







3 3D ILLUSTRATIONS - 3D ILLUSTRATIONS
A201 N.T.S

GOVERNMENT OF THE DISTRICT OF COLUMBIA PERMIT OPERATIONS DIVISION PLANS APPROVED Permit No. B2109090 Date 02/14/23

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits

AVENUE SE

1341 Pennsyllvania Avene SE, Washington, DC 20003

PROJECT

1341 PENNSYLVANIA

4300 Forbes Blvd #130 Lanham, MD 20706 301.341.3435 PROJECT TEAM ARCHITECT Andrew Murray, AIA STUDIO MUZZ ARCHITECTS, PLLC

FESCUM, INC

443 2nd Street, SE Washington, DC 20003 andy@studiomuzz.com +1.202.766.4007 STRUCTURAL ENGINEER Om Sharma, PE 3D STRUCTURAL ENGINEERS, INC

www.3dsengineers.com +1.301.986.8458 MECHANICAL ENGINER Mario Obando PE MEP 4PERMITS 13612 Ansel Terrace Germantown, MD 20874

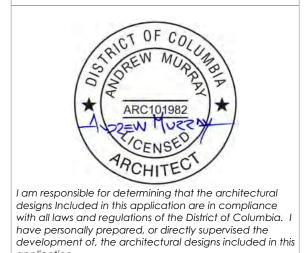
4903 Auburn Avenue, #204 Bethesday, MD 20814

www.mep4permits.com CIVIL ENGINEERING Ajay K Sharma, PE DOMINION ENGINEERS, INC 10432 Balls Ford Road #300 Manassas, VA 20109

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703.291.1700

LANDSCAPE ARCHITECT Eric J Sturm, RLA DOMINION ENGINEERS, INC. 10432 Balls Ford Road #300 Manassas, VA 20109 703.291.1700



ISSUE

O. PERMIT SET 03/15/2021 0. PERMIT COMMENTS

ELEVATIONS NORTH & SOUTH

Board of Aoning Adjustmer
District of Columbia
CASE NO. 21372

PLANS APPROVED Permit No. B2109090 Date 02/14/23 GENERAL NOTES: _ CMU STAIR TOWER, FLUID APPLIED ROLL ON WEATHER BARRIER W/ CLEAR FINISH 1. DO NOT SCALE DRAWINGS - DIMENSIONS GOVERN. VERIFY DIMENSIONS STEEL GUARD, PTD BLACK. TO 42" ABOVE WALKING SURFACE. NOT TO ALLOW SPHERE 21" TO PASS. ALIGN PICKETS WITH VERTICAL SEAMS OF FIBER CEMENT CLADDING, TYP. ILLUSTRATED WITH FIELD AND AS BUILT CONDITIONS. IF DISCREPANCIES ARE DISCOVERED BETWEEN FIELD AND AS BUILT CONDITIONS AND DRAWINGS, CONTACT ARCHITECT FOR RESOLUTION BEFORE T.O. ELEVATOR OVERUN EL. 60'-7" [129.58] to these plans. Changes require a revision TOP OF PARAPET @ PENTHOUSE LEVEL PROVIDE METAL CAP, COLOR TO MATCH SIDING permit with the revised plans. Trade Permits 2. X DOOR KEY TAG, SEE A801 are required for trade work. e.g. Electrical or Plumbing 3. $\langle \overline{\chi} \rangle$ WINDOW TAG, SEE A801 4. SEE PLANS AND SECTIONS FOR ROUGH OPENINGS DIMENSION. 5. ALL WINDOWS TO HAVE A SILL 3'-0" ABOVE FINISH FLOOR. COORDINATE ROUGH OPENING HEIGHT ACCORDINGLY. SEE PLANS AND SECTIONS SOFTJOINT AT TRANSITION

BETWEEN FULL FACE
BRICK AND THIN BRICK FOR FURTHER INFORMATION 3 STACKED SOLDIER COURSES. NOTE TRANSITION FROM FULL SIZE BRICK TO – FACE BRICK. NOTE BRICK 3 PATTERN 6. AREA OF GLAZING: METAL PARAPET CAP, COLOR
TO MATCH FIBER CEMENT PER WALL(SEE ELEVATION DRAWINGS): NORTH - 38.6%; SOUTH - 29.8%; EAST - 1.3%; WEST - 0.1% TOTAL AREA OF WALL: 18,098 SF TOTAL AREA OF GLAZING: 1,065 SF PERCENTAGE OF GLAZING: 5.9% - FF @ ROOF TRACE [115.58] 7. Aw = 60 Ae = 105 Ar/4 = 266.25. Both Aw and Ae are less than Ar/4 per DC Energy Code 5.5.4.5 a. 8. SEE ALL ELEVATION FOR BALANCE OF NOTES 9. PROVIDE SAMPLES OF ALL MATERIALS / PAINT COLORS / WINDOW FINISHES PRIOR TO ORDER OF PURCHASE. RETURN FACE BRICK 2 MASONRY UNITS FULL PANEL FULL PANEL 10. ALL JULIET GUARDRAILS ON WINDOWS TO MEET THE REQUIREMENTS OF THIN BRICK AT SIDE -DCMR 12A 1015 TO BE: MIN 42" ABOVE F.F, NOT ALLOW PASSAGE OF 4" MATERIAL KEY: X FIBER CEMENT SIDING FC FIBER CEMENT PANELS, THROUGH COLOR: CHARCOAL OR GREY (BY SUBMITTAL TO ARCHITEC) FACE BRICK - PROVIDE SAMPLES PRIOR TO ORDERING - TYP. BR.1 FACE BRICK - STANDARD MODULAR - ENDICOTT DESERT IRONSPOT LIGHT (SMOOTH) (SMOOTH) BR2 FACE BRICK - STANDARD MODULAR - ENDICOTT MANGANESE IRONSPOT (VELOUR OR ARTISA) (BR.2T) THIN BRICK - STANDARD MODULAR - ENDICOTT MANGANESE IRONSPOT (VELOUR OR ARTISAN) $\langle \overline{\mathtt{BR3}} \rangle$ GLAZED BRICK. STANDARD FACE BRICK AND THIN BRICK. THIN BRICK ON JULIET GUARDRAIL $\langle \overline{STN.} \rangle$ Cast stone banding, 4". Color to match brick 1. CAST STONE CAP, SLOPED. WITH DRIP EDGE. COLOR TO MATCH BRICK 1. ARCHITECT PROVIDE ST STUCCO PARGING OVER BLOCK 1341 Pennsyllvania Avene SE, Washington, DC 20003 (BEYOND), PTD AVENUE T.O.S. - FIRST FLOOR (ENTRY) 2 WYTHE BRICK WALL AT WINDOW WELL; — SEE STRUCTURAL 1 WEST ELEVATION T.O.S. - CELLAR (REAR)

EL. -8'-11" [60.08]

T.O.S @ AREAWAY

EL. -9'-2" [59.86] WALL AREA: 7,736 SF GLAZING AREA: 60 SF PERCENTAGE OF GLAZING: 0.7% STEEL GUARD, PTD BLACK. 42" ABOVE WALKING SURFACE.
SPACE GAURD NOT TO ALLOW 21" SPHERE TO PASS.

