

Betty Matthews

604 Gallatin st N.W.

Washington D.C. 20011

BUILDING THREE LEVEL 987 SQ. FT ADDITION WITH
 NEW FOUNDATION AND FLAT ROOF SYSTEM.
 UPGRADED PLUMBING AND ELECTRICAL TO
 ACCOMMODATE (2) NEW FULL BATHROOMS, (1) NEW
 300SQ FT BEDROOM AND 300SQ FT KITCHEN.

THIS STRUCTURE HAS BEEN DESIGN IN ACCORDANCE WITH THE PROVISION OF THE
 INTERNATIONAL RESIDENTIAL CODE 2012 EDITION.

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REVISION TABLE	NUMBER	DATE	REVISED BY	DESCRIPTION

COVER PAGE

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DATE:

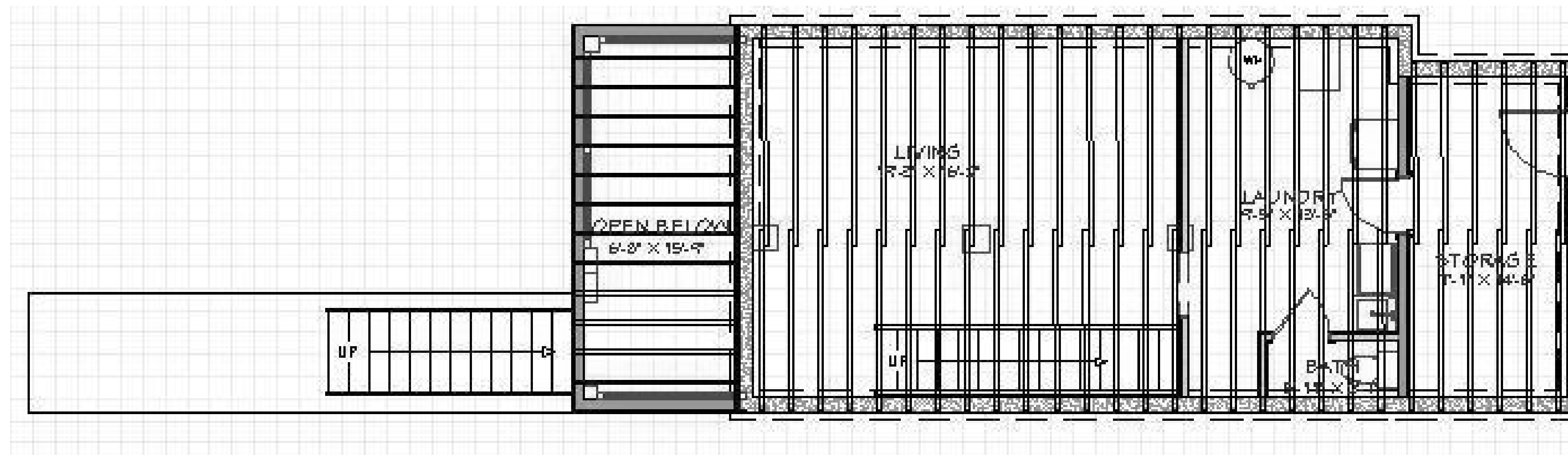
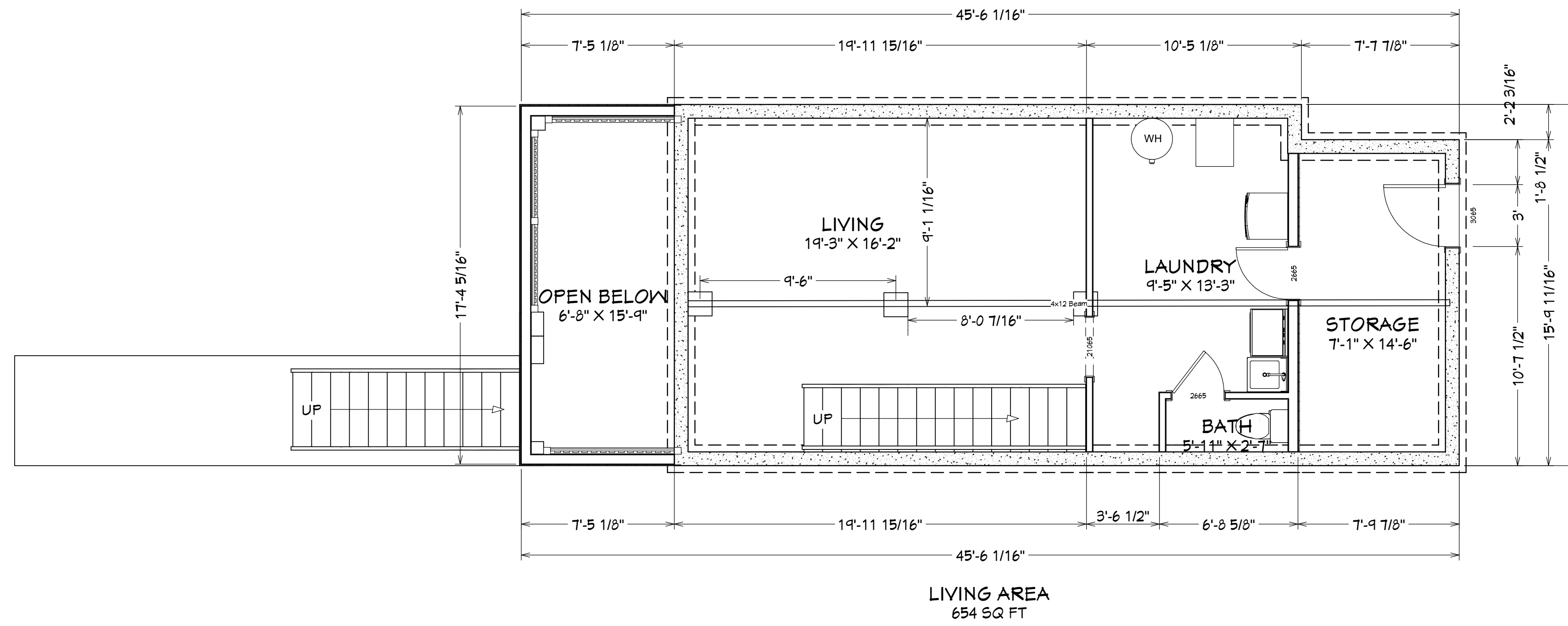
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Board of Zoning Adjustment
 District of Columbia
 CASE NO. 2019-0000
 EXHIBIT NO. 7



