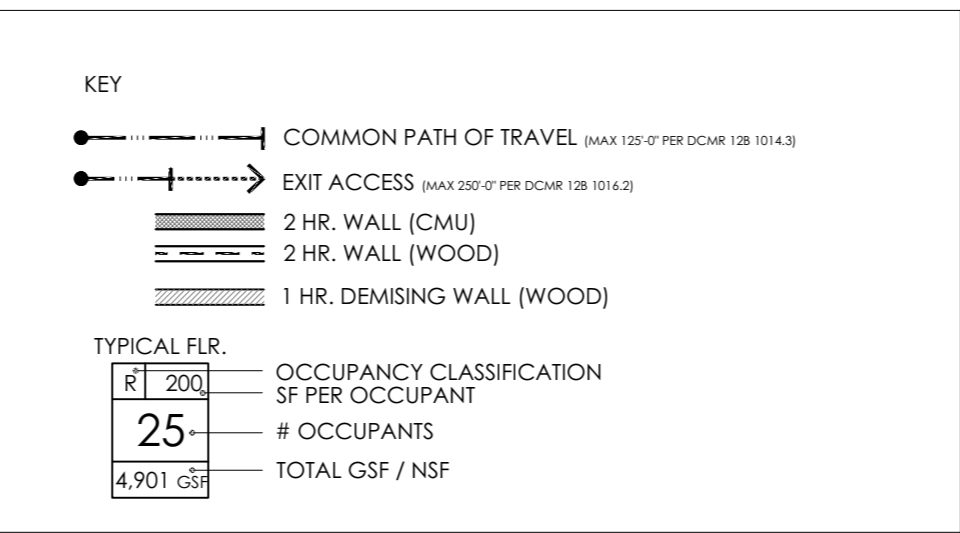


Table with 3 columns: Description, Value, and Unit. Lists project details like square footage, number of units, and other specifications.

Large table with multiple columns including Item No., Description, Code Reference, and Remarks. Contains detailed code analysis and regulatory requirements for the project.

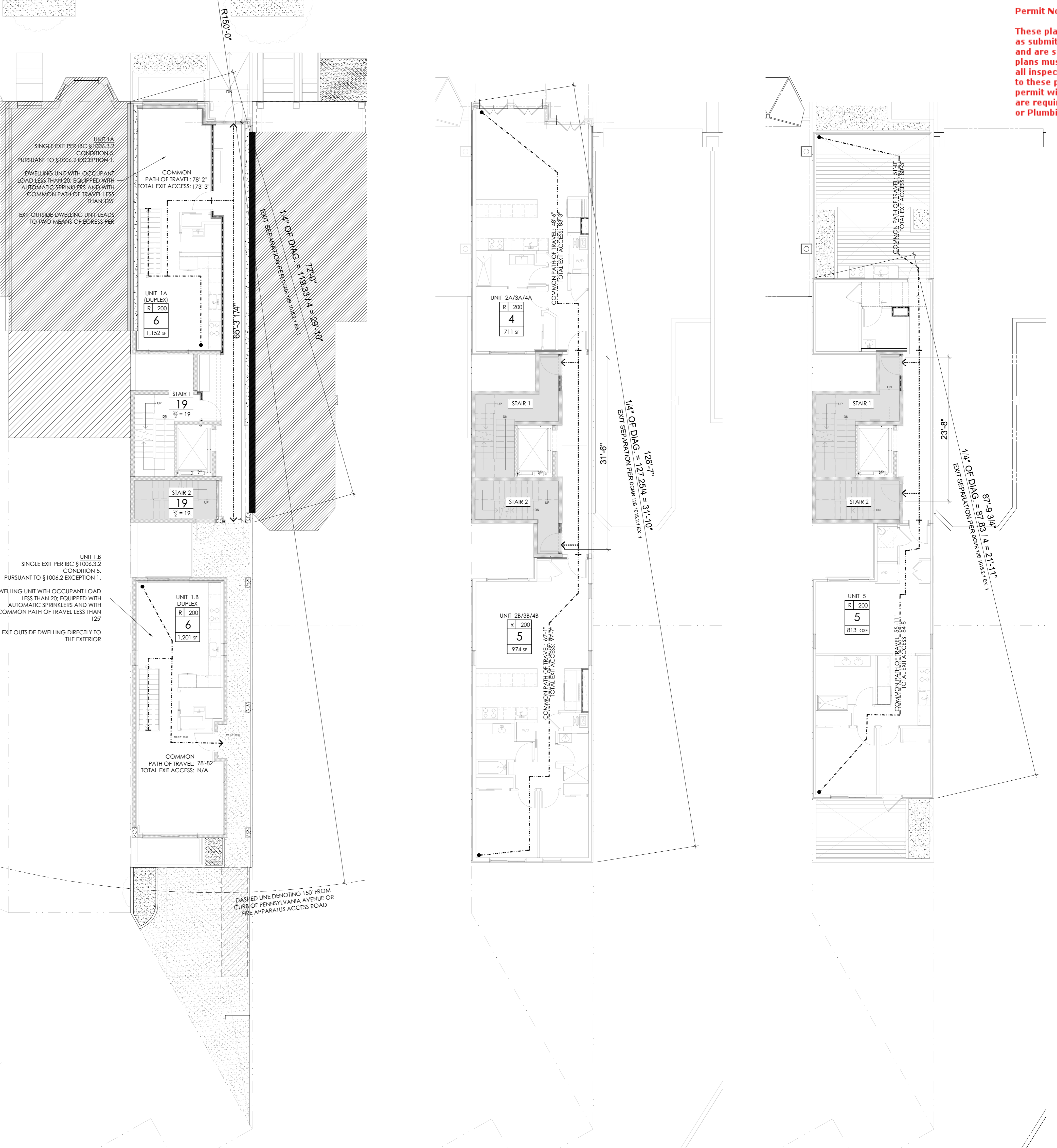


1 CELLAR EGRESS PLAN 1/8" = 1'-0"

2 FIRST FLOOR EGRESS PLAN 1/8" = 1'-0"

3 2ND, 3RD, 4TH FLOOR EGRESS PLAN 1/8" = 1'-0"

4 PENTHOUSE EGRESS PLAN 1/8" = 1'-0"



Permit No. 20190900 Date 02/14/23 These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing.