ALIGN PICKETS WITH VERTICAL SEAMS OF FIBER CEMENT CLADDING, TYP. TOP OF PARAPET @ PENTHOUSE SIDE WALL PROVIDE METAL CAP, COLOR TO MATCH SIDING CLIENT FESCUM, INC 4300 Forbes Blvd #130 Lanham, MD 20706 301.341.3435 3 X SOLDIER COURSE -METAL PARAPET CAP, COLOR TO MATCH SIDING -BR.3 GLAZED BRICK @ MIDDLE SOLDIER COURSE, SPACE 1 IN 3. USE THIN BRICK AT AT SIDE METAL CAP, COLOR TO _ MATCH FIBER CEMENT CAST STONE CAP AT BRICK LOCATIONS (STN.) PROJECT TEAM ARCHITECT Andrew Murray, AIA T.O. PARAPET EL. 49'-1" [118.08] STUDIO MUZZ ARCHITECTS, PLLC 443 2nd Street, SE Washington, DC 20003 andy@studiomuzz.com +1.202.766.4007 STRUCTURAL ENGINEER Om Sharma, PE 3D STRUCTURAL ENGINEERS, INC. 4903 Auburn Avenue, #204 Bethesday, MD 20814 40" + 40" (FC) www.3dsengineers.com +1.301.986.8458 MECHANICAL ENGINER Mario Obando PE MEP 4PERMITS 13612 Ansel Terrace 4" NOMINAL BANDING CORBEL 1/2" -Germantown, MD 20874 +1.301.814.1009 www.mep4permits.com CIVIL ENGINEERING Ajay K Sharma, PE DOMINION ENGINEERS, INC. 10432 Balls Ford Road #300 Manassas, VA 20109 703.291.1700 LANDSCAPE ARCHITECT Eric J Sturm, RLA DOMINION ENGINEERS, INC. 10432 Balls Ford Road #300 Manassas, VA 20109 703.291.1700 ST T.O.S. - @ UNIT ENTRY EL. 2'-0" [71.00] I am responsible for determining that the architectural designs Included in this application are in compliance with all laws and regulations of the District of Columbia. I have personally prepared, or directly supervised the development of, the architectural designs included in this

GOVERNMENT OF THE DISTRICT OF COLUMBIA PERMIT OPERATIONS DIVISION

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1341 PENNSYLVANIA

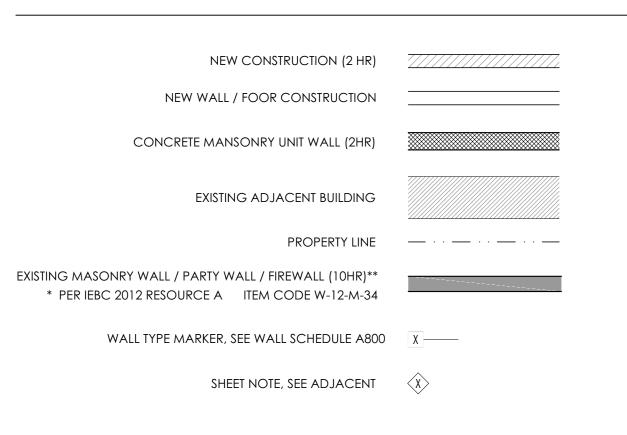
03/15/2021 1. PERMIT COMMENTS - REV 1 8/8/2022

ELEVATIONS EAST & WEST

GENERAL NOTES:

- 1. DO NOT SCALE DRAWINGS DIMENSIONS GOVERN. VERIFY DIMENSIONS ILLUSTRATED WITH FIELD AND AS BUILT CONDITIONS. IF DISCREPANCIES ARE DISCOVERED BETWEEN FIELD AND AS BUILT CONDITIONS AND DRAWINGS, CONTACT ARCHITECT FOR RESOLUTION BEFORE PROCEEDING.
- 2. REFER TO WALL SCHEDULE, A800 FOR INFORMATION ON ASSEMBLY.
- 3. WINDOW ROUGH OPENING (R.O) DIMENSIONS SHOWN ARE FROM TOP OF FLOOR SHEATHING.
- 4. SEE ELEVATIONS FOR BALANCE OF NOTES FOR WALL FINISHES

DRAWING LEGEND:



SHEET NOTES:

- 1. TYPICAL INTERIOR PARTITION ON FLOORS 2 THROUGH 5 TO BE TYPE 1/A800 W/ 5/8 "TYPE X DRYWALL. SEE
- DETAIL 11/A800 FOR PENETRATION AT RATED CEILING ASSEMBLY. 2. TYPICAL INTERIOR PARTITION TO BE 2/A800 ON CELLAR AND FIRST FLOOR OR AGAINST MASONRY Partitions with 1/2 "drywall.
- 3. HORIZONTAL SEPARATION PER §510.2 WITH TYPE 1A CONSTRUCTION BELOW A FLOOR ASSEMBLY 3HR MIN 4. BUILD UP FLOOR @ COMMON AREA WITH 2X CONSTRUCTION.
- 5. ROOF HATCH PROVIDING ACCESS TO ROOF PER REQUIREMENTS OF IBC 1009.16 AND AS PERMITTED BY 1009.16.1 EXCEPTION. FOR SERVICE AND MAINTENANCE OF MECHANICAL EQUIPMENT AND GREEN ROOF ONLY. NOT AN OCCUPIED ROOF. ACCESS PERMITTED VIA LADDER COMPLYING WITH THE REQUIREMENTS OF DC MECHANICAL CODE 306.5
- 6. GREEN ROOF, SEE GAR PLANS FOR DETAILS
- 7. ROOFTOP MECHANICAL EQUIPMENT, SEE MECHANICAL
- 8. ELEVATOR OVERRUN
- 9. COLUMN BEYOND, SEE STRUCTURAL
- 10. TOP OF PARAPET AT REAR OF BUILDING MIN. 3'-6" FROM FINISH FLOOR.
- 11. TOP OF PARAPET AT FRONT OF THE BUILDING TO CORRESPOND TO BRICK COURSING AT FRONT ELEVATION. SEE ELEVATIONS. FINISH PARAPET TO BE A MINIMUM 3'-6 ABOVE FINISH FLOOR AT EXTERIOR DECK.
- 12. TOP OF FINISH FLOOR AT SHARED ROOF TERRACE 1'-0" ABOVE ROOF SLAB. BUILT UP FLOOR WITH PT WOOD SLEEPERS OR PEDESTAL SYSTEM. ALIGN FINISH FLOOR WITH ADJACENT INTERIOR SPACE. MAXIMUM

ELEVATION DIFFERENCE 1.5" PER ACCESSIBILITY REQUIREMENTS. MAINTAIN DRAINAGE.

