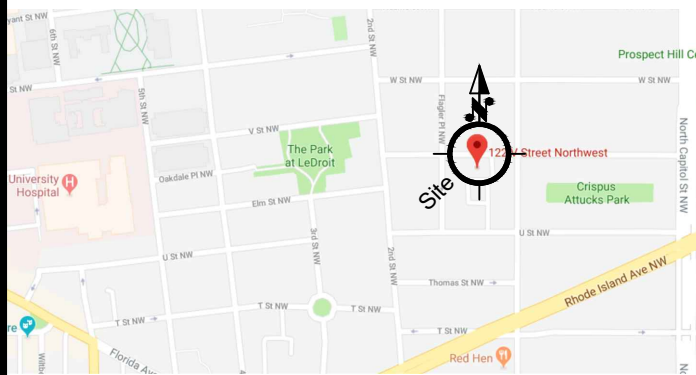


Enclosed Rear Porch

122 V Street NW, Washington DC

VICINITY MAP



SCOPE OF WORK

- Existing rear porch to be removed
- New wood frame fully-enclosed sunroom at 1st fl. rear
- New 2nd floor deck
- Existing stairs to be relocated
- New brick wall fence
- New garage door

ZONING SUMMARY

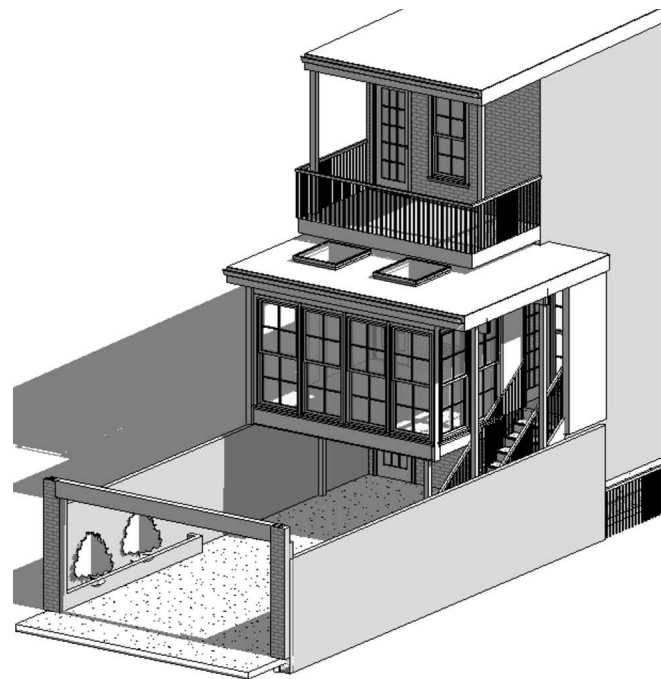
	Existing	Proposed	New Area	Allowable
Zone	RF1	RF1		
Lot	30			
Square	3116			
Lot Area	1,457.41 SF	1,457.41 SF	0 sf	1,800 SF (for record lot)
Lot Coverage / %	60.3%	69.03%	8.73%	60% by right; 70% max
Construction Type	Masonry walls		Wood walls	
Basement Area	811.49 sf	811.49 sf	0 sf	
First Floor Area	879.45 sf	1005.99 sf	194.5 sf	(67.96 sf porch removed)
Second Floor Area	811.49 sf	811.49 sf	+ 96.9 sf balcony	
Third Floor Area	364.14 sf	364.14 sf	0 sf	
Front Porch	N/A			
Garage	N/A			
Total new const.			194.5 SF	
SETBACK	Front	Side	Rear	Maximun Height
	0 Ft	N/A	20.0 Ft	35 Ft

CODE SUMMARY

- 2012 International Energy Conservation Code (IECC)
- 2012 IRC As amended
- 2012 Plumbing Code
- 2012 Mechanical Code
- 2012 National electrical Code

VIEW

PROPOSED VIEW



INDEX

SHEET No	DESCRIPTION
0001	Cover, Zoning, 3D view
0002	Design Criteria
0003	Plat
0004	Existing and proposed Site plan
A001	Existing Rear Driveway
A002	Existing Rear Elevation
A003	Existing House Plans
A004	Proposed First Floor
A005	Proposed Second Floor
A006	Rear Elevation
A007	Section A-A (North - South)
S-100	Foundation Plan
S-101	First Floor Framing
S-102	Second Floor Framing
S-103	Roof Framing Plan
SD-1	Structural Details
SD-2	Structural Details
SD-3	Structural Details
SD-4	Structural Details
SD-5	Structural Details
SD-6	Structural Details
E001	Electrical plan
M001	Mechanical plan

