

LOT COVERAGE

EXISTING

RESIDENCE:	991.6 SQ.FT.
GARAGE:	230.0 SQ.FT.
FRONT PORCH:	43.6 SQ.FT.
TOTAL:	1265.2 SQ.FT.

LOT SIZE: 6500.0 SQ.FT.

PERCENT COVERAGE: 19.5% (40% MAX.)

PROPOSED

RESIDENCE:	1544.2 SQ.FT.
GARAGE:	230.0 SQ.FT.
FRONT PORCH:	43.6 SQ.FT.
TOTAL:	1817.8 SQ.FT.

LOT SIZE: 6500.0 SQ.FT.

PERCENT COVERAGE: 28.0% (40% MAX.)

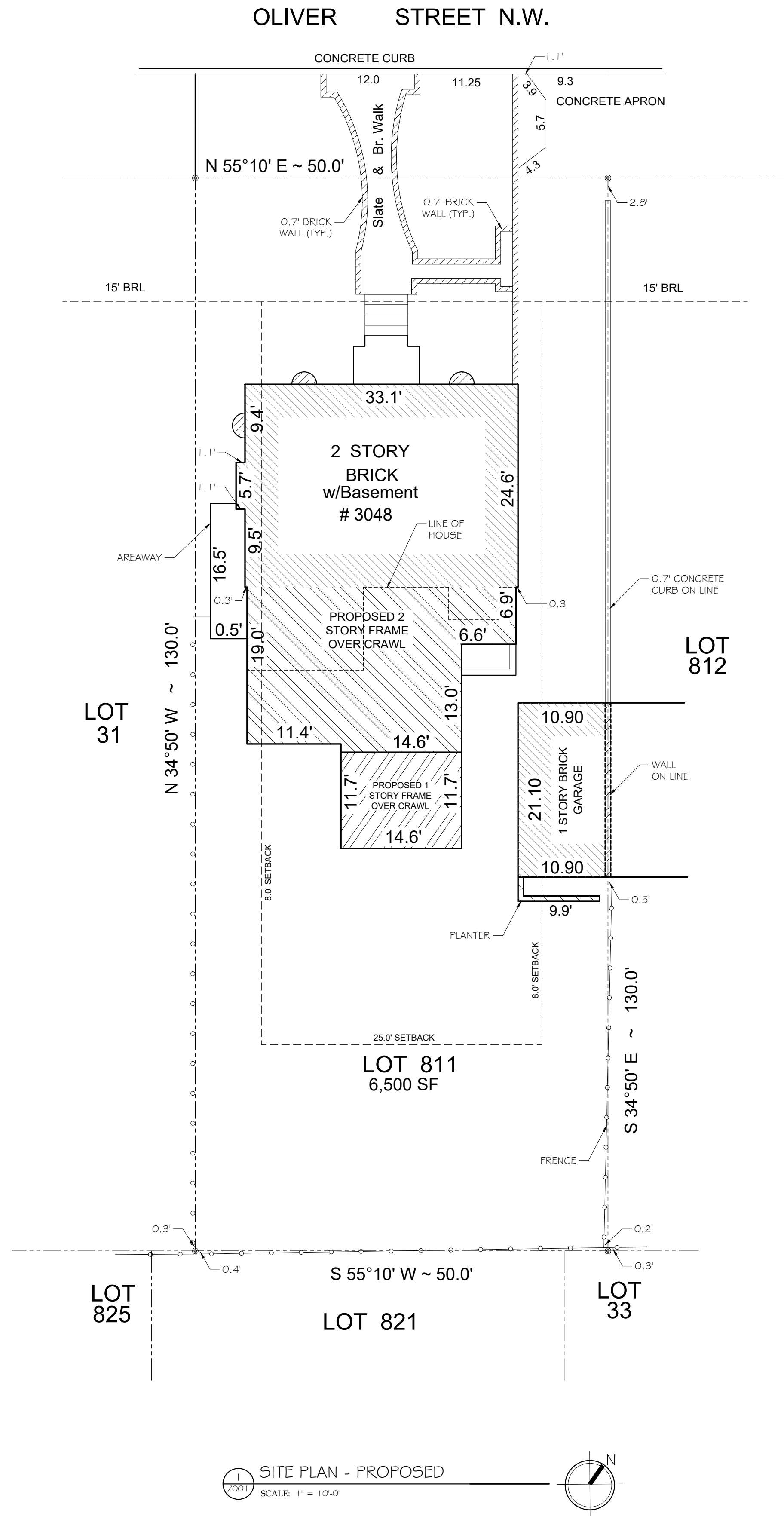
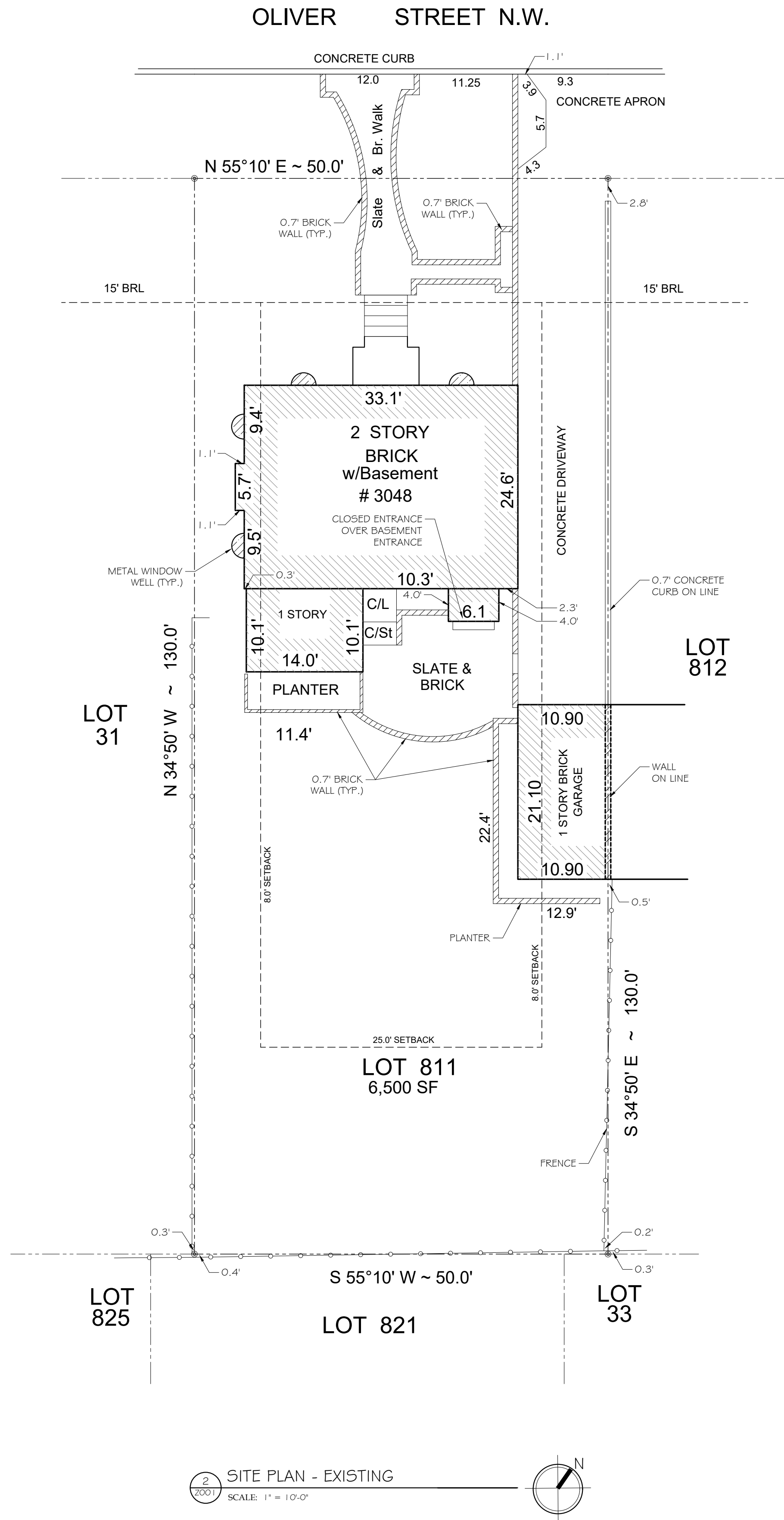
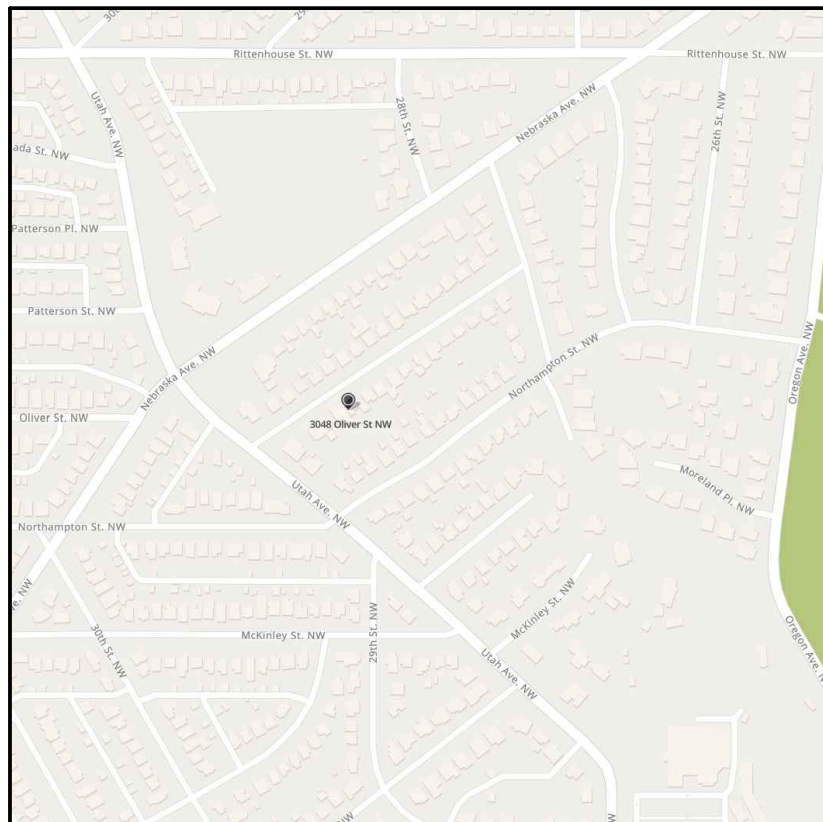
PROPERTY INFORMATION

