

DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR

Washington, D.C., February 10, 2025

Plat for Building Permit of :

SQUARE 2805 LOT 52-54

Scale: 1 inch = 30 feet

Recorded in Book 36 Page 2

Receipt No. 25-02108

Drawn by: B.S.

Furnished to: JOHNATHAN CAMPBELL

I hereby certify that on this plat on which the Office of the Surveyor has drawn the dimensions of this lot, I have accurately and completely depicted and labeled the following:
1) all existing buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, and any existing face-on-line or party wall labeled as such, well as projections and improvements in public space - with complete and accurate dimensions;
2) all proposed demolition or raze of existing buildings duly labeled as such; all proposed buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, any existing face-on-line or party wall labeled as such, as well as projections and improvements in public space and the improvements used to satisfy pervious surface or green area ratio requirements - with complete and accurate dimensions, in conformity with the plans submitted with building permit application B25XXXX; and
3) any existing chimney or vent on an adjacent property that is located within 10 feet of this lot.

I also hereby certify that:

- 1) my depiction on this plat, as detailed above, is accurate and complete as of the date of my signature hereon;
2) there is no elevation change exceeding ten feet measured between lot lines; or if so, this elevation change is depicted on a site plan submitted with the plans for this permit application;
3) I have/have not(circle one) filed a subdivision application with the Office of the Surveyor;
4) I have/have not(circle one) filed a subdivision application with the Office of Tax & Revenue; and
5) if there are changes to the lot and its boundaries as shown on this plat, or to the proposed construction and plans as shown on this plat, that I shall obtain an updated plat from the Office of the Surveyor on which I will depict all existing and proposed construction and which I will then submit to the Office of the Zoning Administrator for review and approval prior to permit issuance.
The Office of the Zoning Administrator will only accept a Building Plat issued by the Office of the Surveyor within the two years prior to the date DCRA accepts a Building Permit Application as complete.
I acknowledge that any inaccuracy or errors in my depiction on this plat will subject any permit or certificate of occupancy issued in reliance on this plat to enforcement, including revocation under Sections 105.6(1) and 110.5.2 of the Building Code (Title 12A of the DCMR) as well as prosecution and penalties under Section 404 of D.C. Law 4-164 (D.C. Official Code §22-2405).

Signature: Johnathan Campbell
Date: 09/18/2025

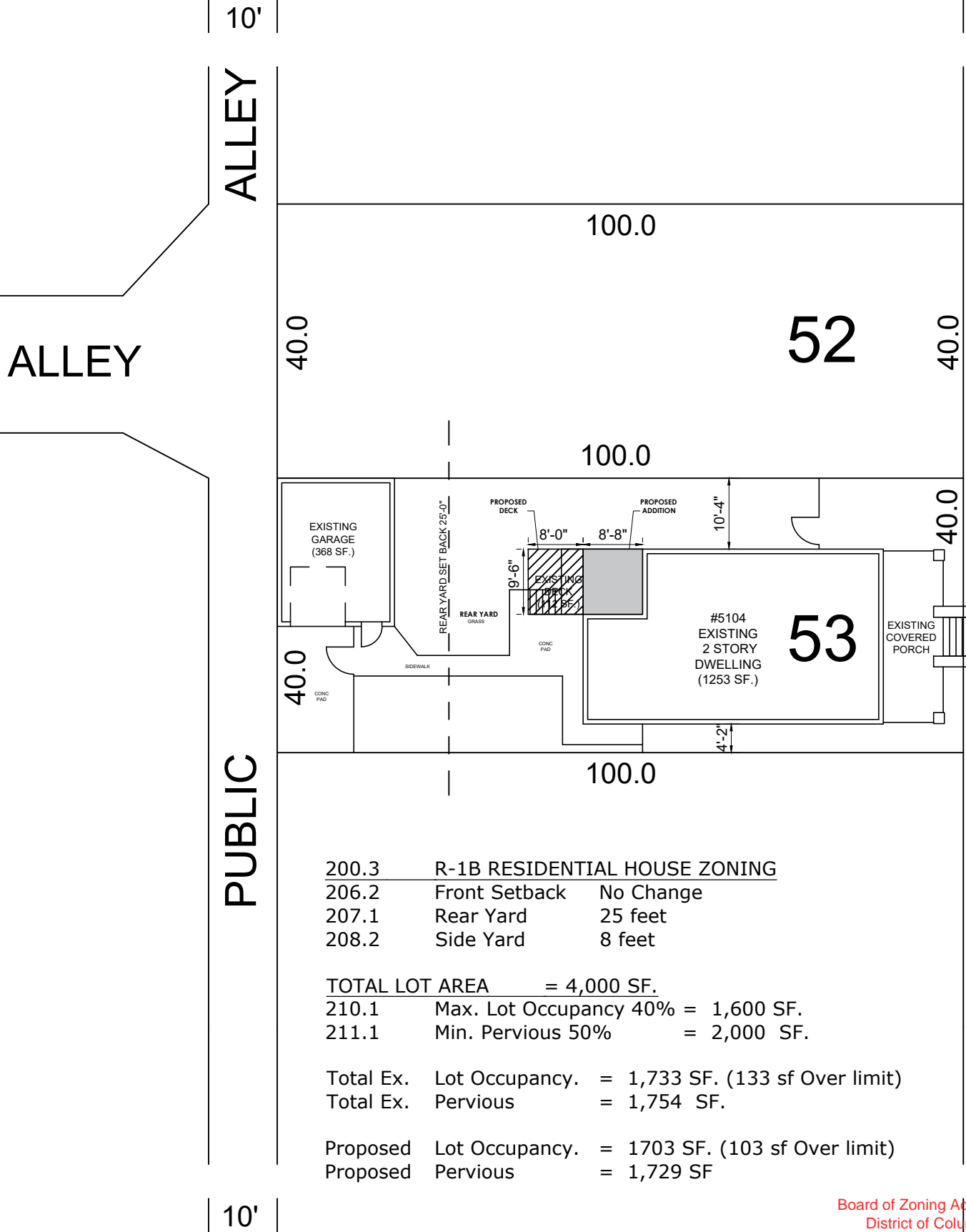
Printed Name: JOHNATHAN CAMPBELL Relationship
to Lot Owner: ARCHITECT

If a registered design professional, provide license number
ARC201121 and include stamp below.



SCALE: 1:20

SQUARE 2805



R-1B RESIDENTIAL HOUSE ZONING		
206.2	Front Setback	No Change
207.1	Rear Yard	25 feet
208.2	Side Yard	8 feet

TOTAL LOT AREA		= 4,000 SF.
210.1	Max. Lot Occupancy 40%	= 1,600 SF.
211.1	Min. Pervious 50%	= 2,000 SF.

Total Ex.	Lot Occupancy.	= 1,733 SF. (133 sf Over limit)
Total Ex.	Pervious	= 1,754 SF.

Proposed	Lot Occupancy.	= 1703 SF. (103 sf Over limit)
Proposed	Pervious	= 1,729 SF

Board of Zoning Adjustment
District of Columbia
CASE NO. 21417
EXHIBIT NO. 2