

EXHIBIT 12D 4 of 4 Architectural Plans - Pgs 19-24

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

RF-1
Mechanical Review - Golnaz Bastani - 06-30-2023
Electrical Review - Golnaz Bastani - 06-30-2023
Plumbing Review - Golnaz Bastani - 06-30-2023
DC Water Review - Vahid Bilvandi - 06-30-2023
DOEE EV Review - Lala Seidenicker - 06-30-2023
Energy Review - Golnaz Bastani - 06-30-2023
Structural Review - Golnaz Bastani - 06-30-2023
Neighbor Notification - Kobra Ghaffari - 06-30-2023
DOEE SE-SW Review - Amanda Williams - 06-30-2023

DC DEPARTMENT OF BUILDINGS
OFFICE OF THE ZONING ADMINISTRATION
COMPLIES WITH THE REQUIREMENTS
OF 11 DCMR - ZONING REGULATIONS
OF THE DISTRICT OF COLUMBIA

DOB
GOVERNMENT OF THE DISTRICT OF COLUMBIA
MURIEL BOWSER, MAYOR

5/9/2023

RICHARD MILLS
ARCHITECTURAL DRAFTING
SERVICE

CAD Services

Email: rfmills@verizon.net

Oxon Hill, Maryland 20745

MEP Consultant

Marcel Cherfan

P.O. Box 87192

Montgomery Village, MD 20886

Project

ALTERATION / ADDITION

515 21 st STREET, NE
WASHINGTON DC

Consultants

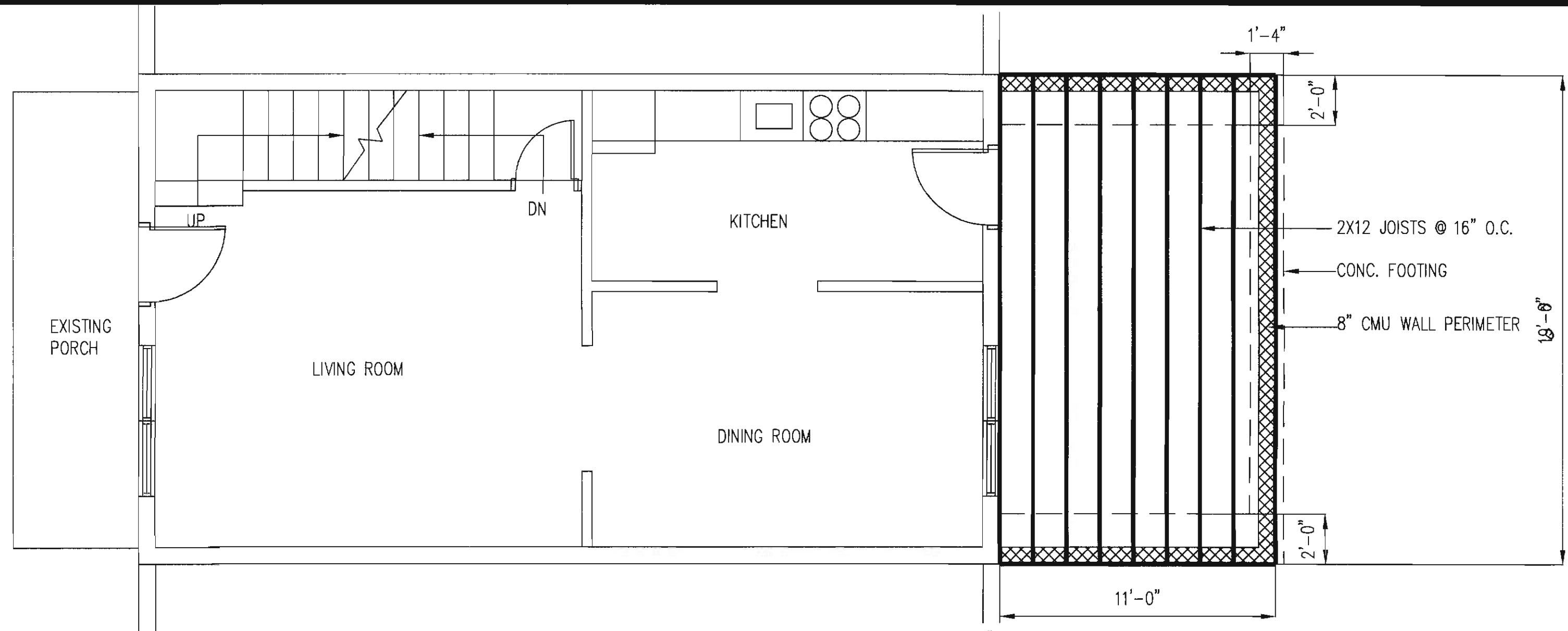
Sunday Ojigbo
(B.S. Arch/ M.S. Planning)

2409 Oxon Run Drive
Temple Hills, Md 20744

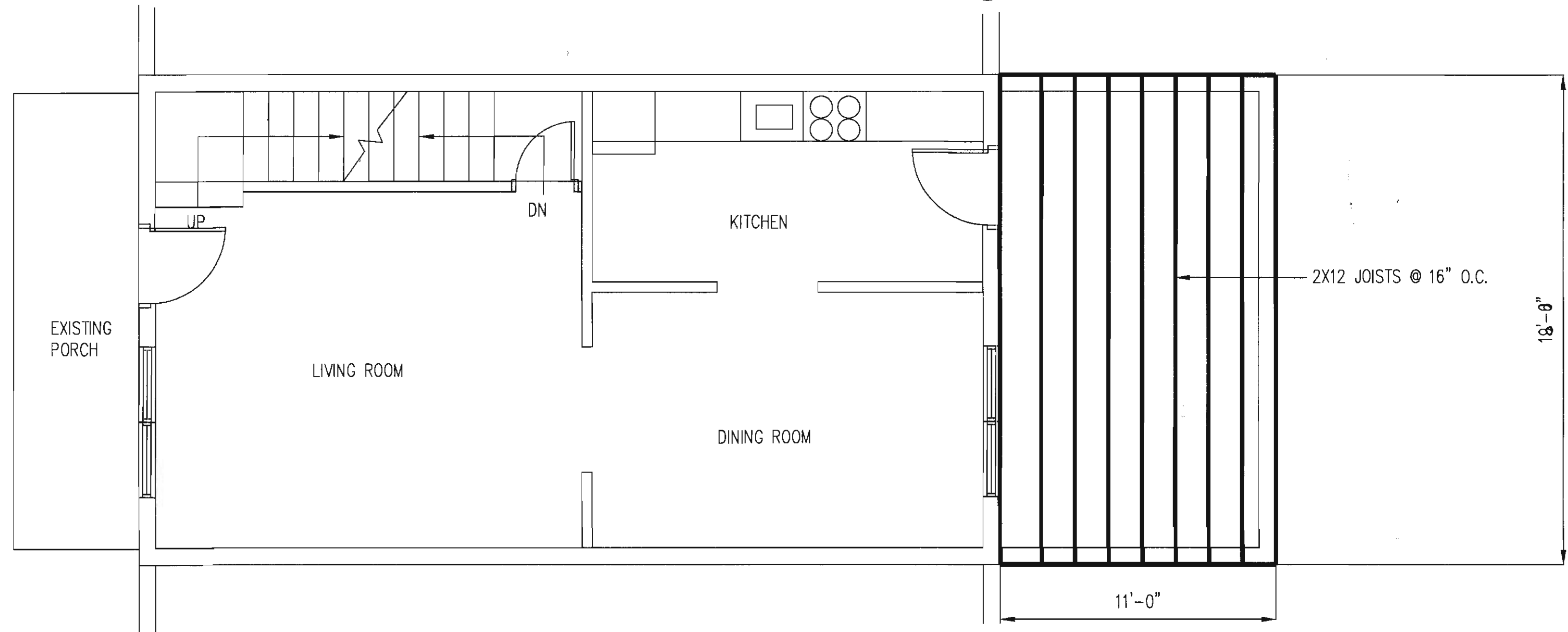
Sheet Title

FOUNDATION / FRAMING

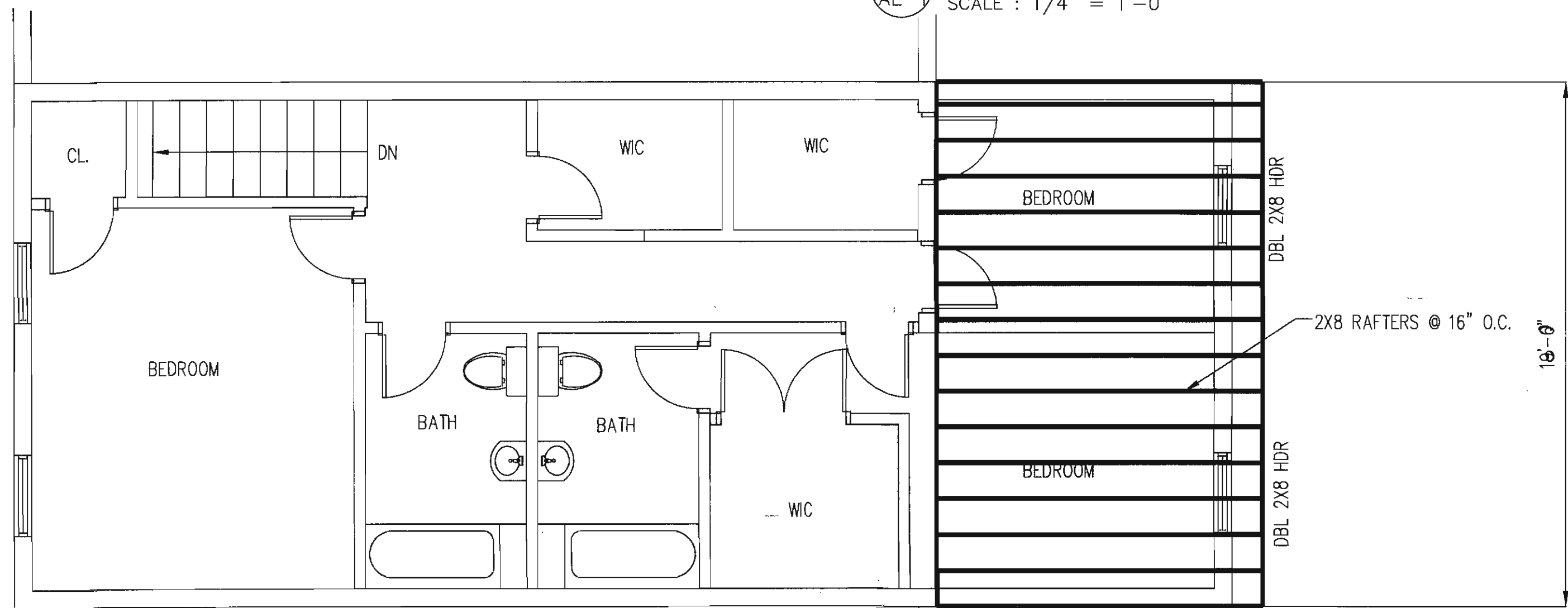
Project No.	Sheet
Date 1-25-22	S-1
Drawn By RFM	
Scale AS SHOWN	



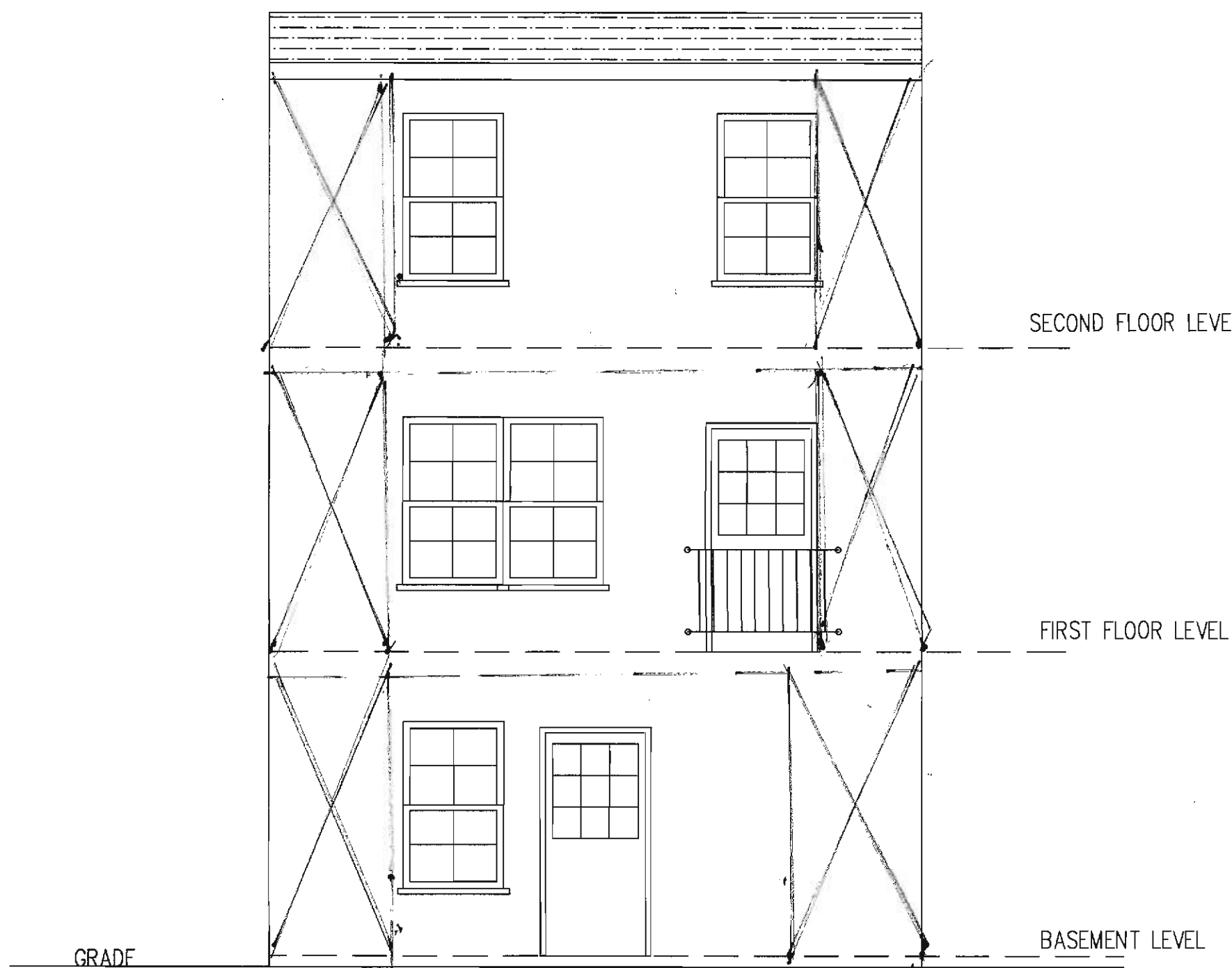
01 FOUNDATION/ 1ST FLOOR FRAMING
SCALE : 1/4" = 1'-0"