SQUARE:	2315
LOT:	0811
NEIGHBORHOOD:	CHEVY CHASE
JURISDICTION:	THE DISTRICT
AREA OF LOT:	6,500.0 SQ.FT.
BUILT:	1948
ZONE:	R-1B
TYPE:	DETACHED
HIST. DISTRICT:	NO

DEVELOPMENT STANDARDS
FOR R-1B

ZONE DISTRICT:	RESIDENTIAL ZONE
ZONE:	R-1B
DESCRIPTION:	PROVIDES AREAS PREDOMINANTLY DEVELOPED WITH DETACHED HOUSES ON MODERATELY SLOPED LOTS
DWELLING UNITS:	1
HEIGHT (FT):	40
STORIES:	3
MINIMUM LOT WIDTH (FT.):	50
MINIMUM LOT AREA (SQ.FT.):	5000
LOT OCCUPANCY (%):	40
FRONT SET BACK (FT):	NO LESSER OR GREATER THAN EXISTING SETBACKS ON THE SAME BLOCK
REAR SETBACK (FT):	25
SIDE SETBACK (FT):	8
PERVIOUS SURFACE (%):	50

VICINITY MAP



REGISTERED DESIGN PROF.

PROPERTY INFO

OWNER(S):	SHANNON AND ANDREW McMAHON
NEIGHBORHOOD:	CHEVY CHASE
TYPE:	DETACHED
HISTORIC DISTRICT:	NO
SQUARE:	2315
LOT:	0811
LAND:	6,500 SF
JURISDICTION:	DISTRICT OF COLUMBIA
ZONE:	R-1B
BUILT:	1948

PLAN INFO

SPECIAL EXCEPTION	04 - 12 - 25
DATE	AS SHOWN
SCALE	TR
DRAWN	
PERMIT NO.	
SWDB NO.	

