

Project Location: 6122 Sligo Mill Road NE Washington DC 20011 (Zone R-2)

Date: May 18, 2025

Prepared by: Maria Victoria Cerdenia, Owner

STATEMENT OF REVIEW STANDARDS AND BURDEN OF PROOF

Existing and Intended Use of the Structure:

The proposed project is the construction of an Accessory Dwelling Unit (ADU) on an existing 672 sq ft (24' x 28') building footprint that used to be a garage. The 2-car garage built in 2017 was destroyed by a fallen tree in July 2024. The garage was being used to store inventory for the owner’s home business (Home Occupation Permit No. HO1800304). After the demolition of the damaged garage, we have decided to build a more usable structure on the same building footprint. By adding a second story, the proposed ADU will have room not just for inventory storage but also for a home office, music room, sewing area and guest rooms for visitors.

Request for Special Exceptions

Maximum Building Area

11-DCMR Subtitle D § 5003.1 states that the maximum building area for an accessory building in an R zone shall be the greater of thirty (30%) of the required rear yard area or four hundred and fifty square feet (450 sq. ft.).

Maximum Building Area for an Accessory Building - 450 sq ft

Proposed Building Area for Accessory Building - 672 sq ft

Current Building Area (Main home + Wooden Deck) - 1428 sq ft

Total Area of all Structures after ADU is Built = 672 + 1428 = 2100 sq ft

Lot Area = 7842 sq ft

Lot Occupancy = 2100/7842 x 100 = 26.8%

As per Section 5201.1 we are seeking Special Exception Relief from the Maximum Building Area development standard as the total Lot Occupancy after construction of the ADU will be 26.8%. This is substantially lower than the Maximum Permitted Lot Occupancy of 50% for R-2 zone as shown in Table D § 5201.1(a)

TABLE D § 5201.1(a): MAXIMUM PERMITTED LOT OCCUPANCY BY SPECIAL EXCEPTION		
Zone	Type of Structure	
All R-3 zones except R-3/GT	All Structures	70%
R-3/GT	Row	
R-3/GT	Detached	50%
	Semi-Detached	
All other R zones	All Structures	



**Figure 1 - Picture of Proposed ADU Site as seen from the Back Gate**

As seen in Figure 1, the accessory unit will be built on an existing concrete footprint that previously already had a structure (2-car garage). Therefore, there will be minimal impact on adjacent or nearby properties.

### **Maximum Accessory Building Height**

11-DCMR Subtitle D § 5002.1 states that The maximum height of an accessory building in an R zone shall be two (2) stories and twenty-two feet (22 ft.).

11-DCMR Subtitle B § 308.10 states that The building height of accessory buildings shall be measured from (i) the lower of the finished or natural grade at the middle of the side of the accessory building that faces the principal building, or (ii) the midpoint of the alley lot line if required for vehicular access to the alley, to the highest point of the roof of the building including parapets, penthouses, and rooftop structures.

