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proposed ground floor plan	11
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# 2637 4th - New Rowhomes

## Board of Zoning Adjustment Submission

9 May 2019

Prepared for:

**The Oxbridge Group**  
Elliot Totah

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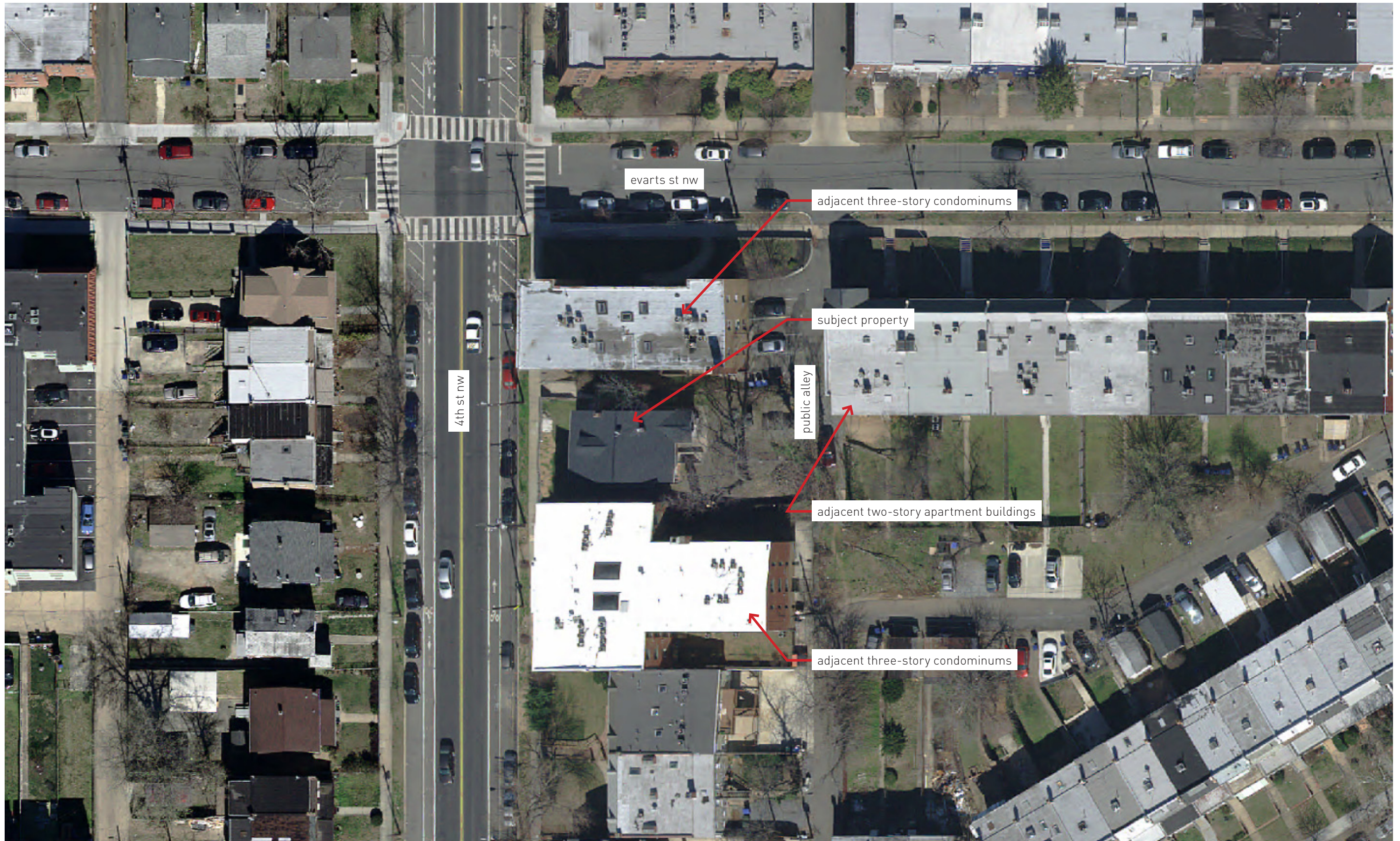
Prepared by:

**Teass \ Warren Architects**  
Will Teass, AIA LEED AP

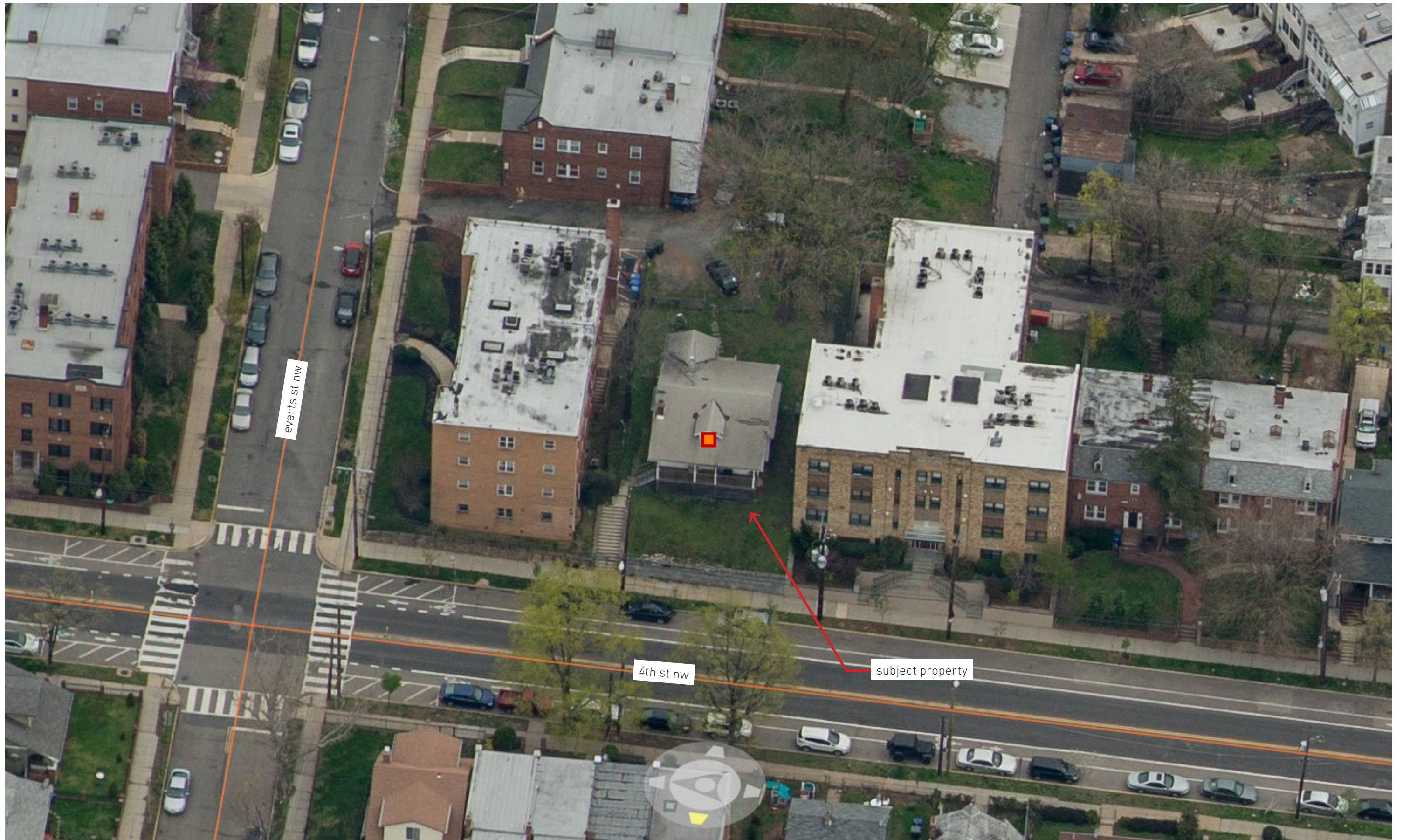
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Washington, DC 20003  
202 683 6260  
will @ teass-warren.com