McMAHON
RESIDENCE

3048 OLIVER STREET NW
WASHINGTON DC 20015

SITE PLAN

SHEET

2001

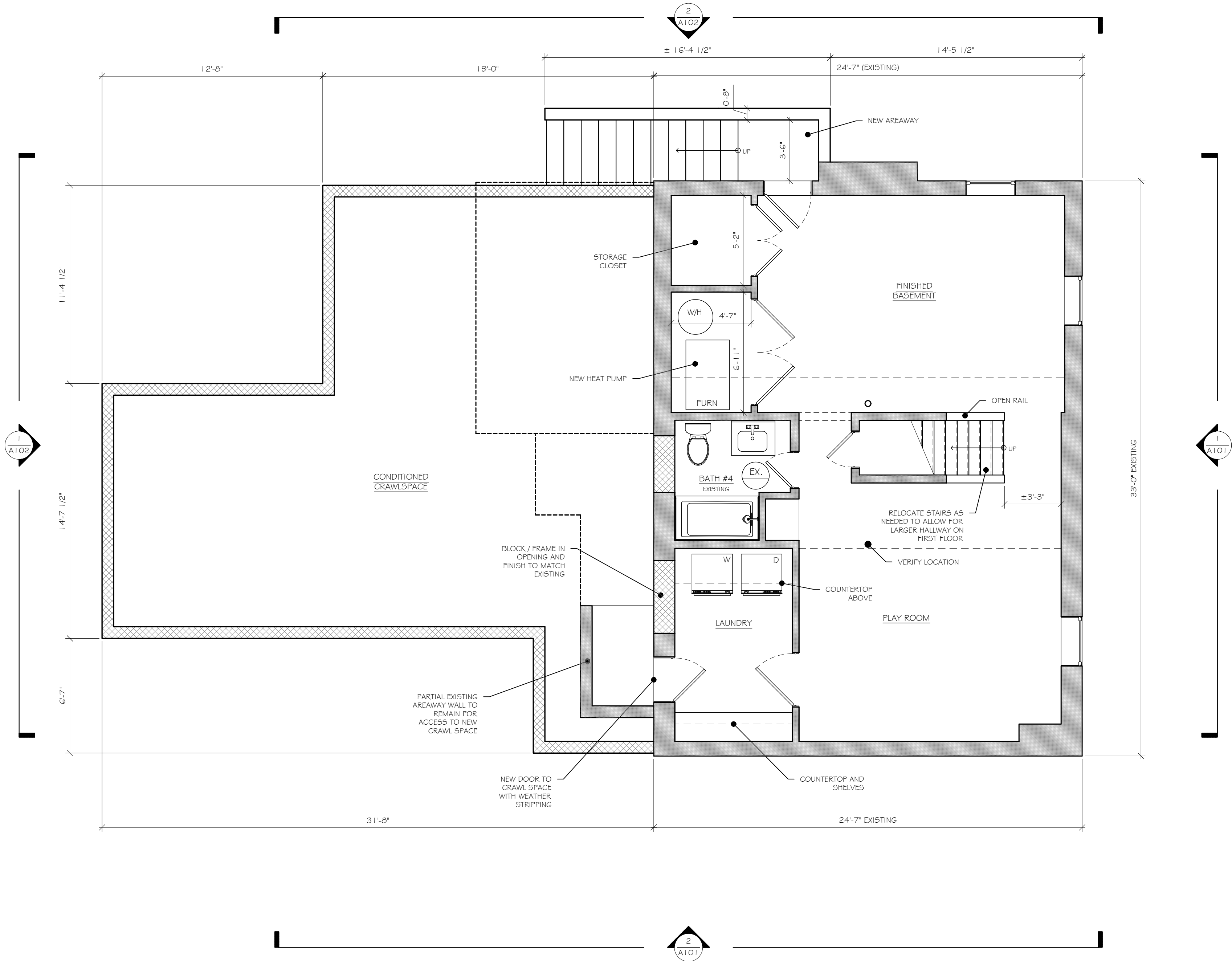
DATE: 12/20/2012
CASE NO. 21340
SHEET 1 OF 2

DEMOLITION GENERAL NOTES:

- ALL ITEMS & MATERIALS REMOVED SHALL BE DISPOSED OF UNLESS OTHERWISE NOTED.
- WHERE EXTERIOR WINDOWS/DOORS ARE REMOVED, COVER TEMPORARILY W/ PLYWOOD.
- DUST PARTITIONS ARE TO BE BUILT TO COORDINATE W/ WORK.
- ALL EX. FLOOR/FURNITURE/WALLS SHALL BE PROTECTED AS NEEDED.
- PLUMBING FIXTURES, WINDOWS, DOORS, ETC. SHALL BE DONATED TO HABITAT FOR HUMANITY OR EQUAL. CONTRACTOR IS TO ARRANGE PICK UP.
- ELECTRICAL, MECHANICAL, & PLUMBING CONTRACTOR SHALL VERIFY ALL EX. CONDITIONS W/ PROPOSED PLANS BEFORE WORK BEGINS.
- CONTRACTOR IS TO COORDINATE DEMOLITION PLANS WITH THE ARCHITECTURAL PLANS. (A___)

DEMOLITION PLAN LEGEND

	EXISTING WALL TO REMAIN
	EXISTING TO BE REMOVED
	NO WORK IN THIS AREA
	SPOT ELEVATION
X: ___ "	DOOR/BULKHEAD HEIGHT
CH	CEILING HEIGHT
ETR	EXISTING TO REMAIN



BASEMENT PLAN
SCALE: 1/4"= 1'-0"

REGISTERED DESIGN PROF.

PROPERTY INFO					
OWNER(S): SHANNON AND ANDREW McMAHON	NEIGHBORHOOD:	CHEVY CHASE	HISTORIC DISTRICT: NO		
	TYPE:	DETACHED	SQUARE:	2315	LAND: 6,500 SF
	LOT:	0811	JURISDICTION:	DISTRICT OF COLUMBIA	
	ZONE:	R-1B	BUILT:	1948	

PLAN INFO					
PHASE	SPECIAL EXCEPTION				
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	PERMIT NO.				
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**McMAHON
RESIDENCE**
3048 OLIVER STREET NW
WASHINGTON DC 20015