REVISION TABLE	
NUMBER	DATE

REVISION BY	DESCRIPTION

Existing basement

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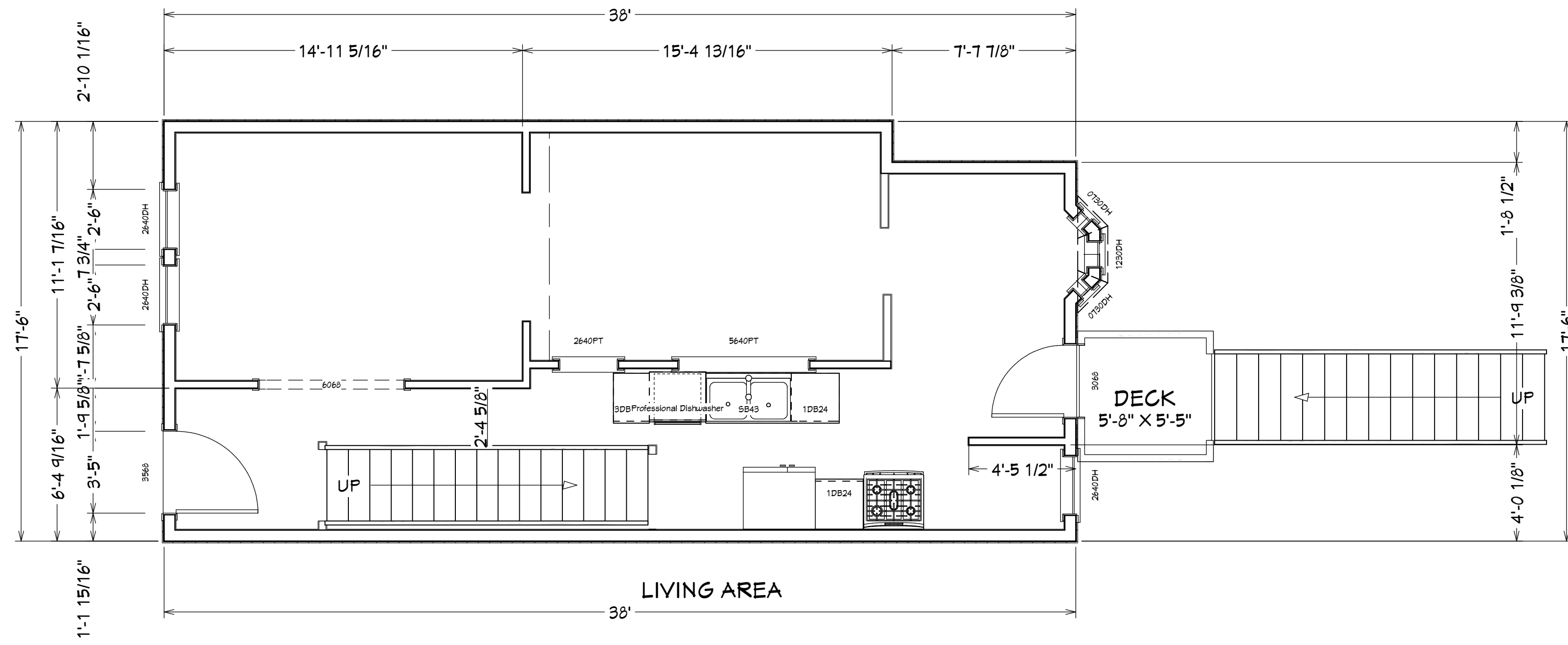
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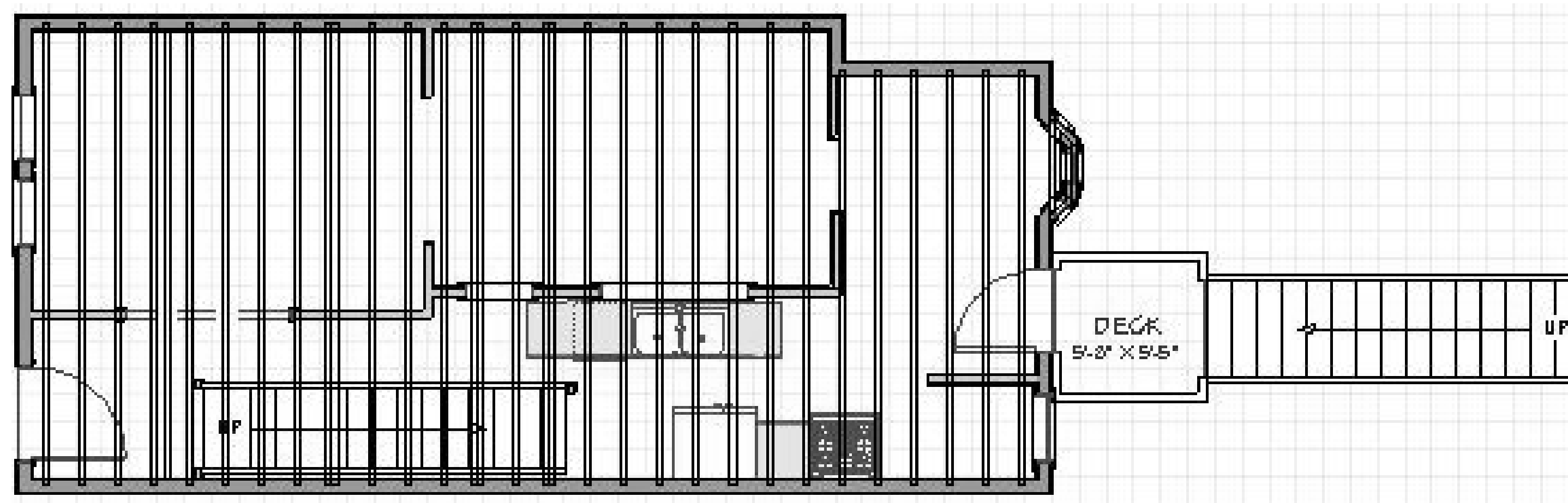
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A001