**Board of Zoning Adjustment**  
District of Columbia  
CASE NO.20073  
EXHIBIT NO.7















**GENERAL NOTES**

1. SSL: 3634 0803 ZONE: RF-1
2. OWNER: DAVID & JUSTINE NJAFUH  
8020 EASTERN AVENUE, NW  
WASHINGTON, DC 20012
3. TOPOGRAPHIC SURVEY WAS FIELD RUN BY THIS FIRM. VERTICAL DATUM = DC DPW '29 PER FIELD GPS STATIC DATA POST-PROCESSED THROUGH NGS OPUS PROGRAM. BEARINGS ARE REFERENCED TO DISTRICT OF COLUMBIA NORTH, AND COORDINATES ARE REFERENCED TO MARYLAND STATE PLANE (MSP) 1983 PER GPS STATIC DATA ALSO POST-PROCESSED THROUGH NGS OPUS PROGRAM.
4. TOTAL SITE AREA: 5,750 SQ. FT. OR 0.1320 ACRES (RECORD)
5. TITLE REPORT NOT FURNISHED. THIS EASEMENTS AND OTHER TITLE RESTRICTIONS MAY NOT BE SHOWN HEREON.
6. PLAT SUBJECT TO RESTRICTIONS OF RECORD.
7. UTILITIES HEREON ARE SHOWN PER FIELD OBSERVATIONS, AVAILABLE RECORDS AND PER MISS UTILITY DELINEATION. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND A THIRD-PARTY UTILITY MARKOUT AND/OR TEST HOLES MAY BE REQUIRED TO ASCERTAIN ACCURATE LOCATIONS/DEPTHS.
8. TREE SPECIES/SIZES ARE APPROXIMATE AND A THIRD-PARTY ARBORIST REPORT MAY BE REQUIRED TO OBTAIN ACCURATE TREE DATA.
9. THE PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE "X" (AREAS OF MINIMAL FLOOD HAZARD) PER FIRM MAP PANEL 1100010017 C, REVISED 9/27/2010.

**COMBINED SEWER STRUCTURES**

- (A) TOP=133.04  
INV.IN=126.64 FROM 1  
INV.IN=122.79 FROM E  
INV.IN=121.89 FROM B  
INV.OUT=121.79 TO WEST
- (B) TOP=133.74  
INV.IN=128.49 FROM 2  
INV.IN=124.29 FROM C  
INV.IN=123.89 FROM EAST  
INV.OUT=123.79 TO A
- (C) TOP=148.82  
INV.IN=144.22 FROM 3  
INV.IN=139.37 FROM NORTH  
INV.IN=138.72 FROM EAST  
INV.OUT=138.62 TO D
- (D) TOP=148.09  
INV.IN=137.34 FROM C  
INV.OUT=137.24 TO WEST
- (E) TOP=146.64  
INV.OUT=135.14 TO A

**STORM SEWER STRUCTURES**

- (1) TOP=134.45  
INV.OUT=130.2 TO A  
PIPES NOT VISIBLE
  - (2) TOP=134.28  
INV.OUT=129.6 TO B  
PIPES NOT VISIBLE
  - (3) TOP=149.17  
INV.OUT=143.6 TO C  
PIPES NOT VISIBLE
- \* DENOTES DATA TAKEN FROM DC WATER MAPPING