- 13. TOP OF PARAPET ON PENTHOUSE ROOF TO BE 2'-8" ABOVE ROOF SLAB.
- 14. PROVIDE STEEL GUARDRAIL, PTD TO 42" ABOVE FINISH FLOOR. RAIL TO HAVE NO OPENINGS THAT ALLOW PASSAGE OF SPHERE 21" IN DIAMETER. ONLY TOP RAIL REQUIRED. PLACE PICKETS AS ALIGNED AS DEPICTED IN ELEVATIONS. TYPICALLY ALIGNED WITH VERTICAL SEAM OF FIBER CEMENT SIDING. PROVIDE 2" STEEL BAR WITH SQUARE OR RECTANGULAR PROFILE.
- 15. TOP OF STAIR TOWER TO ALIGN WITH ELEVATOR OVERRUN WHERE INDICATED.
- 16. INTENSIVE PLANTER, SEE GAR PLANS FOR PLANTING AND DETAIL
- 17. RAMP; MAX RISE 1:12. TWO SEPARATE RISES OF 6" WITH 60" RAMP BETWEEN. NO HANDRAIL. SEE PLANS.
- 18. JULIET GUARDRAIL, SEE STAIR SHEETS 19. EXISTING MASONRY PARTY WALL, SEE STRUCTURAL
- 20. CONCRETE LINER WALL, 8" SEE STRUCTURAL. MAINTAIN PLAN CLEARANCES AND COORDINATE WALL DIMENSION WHERE EXISTING PARTY WALL THICKNESS MAY VARY AT CELLAR LEVEL ABOVE FIRST FLOOR.
- 21. UNDERPINNING SEE STRUCTURAL
- 22. STAIR OPENING IN CONCRETE SLAB AT DUPLEX DWELLING UNIT. COORDINATE WITH PLANS TO ENSURE STAIR CLEARANCES. INFILL WITH 2X CONSTRUCTION AS REQUIRED TO PLAN FLOOR DIMENSIONS AND TO MAINTAIN REQUIRED HEAD CLEARANCES AT STAIR.
- 23. PROVIDE BEAM AND BREAK IN LINER WALL AT ELEVATOR ENTRANCE TO ENSURE CLERANCES, SEE STRUCTURAL AND ARCHITECTURAL PLANS
- 24. NO UNDER-SLAB CONTINUOUS INSULATION AT CORRIDOR / SEMI-HEATED LOCATIONS
- 25. WOOD STAIR AND FLOOR FRAMING IN 2HR STAIR ENCLOSURE. SEE A501. COORDINATE STAIR RUN WITH FINISH FLOOR AT CORRIDOR LOCATIONS. MAKE ALLOWANCE FOR FLOOR CONSTRUCTION FINISH FLOOR INCLUDING HOMASOTE BOARD AND SCHEDULED FLOOR FINISH. SEE A800. MAXIMUM CHANGE IN
- ELEVATION BETWEEN STAIR LANDING AND CORRIDOR PER ADA REQUIREMENTS 1/2". SEE 003. 26. PROVIDE HAUNCH IN POURED CONCRETE WALL. MASONRY WALL ABOVE TO ALIGN WITH PROPERTY LINE
- 27. GUARDRAIL TO 42 INCHES ABOVE ADJACENT FINISH FLOOR. CONSTRUCTION NOT TO ALLOW PASSAGE OF 28. MASONRY WALL ABOVE GRADE TO 42" ABOVE ADJACENT GRADE. FACE BRICK PER ELEVATIONS.

29. PROVIDE SUBSOIL DRAIN AY FOUNDATIONS. SEE \$100 AND 2/\$100.

THE MENT AND IN MINISTER OF THE PARTY OF THE R1.14 UNIT 5 STAIR 2 STAIR 1 T.O.S. - PENT. DECK EL. 46'-7" [115.58] BUILDING HEIGHT: 46'-3 1/4" [114.58] C1.18 R1.18 27 C1.12 UNIT 4.B UNIT 4.A T.O.S. - 4TH FLOOR EL. 34'-7" [103.58] UNIT 3.A UNIT 3.B UNIT 2.B UNIT 2.A TYPE 5A CONSTRUCTION 4 FLOORS ∤ TYPE 14 CONSTRUCTION 1 FLOOR + CELLAR 14'-4" MIN. F.O. BLOCK WALL TO STAIR OPENING UNIT 1.B (BEYOND) DUPLEX F.O. BLOCK TO STAIR OPENING MIN DUPLEX T.O.S. - 1ST FLOOR (ELEVATOR)

EL. 1'-7" [70.58] _______ ------UNIT 1.B UNIT 1.A DUPLEX DUPLEX || EXCEPTION TO GRADE' EXCEPTION TO GRADE' T.O.S. CELLAR (FRONT AREAWAY)

EL. -10'-3" [58.75]

studiomuzz

CLIENT FESCUM, INC 4300 Forbes Blvd #130 Lanham, MD 20706

1341 Pennsyllvania Avene SE,

SE

VENUE

PENNSYLV

Washington, DC 20003

GOVERNMENT OF THE DISTRICT OF COLUMBIA PERMIT OPERATIONS DIVISION PLANS APPROVED

Permit No. <u>B2109090</u> Date <u>02/14/23</u>

T.O. PENTHOUSE PARAPET are required for trade work. e.g. Electrical or Plumbing

T.O. BUILT UP SLAB AT RESIDENTIAL UNIT EL. 1"-11" [70.92]

T.O.S. - 1ST FLOOR (ELEVATOR)

T.O.S. CELLAR (REAR)

AREAWAY

1 LONGITUDINAL SECTION
A301 3/16" = 1'-0"

TO FRINK HITTON ON WHITE STRINK HITTON ON WHITE PRINTS ON WHITE ON A PART OF A WHITE OF A WHITE PART OF A WHIT PART OF A WHITE PART OF A WHITE PART OF A WHITE PART OF A WHITE

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301.341.3435 PROJECT TEAM ARCHITECT Andrew Murray, AIA