Jim Schulman, AIA, Architect
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Revisions:				
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Date	Apr 2019
Scale	Indicated
Project number	1812001
Drawn by	RNL/JJS

Project:	Enclosed Rear Porch 122 V Street NW, Washington DC
Owner:	Athos Pashiardis

Sheet Title:	Cover, Zoning, Scope, Sheet Index & 3D view
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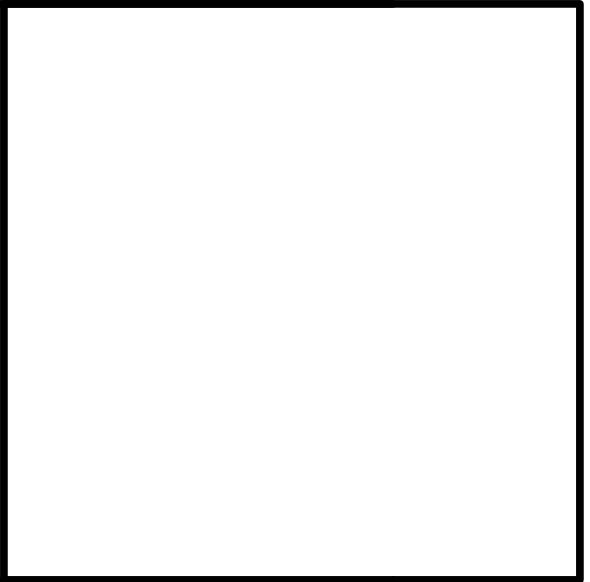
Version:	Permit
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Board of Zoning Adjustments
District of Columbia
CASE NO 20076
EXHIBIT NO. 001

0001

DESIGN CRITERA

1. All construction shall be in compliance with the International Residential Code 2012 IRC as amended by Exec. Reg. # 4-15 AMII.
2. The contractor shall verify all dimensions , grades, boundaries and construction before proceeding with the work.
3. Wood stud bearing walls to be 2x6 ,2x4 at 16" O.C. unless otherwise noted ,SPF # 2 grade or better.
4. All wood less than 8" from grade shall be pressure treated. All wood plates on slab to be pressure treated.
5. Provide minimum of R-49 Roof insulation with vapor barrier and insulation baffles at each roof bay eave.
6. Provide R-20 batt insulation with vapor barrier on all finished frame walls unless otherwise noted.
7. All exterior wood to be pressure treated or painted with minimum of two coats of paint. All exterior metal louvers/steel lintel angles ,flashing shall be galvanized and painted.
8. Provide 3/4" T & G rated plywood sub-floor.
9. Provide 2-2x4 post at each en of double joists unless noted otherwise.
10. Floor joists/truss layout shown is only for guidance floor joists supplier shall provide joists layout & ensure not to obstruct plumbing & HVAC openings.
11. Any walks and stoops with two risers and over shall be provided with handrail 3"0" high.
12. Smoke detectors to be installed in accordance with local codes and requirements and to be integrated with the electrical system.
13. All electrical work shall be installed in accordance with NEC and local codes.
14. All mechanical work shall be installed in accordance with mechanical codes.
15. Bottom of footings shall be a minimum of 30" below grade.
16. Dimensions given on floors plans are face to face of finished wall.
17. General contractor and manufacturers to coordinate all dimensions concerning doors ,panels ,windows , trusses and their openings prior to fabrication and construction
18. Typical interior partitions 2x4 wood studs with one layer 1/2" gypsum board both sides unless otherwise noted.
19. Provide sheathing at all exterior frame walls as shown on drawings. Install in accordance with manufacturer's recommendations.
20. Provide continuous footing drain tile along the building basement perimeter. Drain to positive outfall.
21. Provide splash block at all downspouts to direct water away from building ,or run downspout into sleeve connected to below-grade pipe directing water away from building.
22. Provide minimum of one light fixture in roof trusses attic access.
23. Soil Bearing capacity shall be minimum of 1500 PSF.
24. Concrete : 3000 psi minimum.
25. Minimum design loads shall be: 30 PSF Habitable Attics, 10 PSF Non Storage Attic ,30 PSF Roof ,40 PSF Stairs and Decks ,40 PSF ext Balconies ,40 PSF Sleeping rooms, 40 PSF Stairs ,40 PSF Non Bedroom Habitable space.
26. Minimum design Wind Speed shall be 115 MPH.
27. Each bedroom shall have at least one window with a clear opening of 5.7 square feet. The minimum clear width shall be 20 inches and the minimum clear height shall be 24 inches. The sill height shall not be more than 44 inches above F.F



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Contractor to verify all dimensions & conditions to bring any discrepancy to the attention of the Architect before proceeding with work. All work shall comply with the current Building code and meet the appropriate City inspections.