PROJECT 1341 Pennsylvania Avenue SE, Washington, DC 20003

1341 PENNSYLVANIA AVENUE SE



CLIENT PECUM INC 4300 Forbes Blvd #130 Landrum, MD 20708 301.341.3435

PROJECT TEAM ARCHITECT Andrew Murray, AIA STUDIO MUZZ ARCHITECTS, PLLC 443 2nd Street, SE Washington, DC 20003 cmurray@studiomuzz.com +1.202.766.4007

STRUCTURAL ENGINEER Om Sharma, PE 3D STRUCTURAL ENGINEERS, INC. 4003 Auburn Avenue, #204 Beltsville, MD 20814 www.3dengineers.com +1.301.986.8458

MECHANICAL ENGINEER Maria Obando PE MEP AFERWITS 13612 Ansel Terrace Clermont, MD 20874 +1.301.814.1009 www.mep4permits.com

CIVIL ENGINEERING Ajay K. Sharma, PE DOWNTOWN ENGINEERS, INC. 10433 Balls Bluff Road #300 Manassas, VA 20109 703.291.1700

LANDSCAPE ARCHITECT Eric J. Shum, PLA DOWNTOWN ENGINEERS, INC. 10433 Balls Bluff Road #300 Manassas, VA 20109 703.291.1700



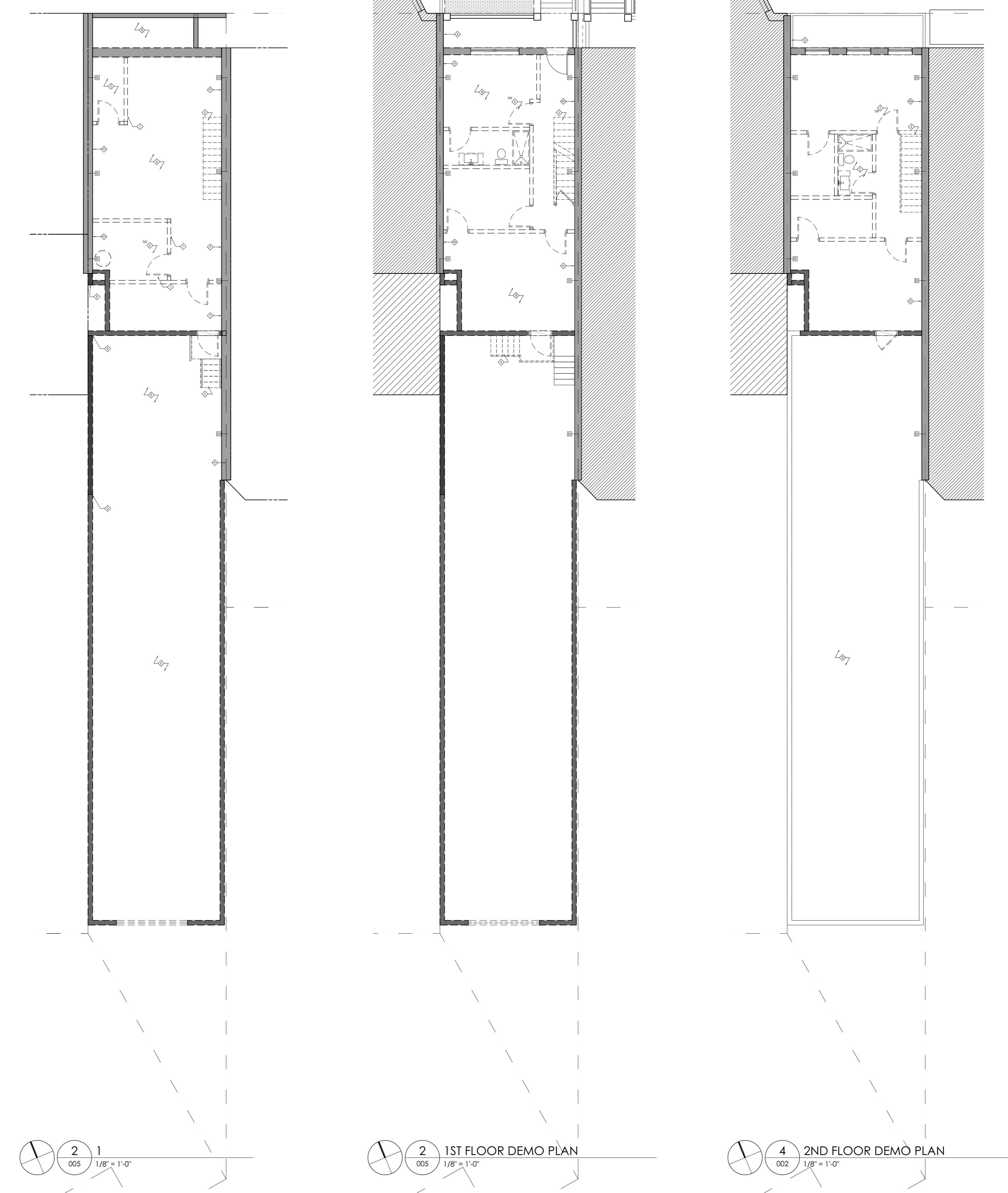
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ISSUE: 01 PERMIT SET 03/15/2021, 02 PERMIT COMMENTS 5/9/2022