LIVING AREA
655 SQ FT



REVISION TABLE	
NUMBER	DATE

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Existing 1st floor

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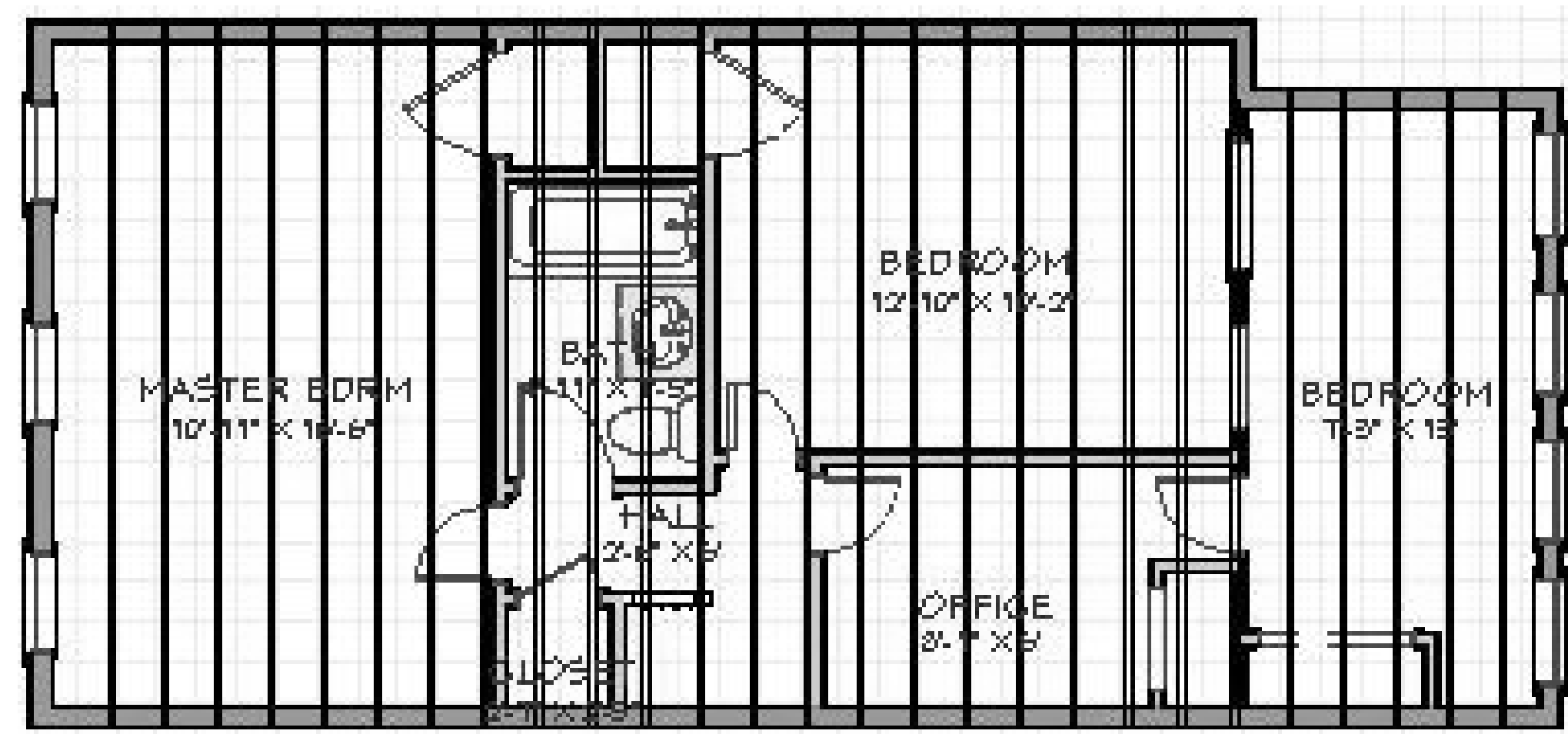
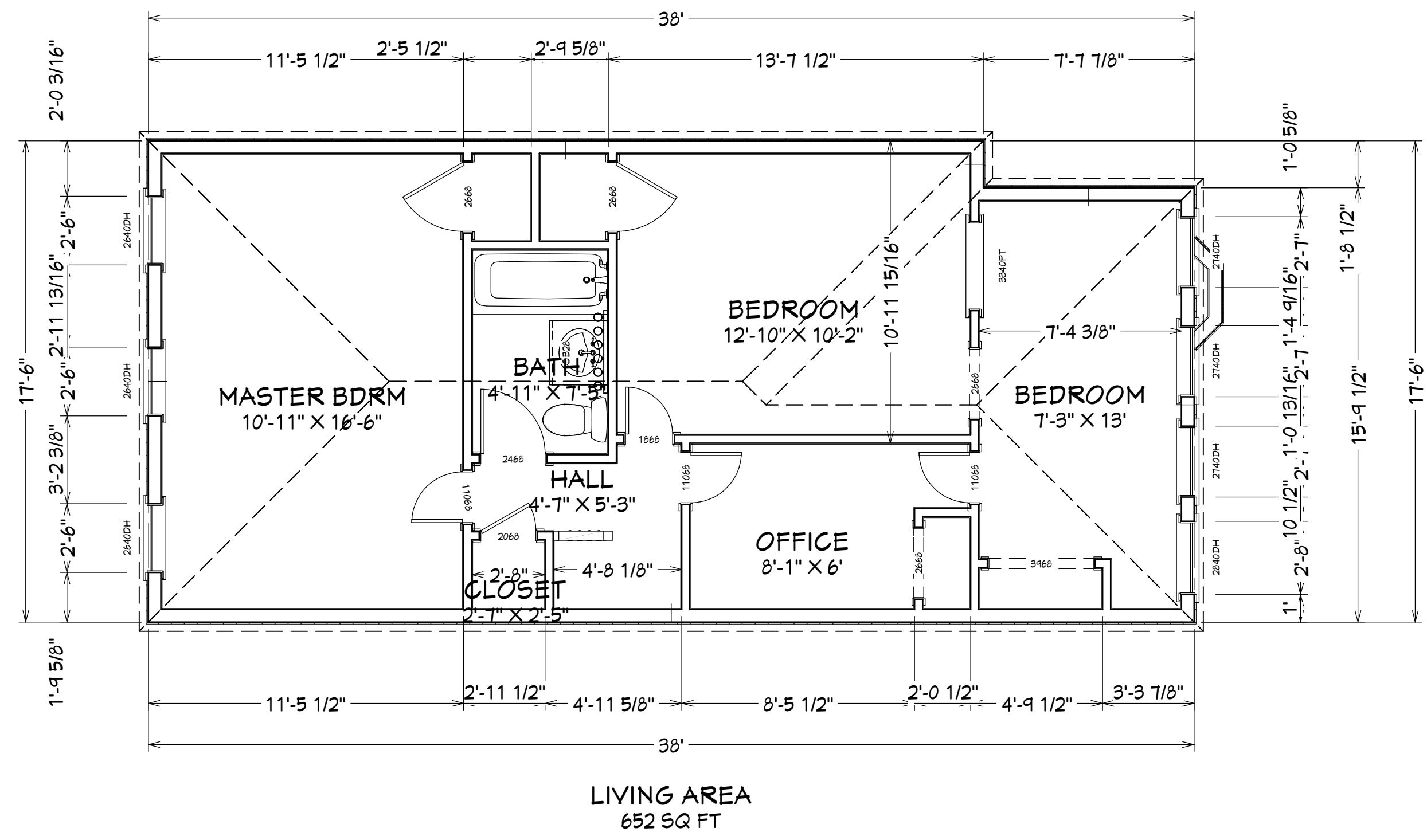
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NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION

Existing 2nd floor

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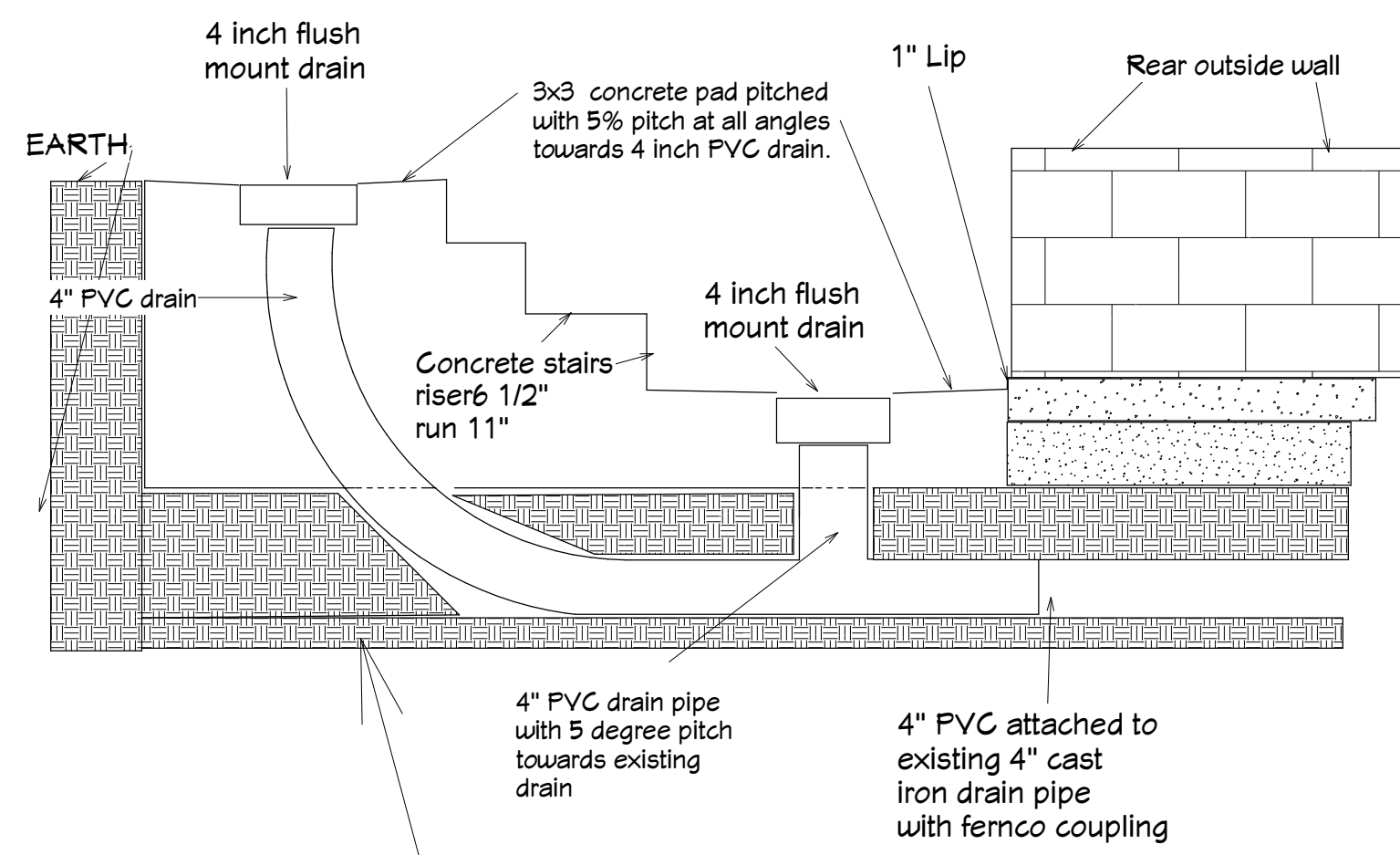