Revisions:	

Date	Apr 2019
Scale	Indicated
Project number	1812001
Drawn by	RNL/JJS

Project:	Enclosed Porch 122 V Street NW, Washington DC
Owner:	Athos Pashiardis

Sheet Title :
DESIGN CRITERA

Version :	Permit
Date :	04-22-19
Sheet No :	0002

**DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR**

Washington, D.C., August 22, 2018

Plat for Building Permit of: SQUARE 3116 LOT 30

Scale: 1 inch = 20 feet

Recorded in Book Co. 19 Page 162

Receipt No. 18-07949 Drawn by: A.S.

Furnished to: ATHOS PASHIARDIS

I hereby certify that on this plat on which the Office of the Surveyor has drawn the dimensions of this lot, I have accurately and completely depicted and labeled the following:

- 1) all existing buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, and any existing face-on-line or party wall labeled as such, well as projections and improvements in public space - with complete and accurate dimensions;
- 2) all proposed demolition or raze of existing buildings duly labeled as such; all proposed buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, any existing face-on-line or party wall labeled as such, as well as projections and improvements in public space and the improvements used to satisfy pervious surface or green area ratio requirements - with complete and accurate dimensions, in conformity with the plans submitted with building permit application B1903838; and
- 3) any existing chimney or vent on an adjacent property that is located within 10 feet of this lot.

I also hereby certify that:

- 1) my depiction on this plat, as detailed above, is accurate and complete as of the date of my signature hereon;
- 2) there is no elevation change exceeding ten feet measured between lot lines; or if so, this elevation change is depicted on a site plan submitted with the plans for this permit application;
- 3) I ~~have~~ **have not** (circle one) filed a subdivision application with the Office of the Surveyor;
- 4) I ~~have~~ **have not** (circle one) filed a subdivision application with the Office of Tax & Revenue; and
- 5) if there are changes to the lot and its boundaries as shown on this plat, or to the proposed construction and plans as shown on this plat, that I shall obtain an updated plat from the Office of the Surveyor on which I will depict all existing and proposed construction and which I will then submit to the Office of the Zoning Administrator for review and approval prior to permit issuance.

The Office of the Zoning Administrator will only accept a Building Plat issued by the Office of the Surveyor within the 6 months prior to the date DCRA accepts a Building Permit Application as complete. I acknowledge that any inaccuracy or errors in my depiction on this plat will subject any permit or certificate of occupancy issued in reliance on this plat to enforcement, including revocation under Sections 105.6(1) and 110.5.2 of the Building Code (Title 12A of the DCMR) as well as prosecution and penalties under Section 404 of D.C. Law 4-164 (D.C. Official Code §22-2405).

"I hereby certify that the dimensions and configuration of the lot(s) hereon depicted are consistent with the records of the Office of the Surveyor unless otherwise noted, but may not reflect actual field measurements. The dimensions and configuration of A&T lots are provided by the Office of Tax and Revenue and may not necessarily agree with the deed description(s)."

eSigned via SeamlessDocs.com
Lynn E. Savoia
Key: a1e7c10a913e1a1acba4a3309b5400e1

