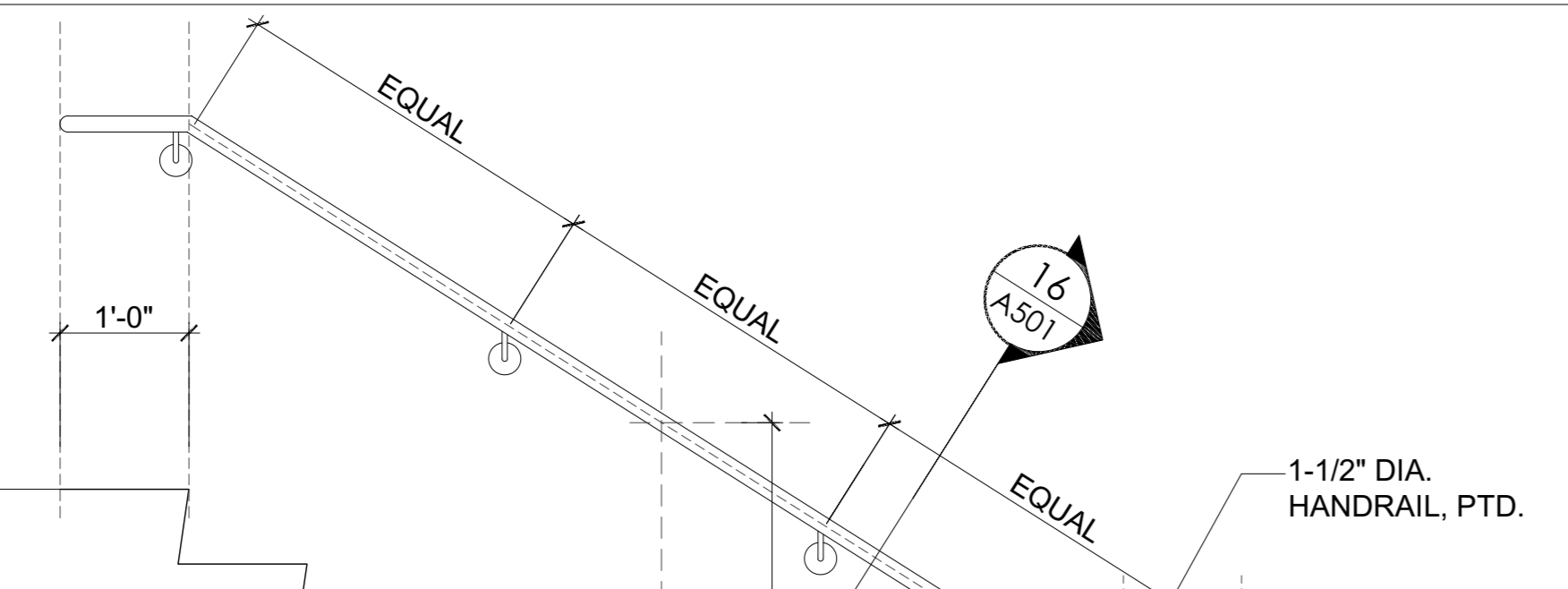
ISSUE
 D. PERMIT SET 03/15/2021
 Q. PERMIT COMMENTS 8/9/2022

BUILDING SECTIONS TRANSVERSE
 A302

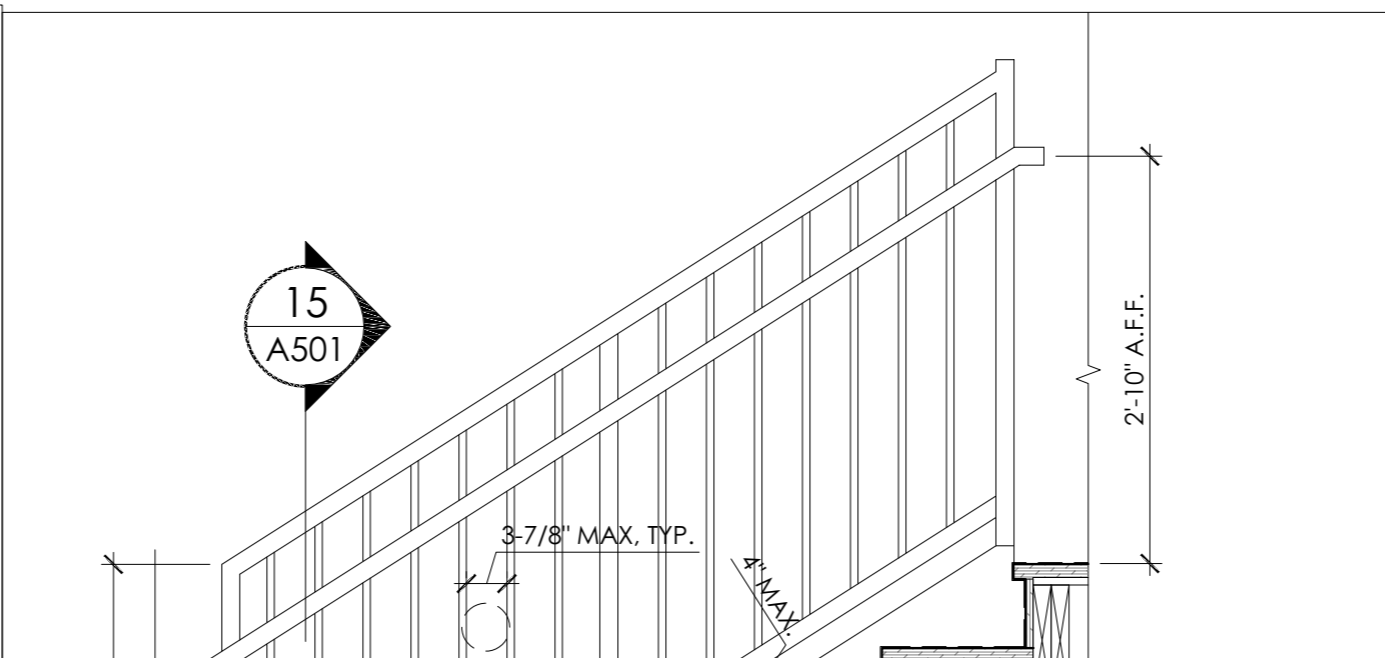
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical



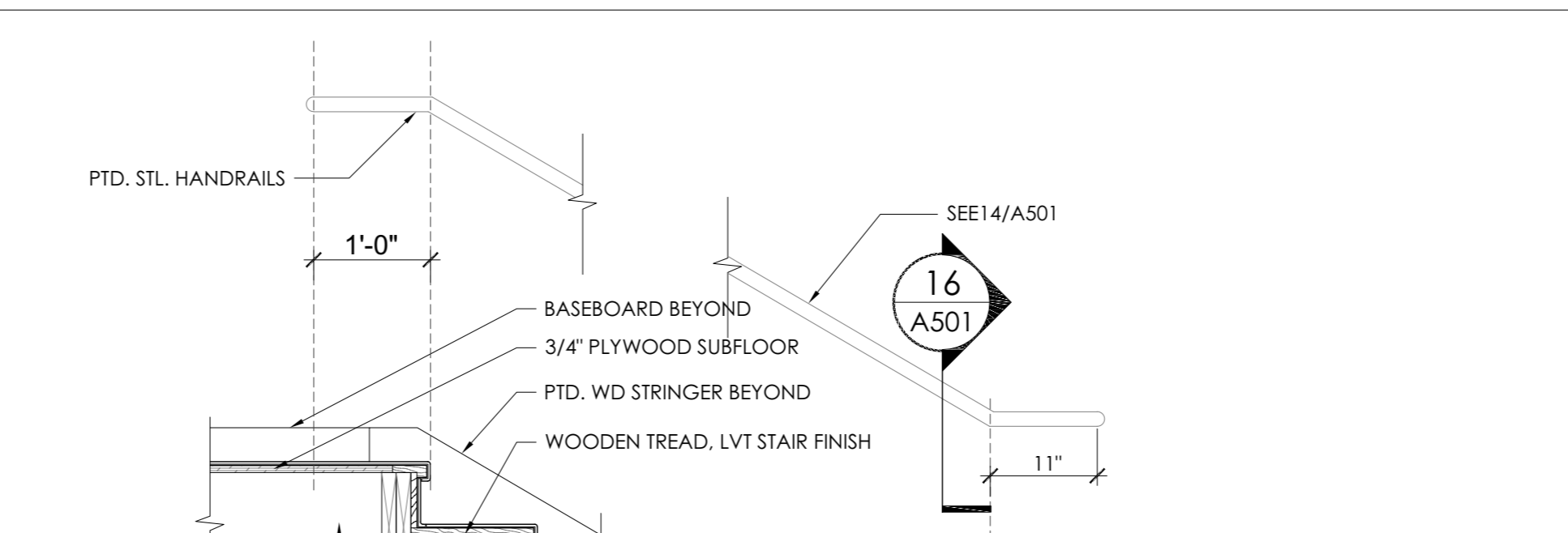
15 GUARDRAIL / HANDRAIL DETAIL
 A501 1 1/2" = 1'-0"



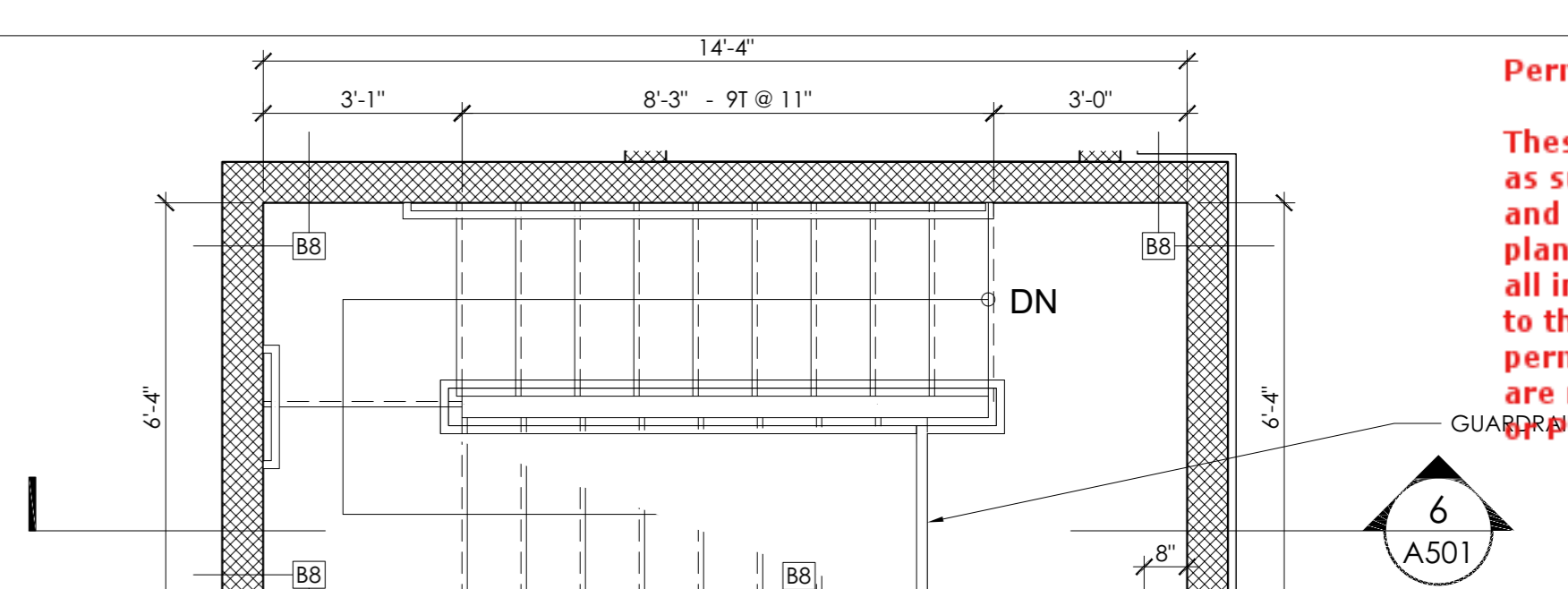
14 HANDRAIL ELEVATION, TYPICAL
 A501 1 1/2" = 1'-0"