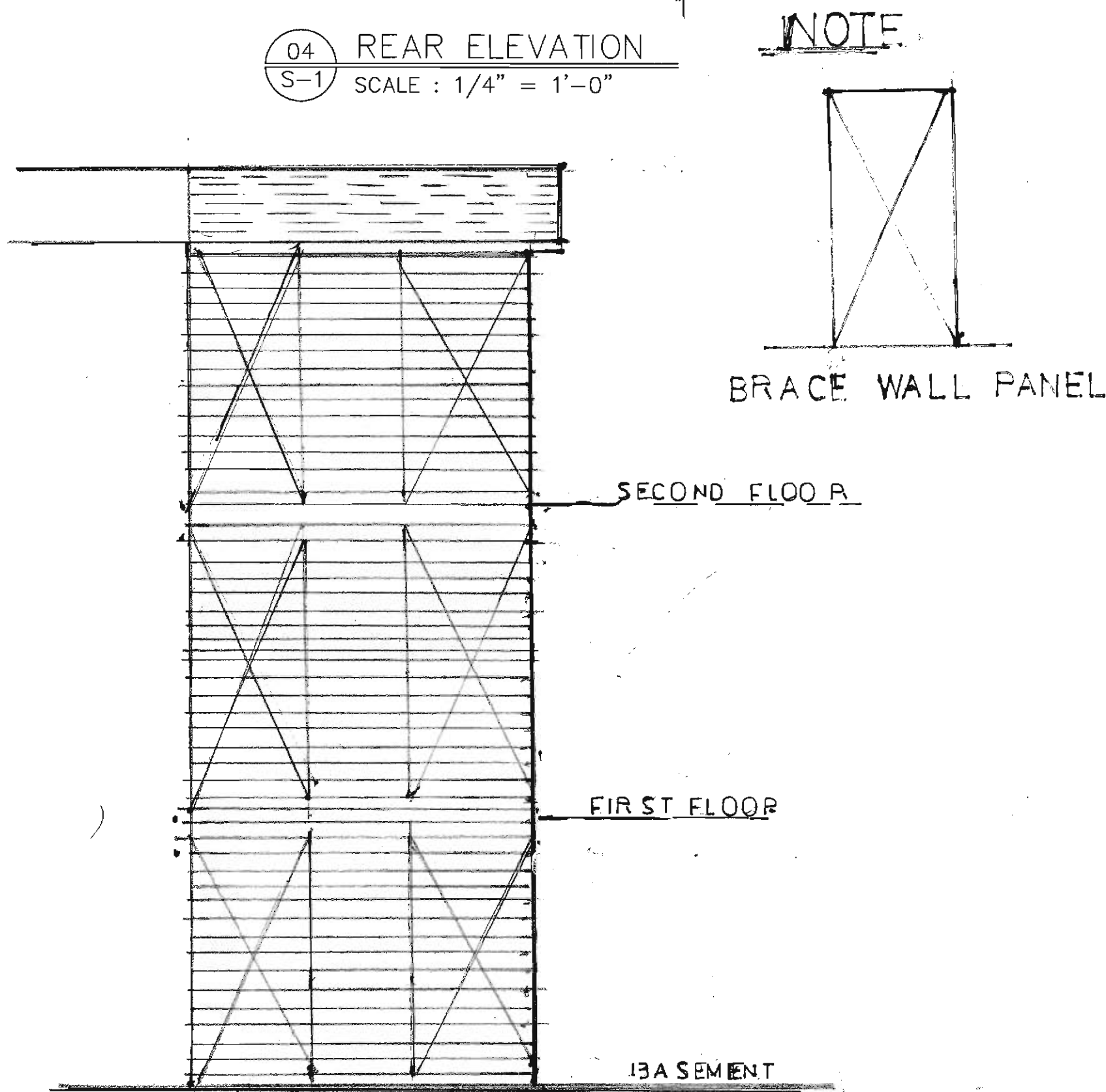
02 2ND FLOOR FRAMING
SCALE : 1/4" = 1'-0"



03 ROOF FRAMING
SCALE : 1/4" = 1'-0"



04 REAR ELEVATION
SCALE : 1/4" = 1'-0"



05 SIDE ELEVATION
SCALE : 1/4" = 1'-0"

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

Mechanical Review - Golnaz Bastani - 06-30-2023
Electrical Review - Golnaz Bastani - 06-30-2023
Plumbing Review - Golnaz Bastani - 06-30-2023
DC Water Review - Vahid Bilvardi - 06-30-2023
DOEE EV Review - Lala Seidensticker - 06-30-2023
Energy Review - Golnaz Bastani - 06-30-2023
Structural Review - Golnaz Bastani - 06-30-2023
Neighbor Notification - Kolas Eilon - 06-30-2023
DOEE SE-SW Review - Amanze Williams - 06-30-2023

RICHARD MILLS
ARCHITECTURAL DRAFTING
SERVICE

CAD Services

Email: rfmills@verizon.net

Oxon Hill, Maryland 20745

MEP Consultant

Marcel Cherfan
P.O. Box 87192
Montgomery Village, MD 20886

Project

ALTERATION / ADDITION
515 21 st STREET, NE
WASHINGTON DC

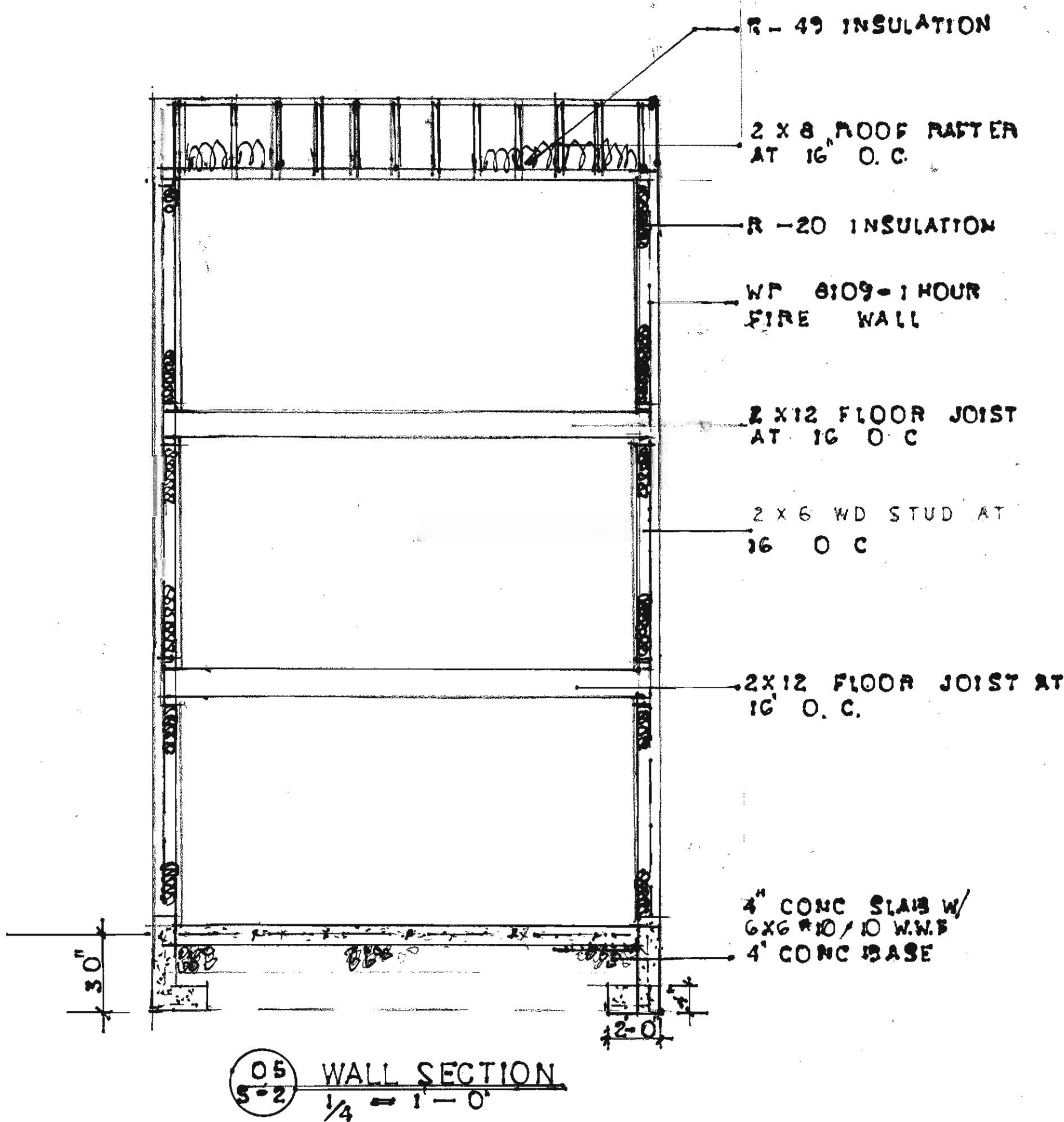
Consultants

Sunday Ojigbo
(B.S. Arch/ M.S. Planning)
2409 Oxon Run Drive
Temple Hills, Md 20744

Sheet Title

WALL SECTION

Project No.	Sheet
Date	S-2
Drawn By	
Scale	



GENERAL CONSTRUCTION NOTES

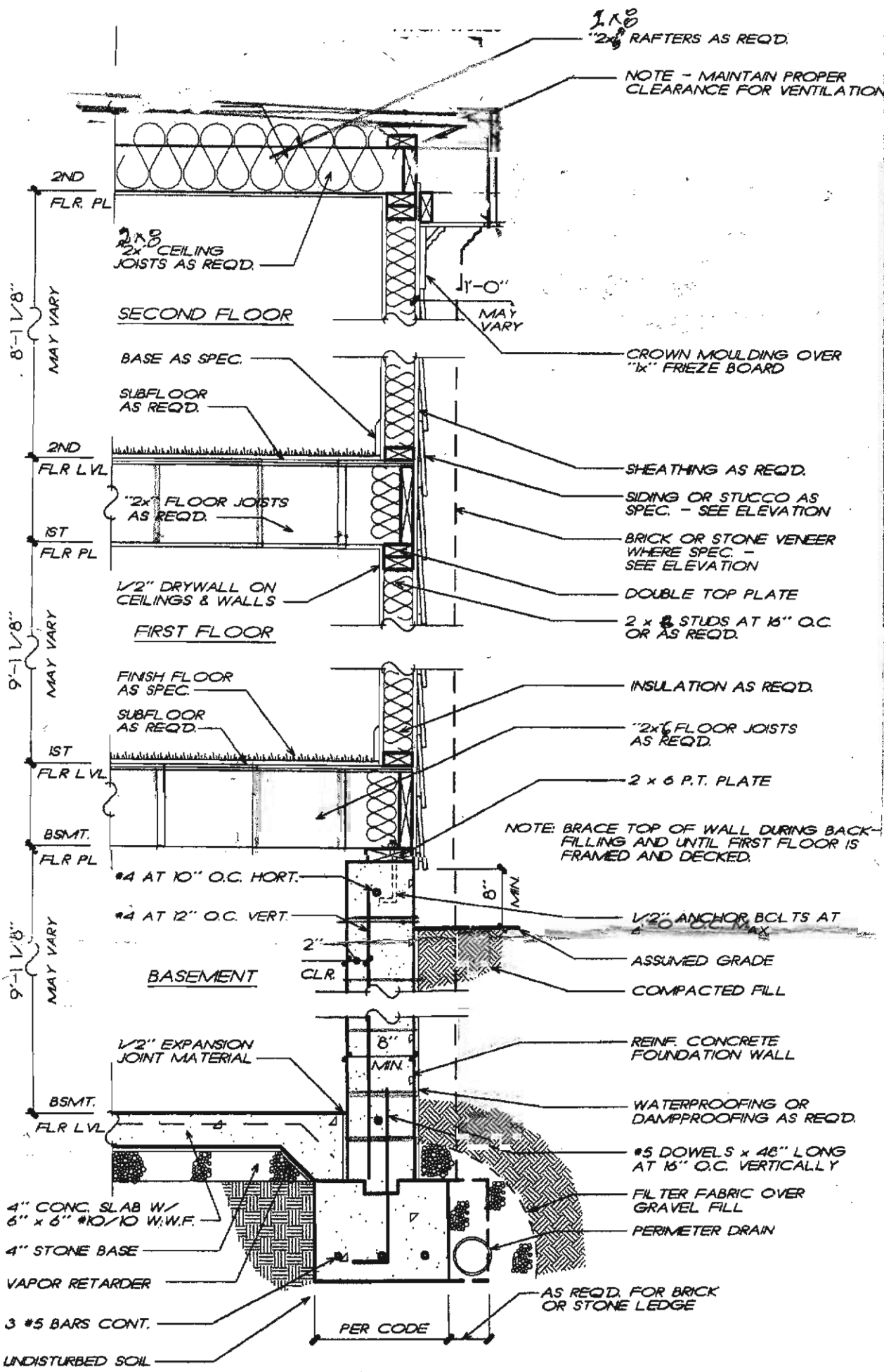
EXISTING WOOD PARTITIONS WHERE SHOWN ON PLANS TO BE REMOVED, SHALL BE REPLACED WITH NEW CONSTRUCTION GRADE 2"x4" WOOD STUDS AT 16" ON CENTER WITH PLATES AT TOP AND BOTTOM. DOUBLE PLATED AT ALL BEARING WALLS. LOCATIONS FOR ALL NEW PARTITIONS SHALL BE AS INDICATED ON PLANS. ALL REMAINING WOOD STRUCTURAL FRAMING SUCH AS FLOOR JOIST, HEADERS, TC, SHALL BE CAREFULLY INSPECTED FOR SOUNDNESS AND REPLACED OR REPAIRED WHERE STRUCTURAL DEFICIENCIES EXIST. ALL NEW FRAMING MATERIALS SHALL BE OF SIZES, SPACING AND ANCHORAGE SHOWN ON PLANS. PROVIDE DOUBLE FRAMING AROUND ALL OPENINGS AND ROOF PENETRATIONS. VERIFY AND CORRECT ALL MASONRY WALLS WHERE NECESSARY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AS WORK PROGRESSES.