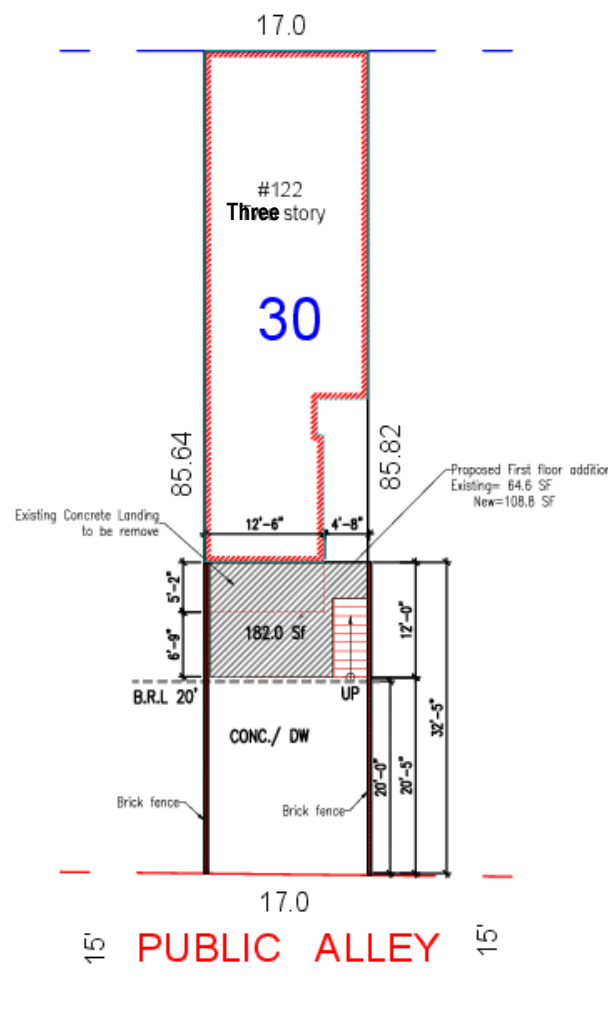
For: Surveyor, D.C.

Signature: Athos Pashiardis Date: 02/05/2019

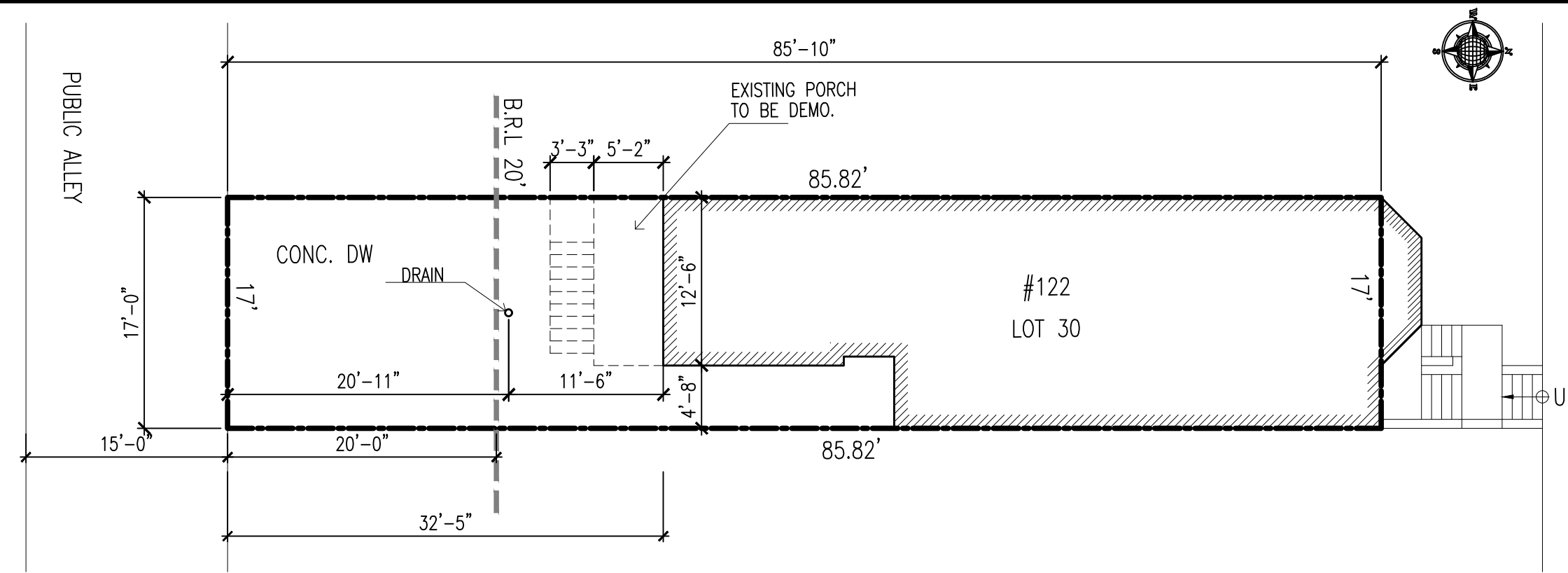
Printed Name: Athos Pashiardis Relationship to Lot Owner: Owner

If a registered design professional, provide license number _____ and include stamp below.