- GENERAL NOTES:
- G/C SHALL VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH THE CONTRACT DOCUMENTS.
 - TEMPORARY BRACING: IF REQUIRED, TO BE COORDINATED BY G/C. PROVIDE SIGNED AND SEALED SHOWING TEMPORARY BRACING DRAWINGS FOR REVIEW PRIOR TO COMMENCING WITH THE DEMOLITION.
 - PROTECT ALL EXISTING MATERIALS TO REMAIN. REPAIR ANY DAMAGE CAUSED BY DEMOLITION AND CONSTRUCTION TO MATCH ORIGINAL CONDITION OF MATERIALS.
 - REMOVE ALL SERIES AND DIST FROM THE BUILDING IN A MANNER COMPLYING WITH ALL APPLICABLE GOVERNMENT AND BUILDING CODE REGULATIONS.
 - WHEN ANY BUILDING ELEMENTS ARE REMOVED, TEMPORARILY BRACE AND PROTECT SURROUNDING CONSTRUCTION AS REQUIRED TO PREVENT DAMAGE OR COLLAPSE. CONSULT ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO CUTTING AND REMOVING ANY STRUCTURAL ELEMENTS.
 - ANY WORK INVOLVING USE OF WELDING EQUIPMENT, TORCH, OR CUTTING EQUIPMENT MUST BE CONDUCTED IN A SAFE MANNER TO PROTECT SURROUNDING BUILDING ELEMENTS FROM FIRE. FIRE EXTINGUISHING EQUIPMENT MUST BE MAINTAINED AND IMMEDIATELY ADJACENT TO THE WORK BEING DONE AT ALL TIMES.
 - RETOUCH BRICK AT ALL NEW WINDOW LOCATIONS.
 - REMOVE ALL BUILDING ELEMENTS AS DESIGNATED ON ALL DRAWINGS IN DEMOLITION LEGENDS, SPECIFIC NOTES AND OTHER SHEET NOTES. OR AS REQUIRED FOR THE INSTALLATION OF NEW MATERIALS, EQUIPMENT AND FINISHES. LEAVE ALL SURFACES IN SUITABLE CONDITION TO RECEIVE NEW FINISHES.
 - REMOVE AND DISPOSE OF ALL EXISTING FURNITURE AND EQUIPMENT FROM THE UNITS UNLESS DIRECTED TO SALVAGE ITEMS BY THE OWNER.
 - REMOVE ALL REMAINING EQUIPMENT AS NOTED.
 - D/C TO CHECK FOR MECHANICAL DUCTWORK, ELECTRICAL WIRING/CONDUIT/FITURES, AND PLUMBING SYSTEMS LOCATED IN THE DEMOLISHED WALLS, CEILING AND FLOORS; PROTECT FOR CONTINUE USE OR FIX WHERE NECESSARY.
 - REMOVE EXISTING DOORS AND WINDOWS AT EXTERIOR AS NOTED.
 - REMOVE FRESH FLOOR AS NOTED.
 - REMOVE EXISTING DOORS AND FRAMES AS NOTED.
 - VERIFY ALL PARTY WALL LOCATIONS AND NOTIFY ARCHITECT OF ANY VARIANCE WITH INFO SHOWN.
 - REMOVE PLASTER FINISH AT INTERIOR MASONRY WALLS.
 - REMOVE ALL GAS UTILITIES AND SUPPLY INCLUDING EXISTING METERS/ FROM THE PROPERTY. COORDINATE WITH RELEVANT UTILITY COMPANY AS REQUIRED.

- DRAWING LEGEND:
- EXISTING ADJACENT BUILDING TO REMAIN IN PLACE
 - EXISTING CONSTRUCTION TO REMAIN IN PLACE
 - EXISTING CONSTRUCTION TO BE REPLACED IN EXIST. LOCATION
 - EXISTING CONSTRUCTION TO BE REMOVED
 - REMOVE EXISTING RENDER ON MASONRY WALL TO REVEAL NATURAL BRICK FINISH

- DRAWING LEGEND: ◊
- REMOVE EXISTING PARTITIONS, PROTECT EXISTING UTILITY LINES AND EQUIPMENT.
 - REMOVE EXISTING BATHROOM FIXTURES.
 - REMOVE EXISTING WATER HEATER.
 - REMOVE EXISTING STAIR.
 - REMOVE EXISTING DOOR AND FRAME, TYP.
 - EXISTING SLAB ON GRADE TO BE REMOVED. EXCAVATE TO NEW FLOOR ELEVATION.
 - EXISTING MASONRY WALL TO REMAIN. SEE UNDERPINNING DRAWINGS.
 - COORDINATE EXTENT OF DEMOLITION WITH NEW CONSTRUCTION IN THIS LOCATION.
 - REMOVE EXISTING MASONRY FACE BRICK.
 - EXISTING GARAGE DOOR TO BE REMOVED. SALVAGE.
 - EXISTING MASONRY WALL TO REMAIN.
 - ROOF OF BUILDING (BELOW)
 - EXISTING CRAWL SPACE.
 - REMOVE EXISTING BRICK. EXCAVATE NEW WINDOW WELL. COORDINATE WITH NEW CONSTRUCTION.
 - REMOVE EXISTING FLOOR JOIST. MAINTAIN EXISTING JOIST SEAT AT MASONRY WALL FOR NEW CONSTRUCTION.



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PROJECT
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 Washington, DC 20003

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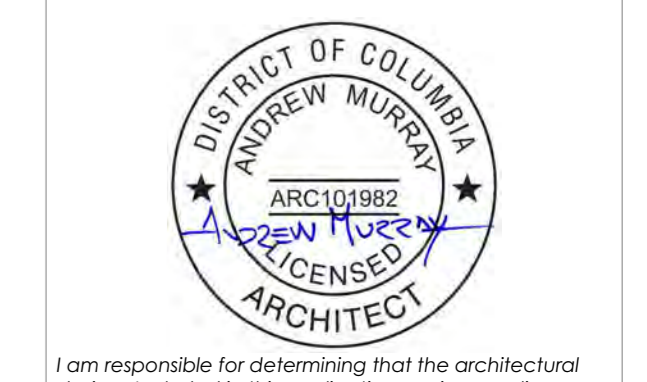
PROJECT TEAM
 ARCHITECT
 Andrew Murray, AIA
 TEN SQUARE DESIGN STUDIO, PLLC
 443 2nd Street, SE
 Washington, DC 20003
 amurray@tensquare-design.com
 +1.202.766.4007