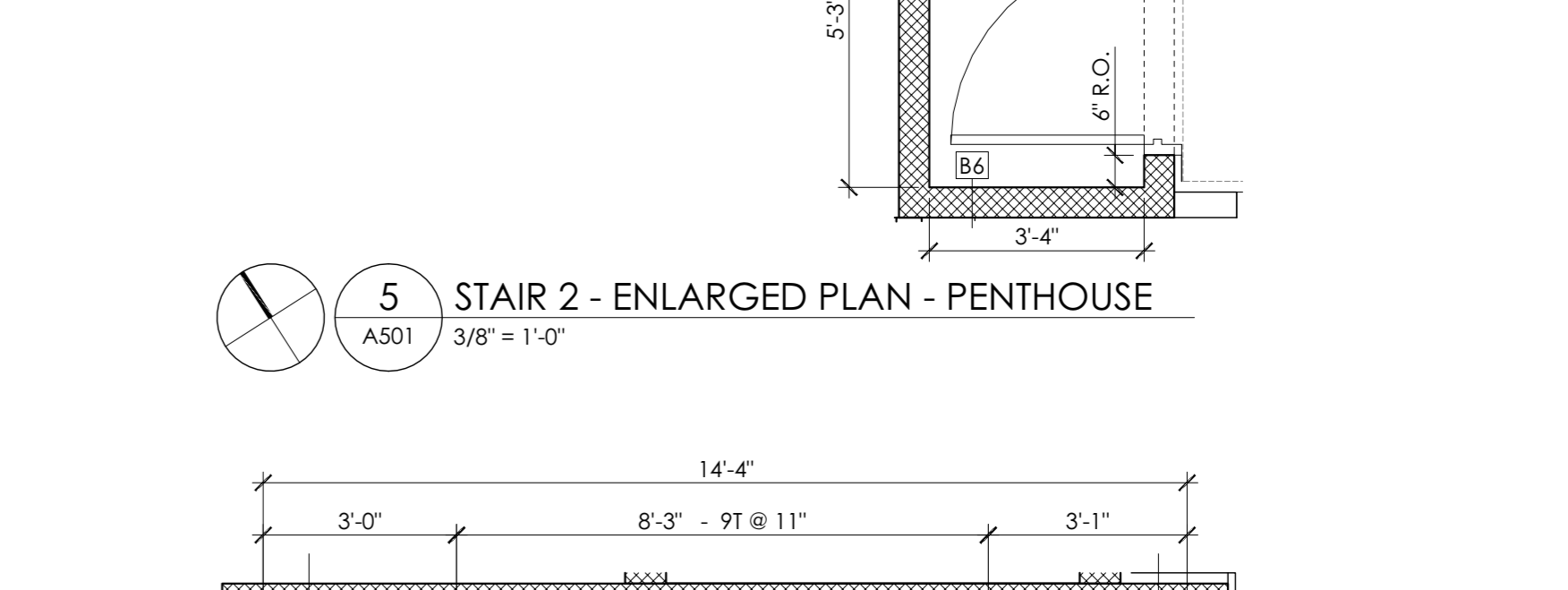
13 TYPICAL STAIR DETAIL
 A501 1" = 1'-0"



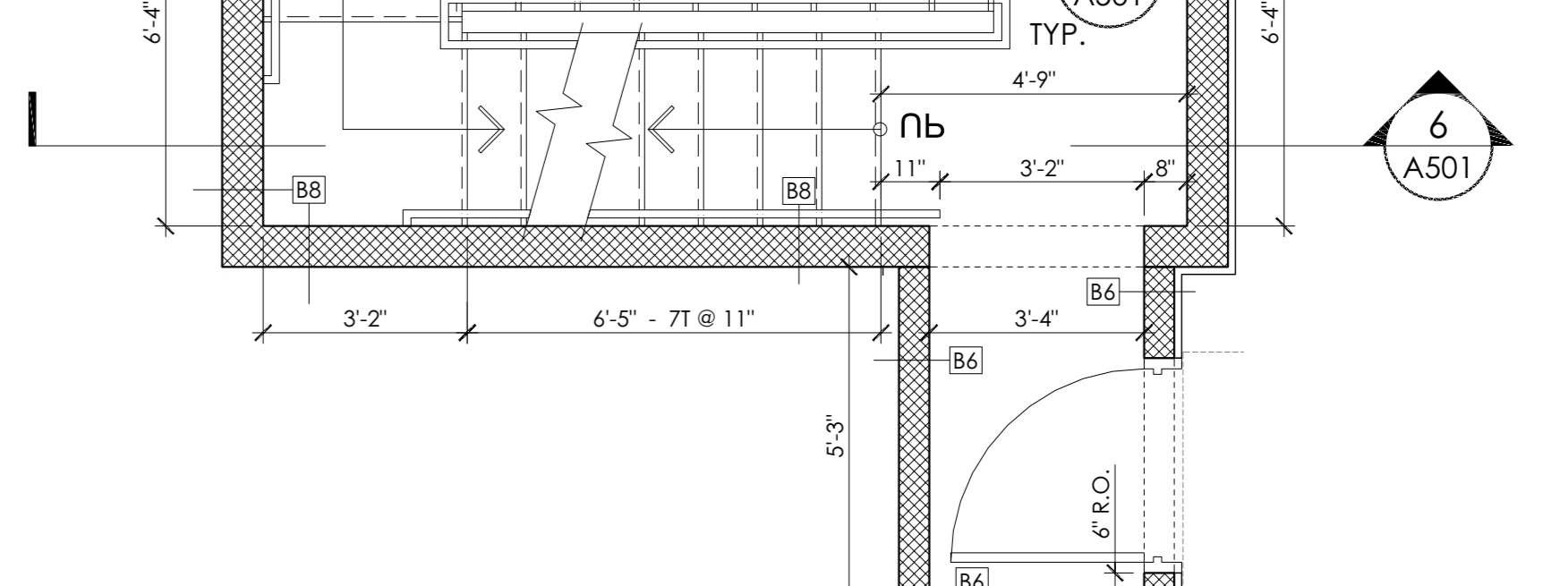
12 TYPICAL STAIR DETAIL
 A501 1" = 1'-0"



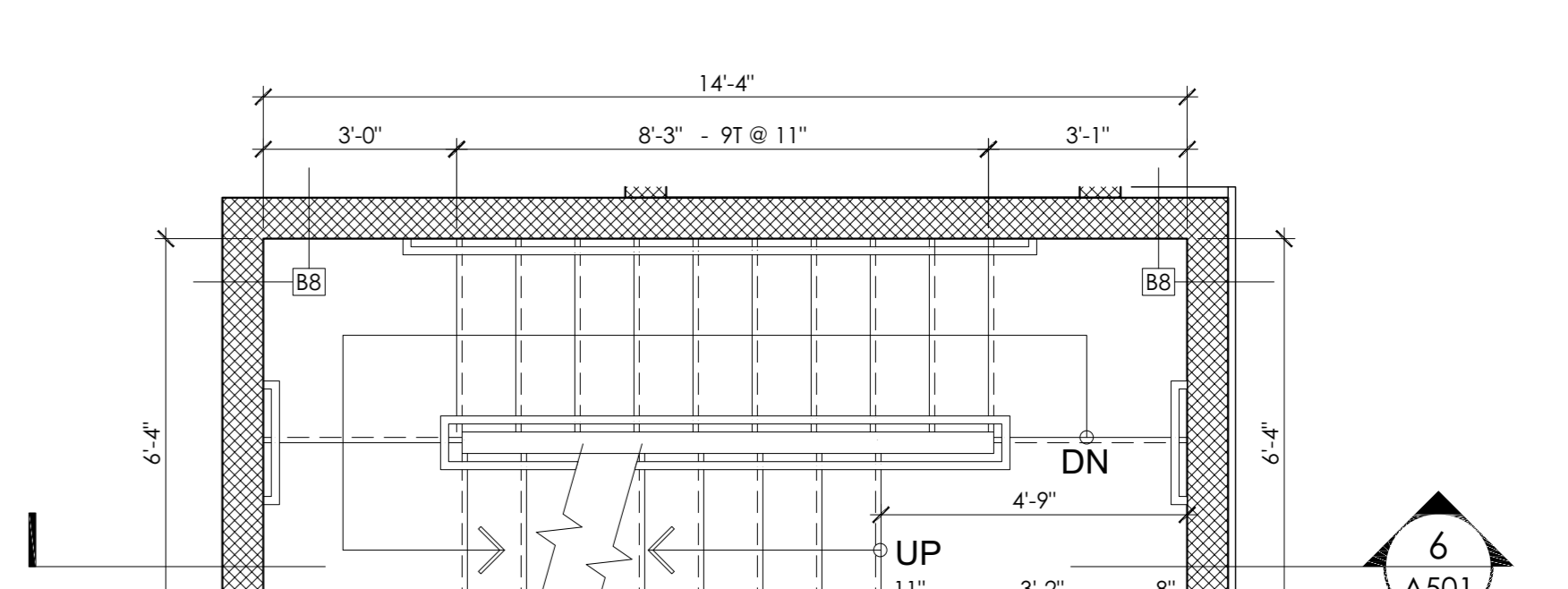
5 STAIR 2 - ENLARGED PLAN - PENTHOUSE
 A501 3/8" = 1'-0"