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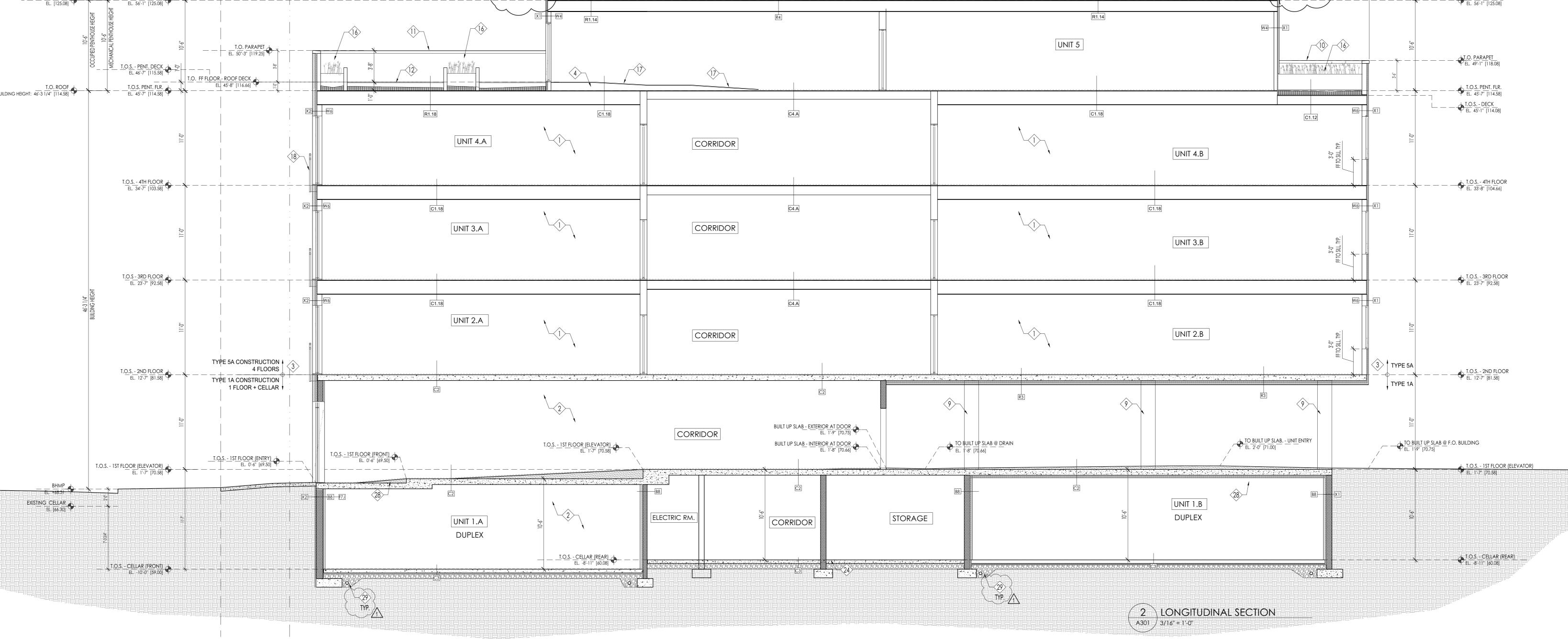
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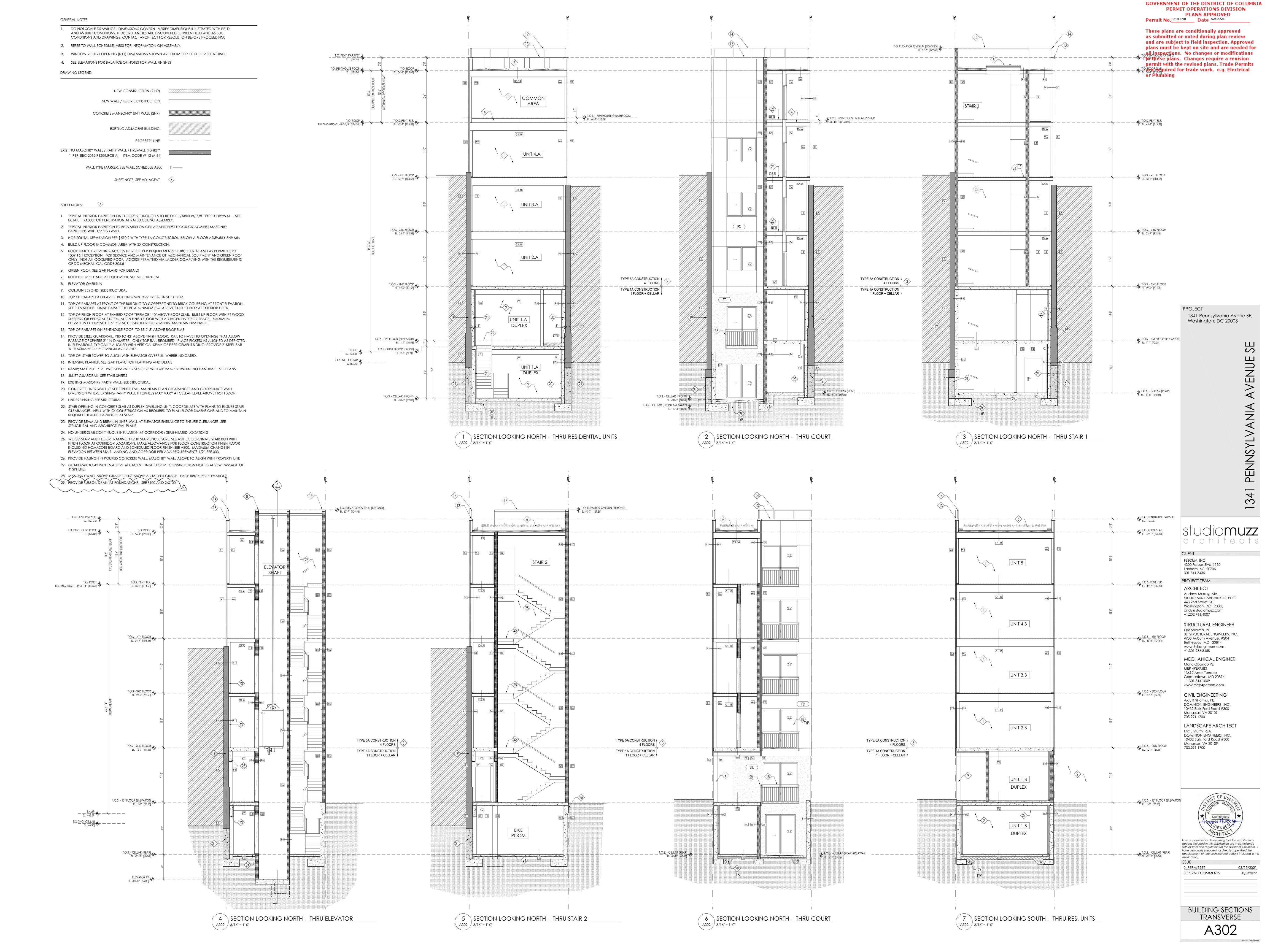


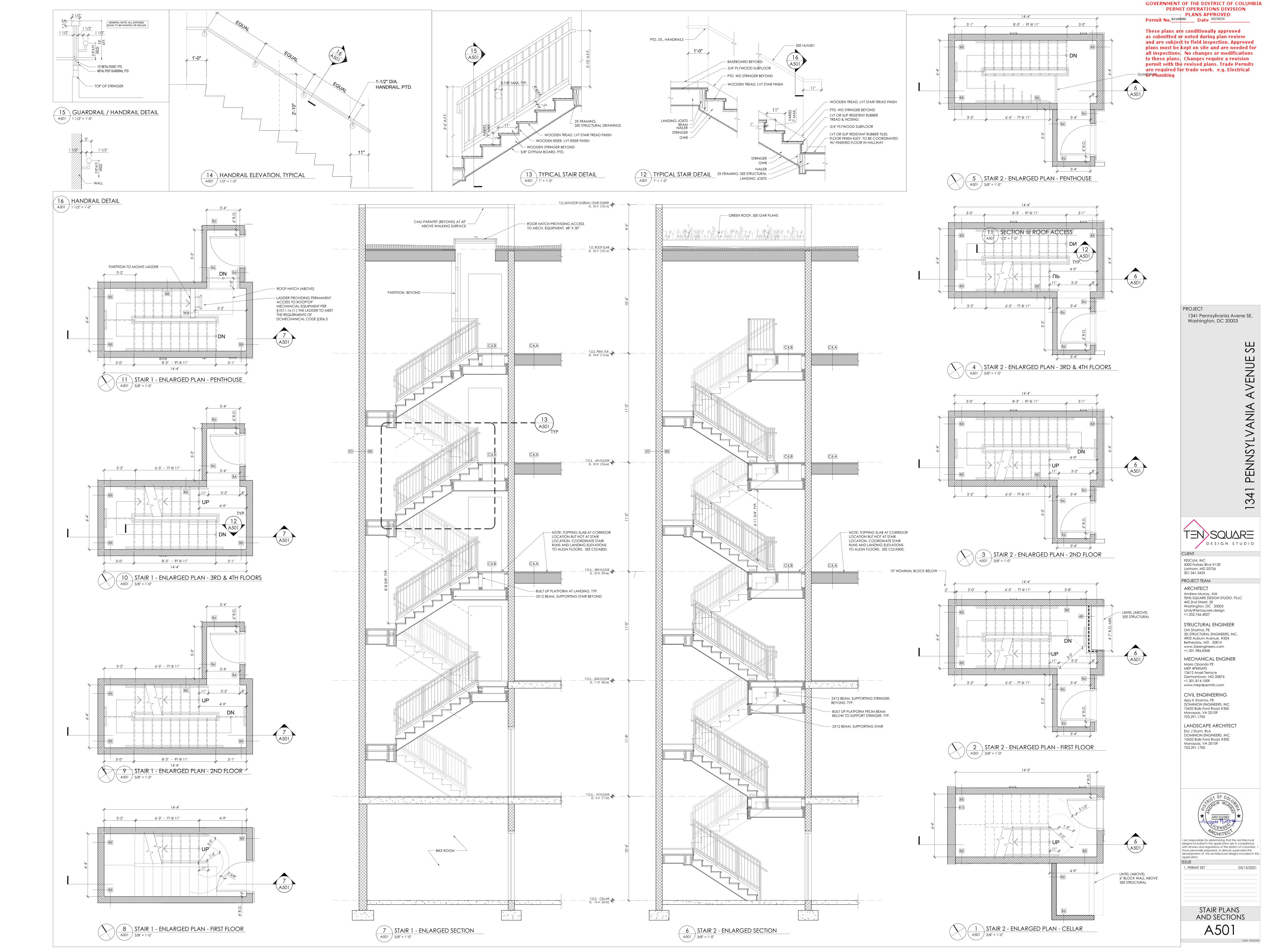
ISSUE O. PERMIT SET 03/15/2021 O. PERMIT COMMENTS 8/8/2022