STRUCTURAL ENGINEER
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 3D STRUCTURAL ENGINEERS, INC.
 4003 Auburn Avenue, #204
 Bethesda, MD 20814
 www.3dengineers.com
 +1.301.986.8458

MECHANICAL ENGINEER
 Maria Obando PE
 MEP4PERMITS
 13612 Ansell Terrace
 Germantown, MD 20874
 +1.301.814.1009
 www.mep4permits.com

CIVIL ENGINEERING
 Ajay K Sharma, PE
 DOWNINCH ENGINEERS, INC.
 10452 Boll Forest Road #300
 Manassas, VA 20109
 703.291.1700

LANDSCAPE ARCHITECT
 Eric J Shum, RLA
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ISSUE	DATE
1. PERMIT SET	03/15/2021

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PROJECT 1341 Pennsylvania Avenue SE, Washington, DC 20003



CLIENT RECUM INC 4300 Forbes Blvd #130

PROJECT TEAM ARCHITECT Andrew Murray, AIA

STRUCTURAL ENGINEER Cui Shama, PE

MECHANICAL ENGINEER Maria Ojando, PE

CIVIL ENGINEERING Apay K Sharma, PE

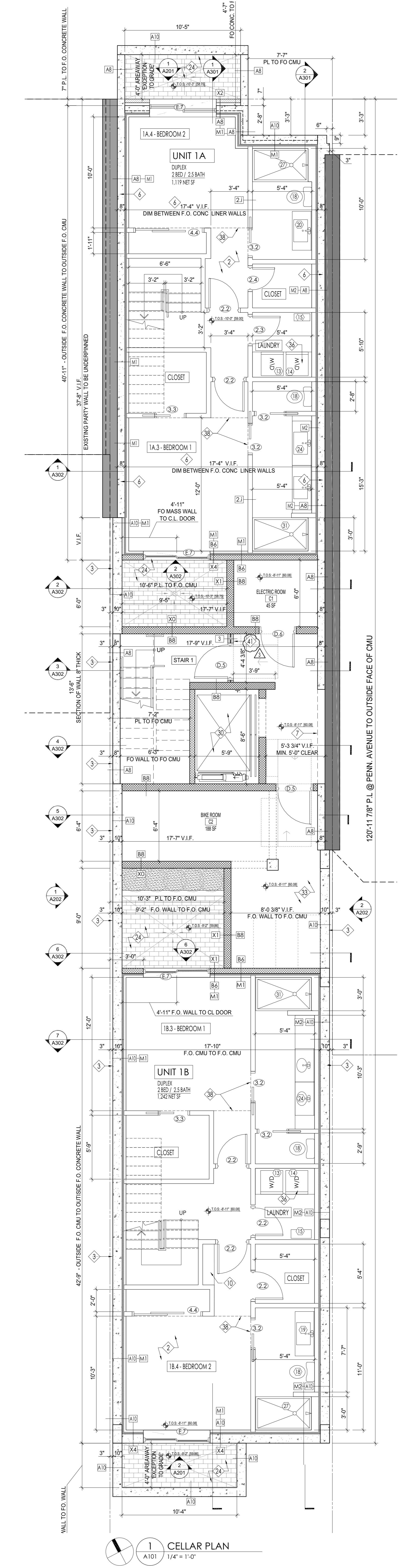
LANDSCAPE ARCHITECT Eric J. Szymura, RL



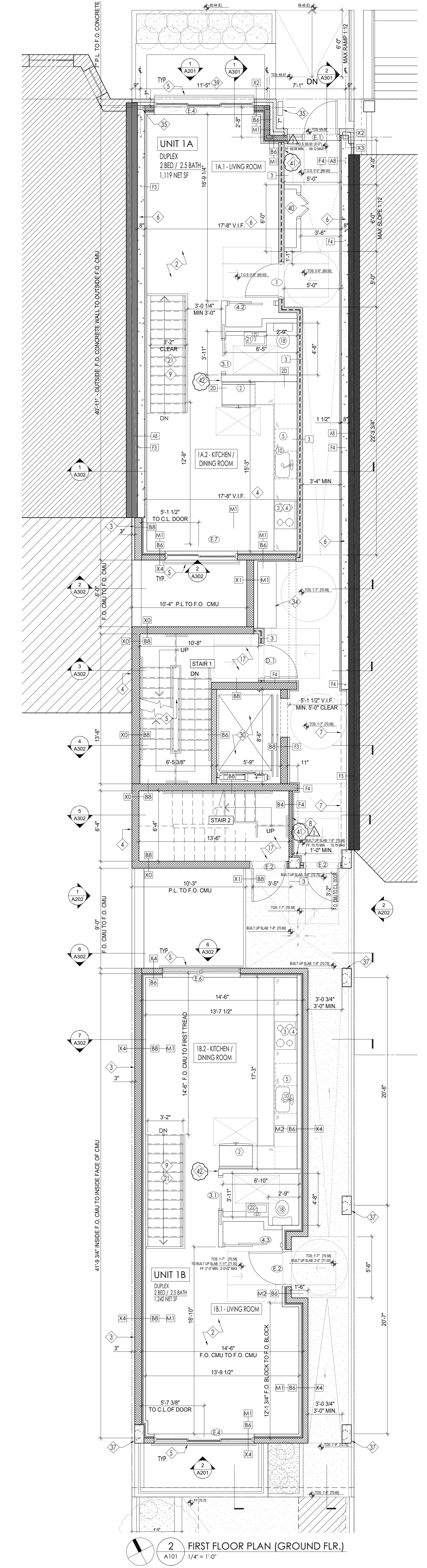
Issue table with columns for issue number, description, and date