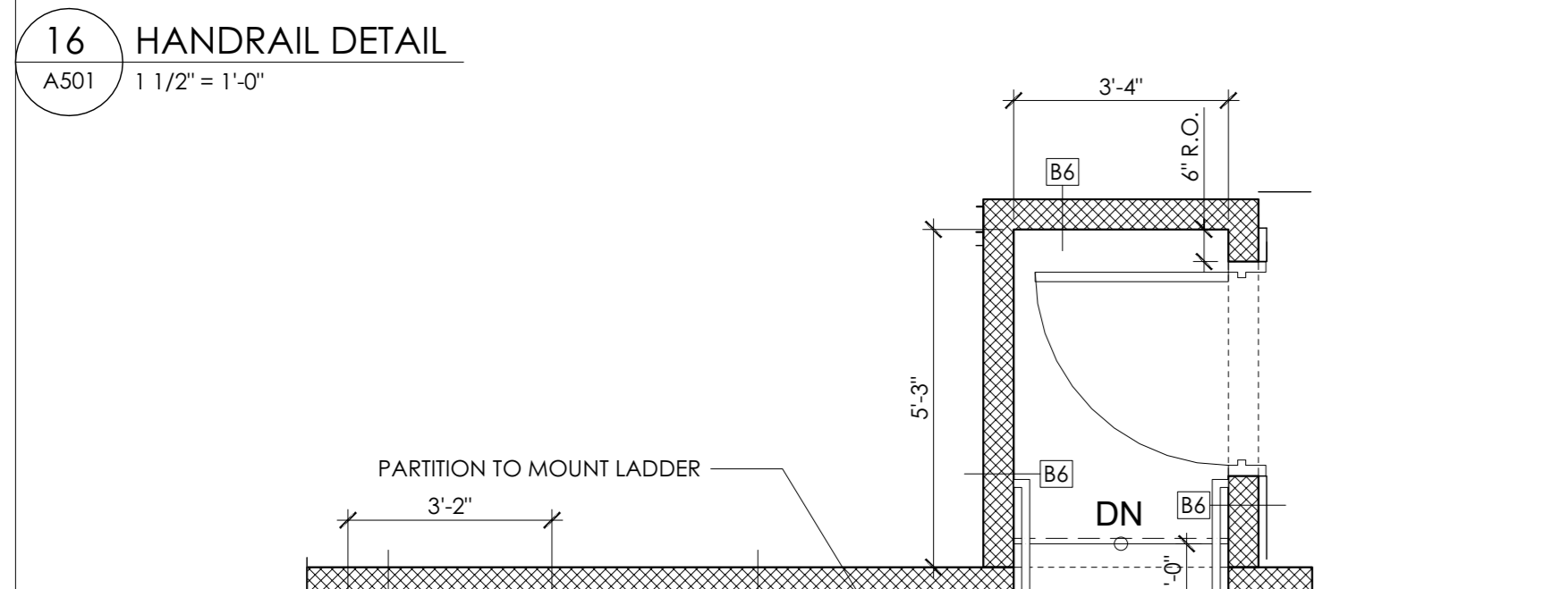
6 STAIR 2 - ENLARGED PLAN - 3RD & 4TH FLOORS
 A501 3/8" = 1'-0"



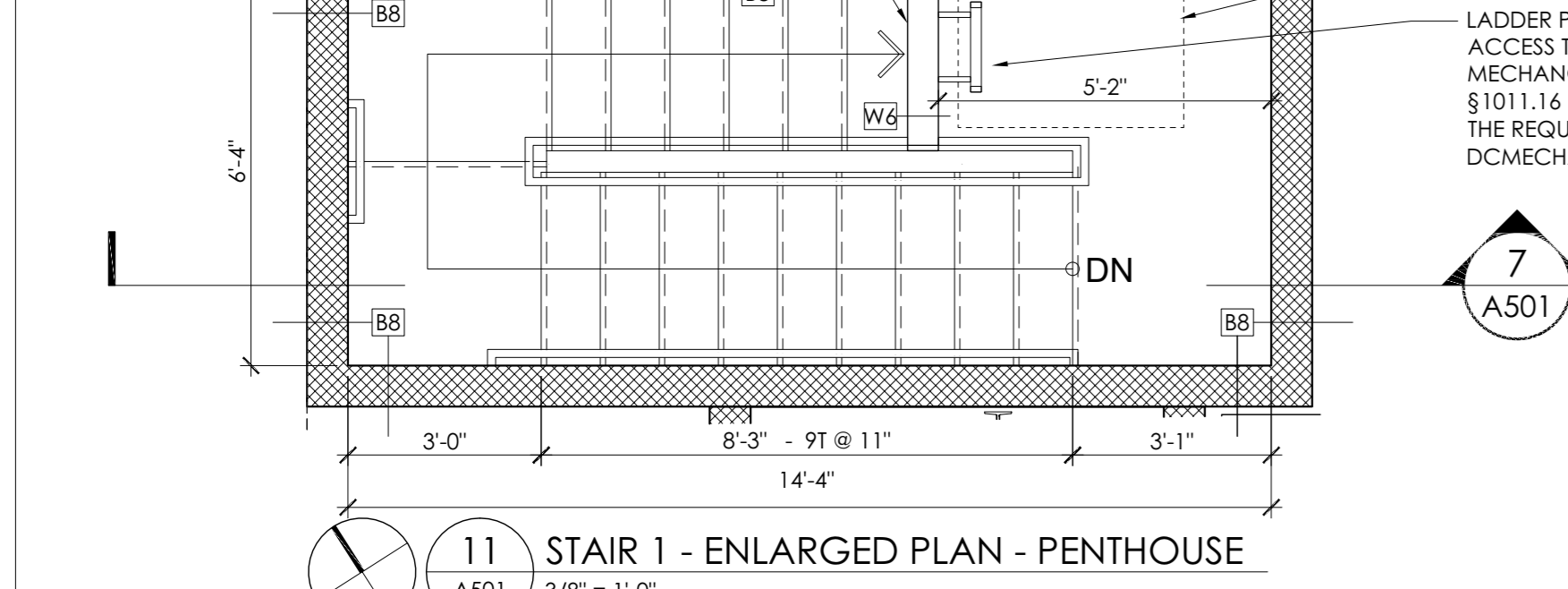
7 STAIR 2 - ENLARGED PLAN - 2ND FLOOR
 A501 3/8" = 1'-0"



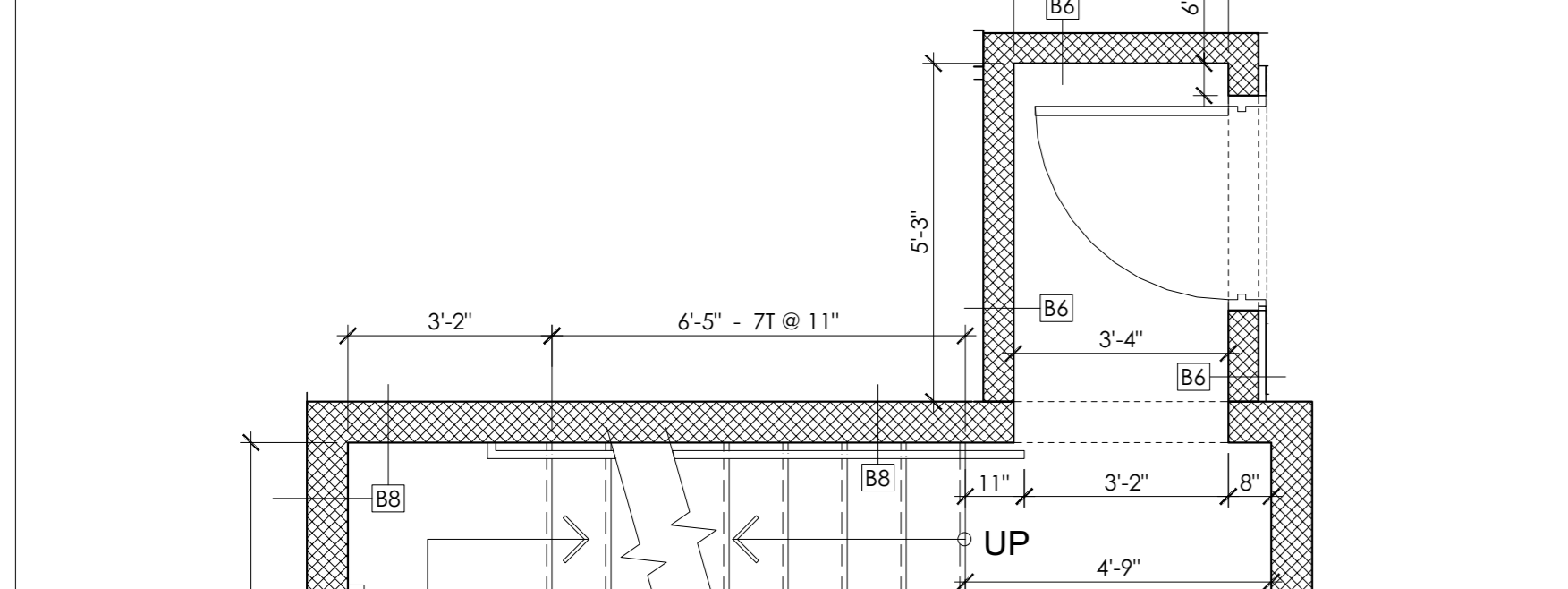
8 STAIR 2 - ENLARGED PLAN - FIRST FLOOR
 A501 3/8" = 1'-0"



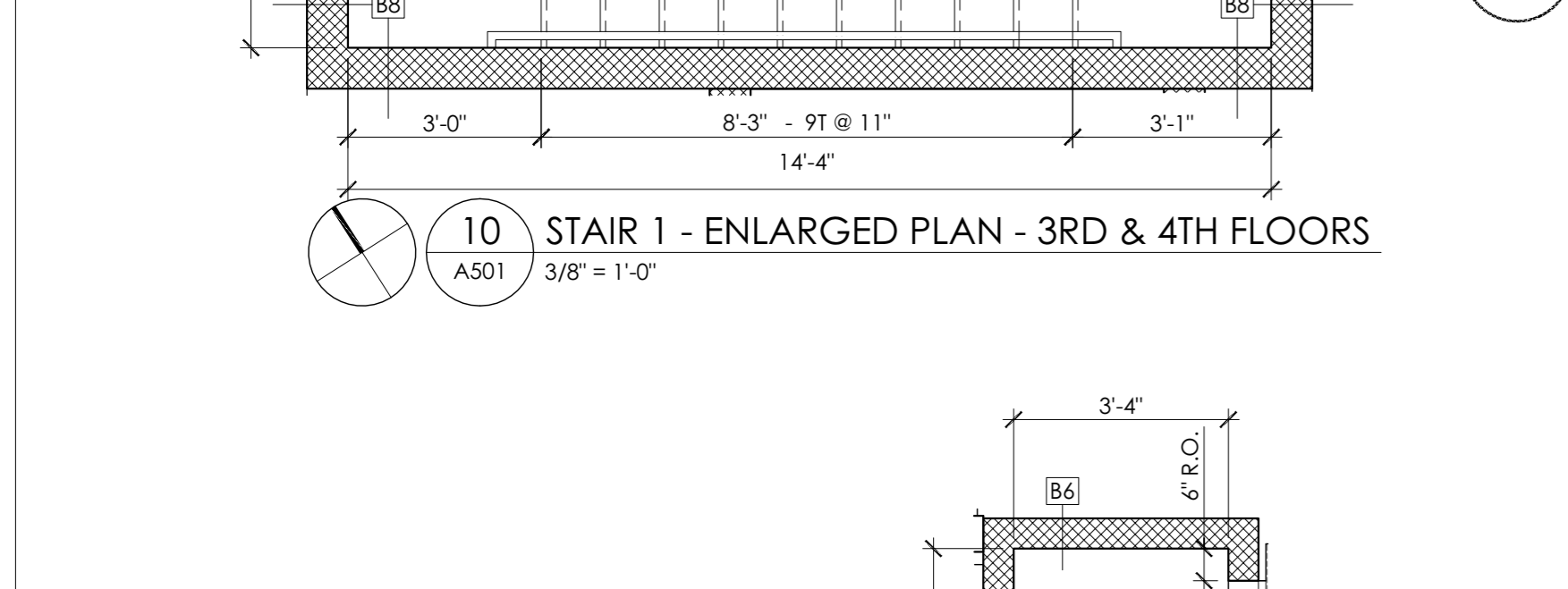
16 HANDRAIL DETAIL
 A501 1 1/2" = 1'-0"