FRAMING

ALL WOOD STRUCTURAL MEMBERS SHALL BE 1200 P.S.I. FC OF SIZES, SPACES SPACING AND ANCHORAGE SHOWN ON PLANS. PROVIDE DBL. FRAMING AROUND ALL OPENINGS SUCH AS STAIRS AND DUCT CHASES. JOIST SHALL BE DOUBLED WHERE INTERIOR PARTITIONS ARE RUNNING DIRECTLY OVER IN SAME DIRECTION. ALL WOOD BEARING PARTITIONS SHALL BE 2"x4" STUDS @16" O.C. W/ DBL. TOP PLATE & BLOCK BRIDGED @ MID-HEIGHT. UNLESS OTHERWISE NOTED ON PLANS PROVIDE WOOD LINTELS OVER FRAME OPENINGS AS FOLLOWS:

HEADERS AND GIRDERS SUPPORTING	SIZE	BUILDING WIDTH					
		20'		28'		36'	
		SPAN	NJ ^a	SPAN	NJ ^a	SPAN	NJ ^a
ONE FLOOR ONLY	(2) 2" X 4"	3'-11"	1	2'-8"	1	2'-5"	1
	(2) 2" X 6"	4'-6"	1	3'-11"	1	3'-6"	1
	(2) 2" X 8"	5'-9"	1	5'-0"	2	4'-5"	2
	(2) 2" X 10"	7'-0"	2	6'-11"	2	5'-8"	2
	(2) 2" X 12"	8'-11"	2	7'-0"	2	6'-3"	2
	(3) 2" X 8"	7'-2"	1	6'-3"	1	5'-7"	2
	(3) 2" X 10"	8'-9"	1	7'-1"	2	6'-9"	2
	(3) 2" X 12"	10'-2"	2	8'-10"	2	7'-10"	2
	(4) 2" X 8"	9'-0"	1	7'-8"	1	6'-9"	1
	(4) 2" X 10"	10'-1"	1	8'-10"	1	7'-10"	2
	(4) 2" X 12"	11'-9"	1	10'-2"	2	9'-11"	2
	(2) 2" X 4"	2'-2"	1	1'-10"	1	1'-7"	1
TWO FLOORS	(2) 2" X 6"	3'-2"	2	2'-5"	2	2'-5"	2
	(2) 2" X 8"	4'-11"	2	3'-6"	2	3'-2"	2
	(2) 2" X 10"	4'-11"	2	4'-3"	2	3'-10"	3
	(2) 2" X 12"	5'-9"	2	5'-0"	3	4'-5"	2
	(3) 2" X 8"	5'-1"	2	4'-5"	2	3'-11"	2
	(3) 2" X 10"	6'-2"	2	5'-4"	2	4'-10"	2
	(3) 2" X 12"	7'-2"	2	6'-3"	2	5'-7"	3
	(4) 2" X 8"	6'-1"	1	5'-3"	2	4'-8"	2
	(4) 2" X 10"	7'-1"	2	6'-2"	2	5'-6"	2
	(4) 2" X 12"	8'-4"	2	7'-2"	2	6'-5"	2

^a NJ - NUMBER OF JACK STUDS REQUIRED TO SUPPORT EACH END. WHERE THE NUMBER OF REQUIRED JACK STUDS EQUALS ONE, THE HEADER IS PERMITTED TO BE SUPPORTED BY AN APPROVED FRAMING ANCHOR ATTACHED TO THE FULL HEIGHT WALL STUD AND TO THE HEADER.



NOTE: WALL REINFORCING IS SIZED FOR A MAXIMUM 9'-1 1/8" HEIGHT. GREATER HEIGHTS REQUIRE REDESIGN BY BUILDER.

TYP. WALL SECTION

3/4" = 1'-0" TWO STORY ON BASEMENT

EXTERIOR WALLS		
GA FILE NO. WP 8109	PROPRIETARY*	1 HOUR FIRE
GYPSUM PANEL PRODUCTS, FIBER-CEMENT SIDING, WOOD STUDS		
Fire Design:		
EXTERIOR SIDE: Base layer 5/8" proprietary type X gypsum sheathing or glass mat gypsum substrate applied parallel to 2 x 4 wood studs 16" o.c. with 1-3/4" galvanized roofing nails 4" o.c. at vertical joints and 7" o.c. at intermediate studs and top and bottom plates. Joints of gypsum sheathing may be left untreated. Face layer 1/4" proprietary fiber-cement siding fastened through sheathing to studs.		
INTERIOR SIDE: One layer 5/8" proprietary type X gypsum wallboard, glass mat gypsum substrate, water-resistant gypsum backing board, or gypsum veneer base applied parallel or at right angles to studs with 6d coated nails, 1-7/8" long, 0.0915" shank, 1/4" heads, 7" o.c. (LOAD-BEARING)		
PROPRIETARY GYPSUM PANEL PRODUCTS		
CertainTeed Gypsum Inc. 5/8" CertainTeed® Type X Gypsum Board		
5/8" GlasRoc® Sheathing Type X Gypsum Panels		
Continental Building Products Operating Company, LLC 5/8" Firecheck® Type X		
5/8" Weather Defense® Sheathing Type X		
Georgia-Pacific Gypsum LLC 5/8" DensArmor Plus® Fireguard® Interior Panel		
5/8" DensGlass® Fireguard® Sheathing		
National Gypsum Company 5/8" Gold Bond® Brand FIRE-SHIELD® Gypsum Board		
5/8" Gold Bond® Brand FIRE-SHIELD® Gypsum Sheathing		
USG® Gypsum 5/8" FLAME CURB® Type X		
5/8" PABCO® GLASS® Sheathing Type X		

These plans are conditionally approved as submitted and are subject to plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

Mechanical Review - Golnaz Bastani - 06-30-2023
Electrical Review - Golnaz Bastani - 06-30-2023
Plumbing Review - Golnaz Bastani - 06-30-2023
DC Water Review - Golnaz Bastani - 06-30-2023
DOEE EV Review - Golnaz Bastani - 06-30-2023
Energy Review - Golnaz Bastani - 06-30-2023
Structural Review - Golnaz Bastani - 06-30-2023
Neighbor Notification - Kolas Elton - 06-30-2023
DOEE SE-SW Review - Amanze Williams - 06-30-2023

SEDIMENT CONTROL NARRATIVE

SCOPE OF WORK IS TO PROVIDE A 2-STORY 35 X 28' SLAB-ON-TO AN EXISTING SF-DETACHED HOUSE, WHICH IS CURRENTLY BRICK STRUCTURE WITH BASEMENT AND AN EXISTING PORCH WIDTH AND 157.58' IN LENGTH AND IS A CORNER LOT LOCATED OF 30TH STREET AND CHANNING STREET, N.E.

CONSTRUCTION WILL REQUIRE AND INCLUDE INTERIOR FRAMING, DOORS, DRYWALL, CABINETS, FLOORING, FOUNDATION WORK, FRAMING AND CONNECTION TO EXISTING STRUCTURE, WALLS, NECESSARY, AND ELECTRICAL AND MECHANICAL EQUIPMENT REPLACEMENT/UPGRADES, AS NECESSARY.

EXTERIOR IMPROVEMENT INCLUDES NEW ROOF, GRADING AND ADDITION TO ENSURE POSITIVE DRAINAGE FLOW, AND SODD SEEDING AROUND NEW ADDITION.

NOTE

SOIL TYPE
U10 URBAN LAND-BELTSVILLE
CHILLUM

DISTRICT OF COLUMBIA GOVERNMENT OFFICE OF THE SURVEYOR

Washington, D.C., February 11, 2022

Plat for Building Permit of:

SQUARE 4516 LOT 203

Scale: 1 inch = 20 feet

Recorded in Book 111 Page 188

Receipt No. 22-02504

Drawn by: A.S.

Furnished to: DAVID CUNNINGHAM

"I hereby certify that the dimensions and configuration of the lot(s) hereon depicted are consistent with the records of the Office of the Surveyor unless otherwise noted, but it is not to be construed as a warranty of the dimensions and configuration of A&T lots are provided by the Office of Tax and Revenue and may not necessarily agree with the deed description(s)."

Surveyor, D.C.



SR-22-02504(2022)

SHEET 1 OF 2

I hereby certify that on this plat on which the Office of the Surveyor has drawn the dimensions of this lot, I have accurately and completely depicted and labeled the following:

1) all existing buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, and any existing face-on-line or party wall labeled as such, as well as projections and improvements in public space - with complete and accurate dimensions;

2) all proposed demolition or raze of existing buildings duly labeled as such; all proposed buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, any existing face-on-line or party wall labeled as such, as well as projections and improvements in public space and the improvements used to satisfy previous surface or green area ratio requirements - with complete and accurate dimensions, in conformity with the plans submitted with building permit application;

3) any existing chimney or vent on an adjacent property that is located within 10 feet of this lot.

I also hereby certify that:

1) my depiction on this plat, as detailed above, is accurate and complete as of the date of my signature hereon;

2) there is no elevation change exceeding two feet measured between lot lines; or if so, this elevation change is depicted on a site plan submitted with the plans for this permit application;

3) I have not (circle one) filed a subdivision application with the Office of the Surveyor;

4) I have not (circle one) filed a subdivision application with the Office of Tax & Revenue; and

5) if there are changes to the lot and its boundaries as shown on this plat, or to the proposed construction and plans as shown on this plat, that I shall obtain an updated plat from the Office of the Surveyor on which I will depict all existing and proposed construction and which I will then submit to the Office of the Zoning Administrator for review and approval prior to permit issuance.

The Office of the Zoning Administrator will only accept a Building Plat issued by the Office of the Surveyor within the two years prior to the date DCRA accepts a Building Permit Application as complete.

I acknowledge that any inaccuracy or errors in my depiction on this plat will subject any permit or certificate of occupancy issued in reliance on this plat to enforcement, including revocation under Sections 105.6(1) and 110.5.2 of the Building Code (Title 12A of the D.C. Code) as well as prosecution and penalties under Section 404 of D.C. Law 4-104 (D.C. Official Code § 22-2405).

Signature: [Signature]

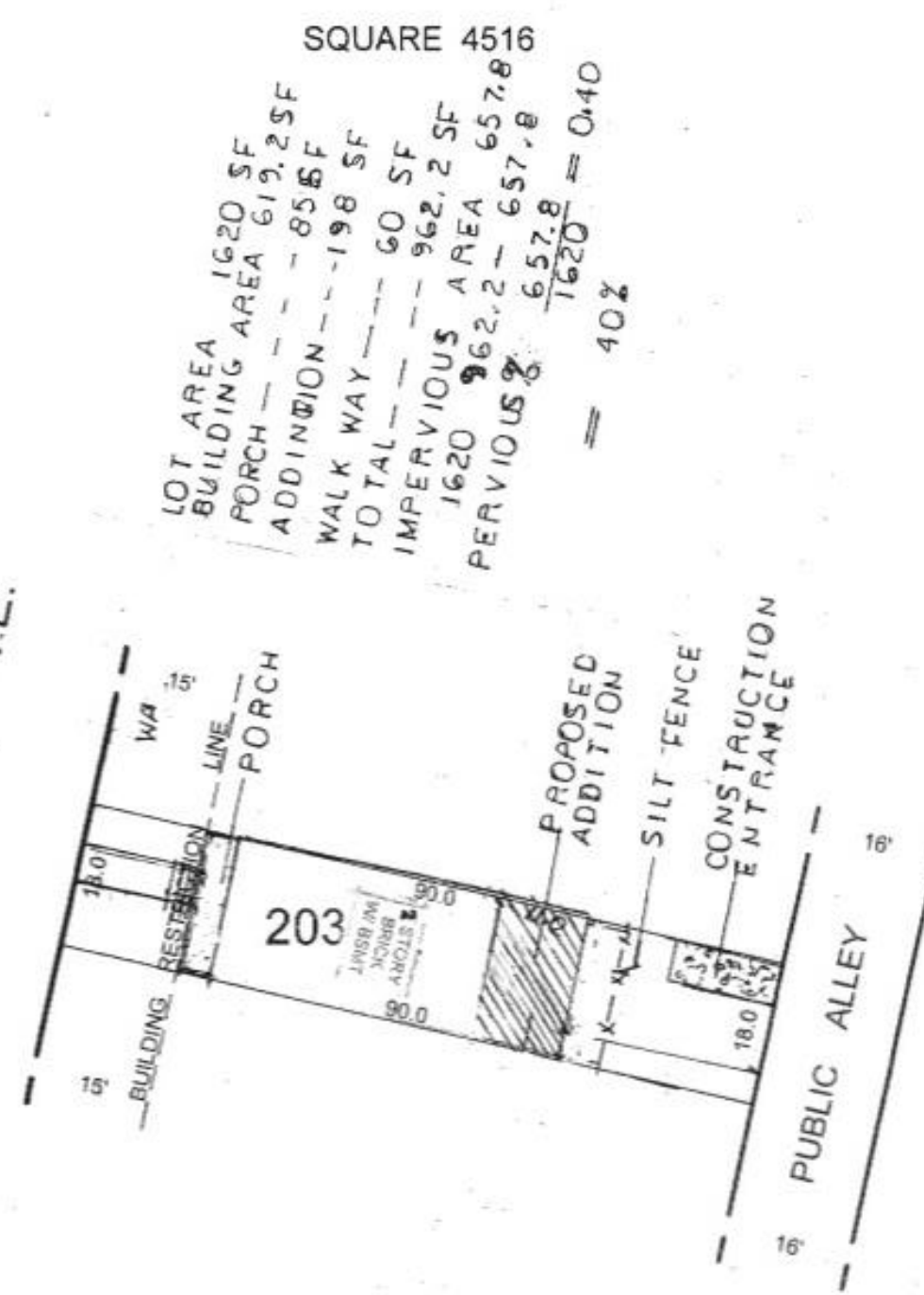
Date: 3/20/2023

Printed Name: SU-104 021440 Relationship

to Lot Owner: [Signature]

If a registered design professional, provide license number and include stamp below.