PLANS CELLAR, 1ST, 2ND A101

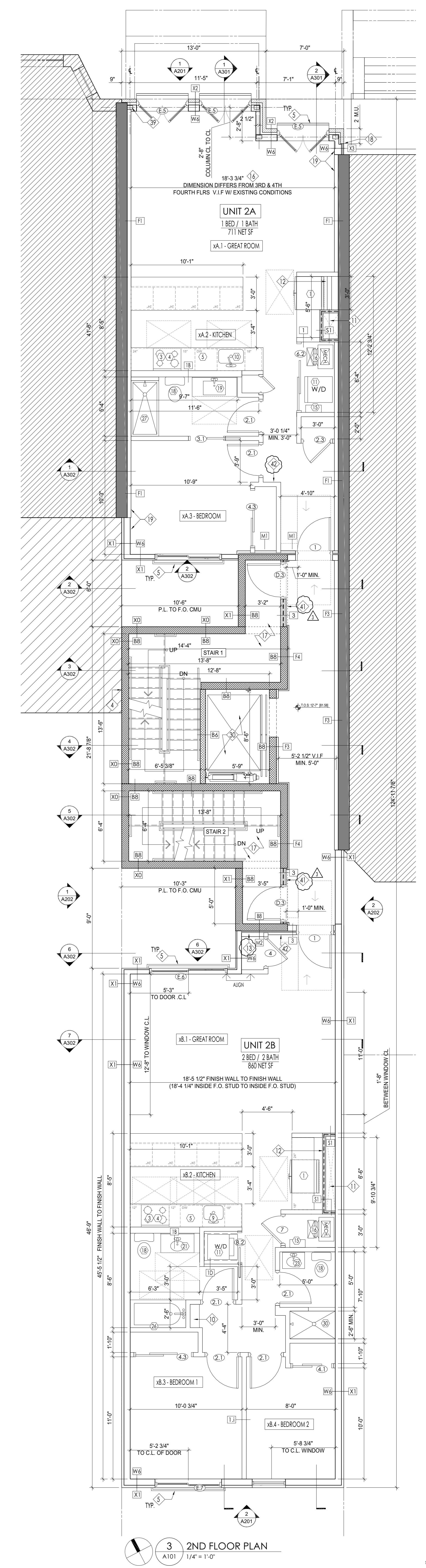
- GENERAL NOTES: GC SHALL VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES WITH THE CONTRACT DOCUMENTS PRIOR TO THE START OF CONSTRUCTION. 2. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. VERIFY DIMENSIONS WITH FIELD CONDITIONS. 3. UNLESS NOTED OTHERWISE, ALL PARTITIONS ON THE CELLAR AND FIRST FLOOR TO BE TYPE 2/AB00 AND ALL PARTITIONS ON FLOORS 2 THROUGH 5 TO BE TYPE 1/AB00. 4. ALL DIMENSIONS ARE SHOWN FROM FINISHED FACE OF WALL UNLESS NOTED OTHERWISE. 5. PARTITION TYPES ABOVE DOOR AND OTHER OPENINGS ARE TO BE THE SAME AS ADJACENT PARTITION UNLESS NOTED OTHERWISE. 6. 'JAUNT' MEANS SIMILAR COMPONENTS OF CONSTRUCTION SHALL BE IN THE SAME PLANE ACROSS VIEWS. 7. EXISTING ELEVATIONS ARE SHOWN ON THE EXISTING AND NEW DRAWINGS. 8. PROVIDE AND INSTALL FIRE RETARDANT WOOD BLOCKING AS REQUIRED AT ALL WALL-HUNG SHELVEYS, CABINETS, WOOD PANELS, EQUIPMENT, LIGHT FIXTURES AND OTHER MILLWORK WITH GWA CONSTRUCTION. 9. ACCESSIBILITY: THIS PROJECT IS REQUIRED TO MEET ALL REQUIREMENTS OF CHAPTER 11 OF DCOR 181 (8/18/2015) AS WELL AS ALL APPLICABLE PARTS OF ANS A117.1. 10. ACCESSIBILITY: THIS PROJECT IS REQUIRED TO MEET ALL REQUIREMENTS OF CHAPTER 11 OF DCOR 181 (8/18/2015) AS WELL AS ALL APPLICABLE PARTS OF ANS A117.1. 11. COORDINATE SHOWER WALL LOCATIONS PER TILE FINISH AND SHOWER BASE REQUIREMENTS. 12. ALL PLUMBING FUTURES TO BE INSTALLED PER THE REQUIREMENTS OF THE PLUMBING CODE AND OF ANS A117.1. 13. ENSURE PROPER ROOF DRAINAGE (MIN 1/4" PER 1'-0") AND / OR ADD ROOF CRACKETS AS REQUIRED. 14. LANDSCAPE LAYOUT INCLUDED AS A GUIDE. GC TO CONSULT WITH CLIENT PROVIDED LANDSCAPE DRAWINGS OR CONSULT WITH A LANDSCAPE PROFESSIONAL FOR DESIGN. 15. FINISH ELEVATIONS ARE PROVIDED AS A GUIDE AND ILLUSTRATE THE DESIGN INTENT TO PROVIDE AN ACCESSIBLE ROUTE AS REQUIRED BY DCOR 181 (8/18/2015) AS WELL AS ANS A117.1. 16. UNLESS OTHERWISE NOTED, WINDOW SILLS HAVE BEEN PLANNED TO PROVIDE SILL HEIGHTS WITH A MINIMUM OF 36" ABOVE FINISH FLOOR. 17. ALL FLOOR PARTITIONS SHALL EXTEND FROM THE TOP OF THE FLOOR STRUCTURE OR SLAB TO THE UNDERSIDE OF THE FLOOR STRUCTURE OR ROOF ABOVE. 18. ALL SHAFT WALLS SHOULD EXTEND THROUGH ANY FLOOR ASSEMBLY TO THE POINT OF TERMINATION AND MAINTAIN THE REQUIRED FIRE RATING THROUGH ANY FLOOR ASSEMBLY. 19. EMERGENCY VOICE / ALARM COMMUNICATION SYSTEM TO BE PROVIDED IN ACCORDANCE WITH DC BUILDING CODE SECTION 907.2.2. 20. PROVIDE CLOSET ROD AND SHELF, TYPICAL AT ALL CLOSETS. 21. THE DESIGN INTENT IS FOR THERE TO BE NO BURHEADS OR SOPS IN THE RESIDENTIAL UNITS. 22. PER DCOR 15A B05.1 INTERIOR WALL AND CEILING FINISH MATERIALS, INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH IBC 703.2.2. 23. PER DCOR 12A 101.3 RASID CHARACTER AND BRALLEE EXIT SIGNS. 24. DRAWING LEGEND: FULL HEIGHT GWB PARTITION FLOOR OR WALL ABOVE DIMENS / CORRIDOR PARTITION (1 HR) PROPERTY LINE EXTERIOR WALL (1 HR) COLUMN CENTERLINE EXTERIOR WALL (2 HR) DOOR MARKER (SEE DOOR SCHEDULES) EXTERIOR WALL (4 HR) WALL TYPE MARKER (SEE WALL SCHEDULES) CONCRETE MASONRY UNIT WALL (2 HR) EQUIPMENT KEY (SEE SCHEDULES) EXISTING ADJACENT BUILDING SHAF WALL - INTERIOR PARTITION (2 HR) SHEET NOTE (SEE SCHEDULES) EXISTING ADJACENT BUILDING 3" MIN. 1/2" THICK CONCRETE WALL WITH 2" THICK GWB PARTITION