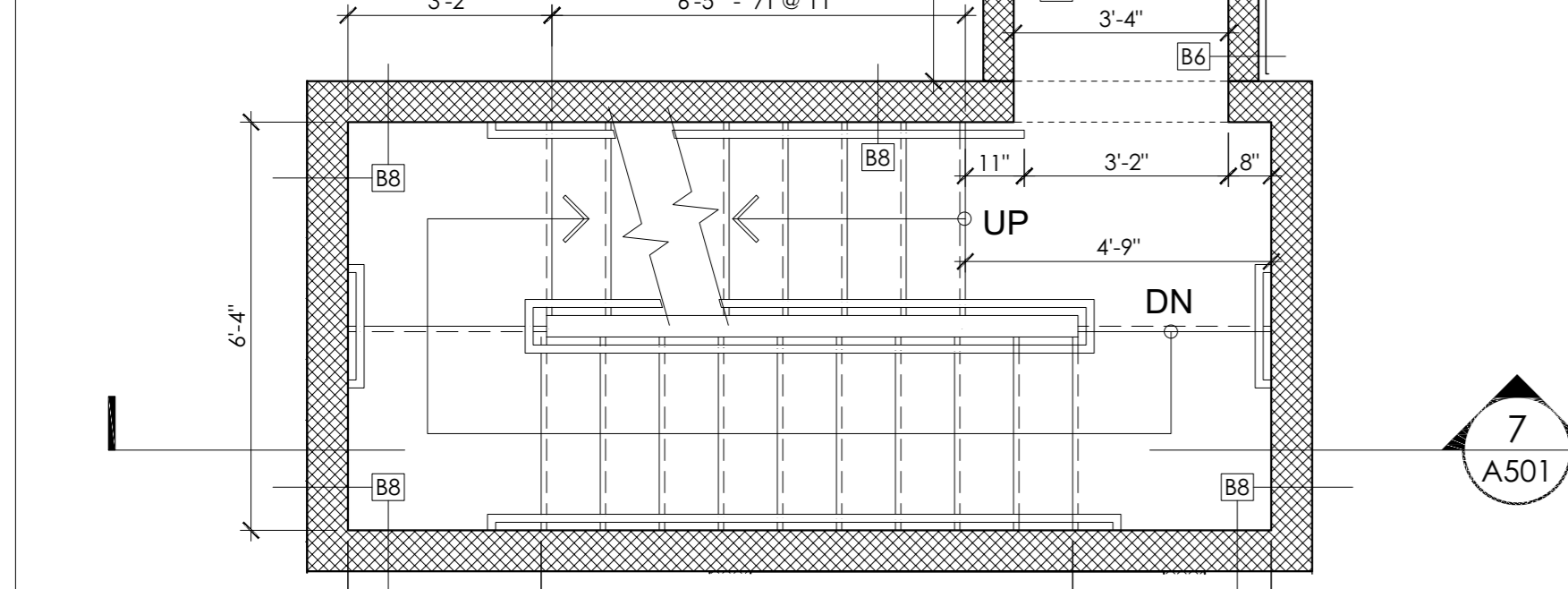
11 STAIR 1 - ENLARGED PLAN - PENTHOUSE
 A501 3/8" = 1'-0"



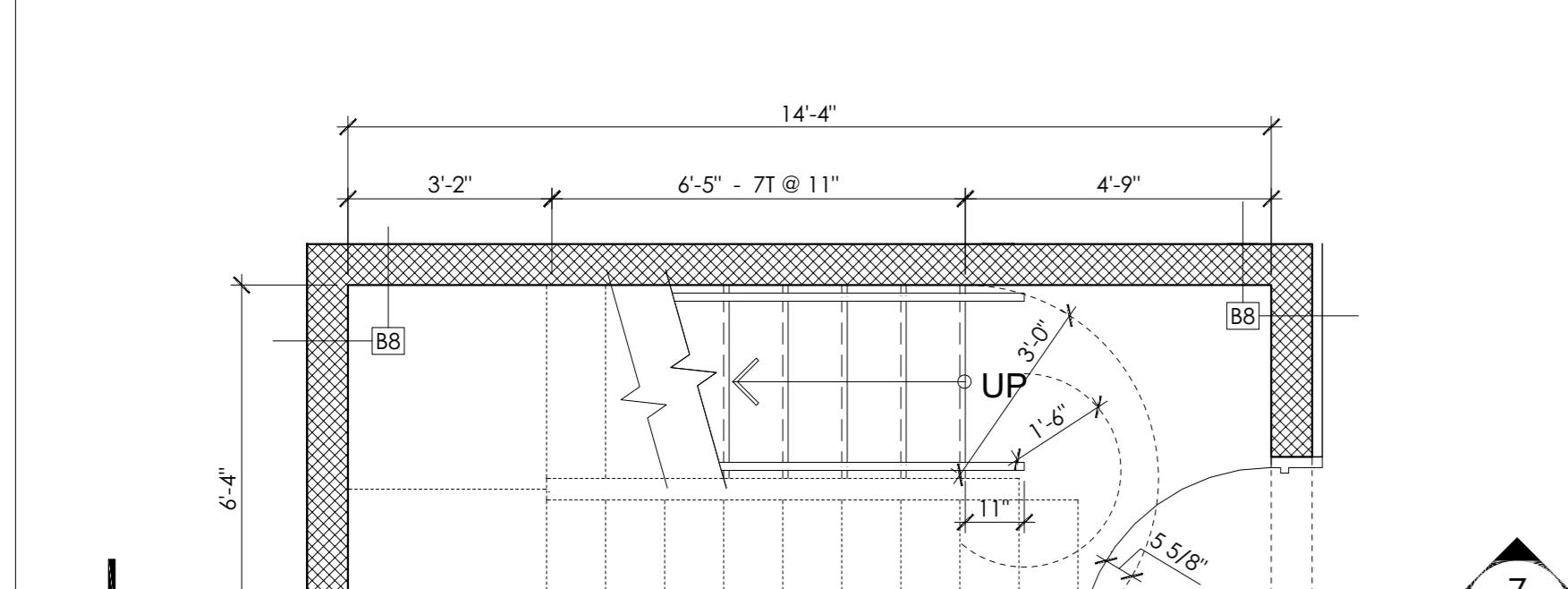
12 STAIR 1 - ENLARGED PLAN - 3RD & 4TH FLOORS
 A501 3/8" = 1'-0"



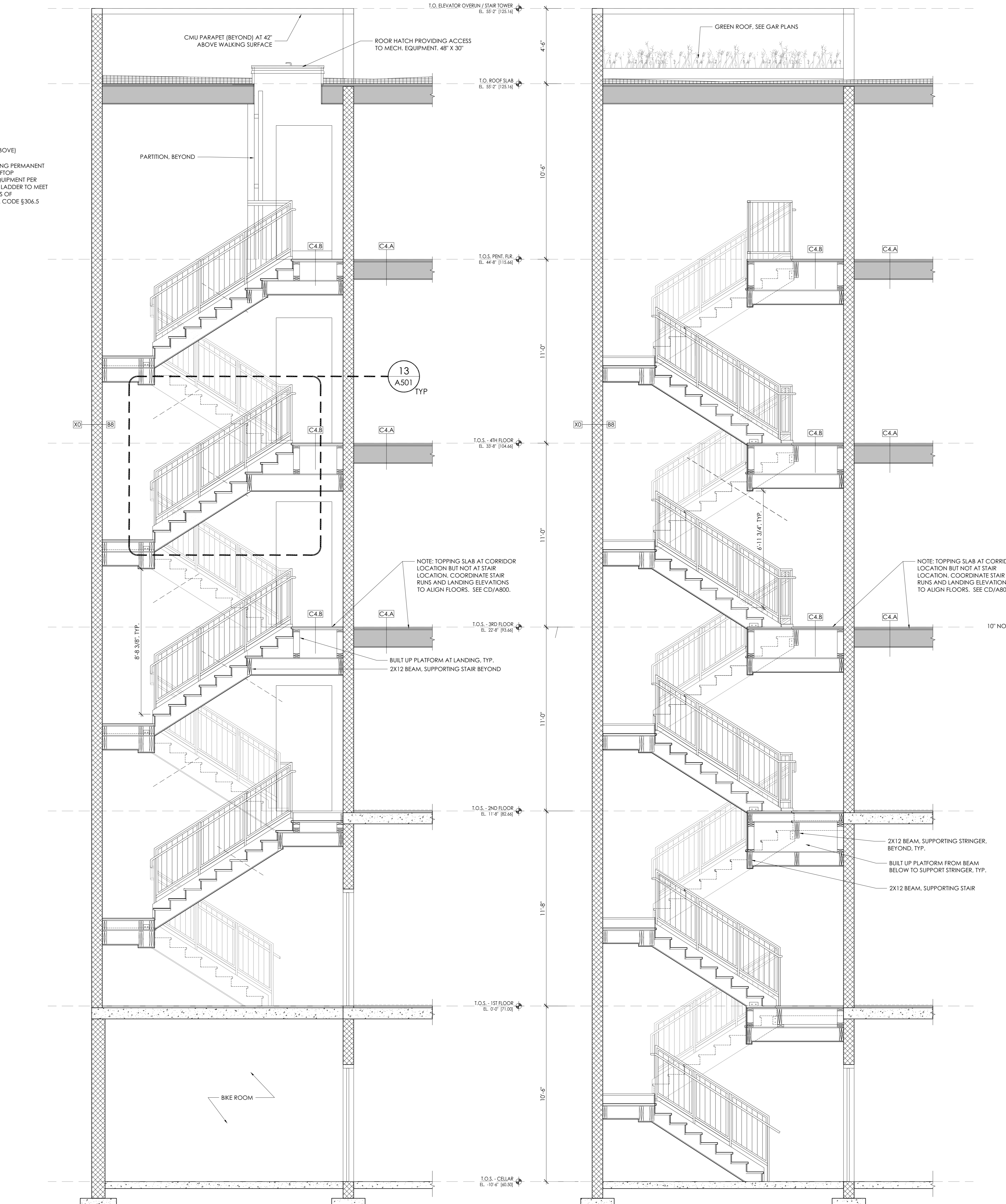
10 STAIR 1 - ENLARGED PLAN - 2ND FLOOR
 A501 3/8" = 1'-0"