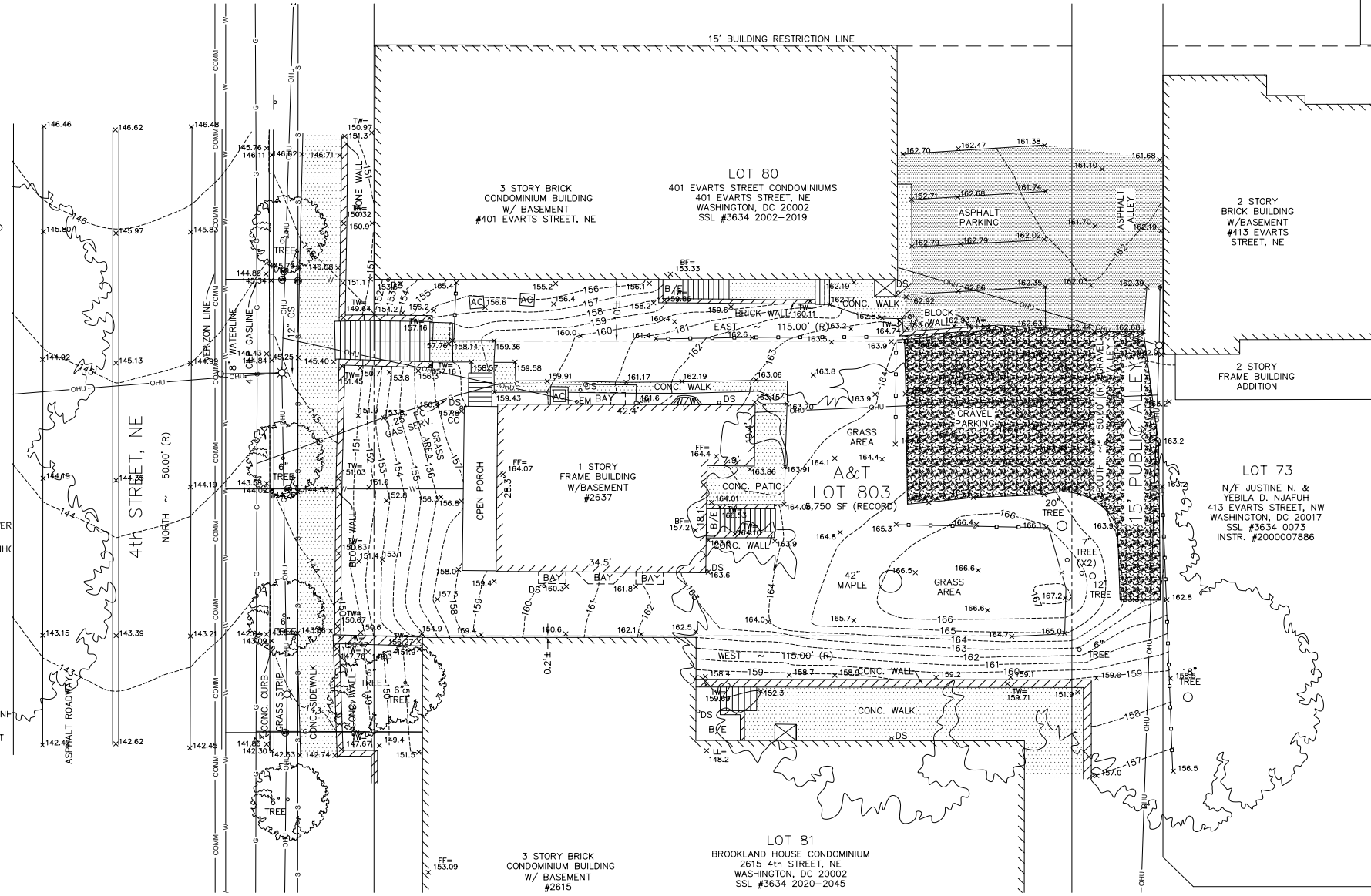
**EXISTING CONDITIONS PLAN LEGEND**

---	PROPERTY LINE	—G—	GAS LINE
▬▬▬▬▬▬	BUILDING FACE	o GM	GAS METER
▬▬▬▬▬▬	DOOR	⊙	GAS VALVE
▬▬▬▬▬▬	WALL	—OHU—	OVERHEAD UTILITY
▬▬▬▬▬▬	WOOD FENCE	12" CS	COMBINED/SANITARY SEWER
▬▬▬▬▬▬	IRON FENCE	⊙ S	COMBINED/SANITARY MANH
▬▬▬▬▬▬	HANDRAIL	12" STM	STORM SEWER
▬▬▬▬▬▬	CURB AND GUTTER	⊙ D	STORM SEWER MANHOLE
•	BOLLARD	⊙ OR	STORM DRAIN
▬▬▬▬▬▬	ASPHALT PAVEMENT	o CO	CLEANOUT
▬▬▬▬▬▬	BRICK PAVEMENT	o DS	DOWNSPOUT
▬▬▬▬▬▬	CONCRETE PAVEMENT	—COMM—	TELECOMMUNICATIONS
▬▬▬▬▬▬	WOOD/LUMBER DECK	⊙ T	TELECOMMUNICATIONS MANH
x 314.1	SPOT ELEVATION	⊙ L	LIGHT POLE/STREET LIGHT
---90---	5' CONTOUR	⊙ U	UTILITY POLE
---89---	1' CONTOUR	•	GUY WIRE
⊙	TREE	8" DIP	WATER LINE
⊙	SHRUBBERY/LANDSCAPING	⊙ H	FIRE HYDRANT
⊙	TRAFFIC SIGN	⊙ rec	FIRE DEPT. CONN.
—E—	ELECTRIC LINE	⊙	WATER METER
⊙	ELECTRIC MANHOLE	⊙	WATER VALVE
⊙ EM	ELECTRIC METER	⊙ W	WATER MANHOLE
⊙ EV	ELECTRIC VAULT	⊙	SURVEY TRAVERSE
		⊙	BOUNDARY MONUMENT

**DC BOUNDARY NOTE**  
THIS IS NOT A BOUNDARY SURVEY AND SHOULD NOT BE USED FOR CONSTRUCTION LAYOUT OR FOR PROPERTY LINE DETERMINATION/STAKING.

BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM THE DISTRICT OF COLUMBIA SURVEYOR'S OFFICE. PROPERTY LINE DIMENSIONS FROM OFFICIAL RECORDS (R) MAY NOT NECESSARILY AGREE WITH ACTUAL MEASURED (M) DIMENSIONS, AND A "SURVEY TO MARK" PREPARED BY A DISTRICT OF COLUMBIA REGISTERED LAND SURVEYOR AND VERIFIED BY THE OFFICE OF THE SURVEYOR MAY BE REQUIRED TO ESTABLISH THE FINAL BOUNDARY LOCATION OF THIS PROPERTY.