1 CELLAR PLAN 1/4" = 1'-0"



2 FIRST FLOOR PLAN (GROUND FLR.) 1/4" = 1'-0"



3 2ND FLOOR PLAN 1/4" = 1'-0"

Scale bar and drawing information

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GENERAL NOTES:

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- 11. TYPICAL INTERIOR PARTITION ON FLOORS 2 THROUGH 5 TO BE TYPE (IAB00) W/ 5/8" TYPE X DRYWALL. SEE DETAIL 11AB00 FOR FINISH AND CEILING ASSEMBLY. 12. TYPICAL INTERIOR PARTITION TO BE 2"AB00 ON CELLAR AND FIRST FLOOR OR AGANT MASONRY PARTITIONS WITH 1/2" TEREX WALL.

- 13. TYPICAL INTERIOR PARTITION TO BE 2"AB00 ON CELLAR AND FIRST FLOOR OR AGANT MASONRY PARTITIONS WITH 1/2" TEREX WALL. 14. WALL TO SETBACK THREE INCHES FROM PROPERTY LINE WHERE INDICATED AT CELLAR LEVEL. ALIGN CONCRETE FLOOR SLAB AND OUTSIDE FACE OF MASS WALL ABOVE.

- 15. FACE OF BLOCK WALL FACE ON LINE. PROVIDE HANGING AT CONCRETE WALL IN CELLAR. SEE STRUCTURAL DRAWINGS. 16. CONCRETE LIME W/ AGENT EXISTING MASONRY PARTIAL WALLS SEE STRUCTURAL, CONTRIB 18, BUT DIMENSION, NOTIFY ARCHITECT OF ANY DEVIATIONS BEFORE PROCEEDING.

- 17. NO OTHER WALL AT CORNER. PROVIDE BEAM, SEE STRUCTURAL AND SECTIONS. COORDINATE TO INSURE MIN 2" CLEAR FROM FINISH WALL TO FINISH WALL AT ELEVATOR. 18. PROVIDE LITE AND OPENING IN CASE ASSEMBLY TO ACCOMMODATE APPROXIMATE DOOR CLEARANCE PER ANSI 117.1. SEE SHEET 04 FOR FURTHER INFORMATION. NEW 2 HOUR WOOD PARTITION TO FINISH STAIR ENCLOSURE. NOTE: 4" ROCK AT THE LOCATION.

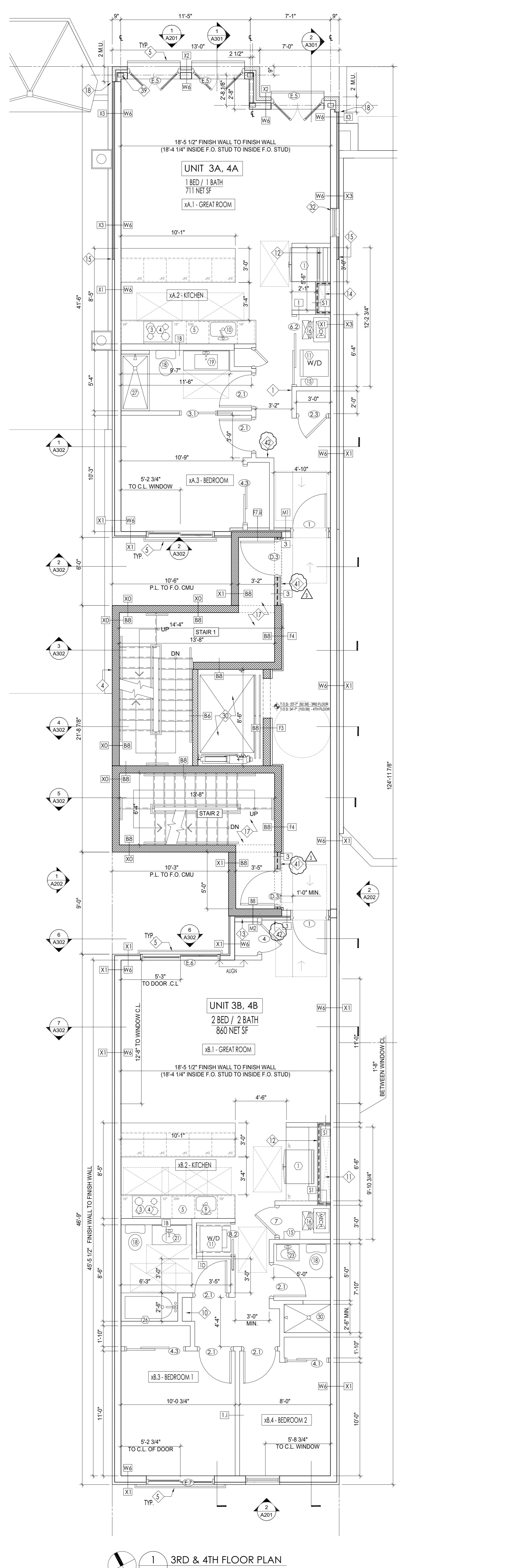
- 19. COORDINATE BEAM LOCATIONS FOR STAIR OPENING. SEE BUILDING SECTIONS. 20. PROVIDE OPEN SHELVING IN NICHES. COORDINATE SHELF DEPTHS WITH PROPER FINISHING OF ADJACENT DOOR TRIM. 21. CHAIR CHASE TO ACCOMMODATE MECH / PLUMBING. SEE MECH / PLUMBING PROVIDE CONTINUOUS FIRE RATED ENCLOSURE THROUGH FLOORS TO ROOF SLAB. SEE DETAIL 11AB00. COORDINATE WITH MECHANICAL, CONVENTIONAL FRAMING ASSEMBLY WHERE SHAFTS ARE REQUIRED.