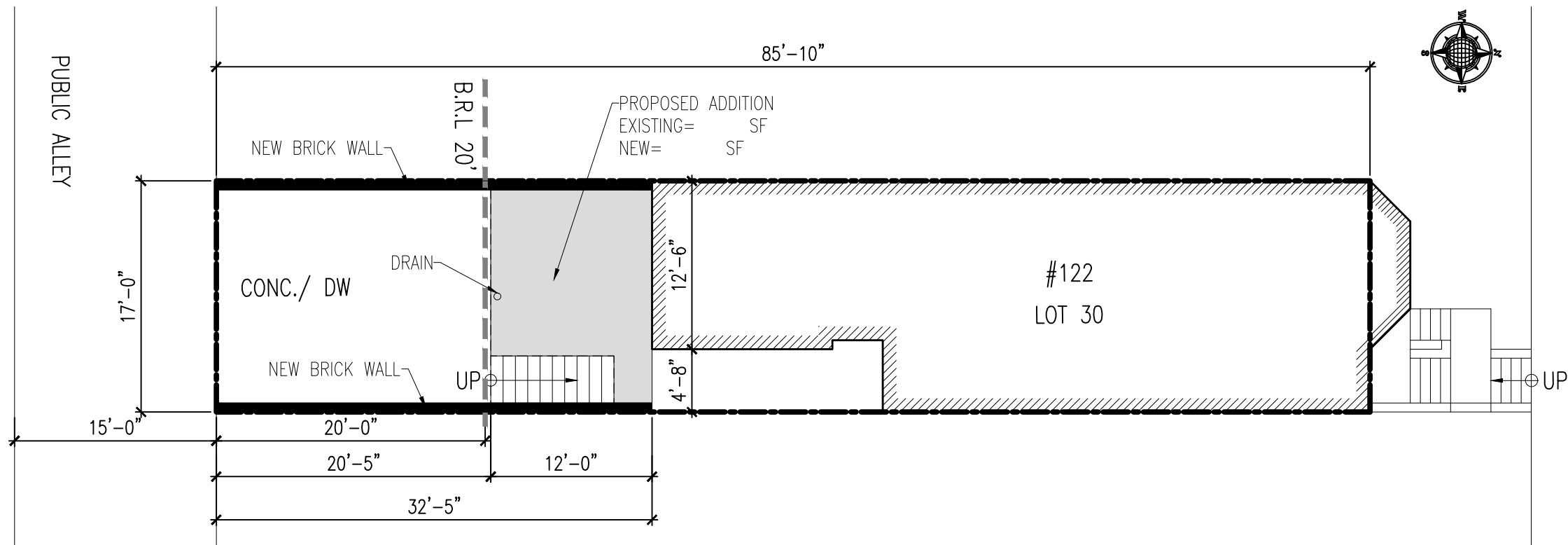
V STREET, N.W.



SCALE: 1:20



2 Existing site
Scale 1" = 10'-0"



1 Proposed site
Scale 1" = 10'-0"

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Contractor to verify all dimensions & conditions to bring any discrepancy to the attention of the Architects before proceeding with work. The Contractor shall address the current Building code and all the applicable City inspections.