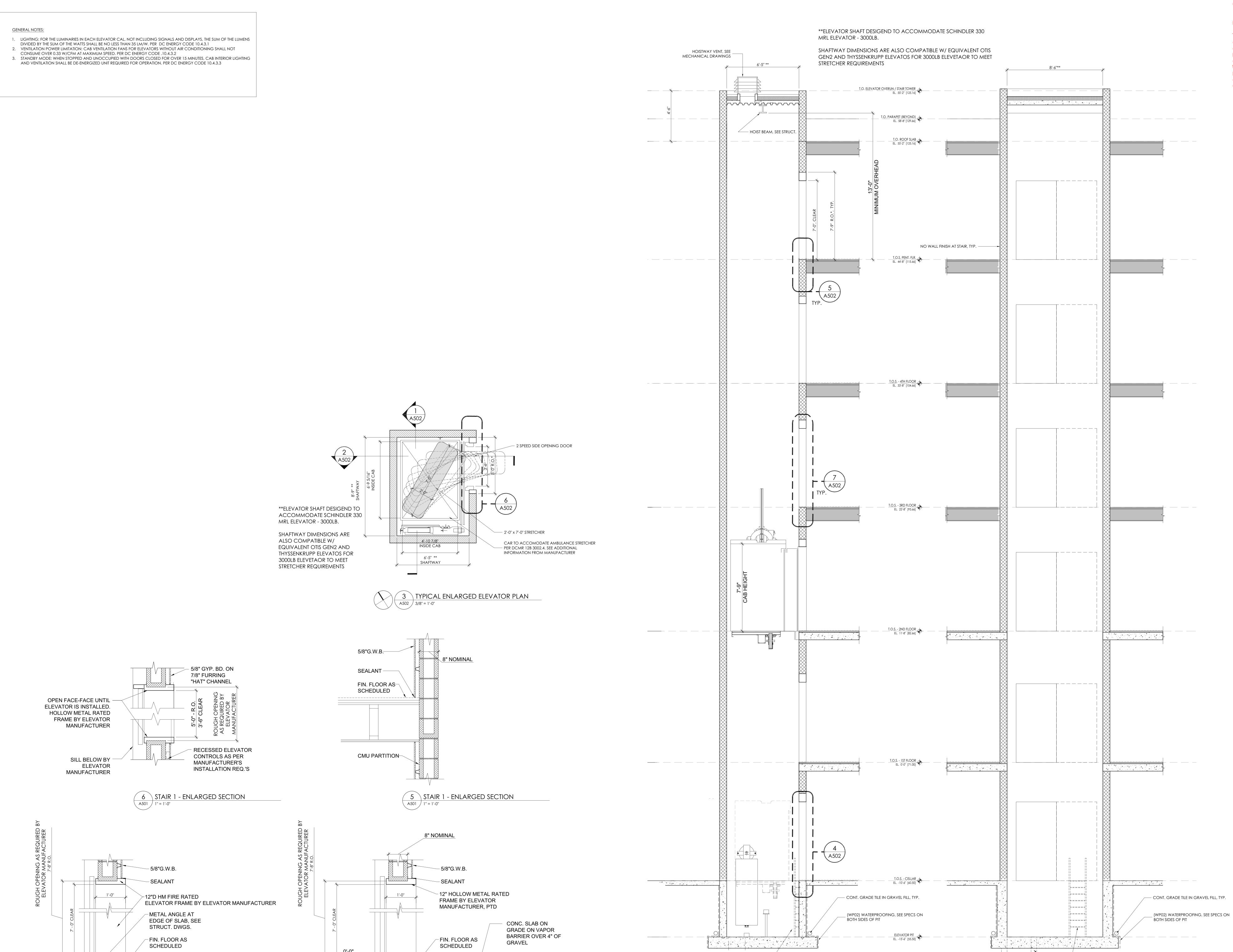
BUILDING SECTIONS LONGITUDINAL

A301









STEEL PIT LADDER, PAINTED

2 ENLARGED ELEVATOR SHAFT SECTION
3/8" = 1'-0"

- SUMP PUMP MINIMUM 2'X2'X2', SEE PLUMBING

GROUND FL.

METAL ANGLE AT EDGE OF SLAB, SEE_STRUCT. DWGS.

ELEVATOR WATERPROO--FING (WP02), SEE SPECS

4 STAIR 1 - ENLARGED SECTION
A501 1" = 1'-0"

8" NOMINAL

7 STAIR 1 - ENLARGED PLAN - FIRST FLOOR
A501 3/8" = 1'-0"

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. B2109090 Date 02/14/23

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PROJECT
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Washington, DC 20003