FLOOR PLAN
BASEMENT

SHEET

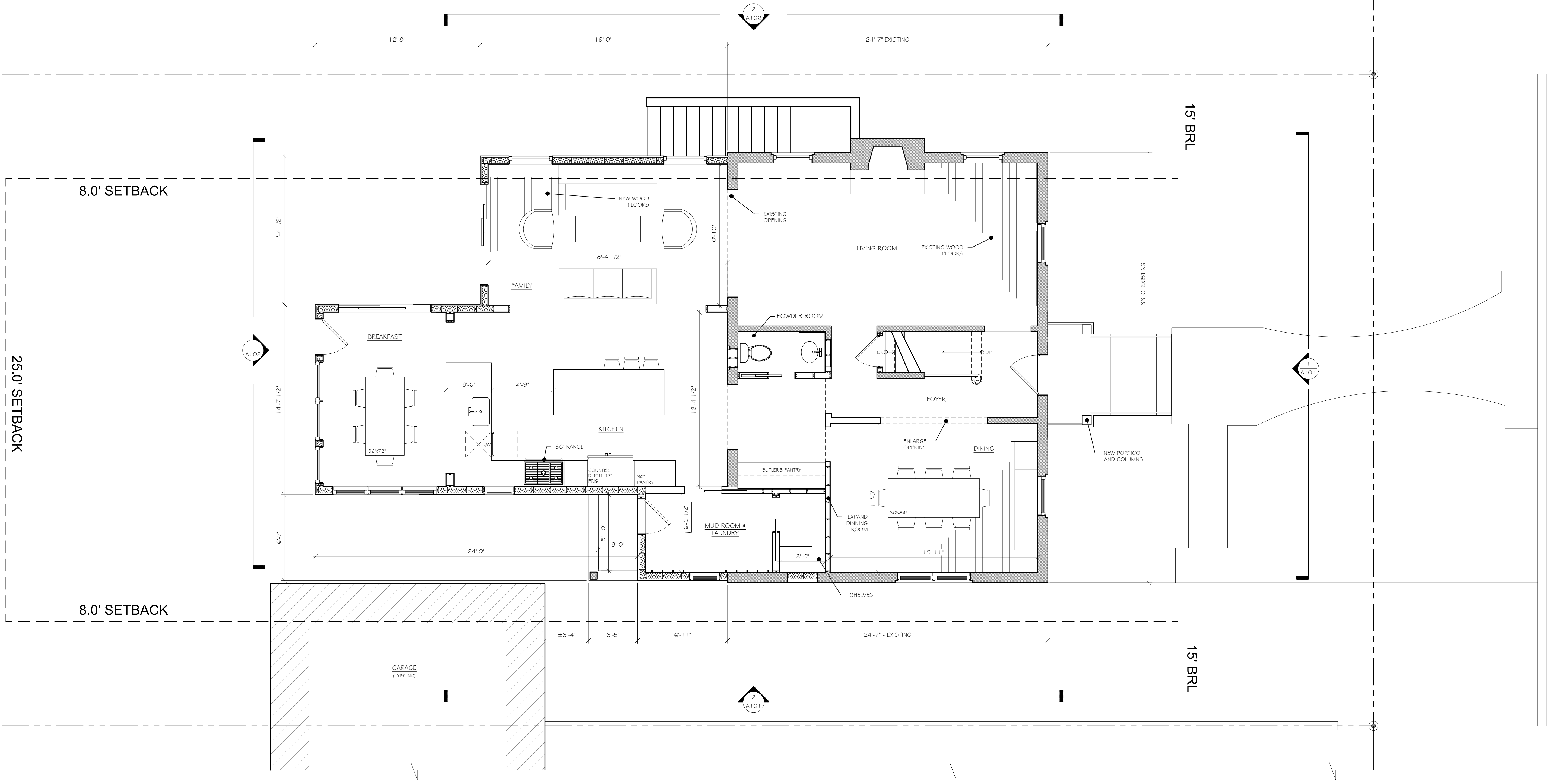
A001

DEMOLITION GENERAL NOTES:

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	EXISTING TO BE REMOVED
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X: __ "	DOOR/BULKHEAD HEIGHT
CH	CEILING HEIGHT
ETR	EXISTING TO REMAIN



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

REGISTERED DESIGN PROF.

PROPERTY INFO

OWNER(S): SHANNON AND ANDREW McMAHON	NEIGHBORHOOD: CHEVY CHASE	TYPE: DETACHED	HISTORIC DISTRICT: NO
SQUARE: 2315	LOT: 0811	LAND: 6,500 SF	JURISDICTION: DISTRICT OF COLUMBIA
ZONE: R-1B	BUILT: 1948		

PLAN INFO

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PERMIT NO.	
SWDBE NO.	

**McMAHON
RESIDENCE**
3048 OLIVER STREET NW
WASHINGTON DC 20015

FLOOR PLAN
FIRST FLOOR

SHEET

A002

1. ALL ITEMS & MATERIALS REMOVED SHALL BE DISPOSED OF UNLESS OTHERWISE NOTED.
2. WHERE EXTERIOR WINDOWS/DOORS ARE REMOVED, COVER TEMPORARILY W/ PLYWOOD.
3. DUST PARTITIONS ARE TO BE BUILT TO COORDINATE W/ WORK.
4. ALL EX. FLOOR/FURNITURE/WALLS SHALL BE PROTECTED AS NEEDED.
5. ALL EX. FLOOR/FURNITURE/WALLS, WORKS, DECORS, ETC. SHALL BE DONATED TO "HABITAT FOR HUMANITY OR EQUAL. CONTRACTOR IS TO ARRANGE PICK UP.
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ETR	EXISTING TO REMAIN