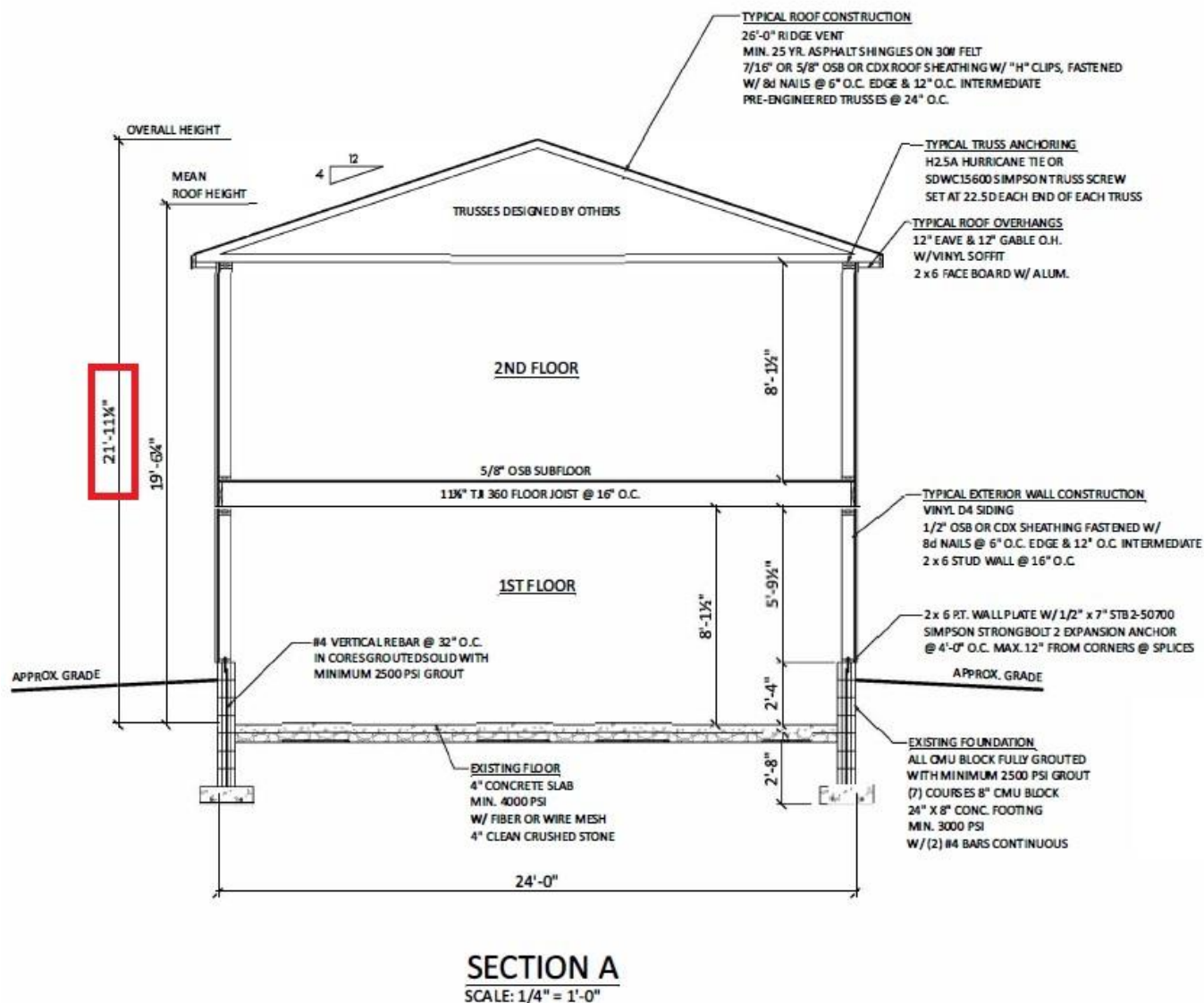


Figure 2 - Section A of Structural Plan showing Building Height

As seen in Figure 2, the proposed ADU is less than 22 feet in height and a total of 2 stories which are compliant with Zoning Regulations.

However, as shown in Figure 3, our property is situated on a ridge where the highest point (frontage on Sligo Mill Road) is at an elevation of 253 feet while the midpoint of the back alley (reference point for height measurement as per 11-DCMR Subtitle B § 308.10 is at an elevation of 238 feet. There is a natural topographical difference in elevation of 15 feet from the front to the back of the property.

The concrete slab for the proposed ADU is at an elevation of 245 feet - 7 feet higher than the midpoint of the back alley. The development standard for 11-DCMR Subtitle B § 308.10 refers to vehicular access. The height difference has already been compensated for as the existing driveway (see Figure 1) is built at an incline to meet the grade where the ADU will be built.

We, therefore, request Special Exemption for the Maximum Building Height as measured from the midpoint of the alley.

We also request approval of variances under § 8 of the Zoning Act, D.C. Official Code § 6-641.07(g)(3) (formerly codified at D.C. Official Code § 5-424(g)(3) (2012 Repl.)) as the parking pad and driveway are on inclines because of the natural topography of our property.