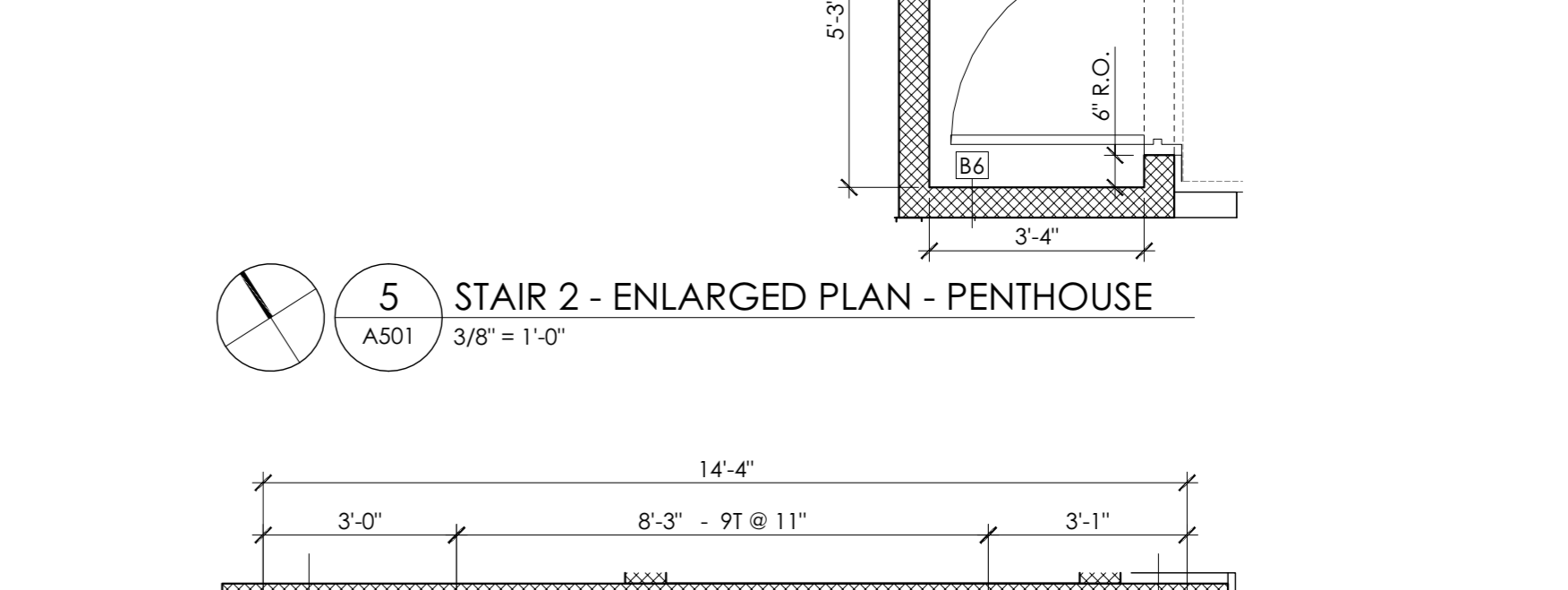
9 STAIR 1 - ENLARGED PLAN - FIRST FLOOR
 A501 3/8" = 1'-0"



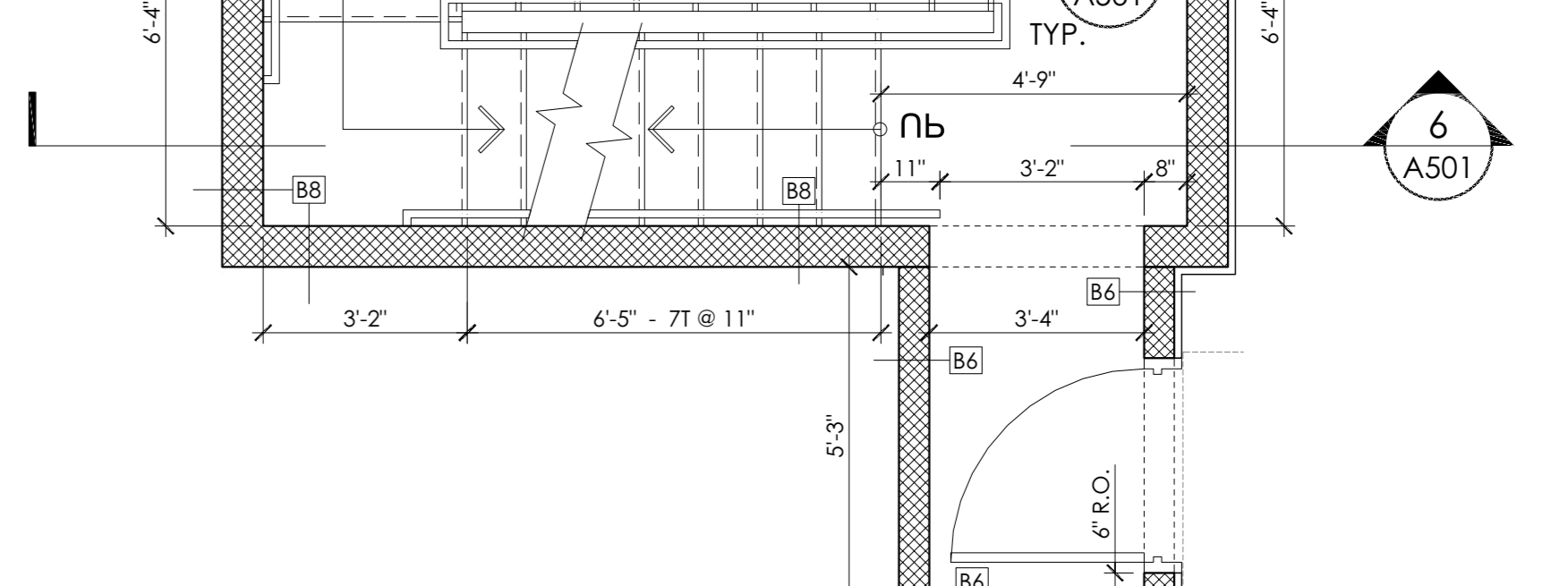
8 STAIR 1 - ENLARGED PLAN - CELLAR
 A501 3/8" = 1'-0"



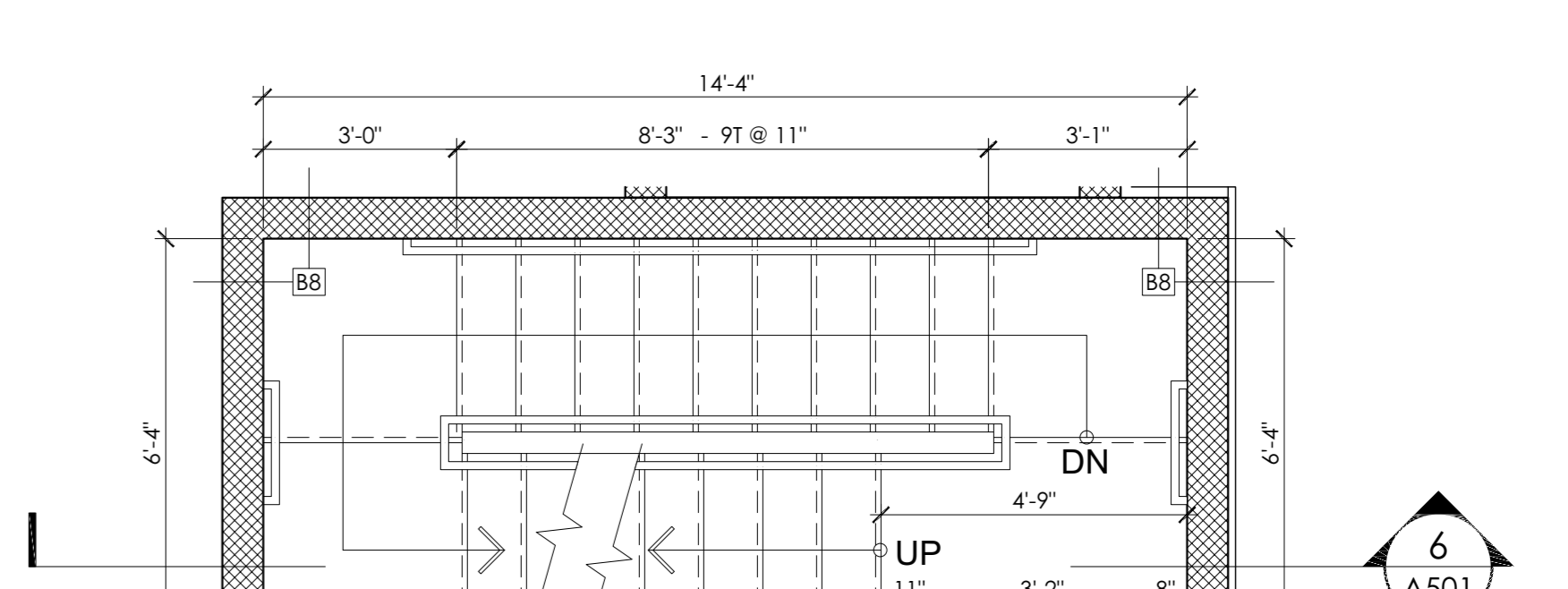
7 STAIR 1 - ENLARGED SECTION
 A501 3/8" = 1'-0"



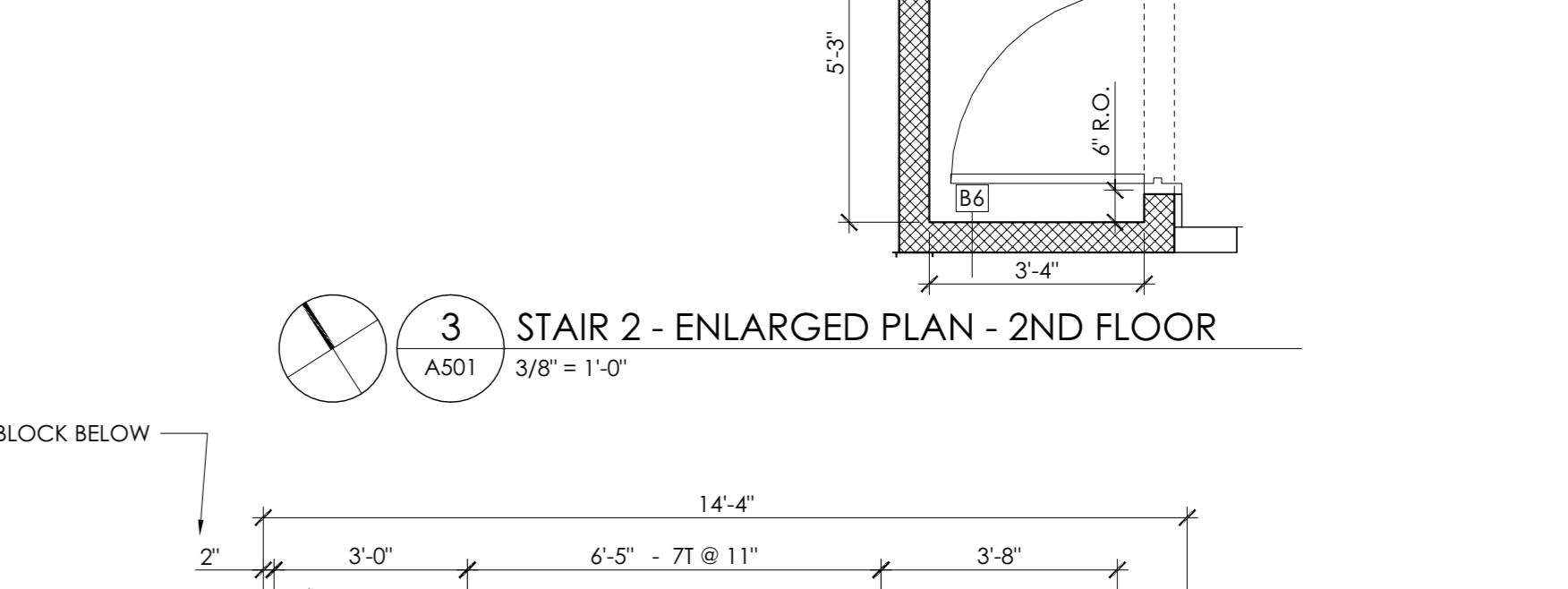
11 SECTION @ ROOF ACCESS
 A501 1 1/2" = 1'-0"