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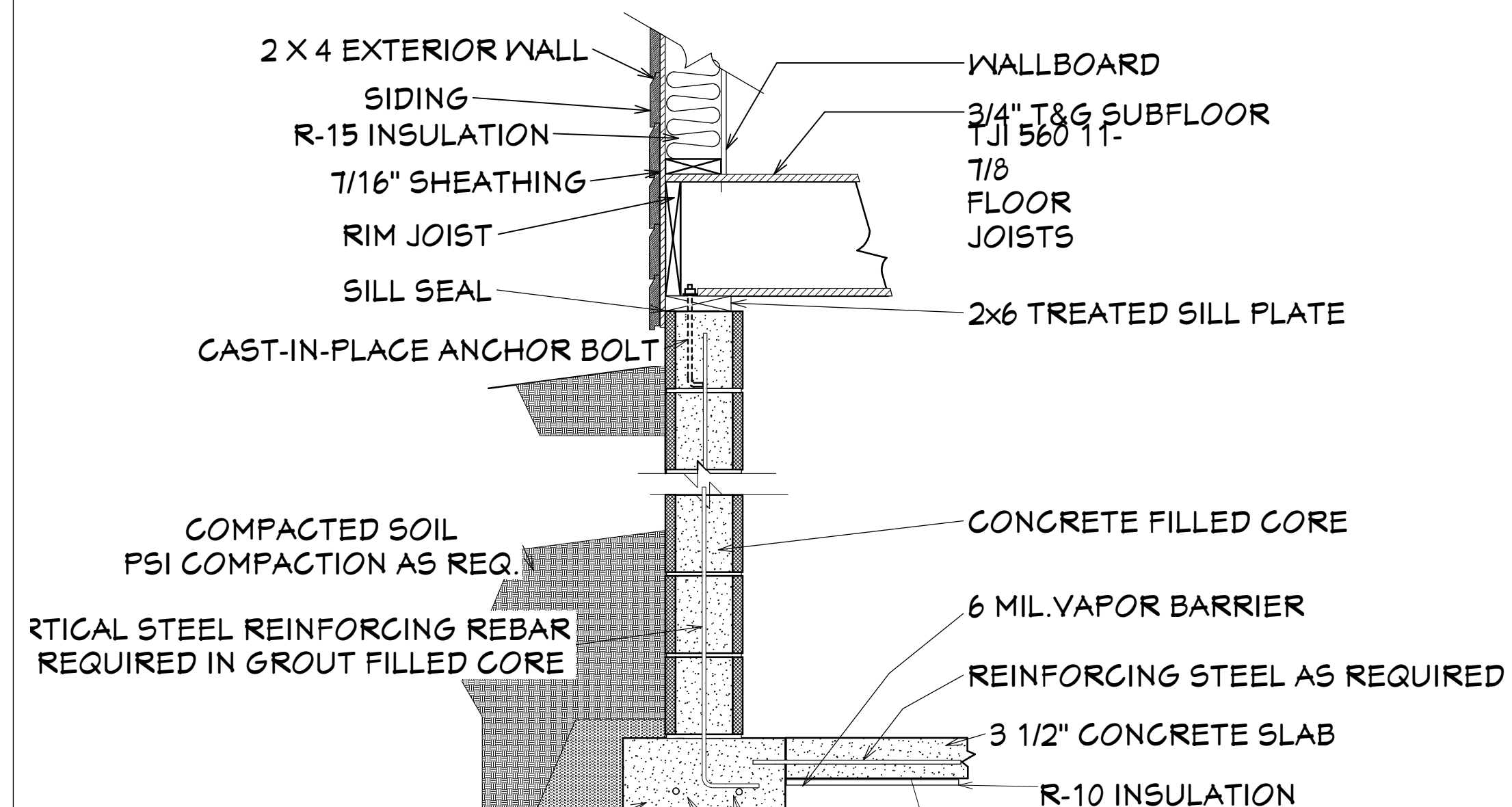
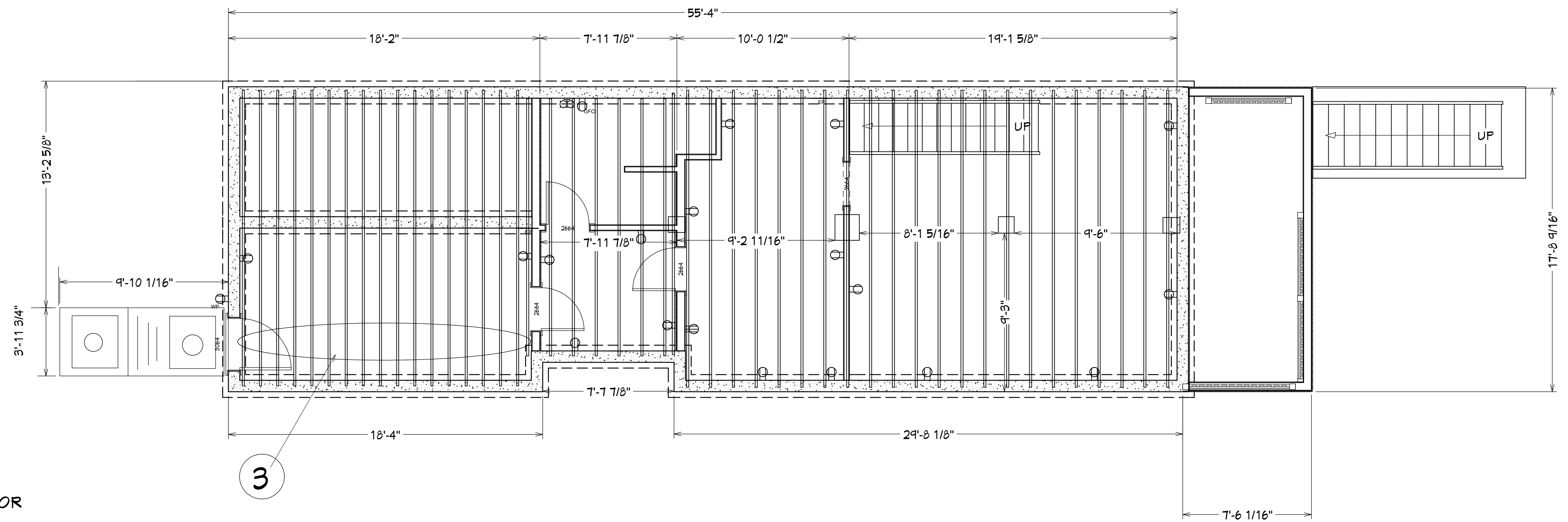