21st STREET, N.E.



SR-22-02504(2022)

SHEET 2 OF 2

LEGEND

- [Symbol] STABILIZED CONSTRUCTION ENTRANCE
- [Symbol] SF SILT FENCE
- [Symbol] L.O.D. LIMITS OF DISTURBANCE
- (180 SF) AREA OF DISTURBANCE 18' X 10' = 180 SF
- (95) CU FT VOLUME OF EXCAVATION 95 SF
- (3.5) CU YARD VOLUME OF EXCAVATION 3.5 CU YARD



SHEET TITLE
SEDIMENT CONTROL PLAN

PROJECT TITLE
LOT 203 SQUARE 4516

CLIENT
SUNARCH, LLC
2409 OXON RUN DRIVE
TEMPLE HILLS, MARYLAND 20748

DIGITERRA
LANDSCAPE ARCHITECTS SITE PLANNERS
LAND DEVELOPMENT CONSULTANTS
38187 AVE. N.W. SUITE 100
ALBUQUERQUE, NM 87110
PHONE: 505.871.1000 FAX: 505.871.1001
WWW.DIGITERRA.COM
PROJECT NO. 219-0606
DESIGNED BY: DVO
CHECKED BY: LM
DATE: 6/30/23
SCALE: 1" = 10'
PLAN NUMBER: SEC_1

FILE
219-0606

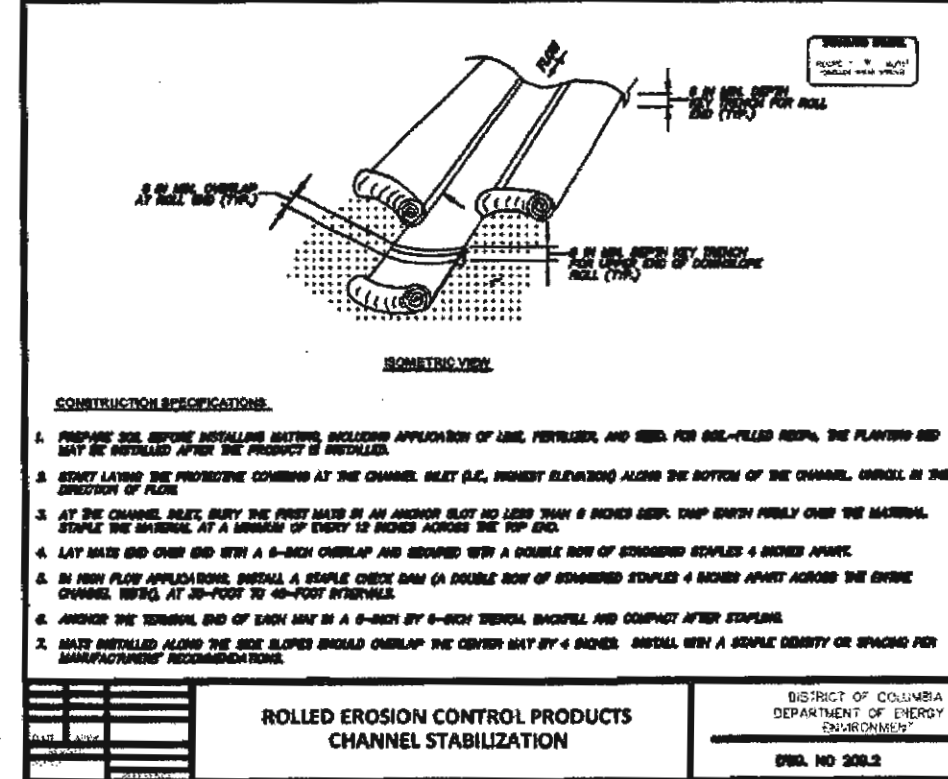
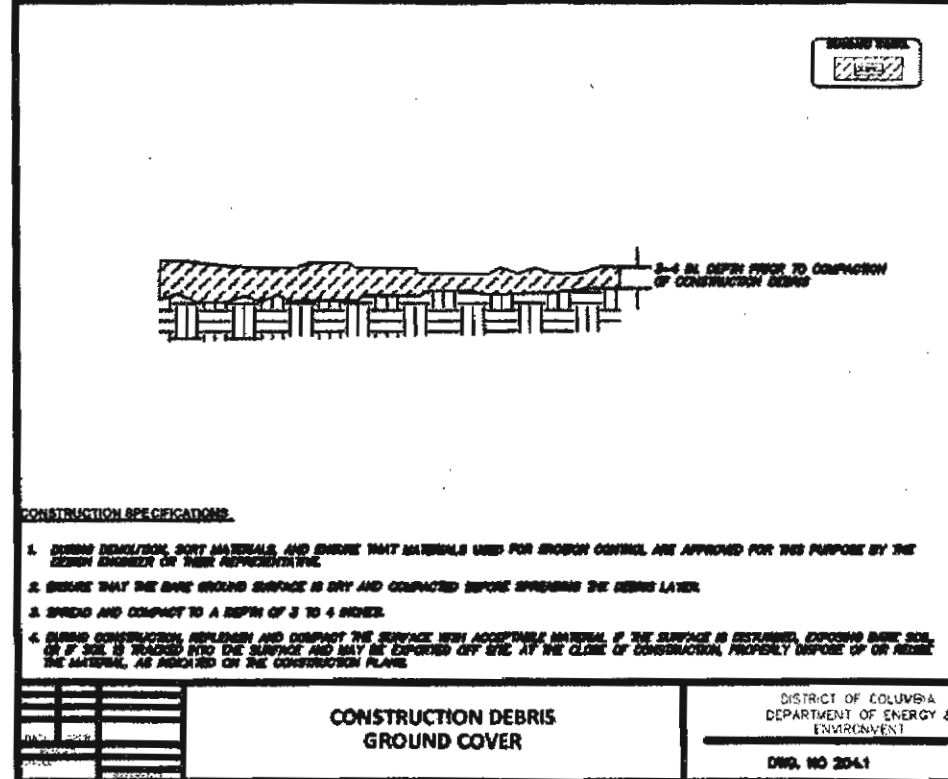
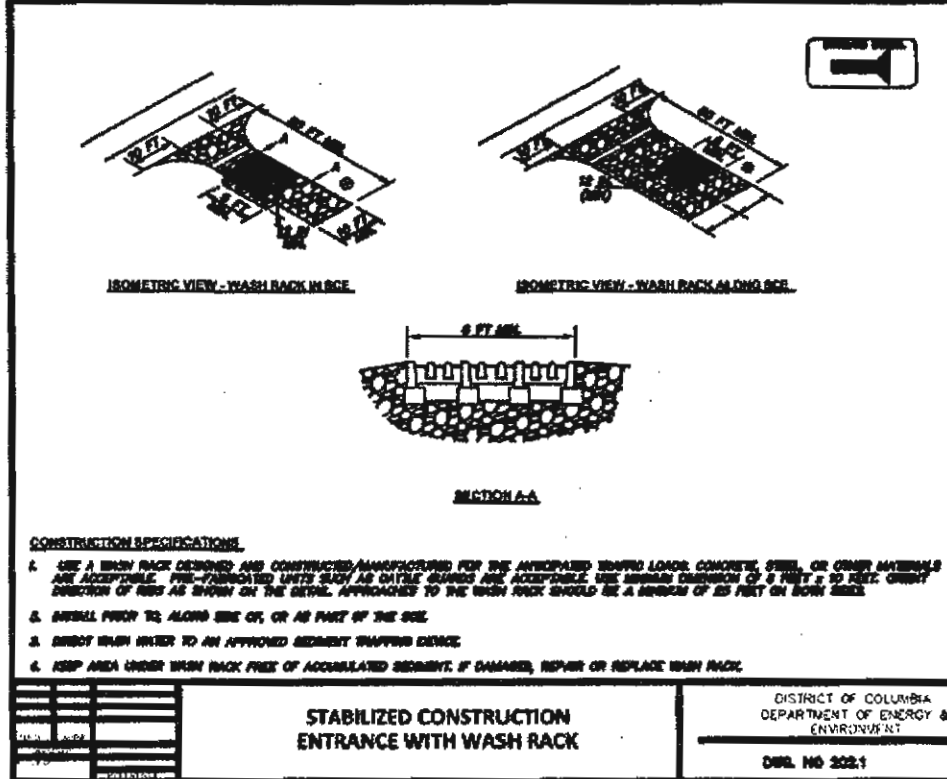
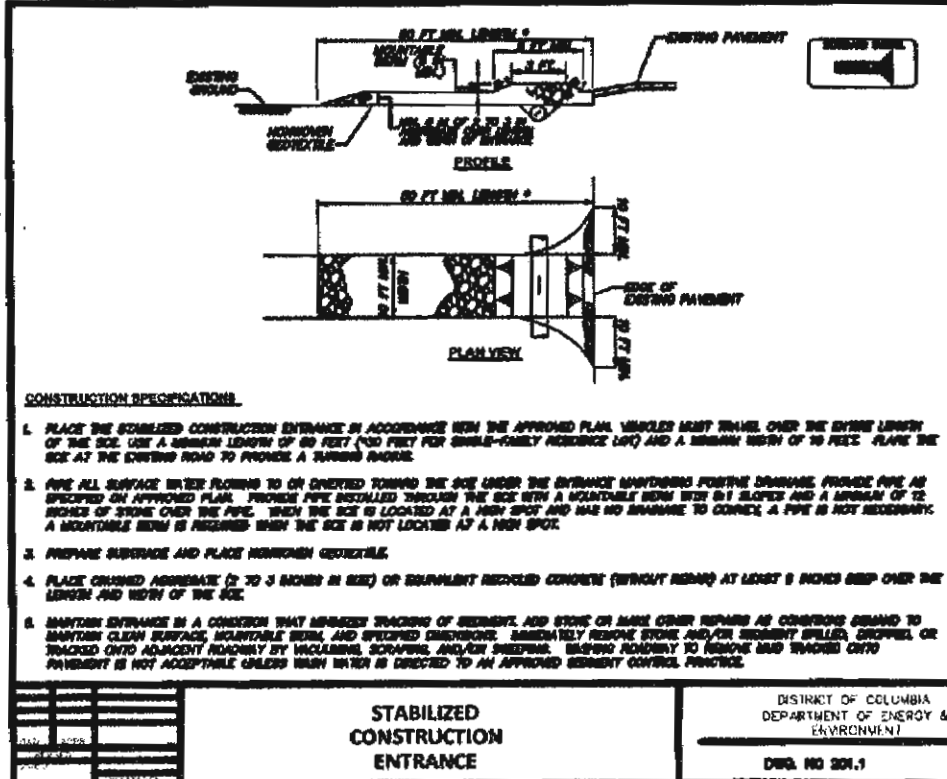
DATE

SCALE
1" = 10'