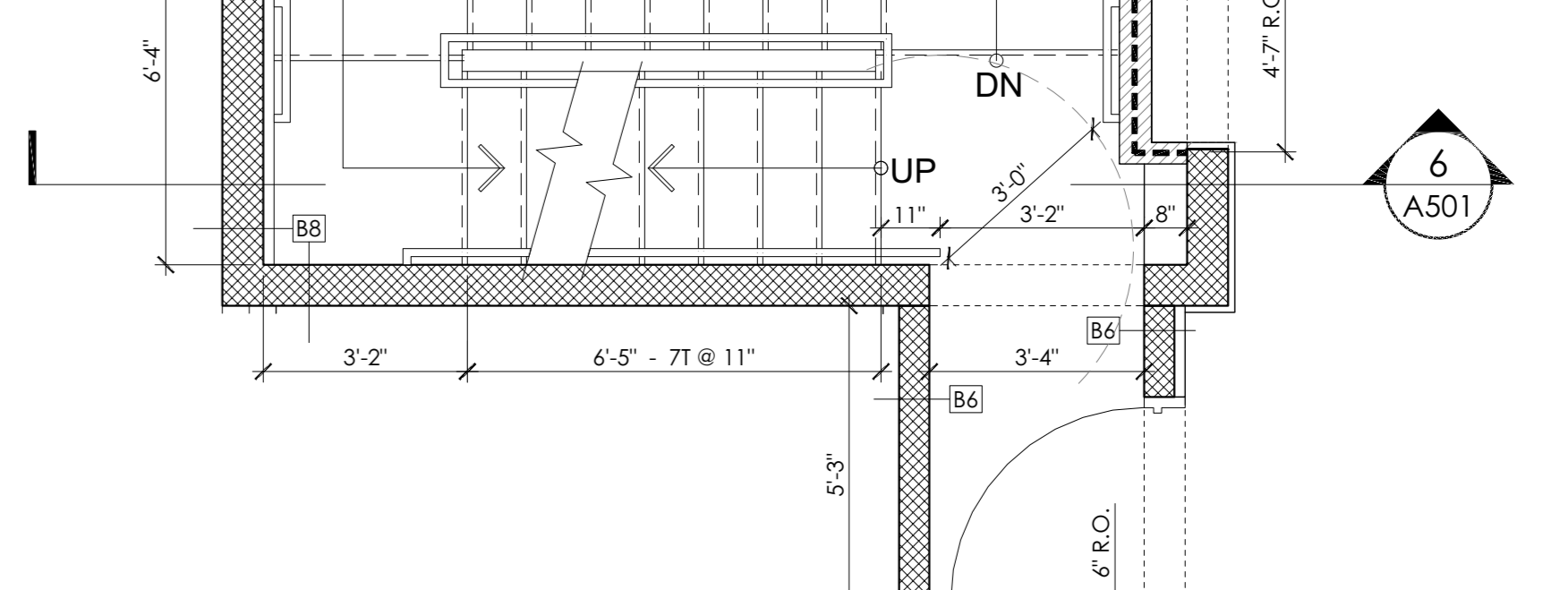
12 SECTION @ ROOF ACCESS
 A501 1 1/2" = 1'-0"



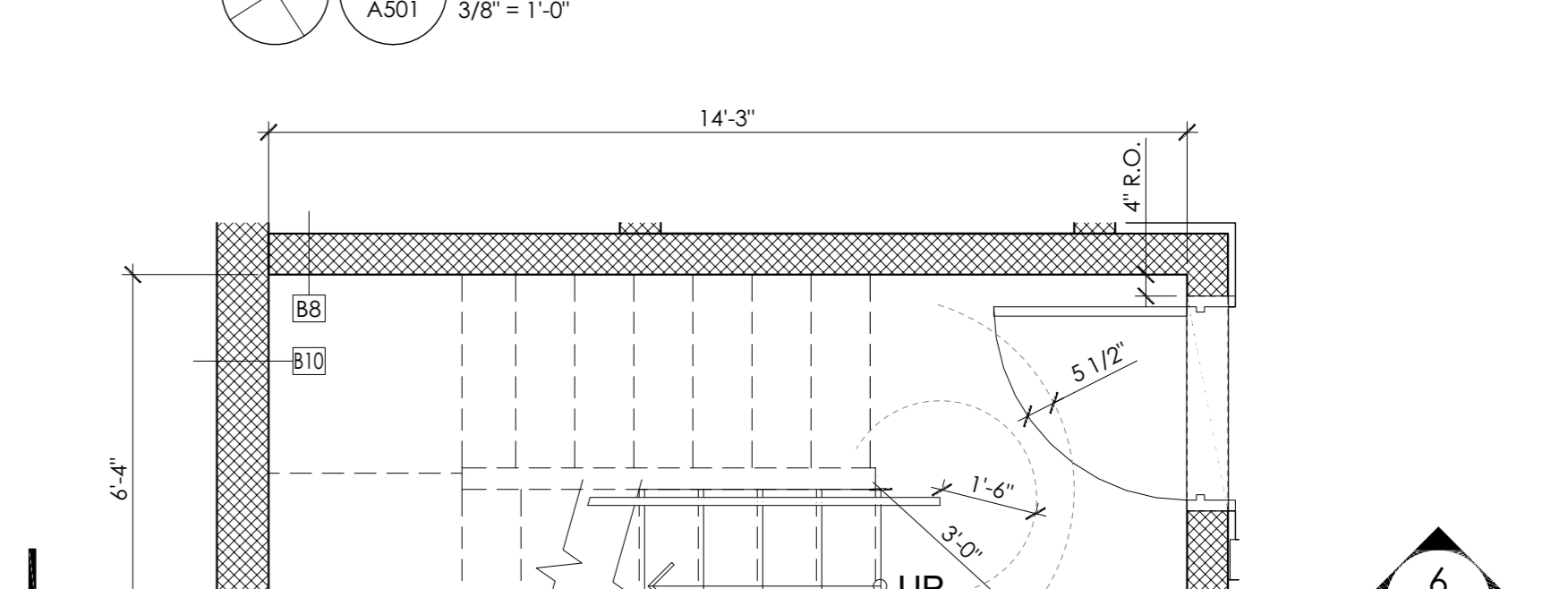
13 SECTION @ ROOF ACCESS
 A501 1 1/2" = 1'-0"



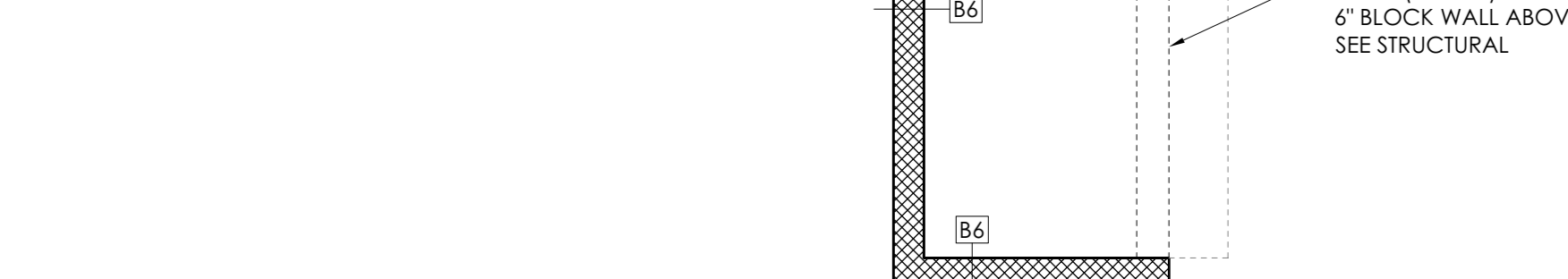
14 SECTION @ ROOF ACCESS
 A501 1 1/2" = 1'-0"



15 SECTION @ ROOF ACCESS
 A501 1 1/2" = 1'-0"



16 SECTION @ ROOF ACCESS
 A501 1 1/2" = 1'-0"



17 SECTION @ ROOF ACCESS
 A501 1 1/2" = 1'-0"

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1. PERMIT SET 03/15/2021

STAIR PLANS AND SECTIONS
 A501

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 ARCHITECT
 ANDREW MURRAY
 LICENSED ARCHITECT

GENERAL NOTES:

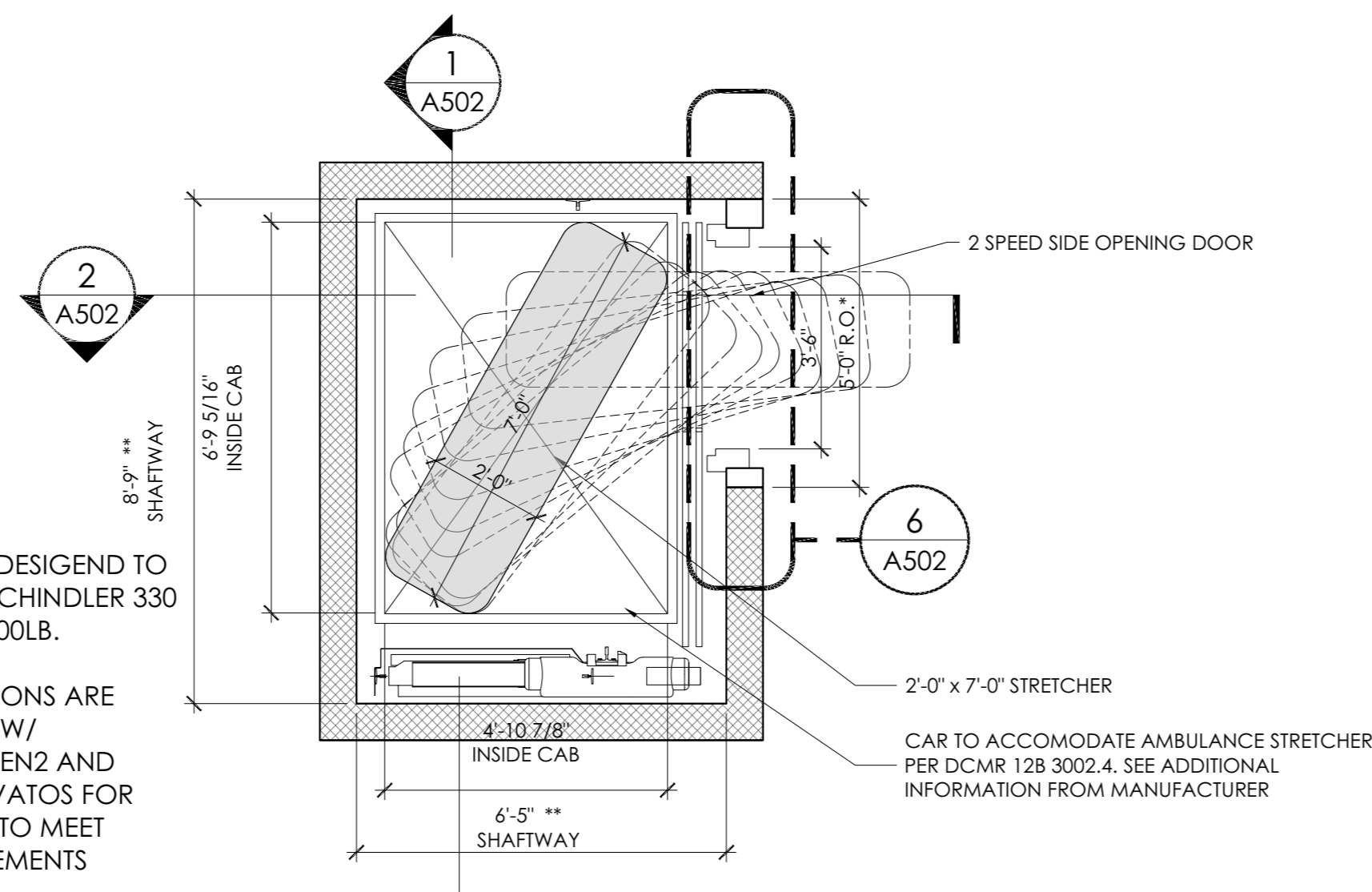
1. LIGHTING: FOR THE LUMINARIES IN EACH ELEVATOR CAB, NOT INCLUDING SIGNALS AND DISPLAYS, THE SUM OF THE LUMENS DIVIDED BY THE SUM OF THE WATTS SHALL BE NO LESS THAN 35 LM/W, PER DC ENERGY CODE 10.4.3.1
2. VENTILATION POWER LIMITATION: CAB VENTILATION FANS FOR ELEVATORS WITHOUT AIR CONDITIONING SHALL NOT CONSUME OVER 0.33 W/CFM AT MAXIMUM SPEED, PER DC ENERGY CODE 10.4.3.2
3. STANDBY MODE: WHEN STOPPED AND UNOCCUPIED WITH DOORS CLOSED FOR OVER 15 MINUTES, CAB INTERIOR LIGHTING AND VENTILATION SHALL BE DE-ENERGIZED UNLESS REQUIRED FOR OPERATION, PER DC ENERGY CODE 10.4.3.3

**ELEVATOR SHAFT DESIGNED TO ACCOMMODATE SCHINDLER 330 MRL ELEVATOR - 3000LB.

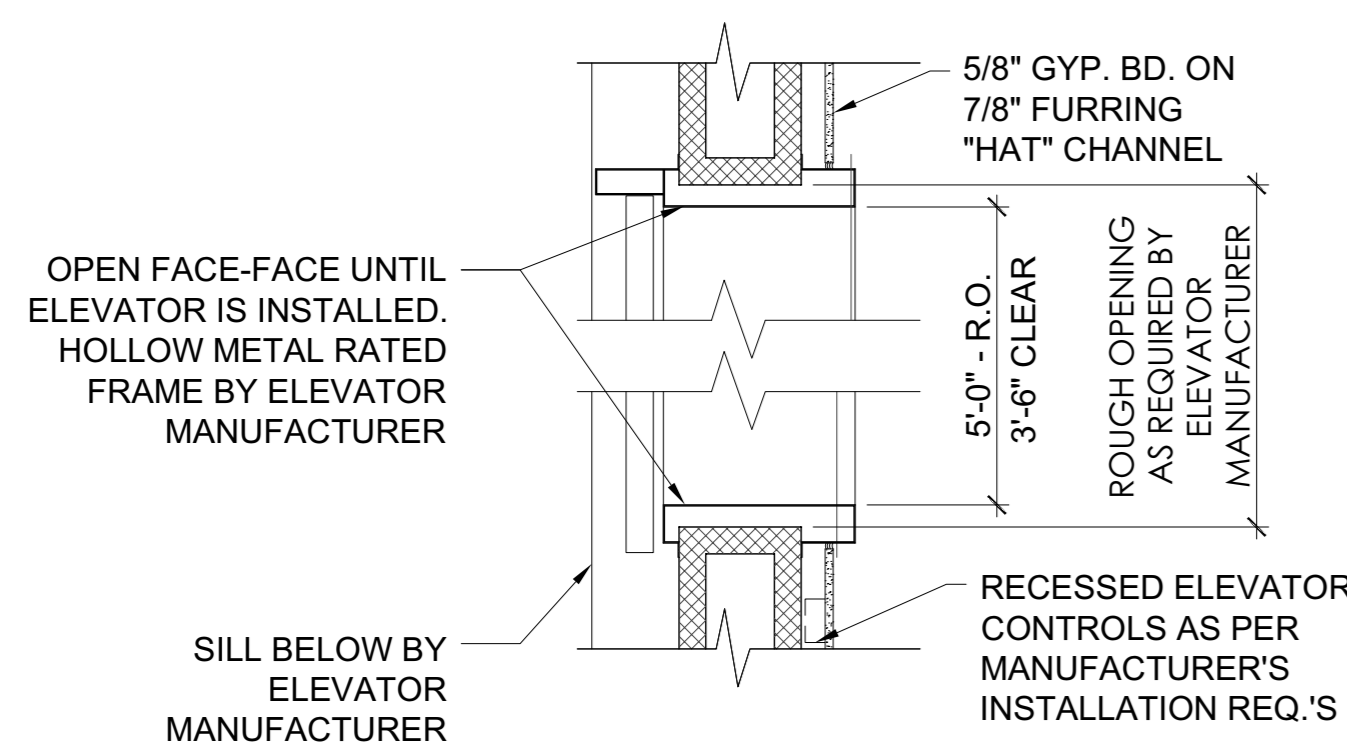
SHAFTWAY DIMENSIONS ARE ALSO COMPATIBLE W/ EQUIVALENT OTIS GEN2 AND THYSSENKRUPP ELEVATORS FOR 3000LB ELEVATOR TO MEET STRETCHER REQUIREMENTS

**ELEVATOR SHAFT DESIGNED TO ACCOMMODATE SCHINDLER 330 MRL ELEVATOR - 3000LB.

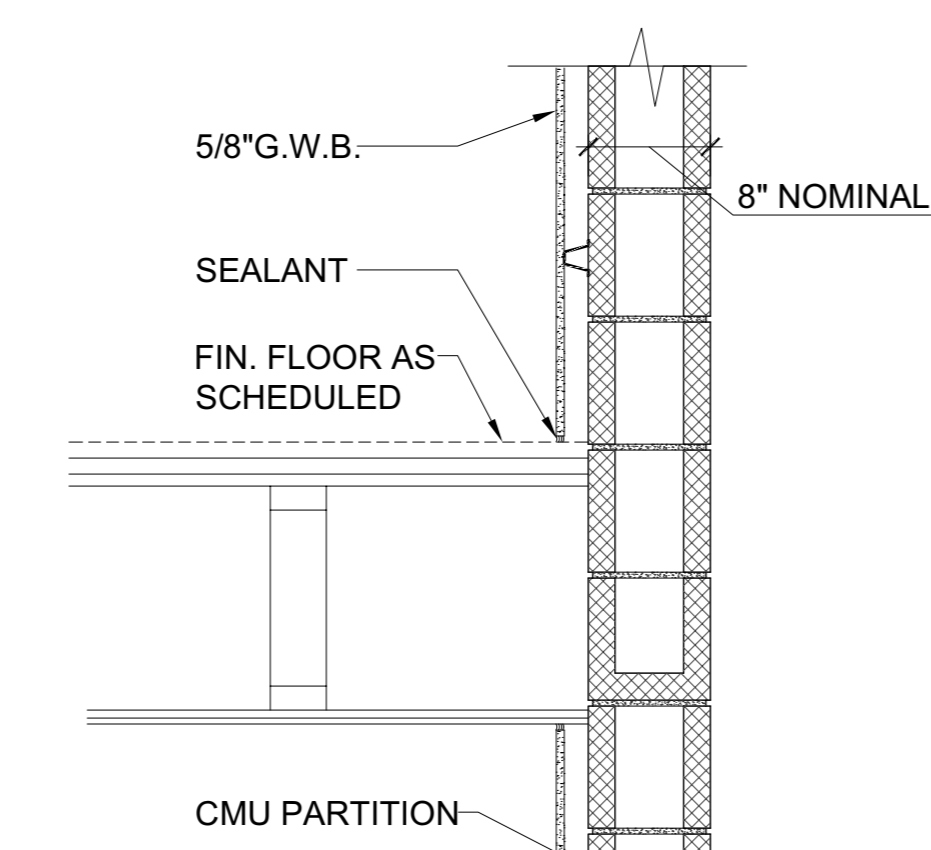
SHAFTWAY DIMENSIONS ARE ALSO COMPATIBLE W/ EQUIVALENT OTIS GEN2 AND THYSSENKRUPP ELEVATORS FOR 3000LB ELEVATOR TO MEET STRETCHER REQUIREMENTS