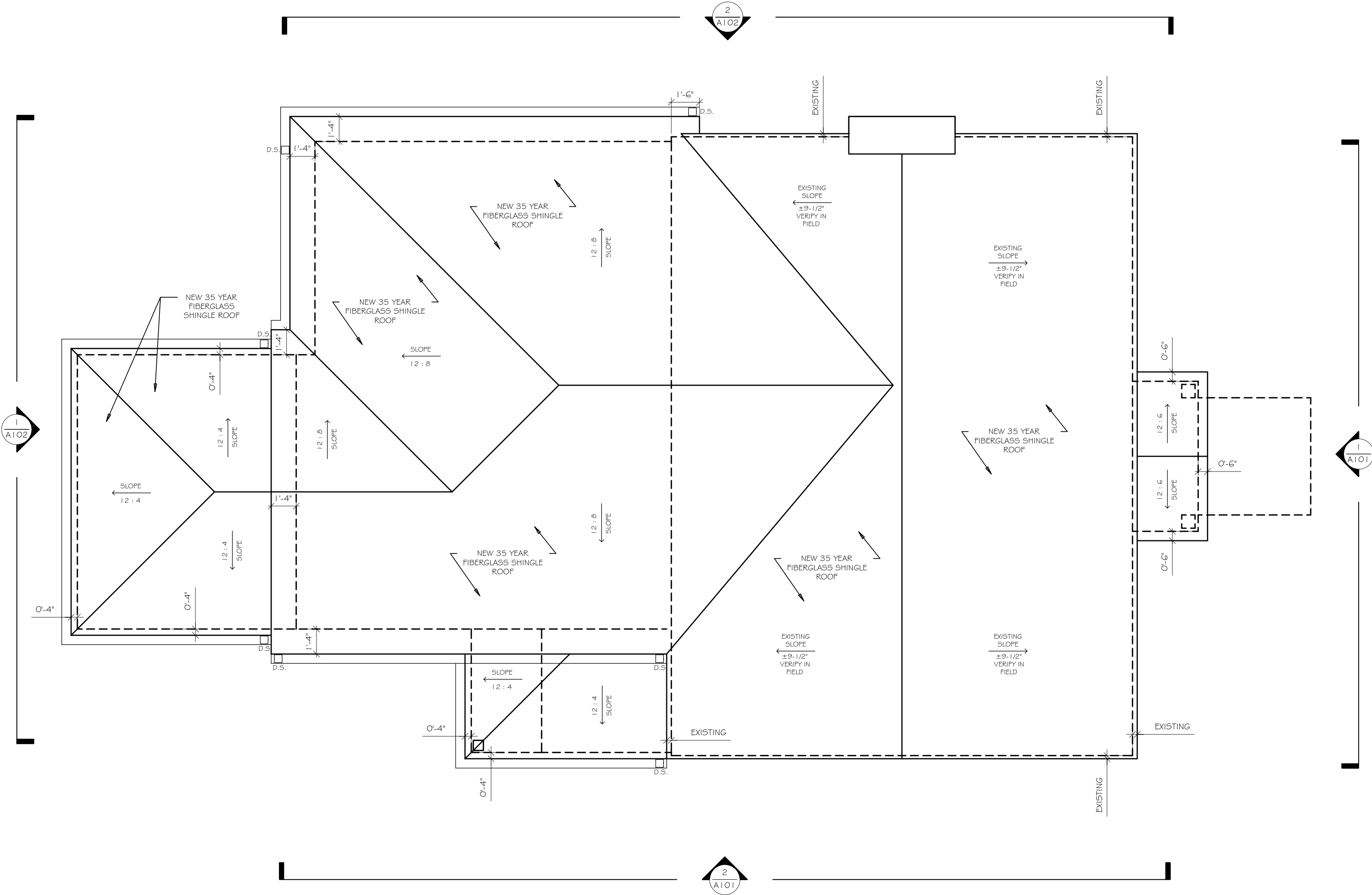


DEMOLITION GENERAL NOTES:

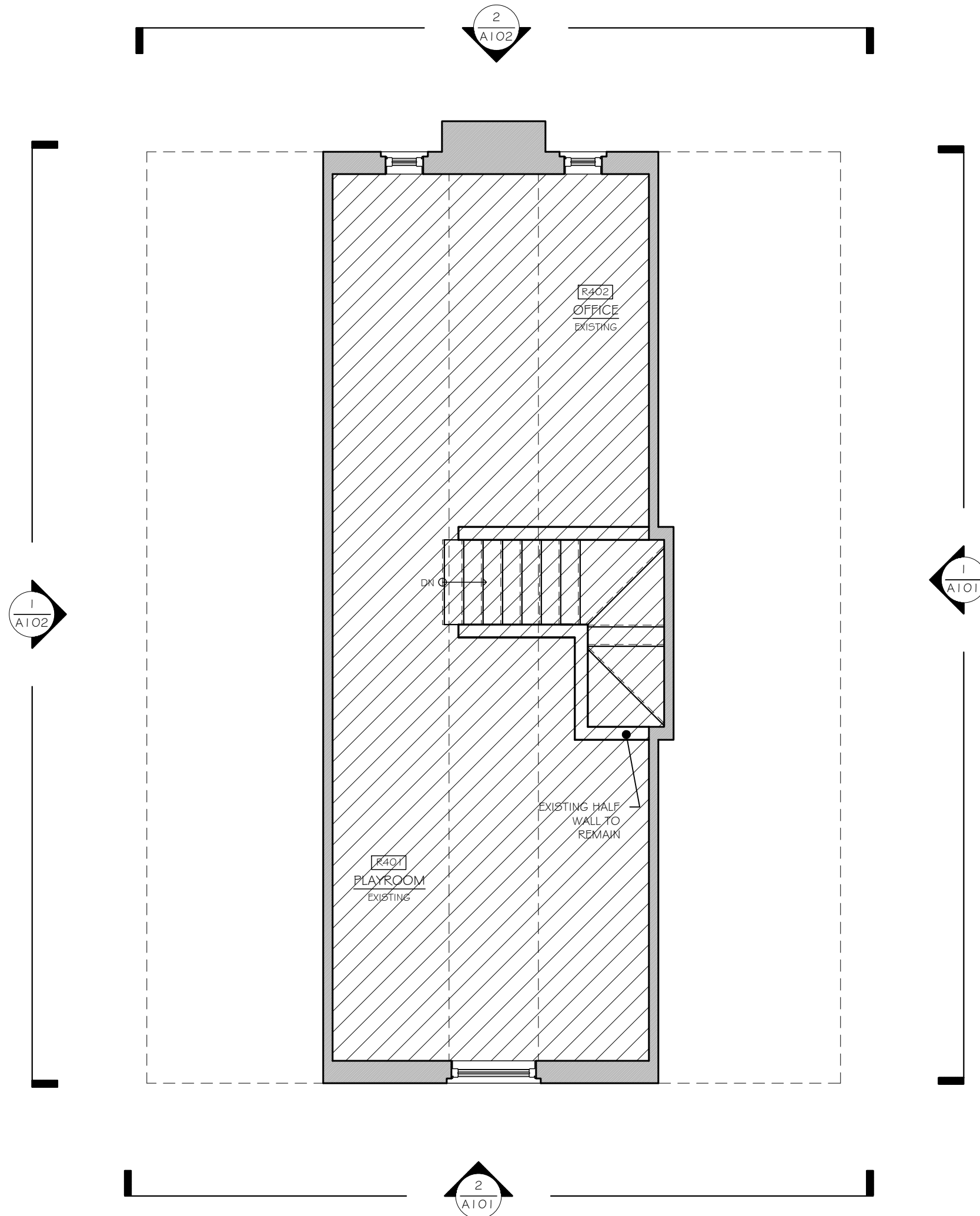
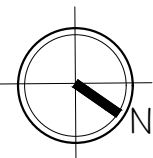
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DEMOLITION PLAN LEGEND

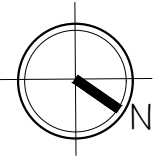
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ETR	EXISTING TO REMAIN



1 ROOF PLAN
SCALE: 1/4"=1'-0"



1 ATTIC PLAN
SCALE: 1/4"=1'-0"



REGISTERED DESIGN PROF.

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				JURISDICTION: DISTRICT OF COLUMBIA	
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					SWDB NO.

McMAHON
RESIDENCE
3048 OLIVER STREET NW
WASHINGTON DC 20015

FLOOR PLAN
THIRD AND ROOF

SHEET

A004



SALTBOXARCHITECTURE

5017 WISCONSIN AVENUE NW
WASHINGTON, D.C. 20015

OFFICE: 202.350.0300
WWW.SALTBOXDESIGN.COM

REGISTERED DESIGN PROF.

PROPERTY INFO

OWNER(S): SHANNON AND ANDREW McMAHON	
NEIGHBORHOOD: CHEVY CHASE	HISTORIC DISTRICT: NO
TYPE: DETACHED	LAND: 6,500 SF
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SWDB NO.	

McMAHON RESIDENCE

3048 OLIVER STREET NW
WASHINGTON DC 20015

ELEVATIONS

SHEET

A101



SALTBOX
ARCHITECTURE

5017 WISCONSIN AVENUE NW
WASHINGTON, D.C. 20015
OFFICE: 202.350.0300
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McMAHON
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3048 OLIVER STREET NW
WASHINGTON DC 20015

ELEVATIONS

SHEET

A102