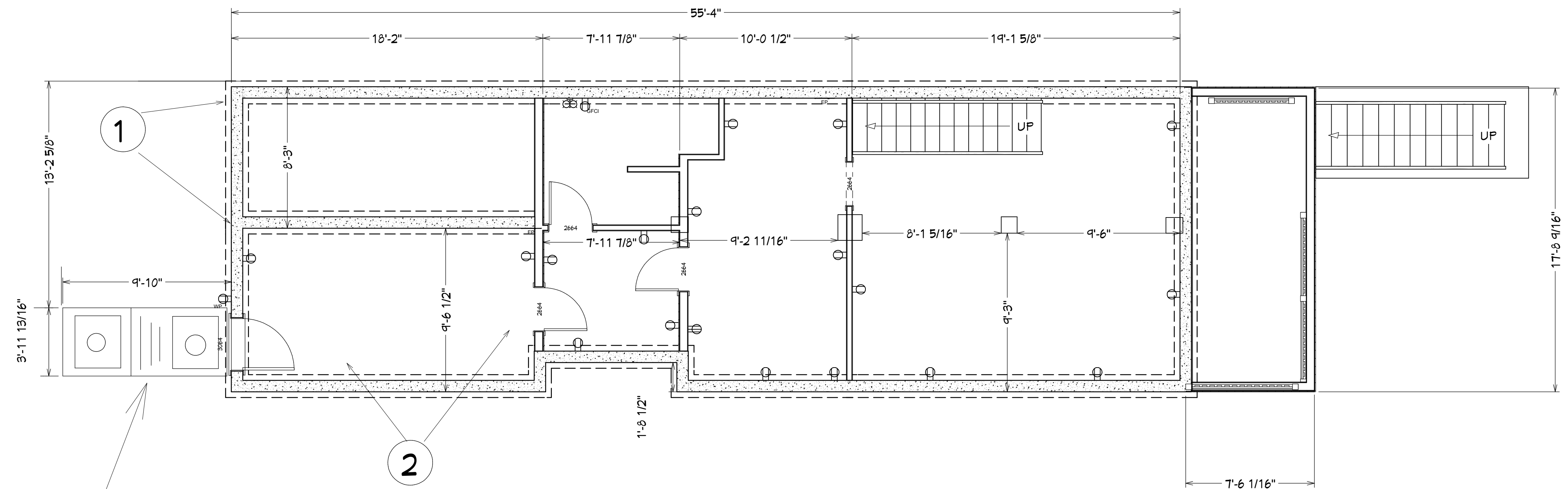
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Rear foundation and lower step with (2) drains