LVANIA AVENUE SE

TEN SQUARE
DESIGN STUDIO

FESCUM, INC 4300 Forbes Blvd #130 Lanham, MD 20706 301.341.3435 PROJECT TEAM

PROJECT TEAM

ARCHITECT

Andrew Murray, AIA

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ISSUE

 ISSUE
 03/15/2021

—— STL. PIT LADDER, PTD COORDINATE WITH ELEVATOR MANUFACTURER

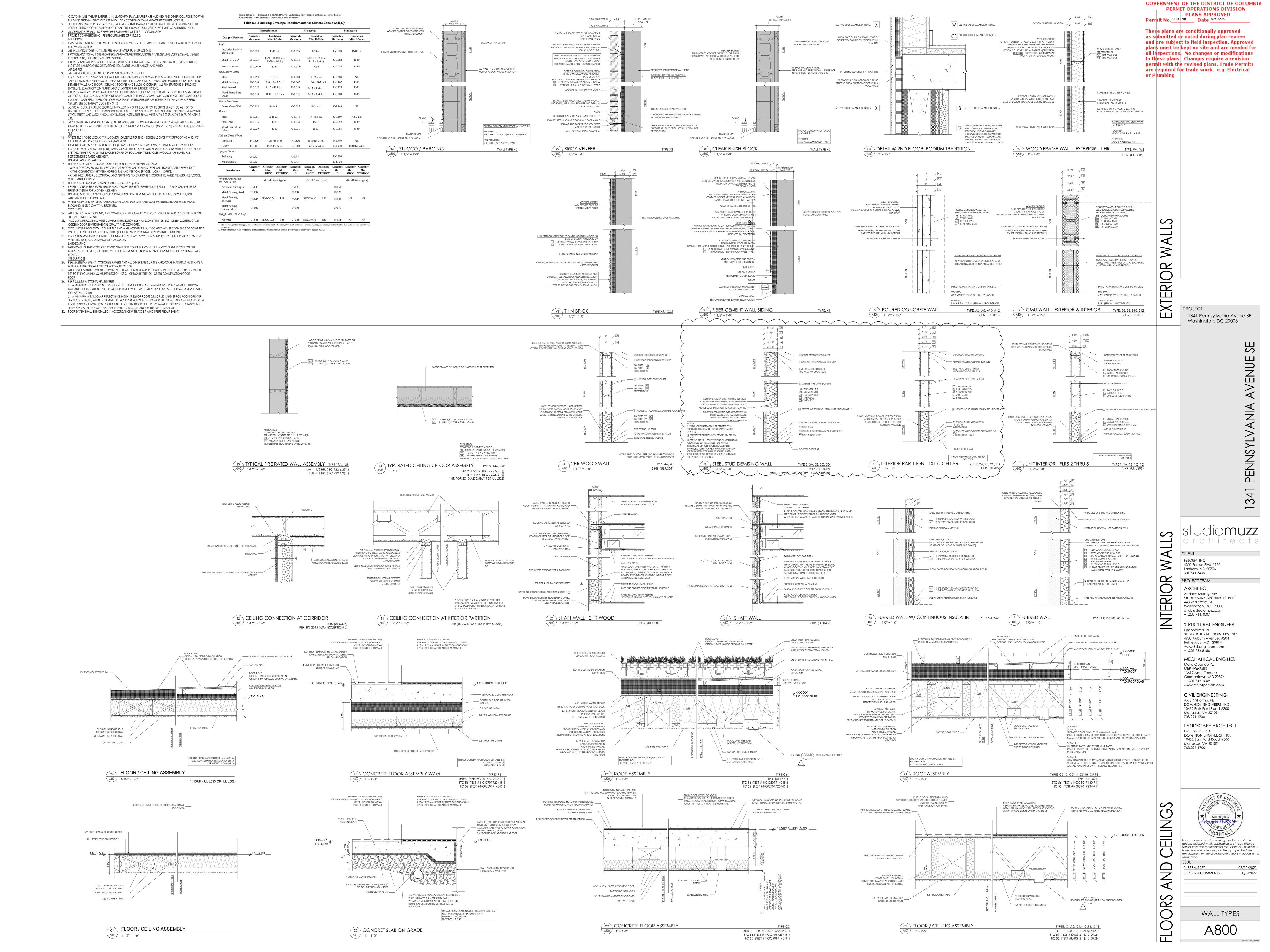
— SUMP PUMP, SEE PLUMBING

1 ENLARGED ELEVATOR SHAFT SECTION

A502 3/8" = 1'-0"