- 22. WALL RECESSED TO ACCOMMODATE A STANDARD DEPTH DEPTH TO BE FLUSH AS WITH A CABINET DEPTH FROGE. COORDINATE WALL LOCATION WITH SHAFTS AND REFERENCE. 23. FURRING TO ACCOMMODATE PLUMBING CHASE - SEE PLUMBING. 24. FIRE CHASE, SEE MECHANICAL. 1 HOUR RATING (FIRE) SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN AREA OF RESCUE. ALL EXTERIOR AREAS FOR ASSISTED RESCUE. AND EXIT STAIRWAY OR RAMP. AND EXIT PASSAGEWAY. AND THE EXIT DISCHARGE. SEE LOCATIONS IDENTIFIED ON PLAN AND ALONG WITH SHEET NO. 41.

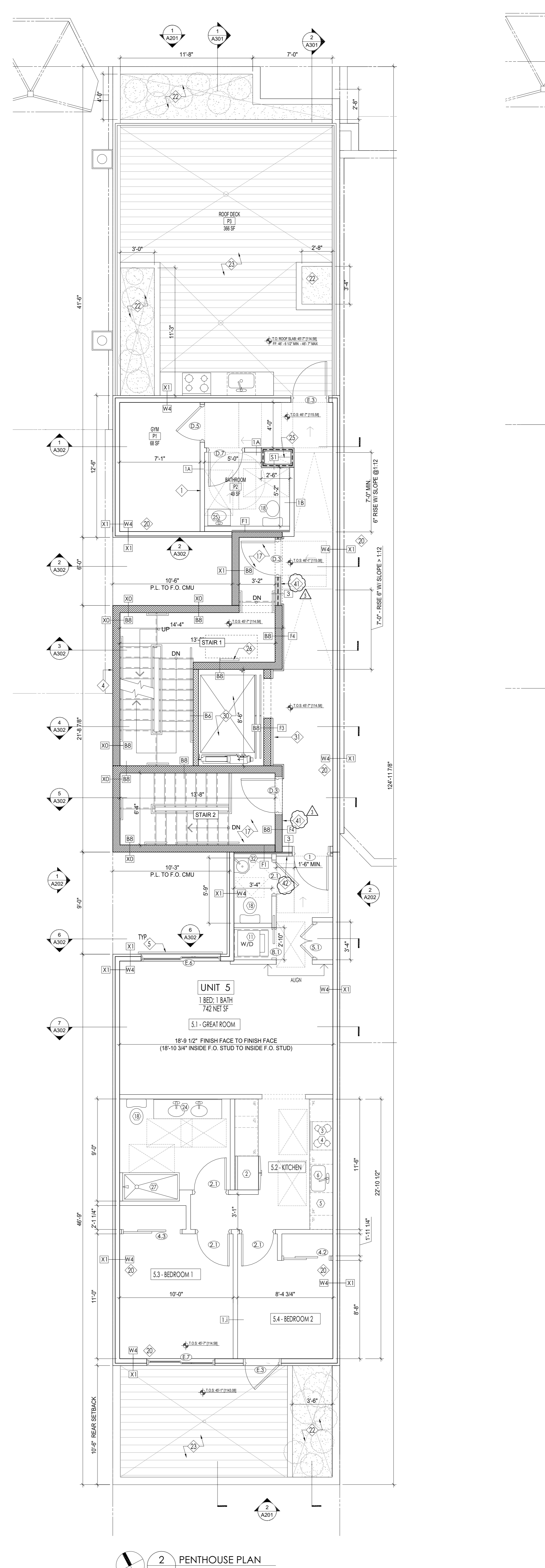
- 25. PORTABLE FIRE EXTINGUISHER MINIMUM 1A-10-B-C CLASS B. 26. PER DCOR 12A 1013.4 RAISED CHARACTER AND BRALLE EXIT SIGNS. STATING EXIT IN VISUAL CHARACTERS. RAISED CHARACTERS AND BRALLE. AND COMPLYING WITH ICC A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN AREA OF RESCUE. AND EXIT STAIRWAY OR RAMP. AND EXIT PASSAGEWAY. AND THE EXIT DISCHARGE. SEE LOCATIONS IDENTIFIED ON PLAN AND ALONG WITH SHEET NO. 41.