PLAN NUMBER

SEC_1

SOIL STABILIZATION

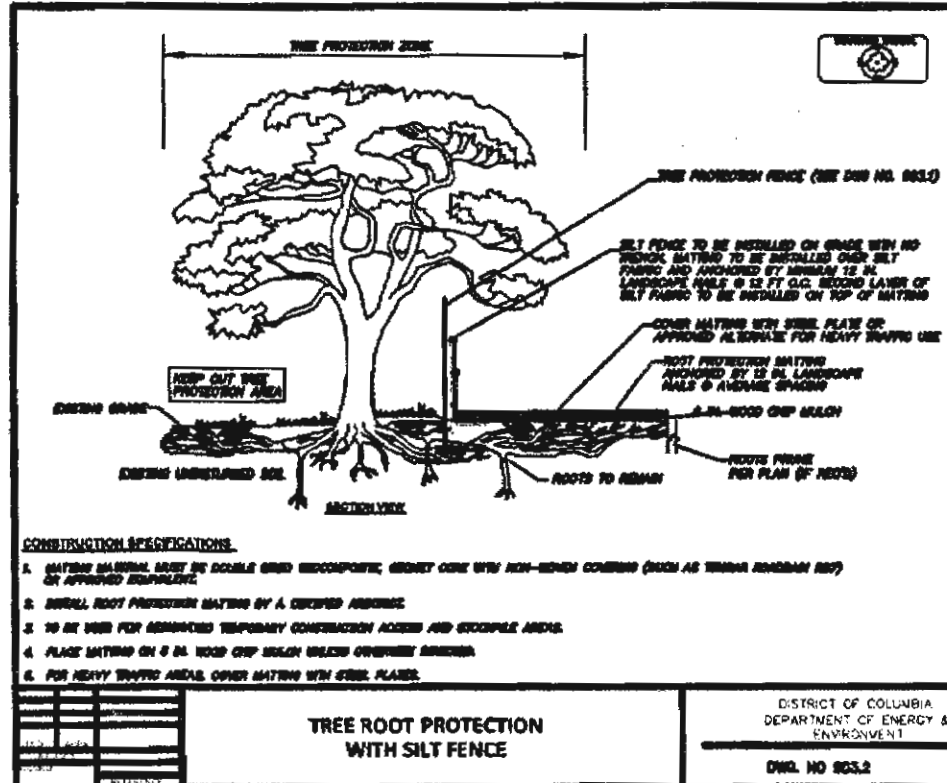
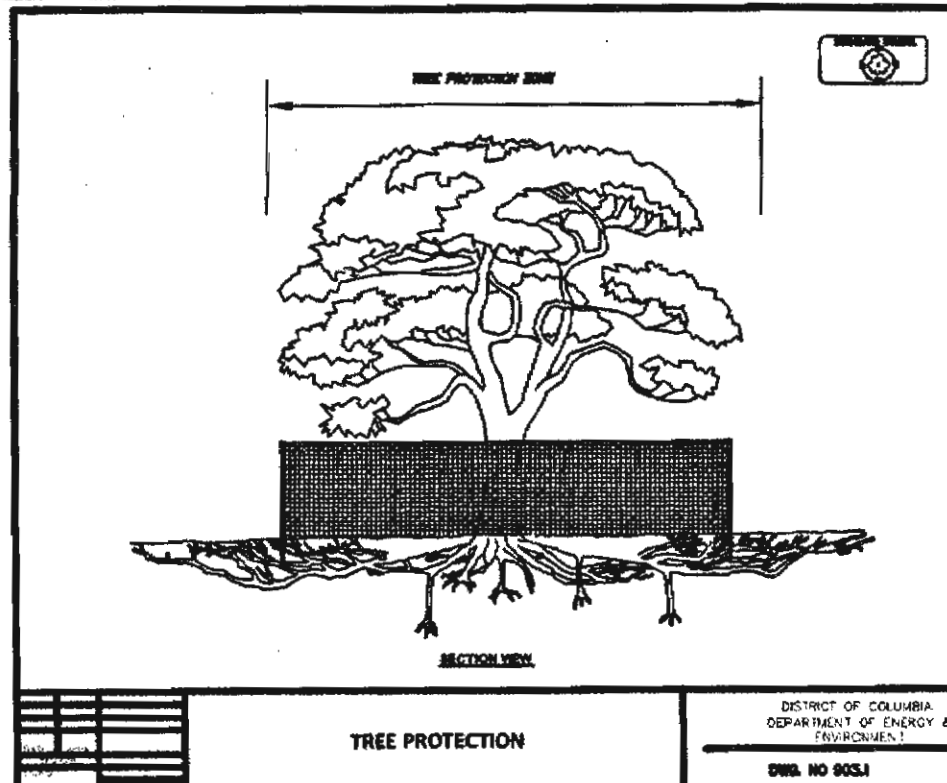


GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. B2207012 Date: 06/30/23

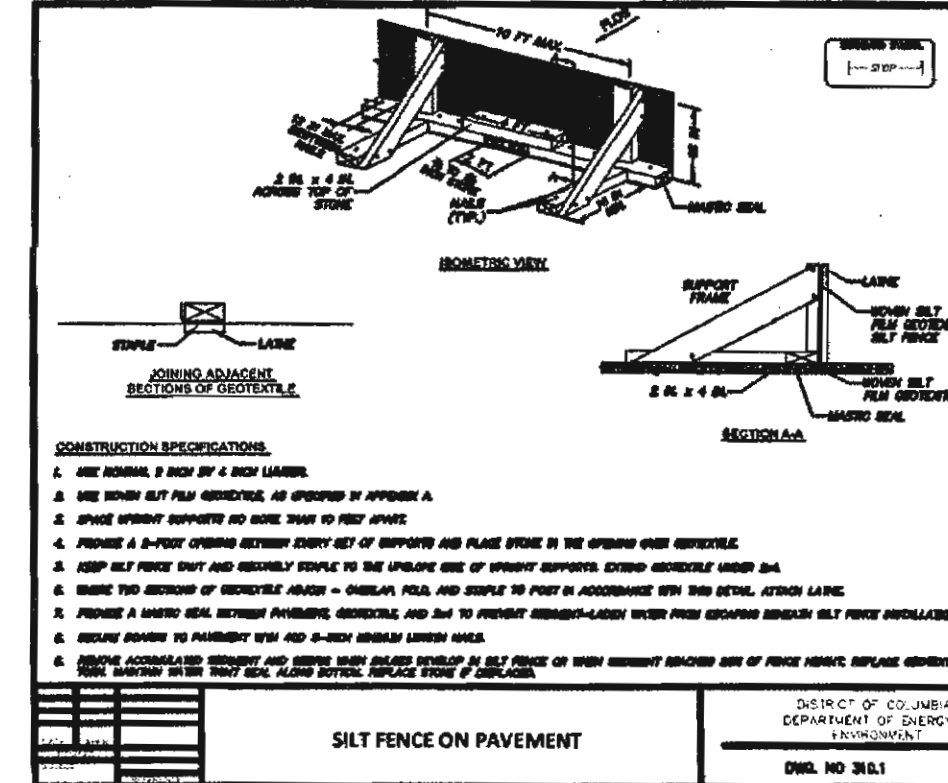
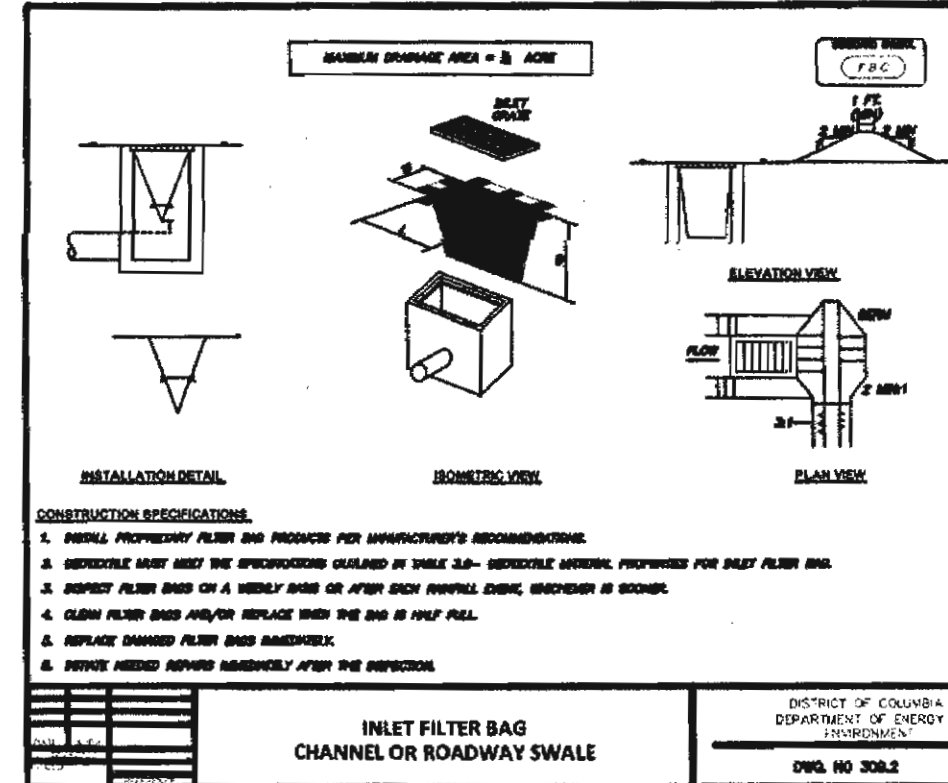
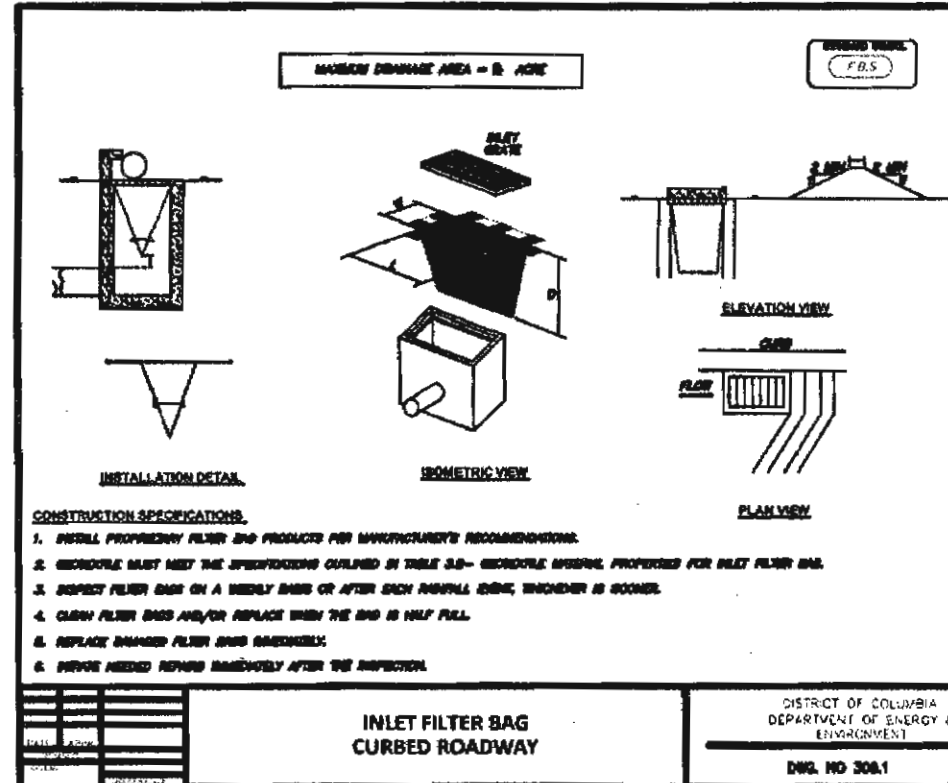
These plans are conditionally approved as submitted or noted during plan review and are subject to field verification. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade permits are required for trade work, e.g. Electrical or Plumbing

Mechanical Review - Gholnaz Bastani	06-30-2023
Electrical Review - Gholnaz Bastani	06-30-2023
Plumbing Review - Gholnaz Bastani	06-30-2023
DC Water Review - Vahid Bilvardi	06-30-2023
DOEE EV Review - Lala Seidensticker	06-30-2023
Energy Review - Gholnaz Bastani	05-30-2023
Structural Review - Gholnaz Bastani	06-30-2023
Neighbor Notification - Kolias Eliot	06-30-2023
DOEE SE-SW Review - Amanze Williams	06-30-2023