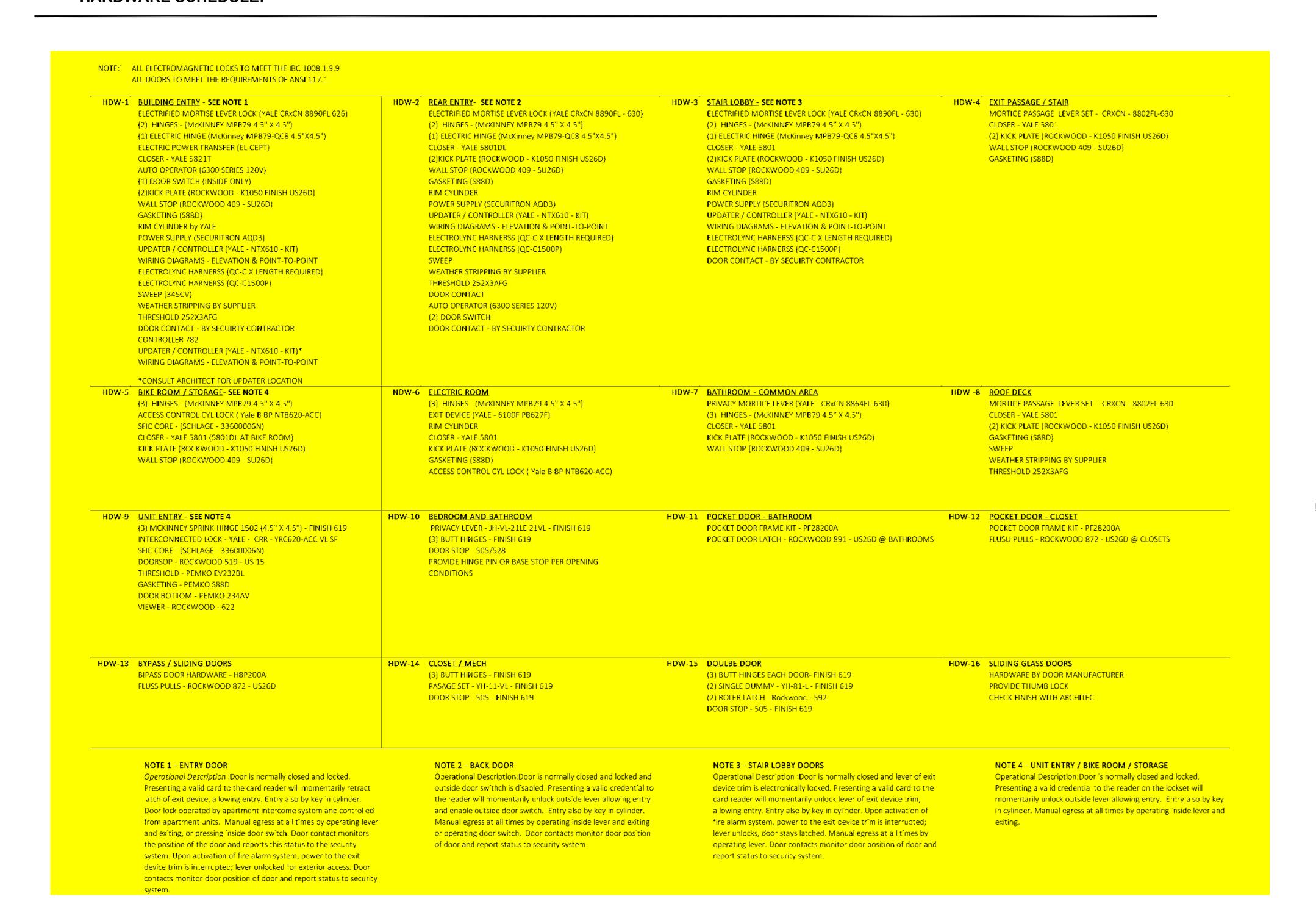
ELEVATOR & STAIR PLANS AND SECTIONS

A502

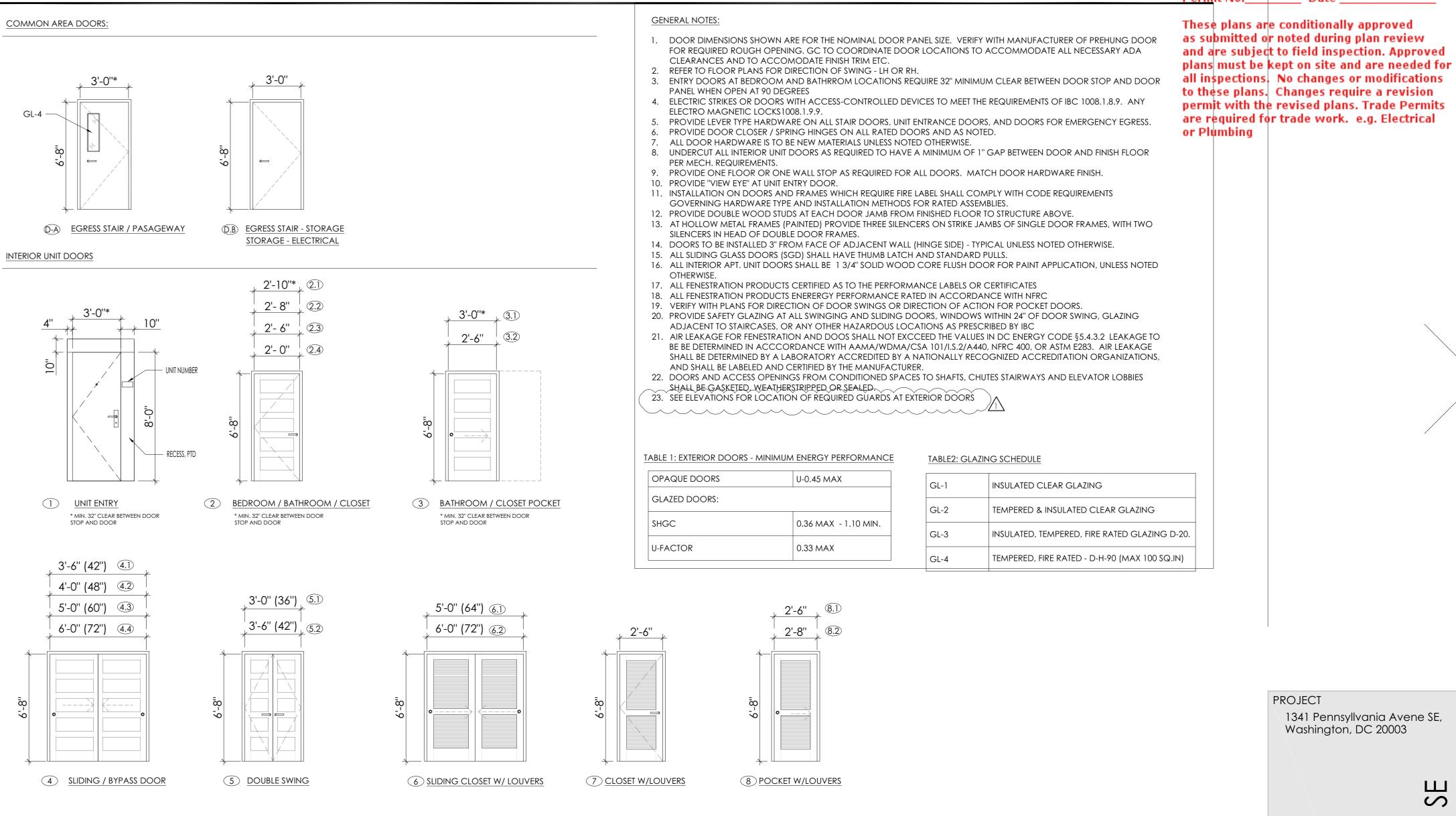


	DOOR	DOOR TY		1	FIRE	HARDWARE		MATERIAL			DETAILS	# (⊢	ENERGY	
ROOM NAME / LOCATION	TAG #	ELEV. # OPE	RATION	SIZE ¹	RATING ²	TYPE	DOOR	FRAME	GLASS	HEAD	JAMB	SILL UNI	TS ⁵ U	J-FACTOR SHGC	REMARKS
EXTERIOR DOORS															
Common Area															
RESIDENTIAL BUILDING ENTRY	E.1	E.1 SWI	ING	3'-6" X 7'-0"	20 MIN.	HDW-1	WD OR ALCL	WD OR MTL.	GL-3			1	0.	0.33 MAX SEE E.4-E.7	FULL LIGHT, GL-3; PROVIDE FOB AND APARTMENT ENTRY SYSTEM
REAR ENTRY	E.2	E.2 SWI		3'-0" X 7'-0"	90 MIN.	HDW-2	MTL	MTL	GL-4			1		NR NR	FOB SYSTEM LOCK; SEMI-HEATED
ROOF DECK	E.3	E.3 SWI		3'-0" X 6'-8"	20 MIN.	HDW-8	WD OR ALCL	WD OR MTL.	GL-3			1	0.	0.33 MAX SEE E.4-E.7	FULL LIGHT; FOB ENTRY SYSTEM
Dwelling Unit - Glazed															
3 PANEL GLASS SLIDING	E.4	E.4 SLIDI	ING GLASS	9'-0" X 8'-0"	_	HDW-16	ALCL	ALCL	GL-2			1			3 PANEL GLASS SLIDER; INSULATED TEMPERED GLASS'; VINYL / JULIET GUARD
2 PANEL GLASS SLIDING	E.5			4'-8" X 8'-0"	-	HDW-16	ALCL	ALCL	GL-2			C		0.36 MAX	3 PANEL GLASS SLIDER; INSULATED TEMPERED GLASS'; VINYL / JULIET GUARD
2 PANEL GLASS SLIDING	E.6			6'-0' X 8'-0"	-	HDW-16	ALCL	ALCL	GL-2			6	0.	0.33 MAX 1.10 MIN	
2 PANEL GLASS SLIDING	E.7			7'-0' X 8'-0"	-	HDW-16	ALCL	ALCL	GL-2						2 PANEL GLASS SLIDER; INSULATED TEMPERED GLASS'; VINYL / JULIET GUARD
INTERIOR DOORS															
Common Area															
INTERIOR EGRESS STAIR - FIRST FLOOR	D.1	D-A SWI		3'-0" X 7'-0"	90 MIN.	HDW-3	MTL.	MTL.	GL-4			3			
EXIT PASSAGEWAY	D.2	D-A SWI		3'-0" X 7'-0"	90 MIN.	HDW-4	MTL.	MTL.	GL-4			1	1		
INTERIOR EGRESS STAIR STORAGE	D.3 D.4	D-B SWI		3'-0" X 7'-0" 3'-0" X 7'-0"	90 MIN. 90 MIN.	HDW-4 HDW-5	MTL. MTL.	MTL.	-			1	L		
STORAGE / BIKE ROOM	D.4 D.5	D-B SWI		3'-0" X 7'-0"	20 MIN.	HDW-5	MTL.	MTL.				3			
ELECTRIC ROOM	D.6	D-B SWI		3'-0" X 7'-0"	20 MIN.	HDW-6	MTL.	MTL.	-						
BATHROOM	D.7	D-B SWI		3'-0" X 7'-0"	20 MIN.	HDW-7	MTL.	MTL.							
Dwelling unit - Interior				, , , , , , , , , , , , , , , , , , ,											
	1	1 6\\/\	INIC	201 V 041	20 MAIN	LIDVA O	WD	W/D OD MIT						222 MAN	CONSULT WITH ARCHITECT ON DOOR PANEL SELECTION
UNIT ENTRY BATHROOM / BEDROOM	2.1	1 SWI 2 SWI		36" X 84" 34" X 80"	20 MIN.	HDW-9 HDW-10	WD WD	WD OR MTL.	-			g	U.	D.33 MAX -	5-PANEL
BATHROOM / BEDROOM		2 SWI		32" X 80"	-	HDW-10	WD	WD.	_						5-PANEL 5-PANEL
BATHROOM / BEDROOM	2.3	2 SWI		30" X 80"	_	HDW-10	WD	WD.	_						5-PANEL
CLOSET	2.4	2 SWI		24" x 80"	-	HDW-14	WD	WD.							5-PANEL
BATHROOM	3.1	3 POC		36" X 80"	-	HDW-11	WD	WD.	-						5-PANEL
BATHROOM	3.2	3 POC	CKET	30" X 80"	-	HDW-11	WD	WD.	-						5-PANEL
CLOSET	3.3	3 POC	CKET	30" X 80"	-	HDW-12	WD	WD.							5-PANEL
CLOSET - SLIDING	4.1	4 BYP	ASS	42" X 80"	-	HDW-13	WD	WD.	-						5-PANEL
CLOSET - SLIDING	4.2	4 BYP.	ASS	48" X 80"	-	HDW-13	WD	WD.	-						5-PANEL
CLOSET - SLIDING	4.3	4 BYP.		60" X 80"	-	HDW-13	WD	WD.	-						5-PANEL
CLOSET - SLIDING	4.4	4 BYP		72" X 80"	-	HDW-13	WD	WD.	-						5-PANEL
CLOSET - DOUBLE SWING	5		G (DOUBLE)	42" x 80"		HDW-15	WD	WD.	-						5-PANEL
MECH. / LAUNDRY CLOSET	6.1	6 BYP.		60" X 80"	-	HDW-13	WD	WD.	-						LOUVERED
MECH. / LAUNDRY CLOSET MECH. / LAUNDRY CLOSET	6.2	6 BYP. 7 SWI		72" X 80" 30" X 80"	-	HDW-13	WD WD	WD.	-						LOUVERED LOUVERED
MECH. / LAUNDRY CLOSET MECH. / LAUNDRY POCKET	7 8	7 SWI 8 POC		30 X 80"	-	HDW-14	WD	WD.	-						LOUVERED
		SL. SLIDIN POCK. POCKI DBL. DOUB LOU LOUVI SID SIDELI	SW. SWING DOOR SL. SLIDING DOOR S-WD. SOLID CORE WOOD CCK. POCKET DOOR HC-WD. HOLLOW CORE WOOD VYN. VYNIL LOU LOUVER MTL METAL SID SIDELIGHT AL. ALUMINUM BI. BI-FOLD CLAD. ALUMINUM CLAD WOOD FIB. FIBERGLASS							¹ SIZES SHOWN IN THIS SCHEDULE ARE NOMINAL. REFER TO ELEVATION DRAWINGS FOR R.O. GC TO FURTHER VERIFY FINAL DOOR SIZES WITH DRAWINGS AND AS BUILT CONDITIONS; AS WELL AS TO VERIFY ROUGH OPENING WITH CHOSEN DOOR MANUFACTURER 2 GC TO VERIFY CODE REQUIREMENTS FOR FIRE RATING FOR ALL DOOR LOCATIONS					
						INSULATED GL TEMEPRED INS		S		3 DOOR UNIT COUNTS ARE PROVIDED AS A COURTESY; GC TO VERIFY FINAL NUMBER OF DOORS W/ DRAWINGS AND AS BUILT CONDITIONS					