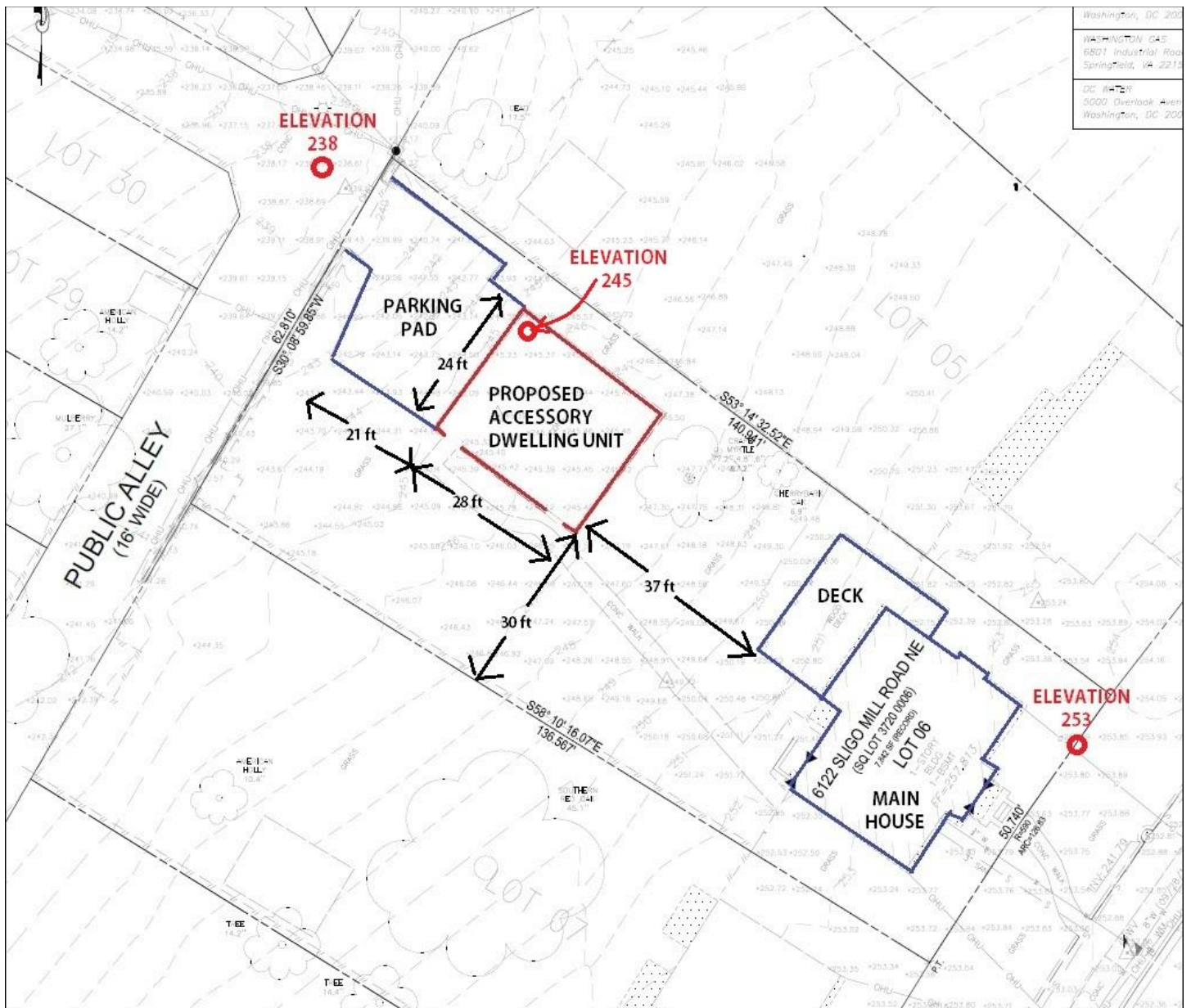


Figure 3 - Topographic Map Detail with Distance and Elevation Measurements

We would also like to address the special Exception Review Standards on impacts to adjacent or nearby properties. As seen in Figure 4, second floor windows are only on the rear (facing the main house) and right (facing backyard of 6118 Sligo) sides of the ADU. Therefore, there are no foreseen privacy or noise issues. Moreover, as seen in Figure 3, there is a 30 foot distance between the ADU and the fence with 6118 Sligo.

We have also contacted ANC 4B10, our neighborhood advisory council. Ms Jinin Berry emailed her reply that since we have applied for the appropriate permits, she sees no other concerns that we should address for our area with regards to the construction of the ADU.

We hereby request granting of Special Exemptions from BZA to proceed with the construction of the ADU.



Figure 4 - Elevations of Proposed ADU

Edwin Andino's comments from the zoning review are as follows:

1. Per 11-DCMR Subtitle D § 5003.1, A MAXIMUM BUILDING AREA of 450 SF --OR-- 30% of the required rear yard is allowed in the R-2 Zone. The proposed 672 SF Accessory Structure does not comply with the development standards of the zoning regulations(11-DCMR) and therefore would require Special Exception relief from the Board of Zoning Adjustment (BZA) pursuant to 11-DCMR Subtitle D § 5201 and Subtitle X § 901 in order to proceed with the project as-submitted.
2. Per 11-DCMR Subtitle D § 5002.1, A MAXIMUM ACCESSORY BUILDING HEIGHT of 22.0' is allowed in the R-2 Zone. The proposed Accessory Building Height does not comply with the development standards of the zoning regulations(11-DCMR) and requires relief from the Board of Zoning Adjustment (BZA) in order to proceed with the project as-submitted.
3. Per 11-DCMR Subtitle B § 308.10, the proposed Accessory Building Height shall be taken from the midpoint of the alley lot line (if required for vehicular access to the alley) to the highest point of the roof of the building. Provide a dimension for the OVERALL HEIGHT of the proposed ACCESSORY STRUCTURE from the ALLEY LOT LINE shown on the PROPOSED ELEVATIONS to determine compliance with the height development standards of the R-2 Zone found in 11-DCMR Subtitle D § 5002.1