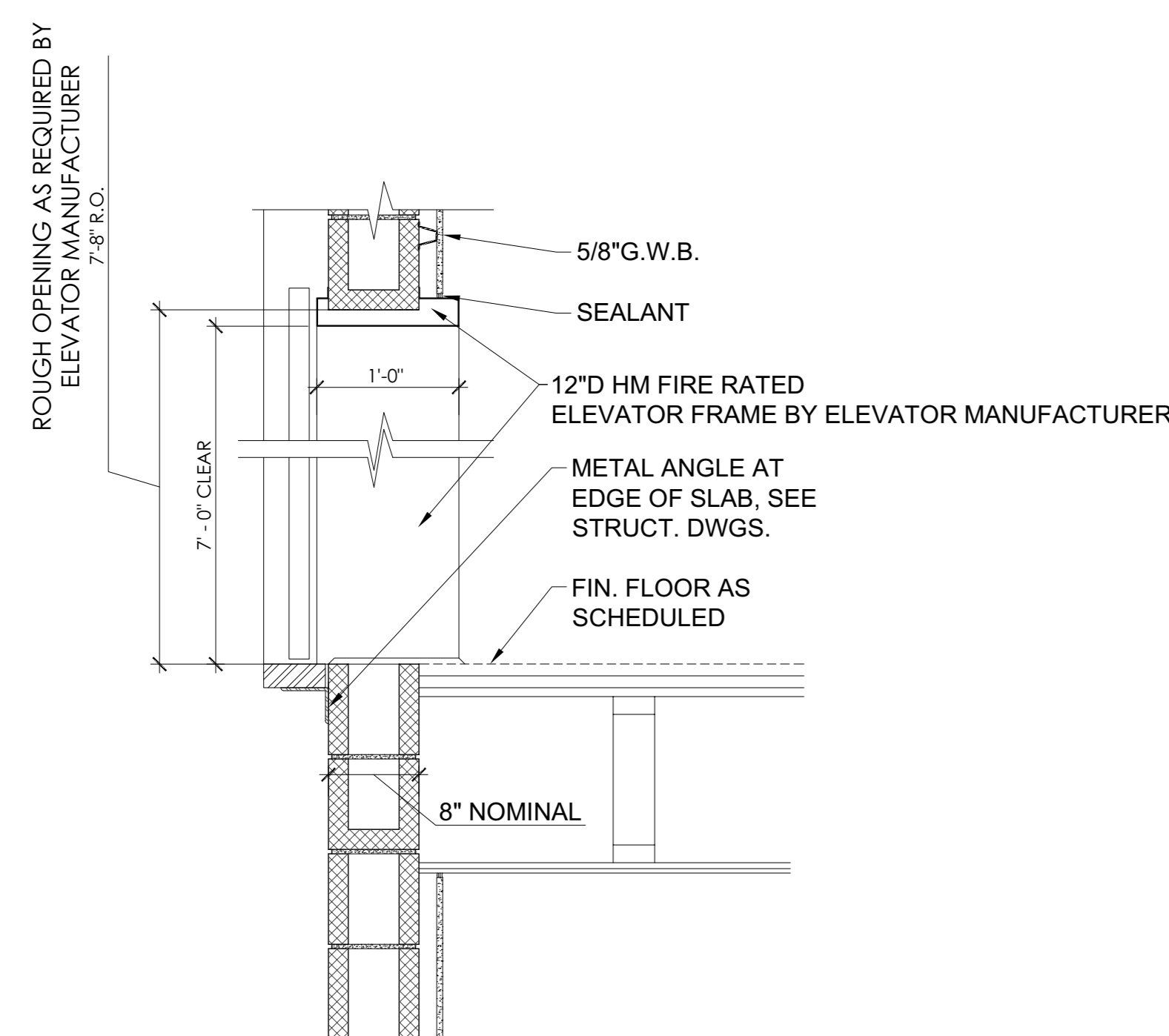
3 TYPICAL ENLARGED ELEVATOR PLAN
A502 3/8" = 1'-0"



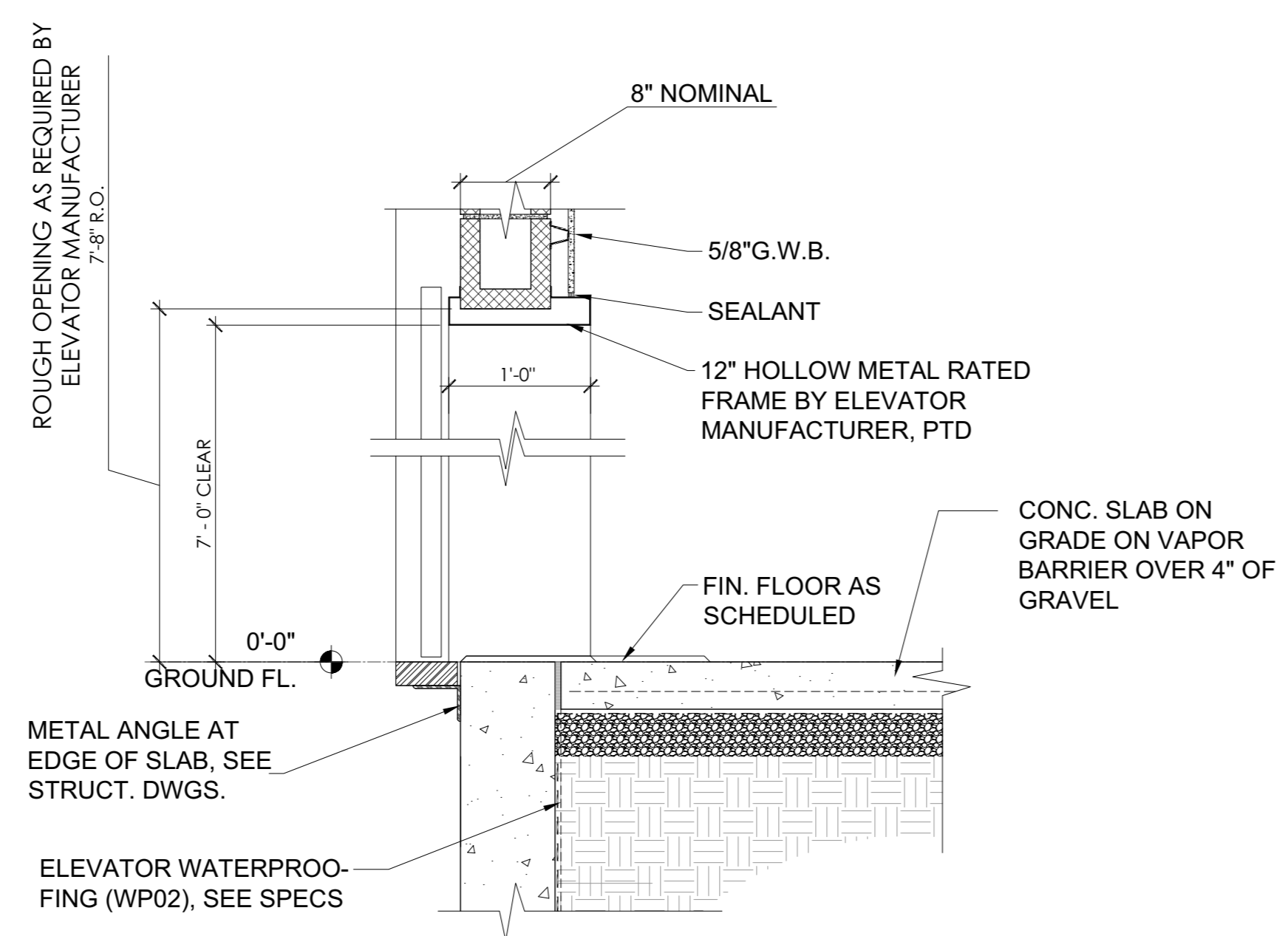
6 STAIR 1 - ENLARGED SECTION
A501 1" = 1'-0"



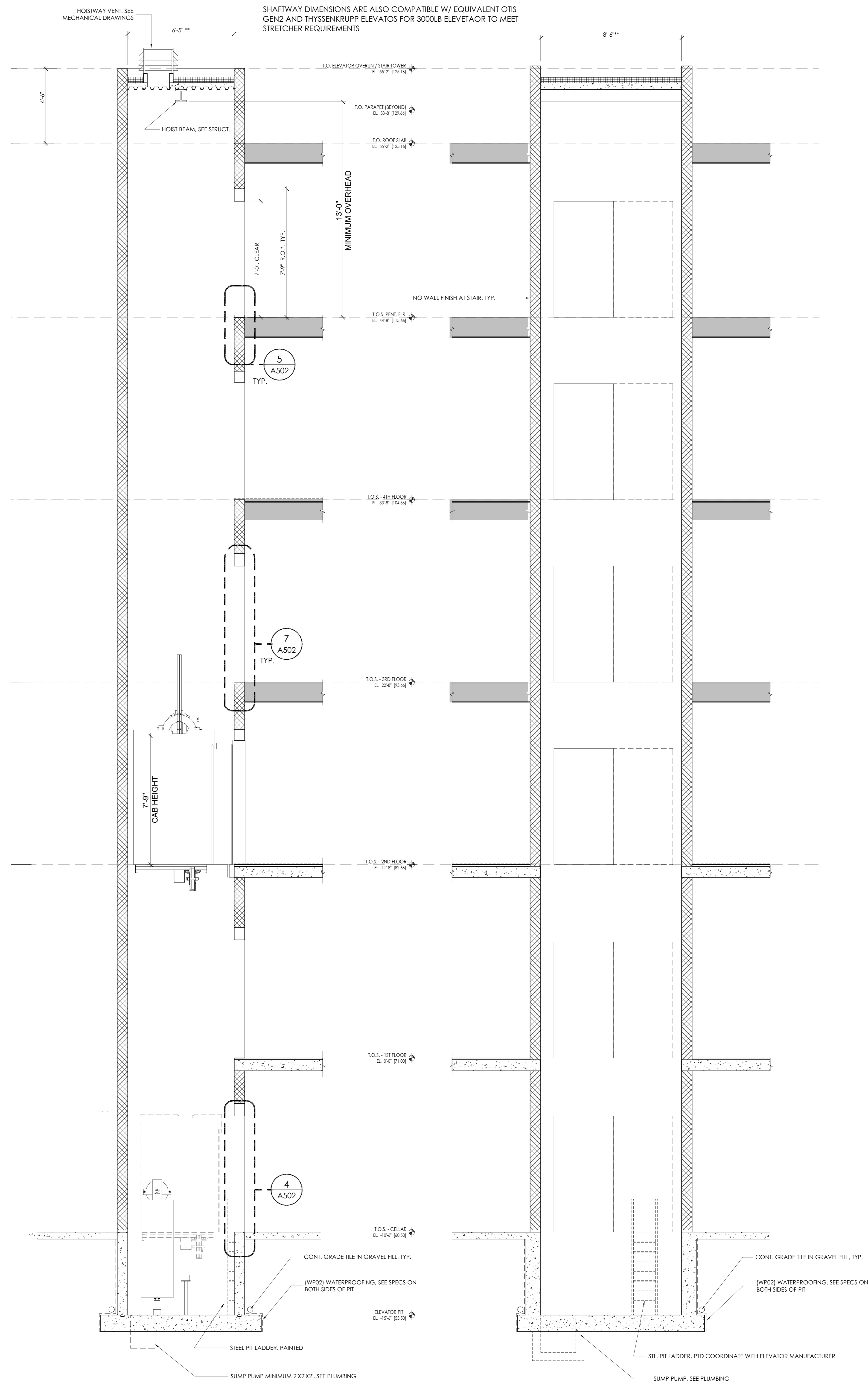
5 STAIR 1 - ENLARGED SECTION
A501 1" = 1'-0"



7 STAIR 1 - ENLARGED PLAN - FIRST FLOOR
A501 3/8" = 1'-0"



4 STAIR 1 - ENLARGED SECTION
A501 1" = 1'-0"



2 ENLARGED ELEVATOR SHAFT SECTION
A502 3/8" = 1'-0"

1 ENLARGED ELEVATOR SHAFT SECTION
A502 3/8" = 1'-0"

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ISSUE
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