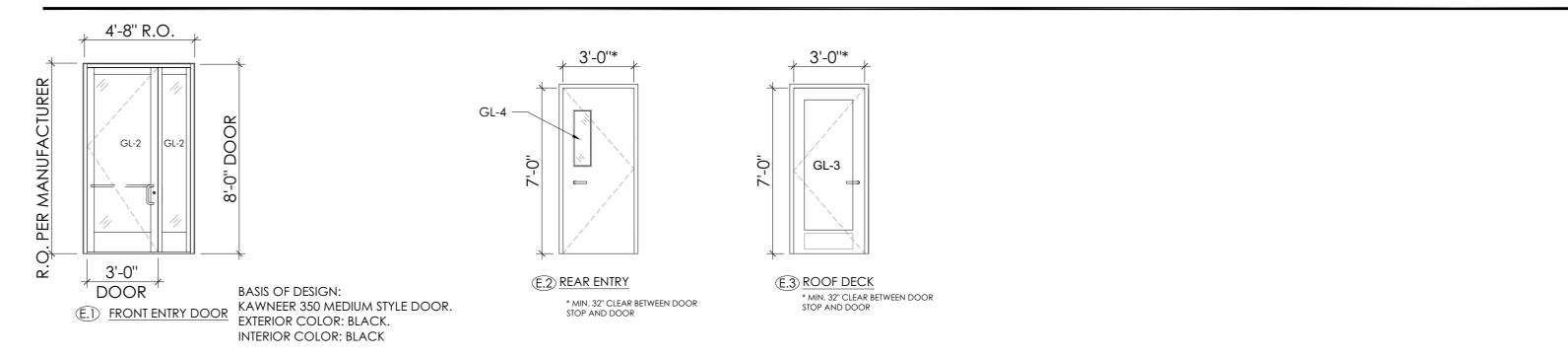
HARDWARE SCHEDULE:



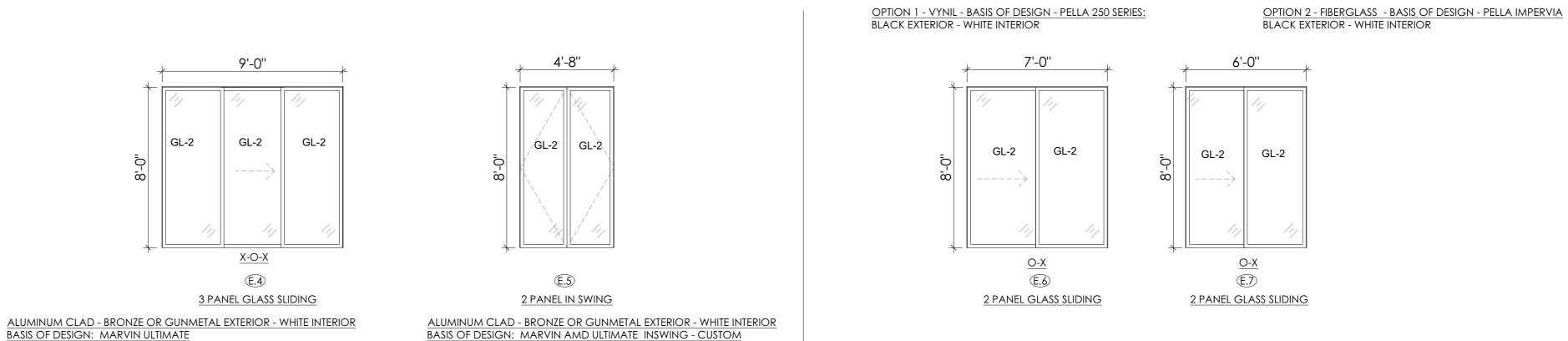
PERMIT OPERATIONS DIVISION **INTERIOR DOOR ELEVATIONS:** Permit No. B2109090 Date 02/14/23



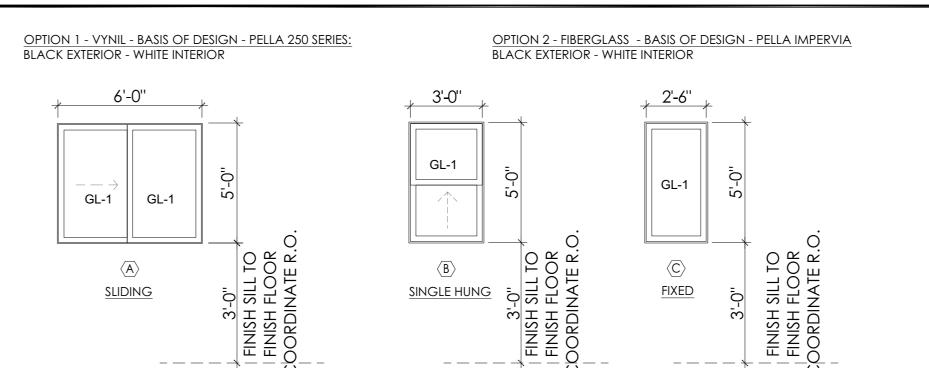


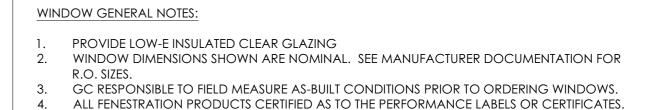






WINDOWS





5. ALL FENESTRATION PRODUCTS ENERGY PERFORMANCE RATED IN ACCORDANCE WITH NFRC

ACCEPTABLE WINDOW SYSTEM MANUFACTURER SHALL BE PELLA IMPERVIA / OR 2500 SERIES OR EQUIVALENT PRODUCTS MAY BE PROVIDED - SUBMIT PRODUCT DATA AND SHOP EXTERIOR COLOR: BLACK / DARK BRONZE OR DARK GRAY EXTERIOR. COLOR TO BE VERIFIED BY ARCHITECT. INTERIOR: WHITE 8. SILL HEIGHTS ARE INTENDED TO BE A MINIMUM OF 36" AT OPERABLE WINDOWS. COORDINATE

R.O. HEIGHTS WITH DETAILS. GC TO VERIFY SILL HEIGHTS PRIOR TO ORDERING. 9. GLAZING WITHIN 18" OF FINISH FLOOR TO BE TEMPERED

10. WINDOWS TO BE GL-1 UNLESS OTHERWISE NOTED

1341 Pennsyllvania Avene SE, Washington, DC 20003

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AVENUE

GOVERNMENT OF THE DISTRICT OF COLUMBIA

PLANS APPROVED

PENNSYLV

CLIENT

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LANDSCAPE ARCHITECT Eric J Sturm, RLA DOMINION ENGINEERS, INC 10432 Balls Ford Road #300 Manassas, VA 20109 703.291.1700



WINDOW & DOOR SCHEDULES