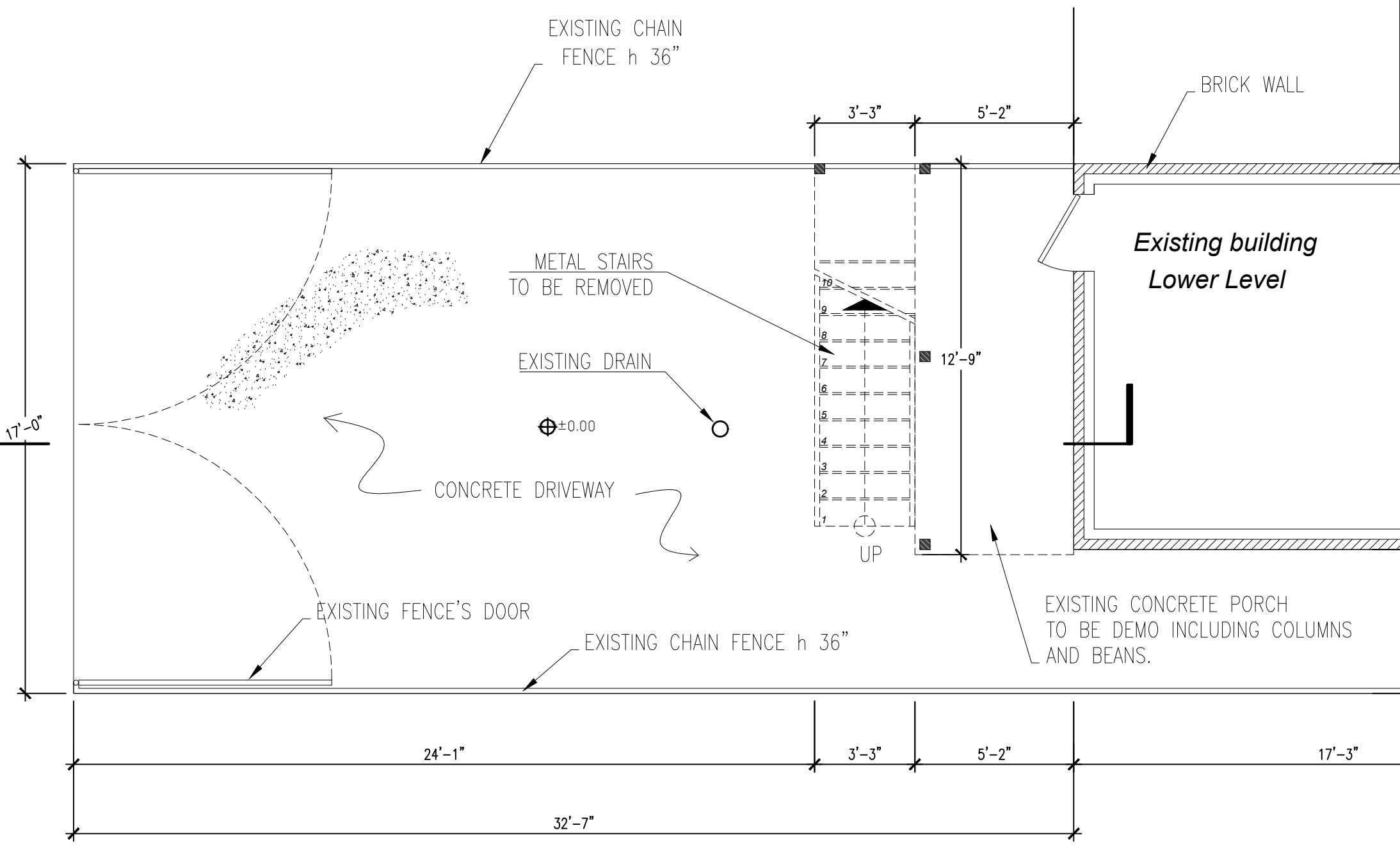
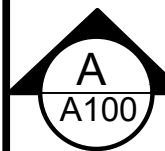
Revisions:	

Date	Apr 2019
Scale	Indicated
Project number	1812001
Drawn by	RNL/JJS

Project	Enclosed Porch 122 V Street NW, Washington DC
Owner	Athos Pashiardis

Sheet Title:
Existing and proposed Site plan

Version:	Permit
Date:	04-22-19
Sheet No:	0004



1 Existing Rear driveway
Scale 1/4" = 1'-0"

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Contractor to verify all dimensions & conditions to bring any discrepancy to the attention of the Architects before proceeding with work. All work shall conform to the current Building code and pass the approved City inspections.