OTHER PRACTICES



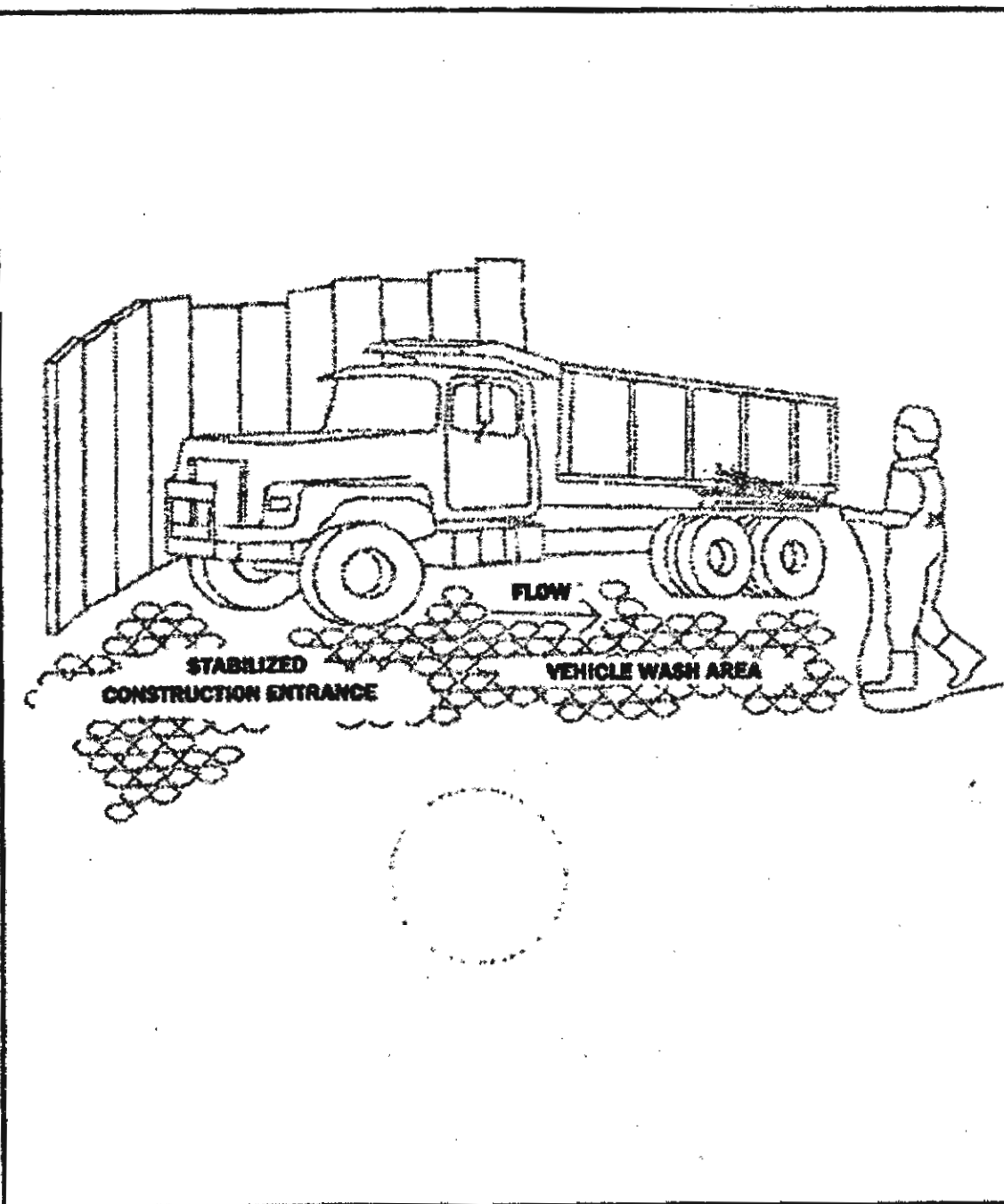
SEDIMENT BARRIERS AND FILTERS



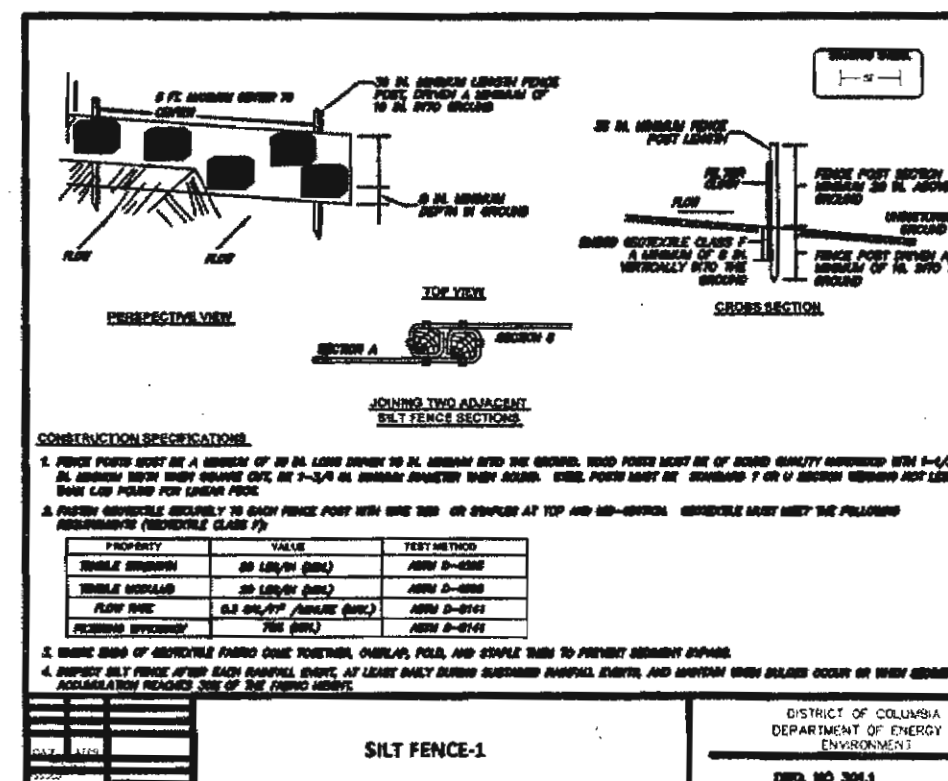
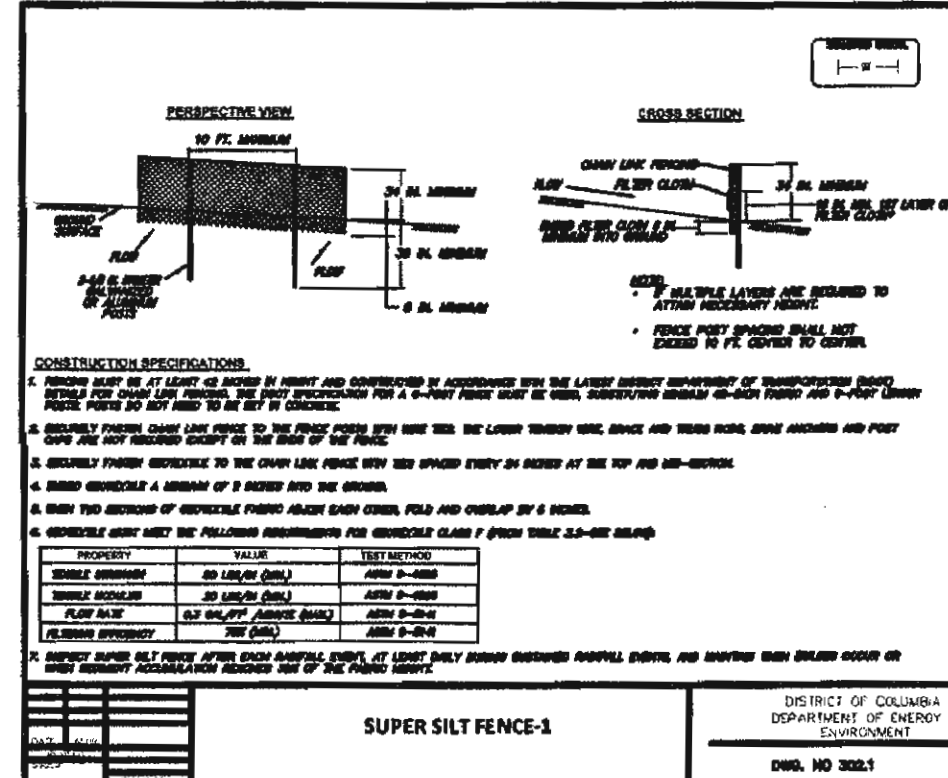
SEDIMENT CONTROL PLAN DETAILS

SQUARE 456 LOT 203

VEHICLE WASH DETAIL



SEDIMENT BARRIERS AND FILTERS

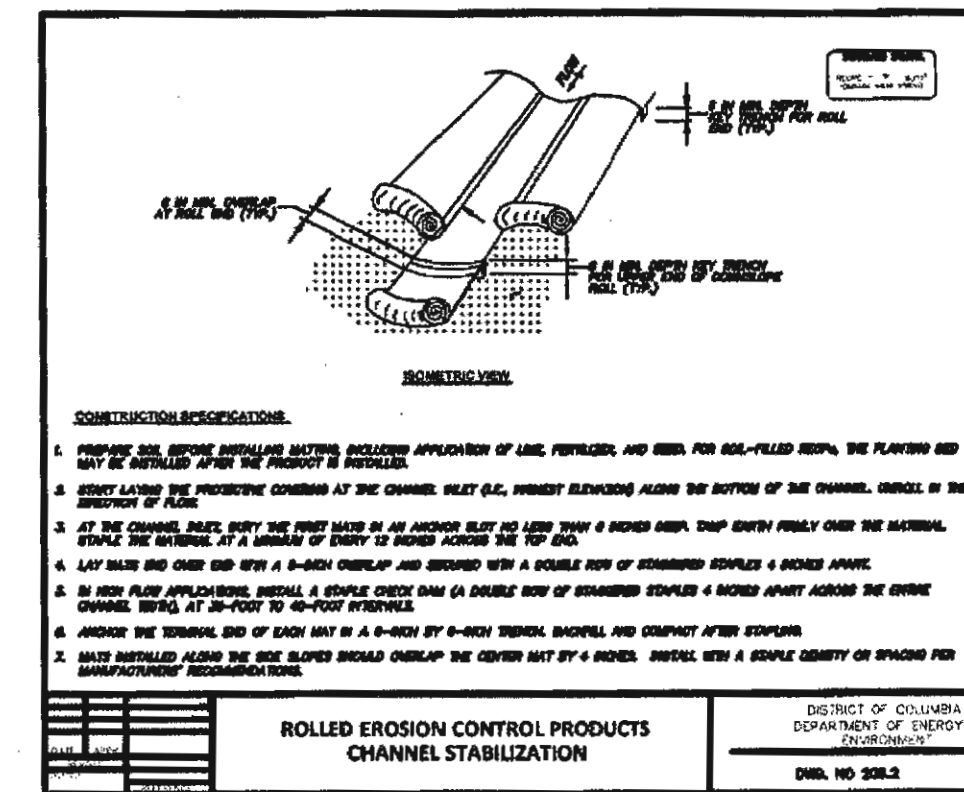
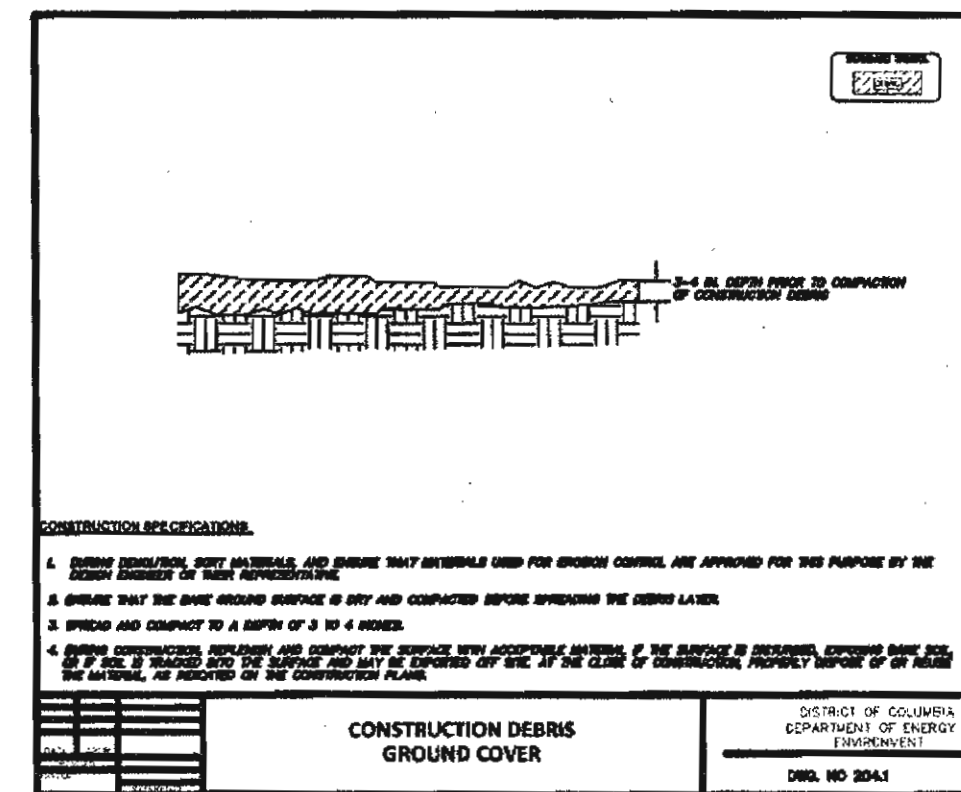
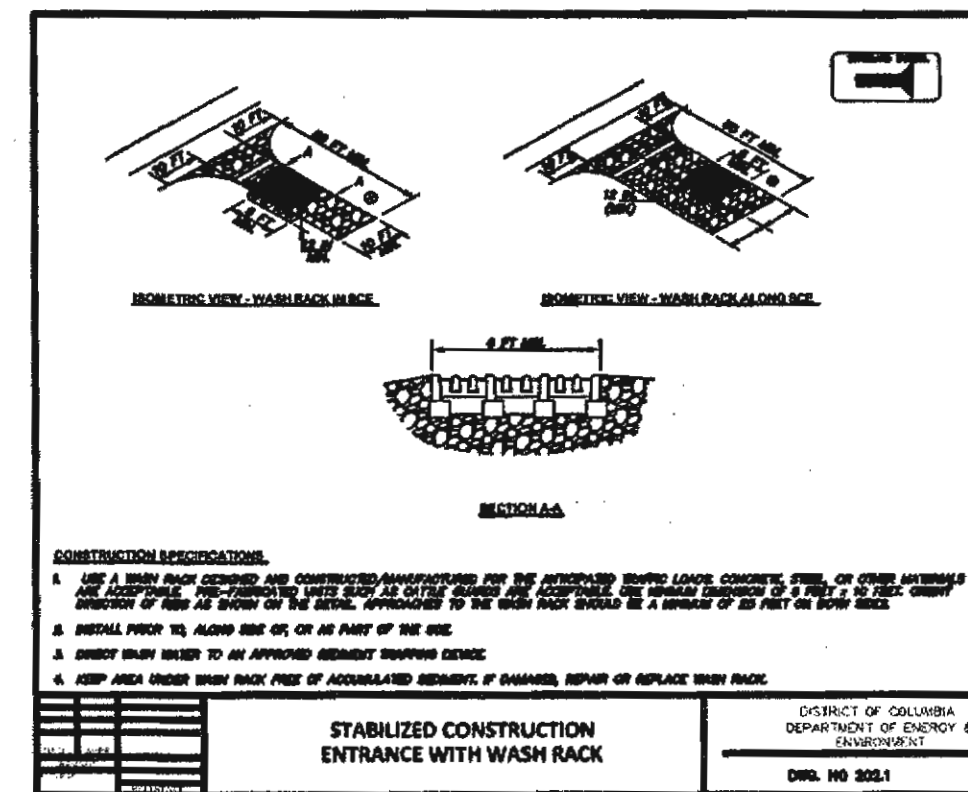
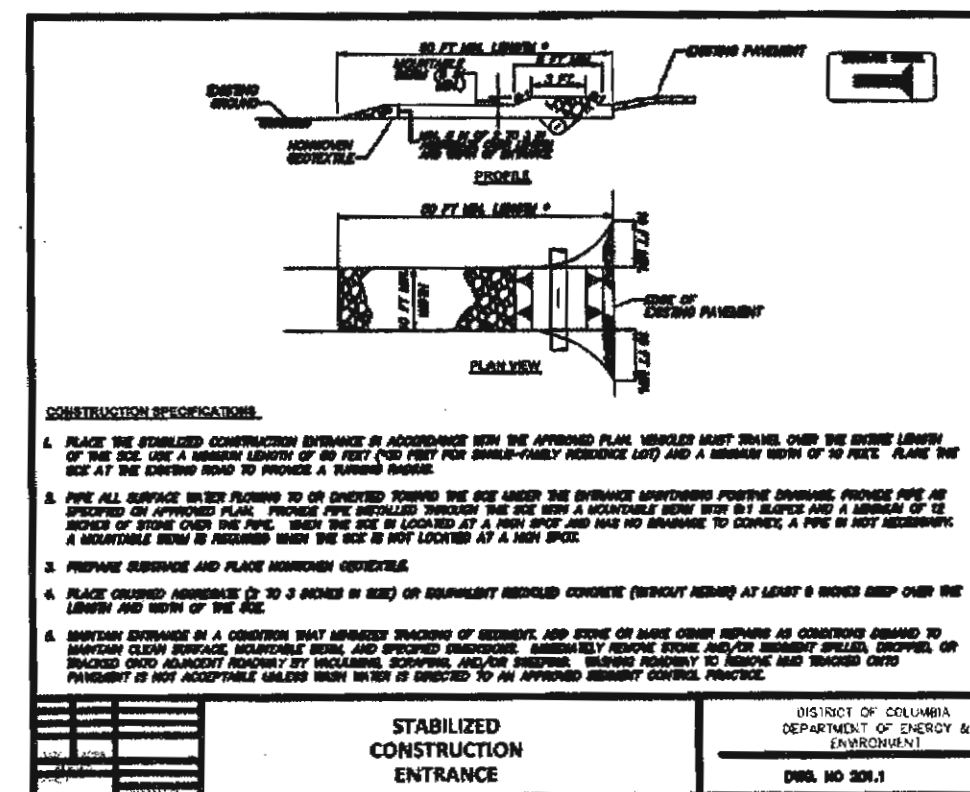