EQUIPMENT & FIXTURE KEY: ALL EQUIPMENT (NOTES) TO BE COORDINATED FOR ENERGY EFFICIENCY (CEEI) APPROVED PER 2

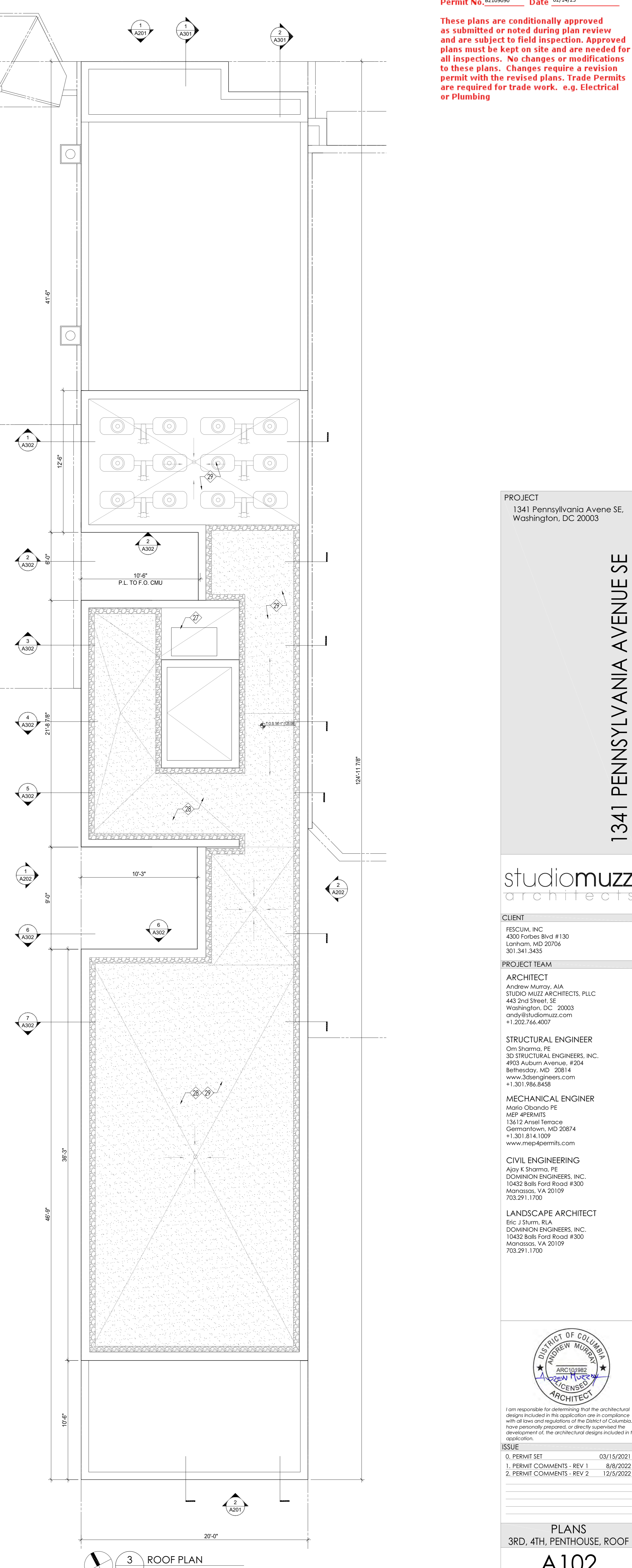
PLUMBING FIXTURES	PLUMBING FIXTURES
1. 36" WIDE REFRIGERATOR W/ ICEDRAWER	18. WATER CLOSET - 1.6 GAL.
2. 36" WIDE COUNTER DEPTH REFRIGERATOR W/ ICEDRAWER	19. 48" X 21" BATHROOM VANITY
3. 37" ELECTRIC RANGE WITH CONNECTION	20. 42" X 21" BATHROOM VANITY
4. COFFEE	21. 36" X 21" BATHROOM VANITY (CL. MIN. 24" FROM
5. OVER-COUNTER MICROWAVE / HOOD. 30"	22. 36" X 21" BATHROOM VANITY (CL. MIN. 24" FROM
6. DISHWASHER - 34" WIDE	23. SINK WALL TYP
7. DISHWASHER - 18" WIDE (UNDERCOUNTER W/ FAUCET AND WASTE DISPOSAL)	24. 4" X 18" BATHROOM VANITY
8. DISHWASHER - 34" WIDE (UNDERCOUNTER W/ FAUCET AND WASTE DISPOSAL)	25. 72" X 21" MIN. DOUBLE VANITY OR PROVIDE TWO COORDINATE SINKS
9. KITCHEN SINK - 37" BLENDE (UNDERCOUNTER W/ FAUCET AND WASTE DISPOSAL)	26. 24" WIDE SHOWER / SHOWER PROPER UNDER-SINK CLEARANCES PER ADA
10. KITCHEN SINK - 37" BLENDE (UNDERCOUNTER W/ FAUCET AND WASTE DISPOSAL)	27. 36" X 60" SHOWER
11. 24" WIDE STACKED WASHER DRYER	28. TUB SHOWER - PROVIDE SHOWER
12. 24" WIDE STACKED WASHER DRYER	29. 36" X 60" SHOWER
13. FREE STANDING WASHER MACHINE	30. SHOWER - 36" X 34" (MIN. CLEAR BETWEEN FINISH WALLS)
14. FREE STANDING DRYER	31. SHOWER - 36" X 40"
15. ELECTRIC RADIANT WATER HEATER. SEE PLUMBING	32. SHOWER - 48" X 36" (MINIMUM 30" BETWEEN WALL AND FINISH CURB)
16. HOOKUP RADIANT WATER HEATER. SEE PLUMBING	33. SHOWER - 36" X 40"
17. ROOFTOP MECHANICAL UNITS. SEE MECH	



1 3RD & 4TH FLOOR PLAN A102 1/4" = 1'-0"



2 PENTHOUSE PLAN A102 1/4" = 1'-0"



3 ROOF PLAN A102 1/4" = 1'-0"

PROJECT 1341 Pennsylvania Avenue SE, Washington, DC 20003

1341 PENNSYLVANIA AVENUE SE studiomuzz architects

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ISSUE

NO.	DESCRIPTION	DATE
1. <td>PERMIT SET</td> <td>03/15/2021</td>	PERMIT SET	03/15/2021
2. <td>PERMIT COMMENTS - REV 1</td> <td>8/9/2022</td>	PERMIT COMMENTS - REV 1	8/9/2022
3. <td>PERMIT COMMENTS - REV 2</td> <td>12/5/2022</td>	PERMIT COMMENTS - REV 2	12/5/2022

PLANS 3RD, 4TH, PENTHOUSE, ROOF A102