RECORD BOUNDARY DATA FOR RECORD LOTS IS TAKEN FROM RECORDED SUBDIVISION PLATS. RECORD BOUNDARY DATA FOR ASSESSMENT & TAXATION (A&T) LOTS IS TAKEN FROM OFFICE OF TAXATION AND REVENUE RECORDS.



1 STORY BUILDING  
2637 4th STREET, NE  
WASHINGTON, DC 20002  
SQUARE 3634 LOT 803

CIVIL ENGINEER  
HUSKA CONSULTING, LLC  
CHRISTOPHER HUSKA  
718 7TH STREET, NW  
WASHINGTON, DC 20001  
703.425.3862

LAND SURVEYOR  
SUSTAINABLE LAND SURVEYS, LLC  
TIM GREENWOOD  
PO BOX 15450  
WASHINGTON, DC 20003  
571.339.9201

TOPOGRAPHIC SURVEY  
A&T LOT 803  
**SQUARE 3634**  
C.B. 4B, PG. 15  
2637 4th STREET, NE  
DISTRICT OF COLUMBIA



SUBMITTAL DESCRIPTION  
MM/DD/YYYY

DRAWING TITLE  
DRAWING NO.



Location

Square, Suffix, Lot  
**3634 0803**

[Tax Record](#)

Premises Address  
**2637 4TH ST NE**

Owner Name  
**OXBRIDGE DEVELOPMENT QOZB AT  
 FOURTH STREET NE LLC**

Owner Address  
**1717 K ST NW STE 1110  
 WASHINGTON DC 20006-5345**

Imagery



[View Perspective Imagery](#)  
[Google Maps](#)  
[Bing Maps](#)

Zoning

Planned Unit Development  
**None**

Zone District  
**RF-1**

Campus Plan  
**None**

Historical Landmark  
**None**

Historical District  
**None**