	LANDSCAPE ARCHITECTS SITE PLANNERS LAND DEVELOPMENT CONSULTANTS 1801 WEST 10TH AVE. SUITE 100 DENVER, CO 80202-1502 TEL: 303.733.8271 FAX: 303.733.8272 WWW.DIGITERRADESIGN.COM			
	CT NO. 1219-0606	DRAWN BY: CT	CHECKED BY: LTH	O/C REVIEW BY: REM
DESIGNED BY: DVO	JURISDICTION: WASHINGTON, DC			

FILE **219-0606**
DATE **11-1-68**
SCALE **AS NOTED**
PLAN NUMBER **SEC 2**

**SUNARCH, LLC
2409 OXON RUN DRIVE
TEMPLE HILLS, MARYLAND 20748**

SOIL STABILIZATION

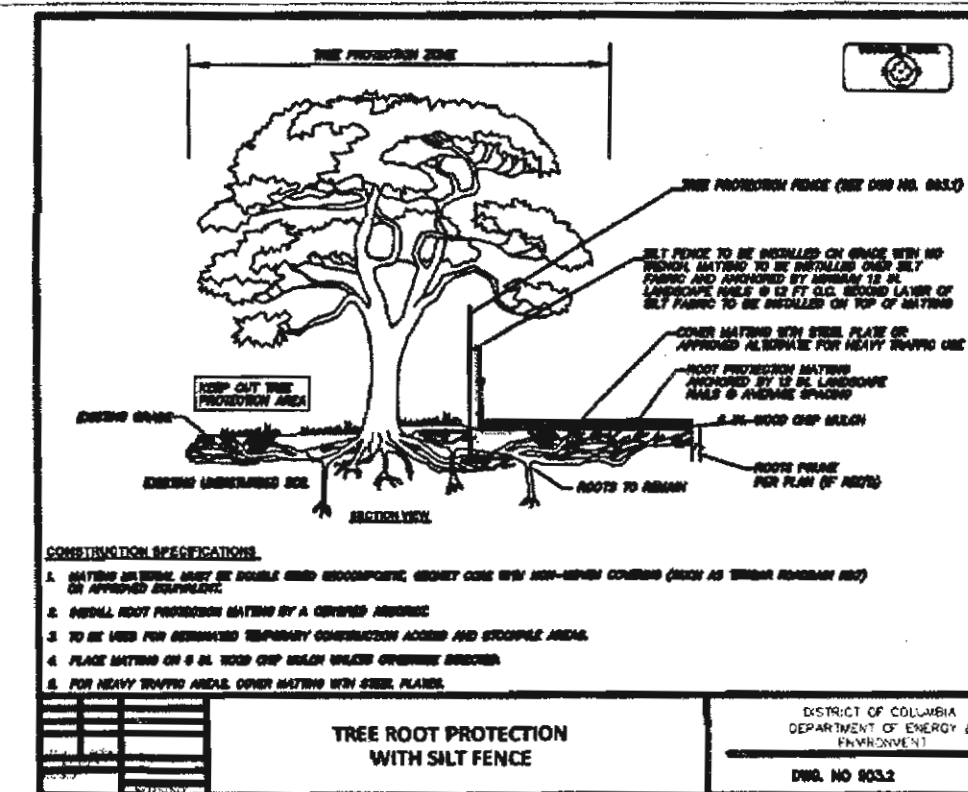
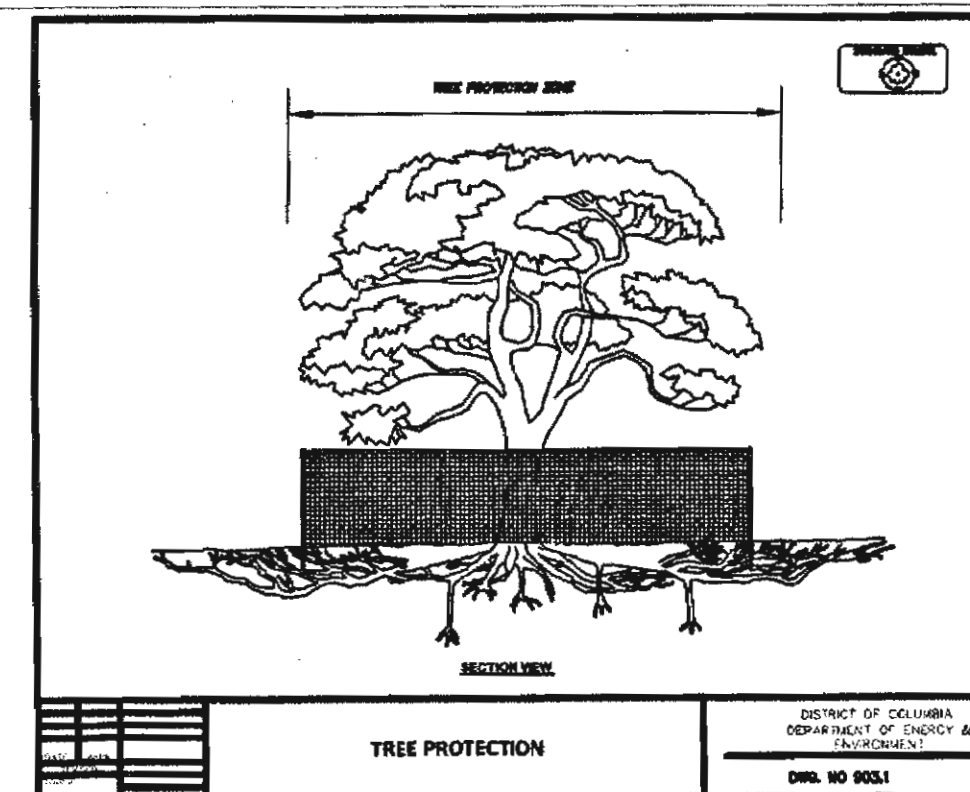


GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 62207012 Date 06/04/23

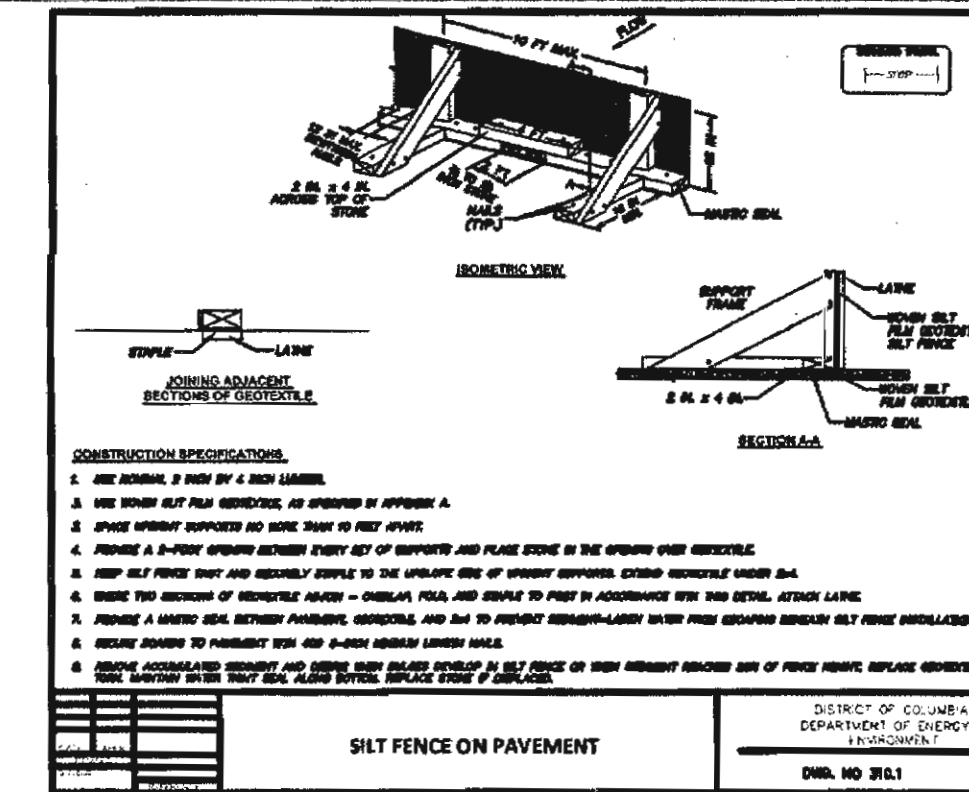
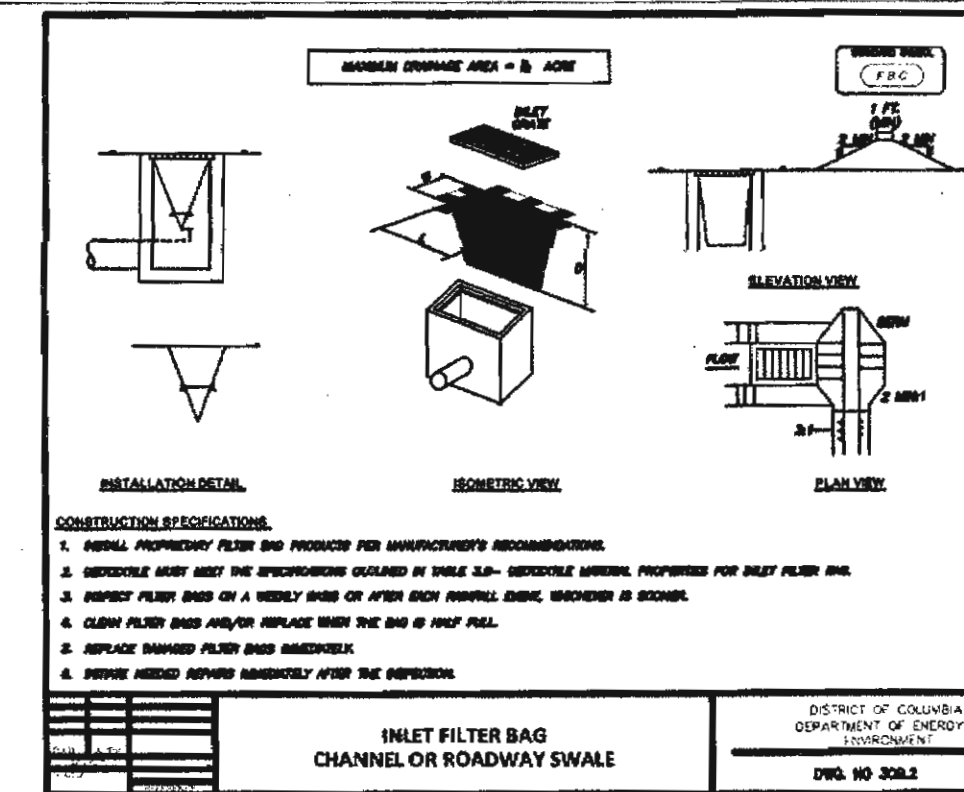
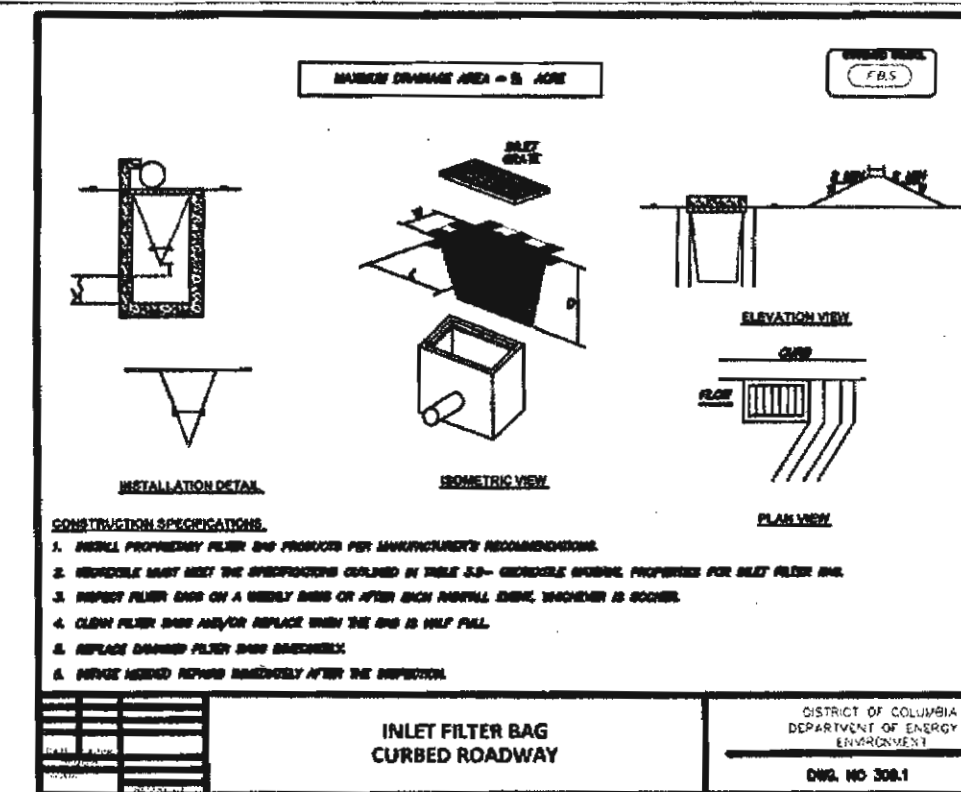
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