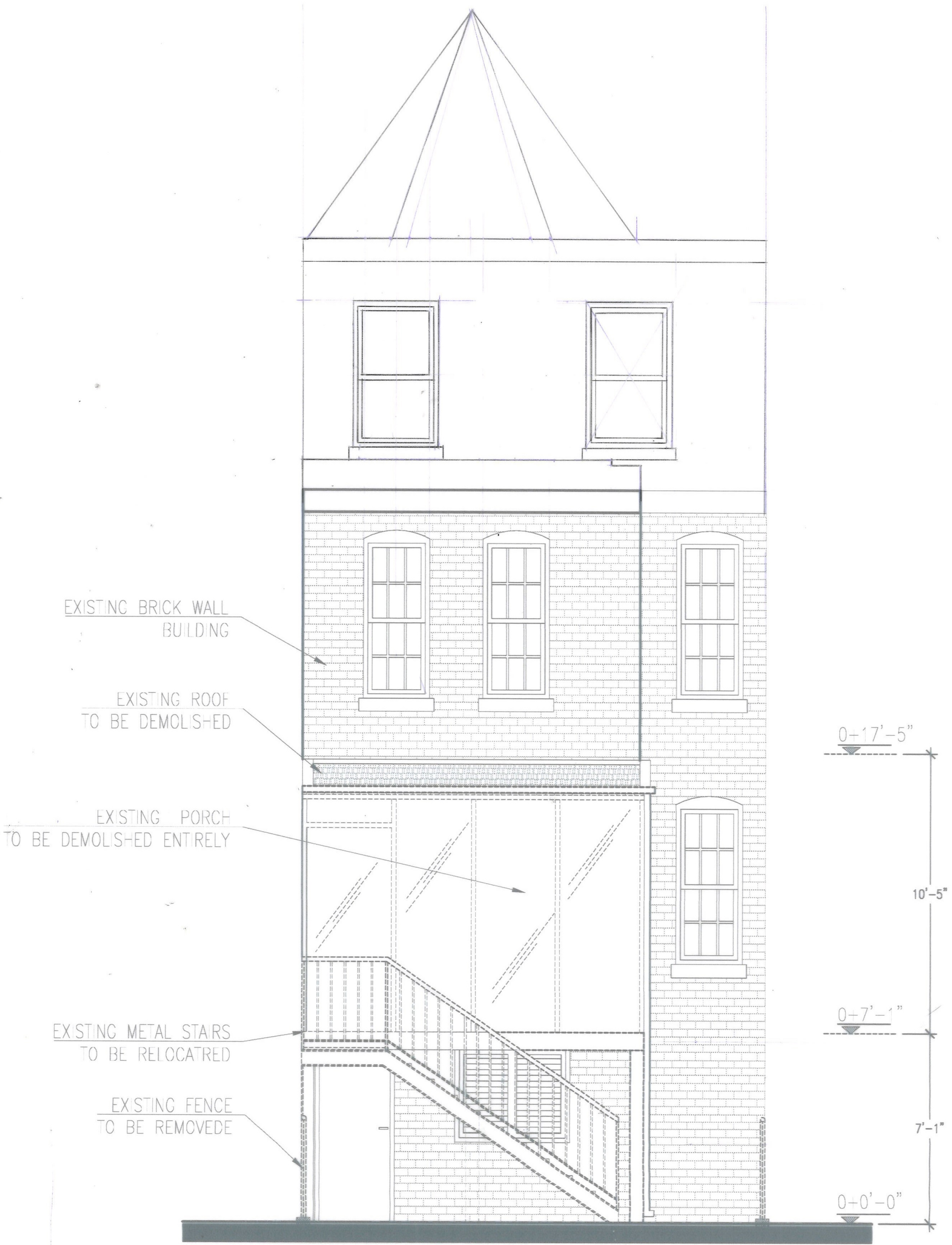
Revisions:	

Date	Scale	Project number	Drawn by
Dec 2018	Indicated	1812001	RNL

Project:	Enclosed Porch 122 V Street NW, Washington DC
Owner:	Athos Pashiardis

Sheet Title:	Existing Rear driveway
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Version:	Permit
Date:	01-25-19
Sheet No:	A001



1 Existing rear Elevation
Scale 1/4" = 1'-0"

Contractor to verify all dimensions & Conditions to bring any discrepancy to the attention of the Architects before proceeding with work. All Work must follow the Current Building code and pass the appropriated City inspections.

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A002	Version: Permit	Sheet No.:	Project: Enclosed Porch	Date: May 2019	Revisions:
	Date: 05-09-19	Sheet Title: Existing Rear Elevation	122 V Street NW, Washington DC	Scale: Indicated	
		Owner: Athos Pasidardis	Project number: 1812001	Drawn by: RNL	



○ THIRD FLOOR
1/8" = 1'-0"

○ SECOND FLOOR
1/8" = 1'-0"

○ FIRST FLOOR
1/8" = 1'-0"

○ BASEMENT
1/8" = 1'-0"

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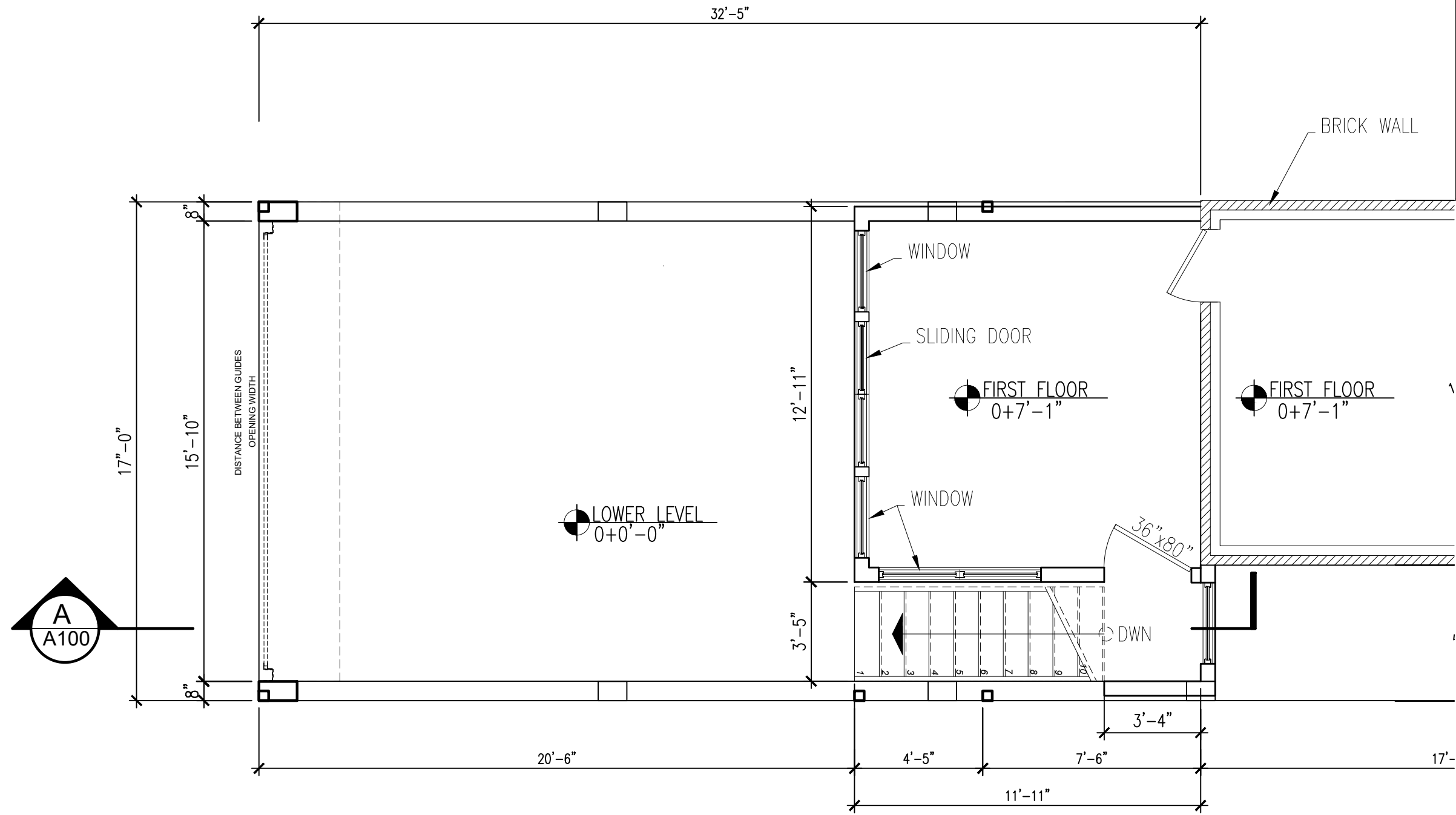
Contractor to verify all dimensions
discrepancy to the attention of the
Architects before proceeding with
work. All Work must follow the
Current Building code and pass the
appropriate City inspections.

Revisions	
Date	May 2008
Scale	Indicated
Project Number	1812001
Drawn by	JS

Project:	Enclosed Porch 122 V Street NW, Washington DC
Owner:	Athos Pasidardis

Sheet Title:
Existing House plans

Version: Permit
Date: 05-08-19
Sheet No:
A003



1 Proposed First Floor
 Scale 1/4" = 1'-0"

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Contractor to verify all dimensions & conditions to bring any discrepancy to the attention of the Architects before proceeding with work. The contractor shall also verify the current Building code and assess the appropriate City inspections.

Revisions:	

Date	Dec 2018
Scale	Indicated
Project number	1812001
Drawn by	RNL

Project:	Enclosed Porch 122 V Street NW, Washington DC
Owner:	Athos Pashiardis

Sheet Title:	Proposed First Floor
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Version:	Permit
Date:	01-25-19
Sheet No:	A004