Mechanical Review - Golnaz Bastani - 06-30-2023
Electrical Review - Golnaz Bastani - 06-30-2023
Plumbing Review - Golnaz Bastani - 06-30-2023
DC Water Review - Vahid Bilvardi - 06-30-2023
DOEE EV Review - Lala Seidensticker - 06-30-2023
Energy Review - Golnaz Bastani - 06-30-2023
Structural Review - Golnaz Bastani - 06-30-2023
Weighted Notification - Kolas Elion - 06-30-2023
DOEE SE-SW Review - Amanze Williams - 06-30-2023

OTHER PRACTICES



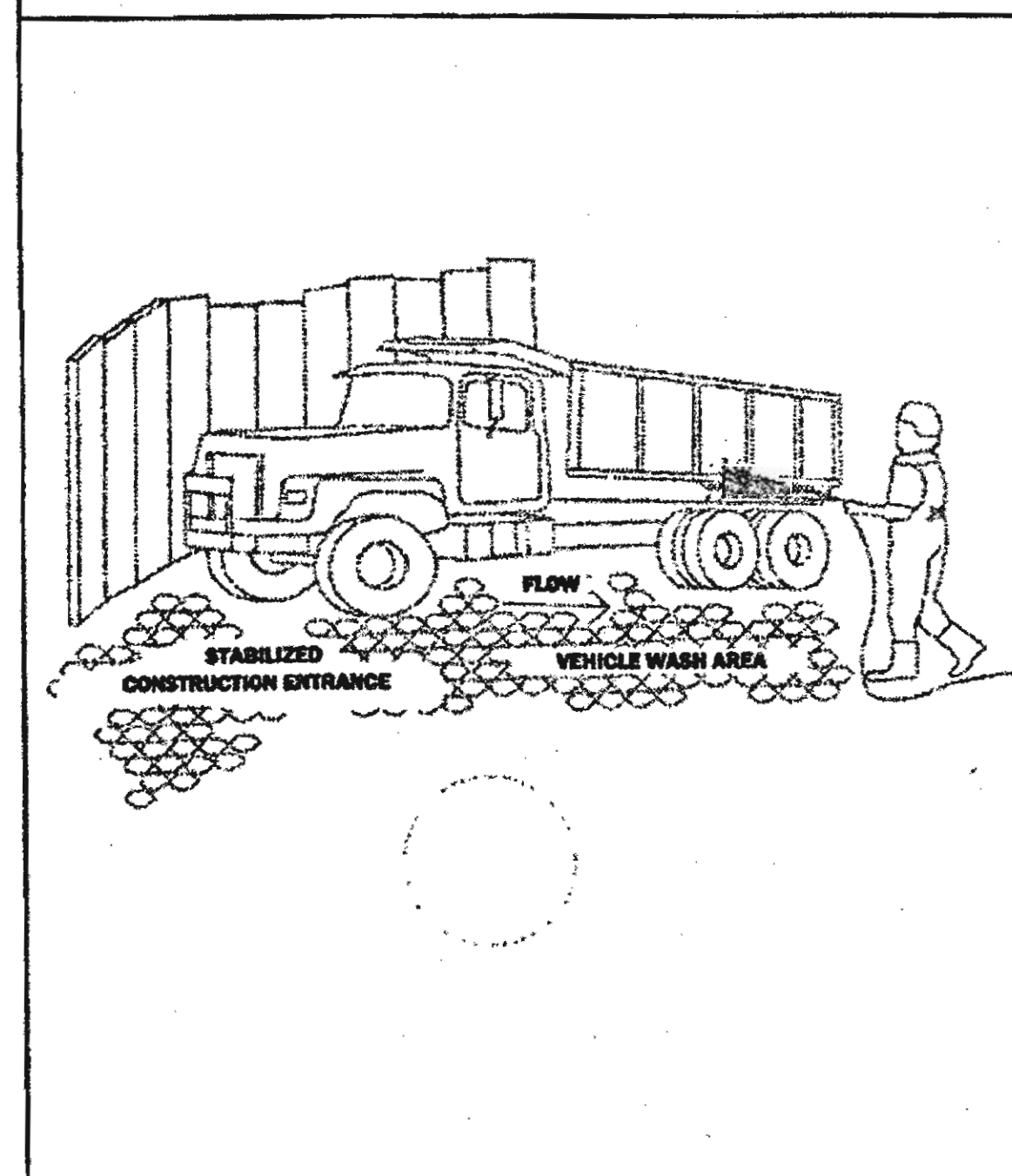
SEDIMENT BARRIERS AND FILTERS



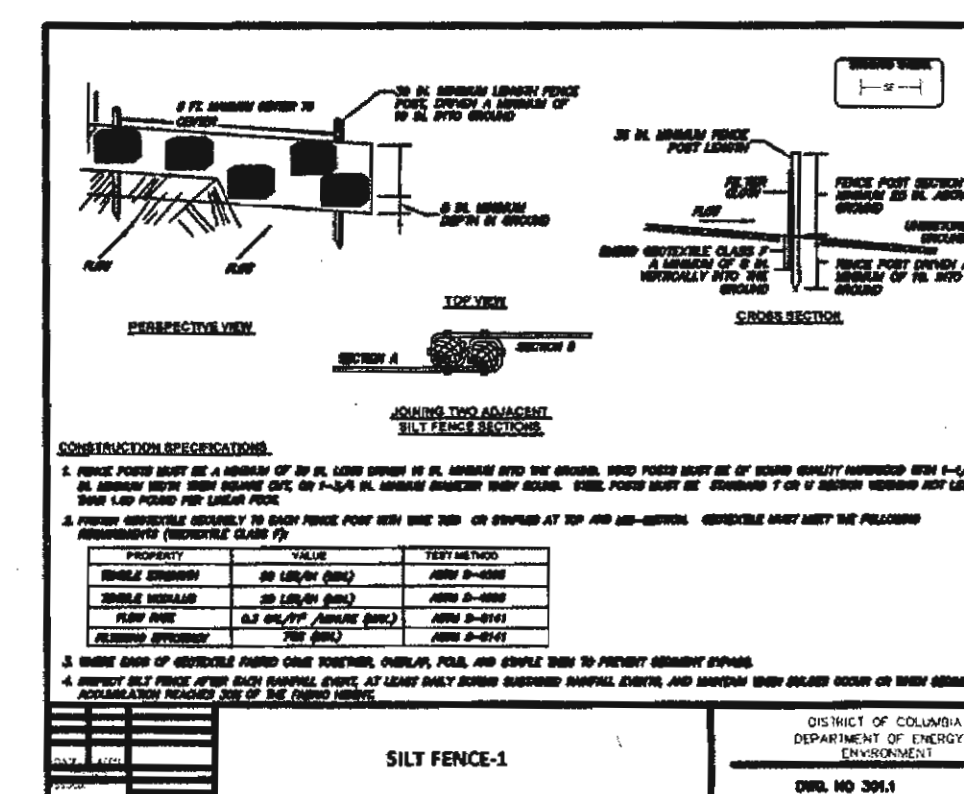
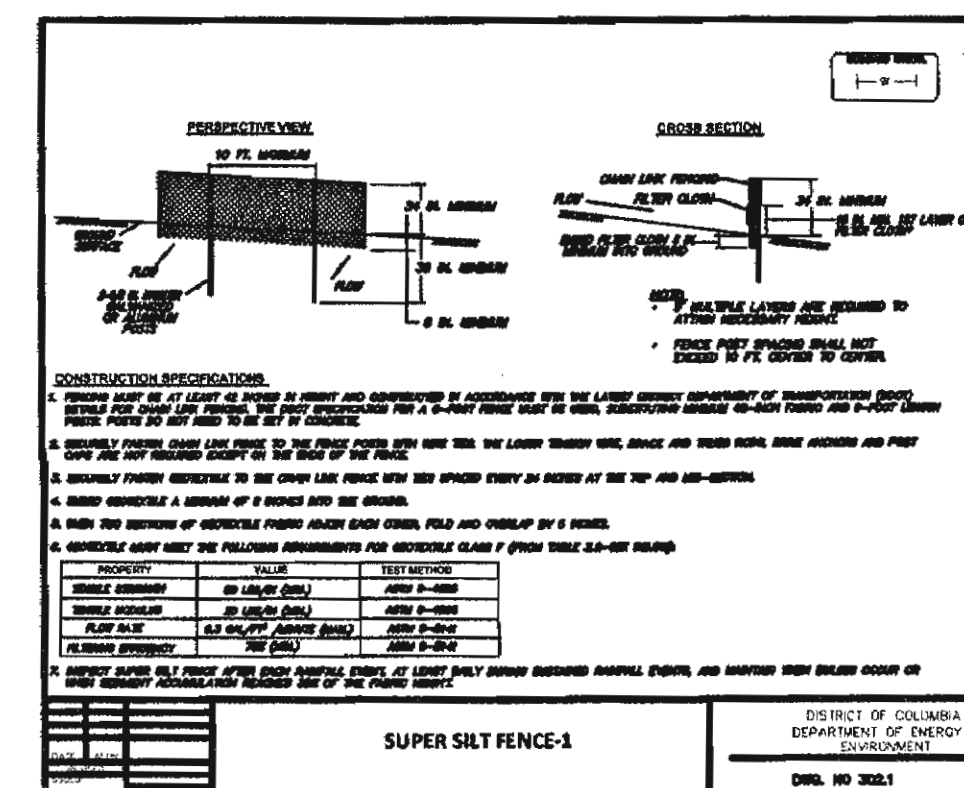
SEDIMENT CONTROL PLAN DETAILS

SQUARE 456 LOT 203

VEHICLE WASH DETAIL



SEDIMENT BARRIERS AND FILTERS



CLIENT

SUNARCH, LLC
2409 OXON RUN DRIVE
TEMPLE HILLS, MARYLAND 20748

	LANDSCAPE ARCHITECTS SITE PLANNERS LAND DEVELOPMENT CONSULTANTS 6908 SIMPSON LANE - CLAYTON, MO 63105 301-877-9339 FAX: 301-877-9339 WWW.DIGITERRADESIGN.COM		Q/C REVIEW BY JASONSON WASHINGTON,
	DRAWN BY: CT CHECKED BY: LTH DVO	ECT NO: 215-0006 ORDERED TO:	

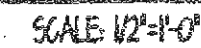
FILE
219-0606

DATE _____

SCALE AS NOTED

PLAN NUMBER

SEC 2



1A ABW- ALTERNATE BRACED WALL
AD-3 $1/2" = 1'-0"$

BRACED WALL PANEL CONNECTION
TO PERPENDICULAR RAFTERS/ TRUSSES
W/ CONVENTIONAL OVERHANG

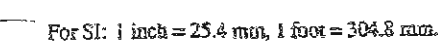
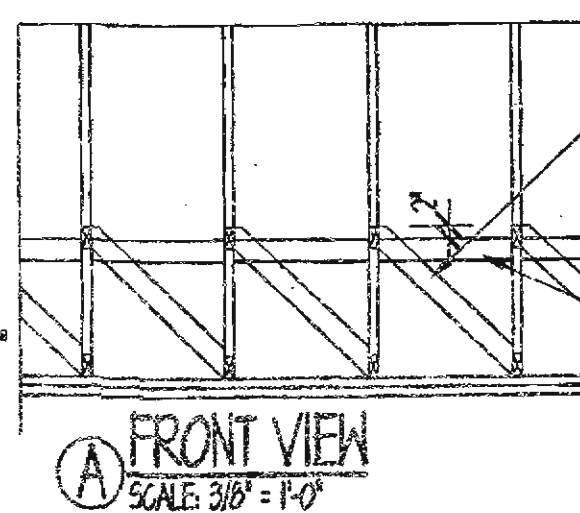
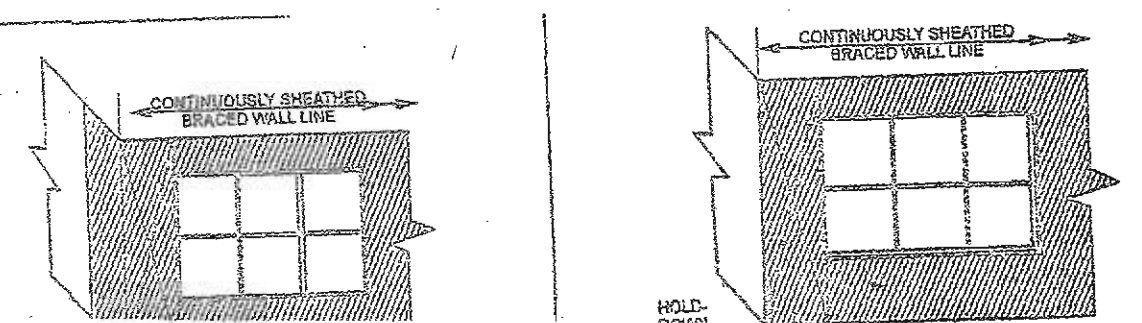


FIGURE R602.10.6.4

METHOD C5-PF—CONTINUOUSLY SHEATHED PORTAL FRAME PANEL CONSTRUCTION



WIND BRACING DETAILS