- 1) TX18 FOOTING
- 2) 3 1/2 CONCRETE SLAB
- 3) FLOOR JOIST SHALL BE 11 7/8 TJI 560 (12"OC)
- 4) TPWR GFCI SHALL INSTALLED OUTSIDE OF NEW STRUCTURE.
- 5) WATER LINE WITH BACKFLOW SHALL BE INSTALLED ON REAR OF NEW STRUCTURE.

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New Basement Foundation

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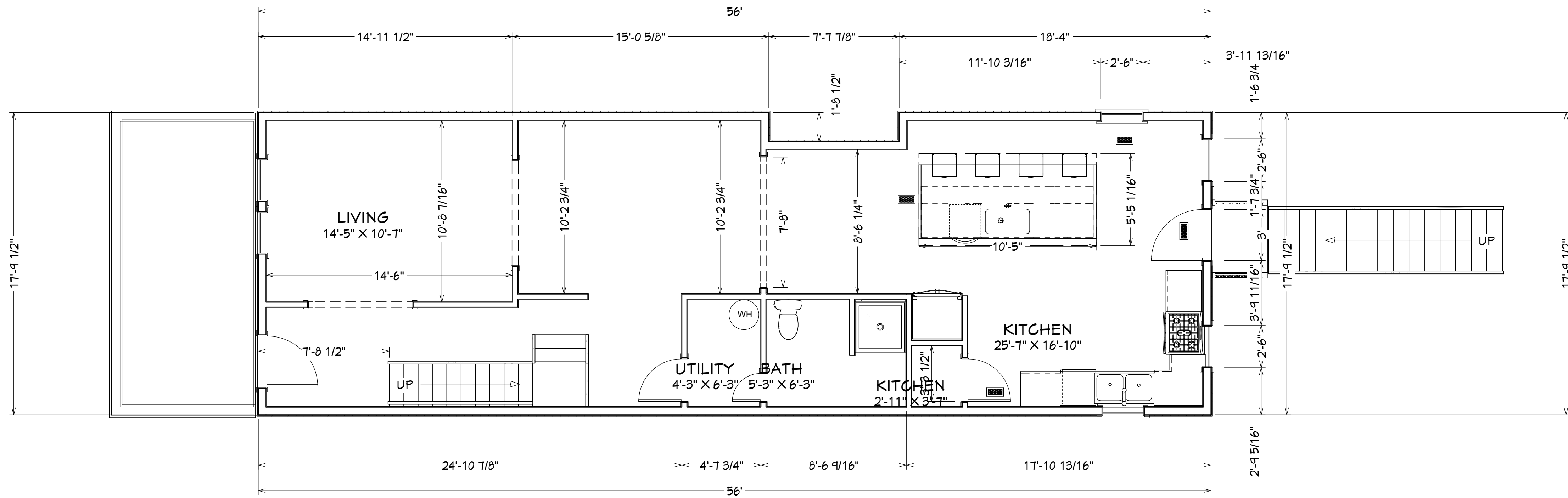
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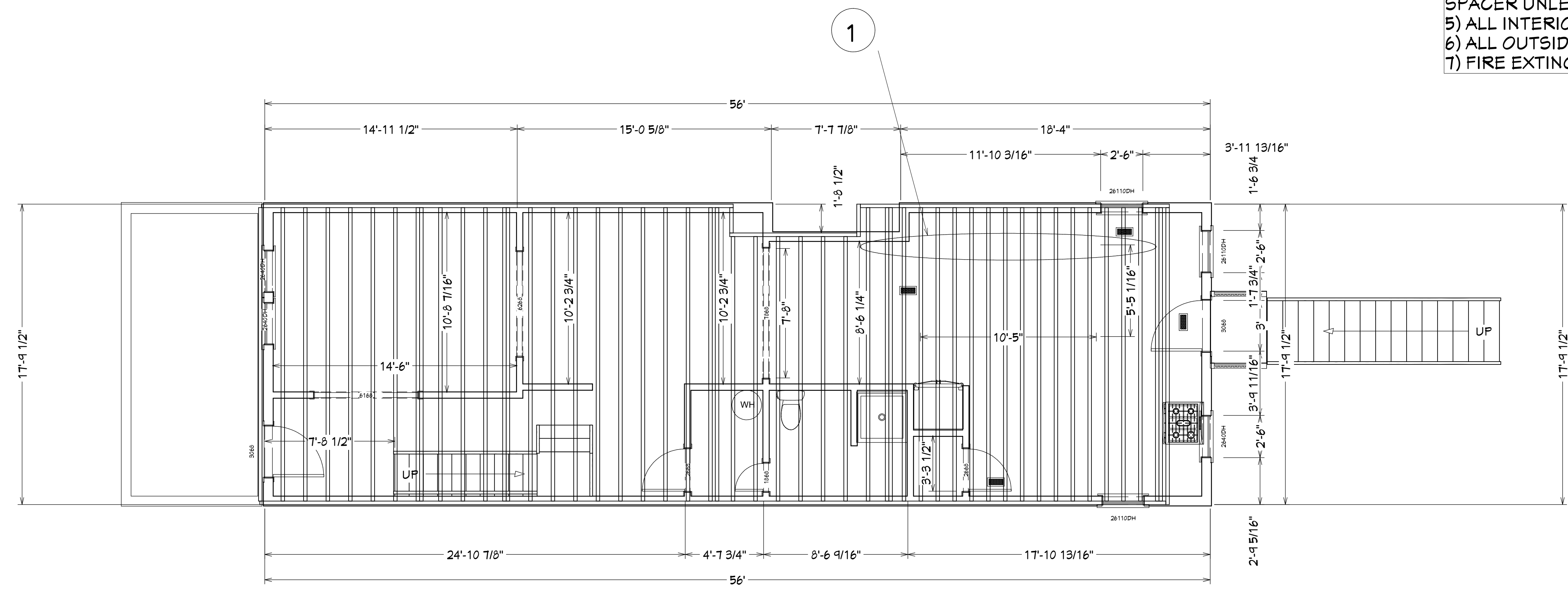
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A101



- 1) ALL FLOOR JOIST SHALL BE 560- TJI X 11 7/8 (12 O.C.)
- 2) ALL 2X4 WALLS SHALL BE (16" O.C.)
- 3) 36" REAR EXTERIOR DOOR
- 4) TYPICAL WINDOW 30X48" (R.O. 30 1/2 X 48 1/2) HEADER SIZE (2) 2"X6"X33 1/2" WITH 7/16" OSB SPACER UNLESS OTHERWISE STATED (N.J-1)
- 5) ALL INTERIOR DOORS SHALL BE (24" - 34")
- 6) ALL OUTSIDE WALLS SHALL HAVE R-15 INSULATION.
- 7) FIRE EXTINGUISHER UNDER KITCHEN SINK.



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New 1st floor

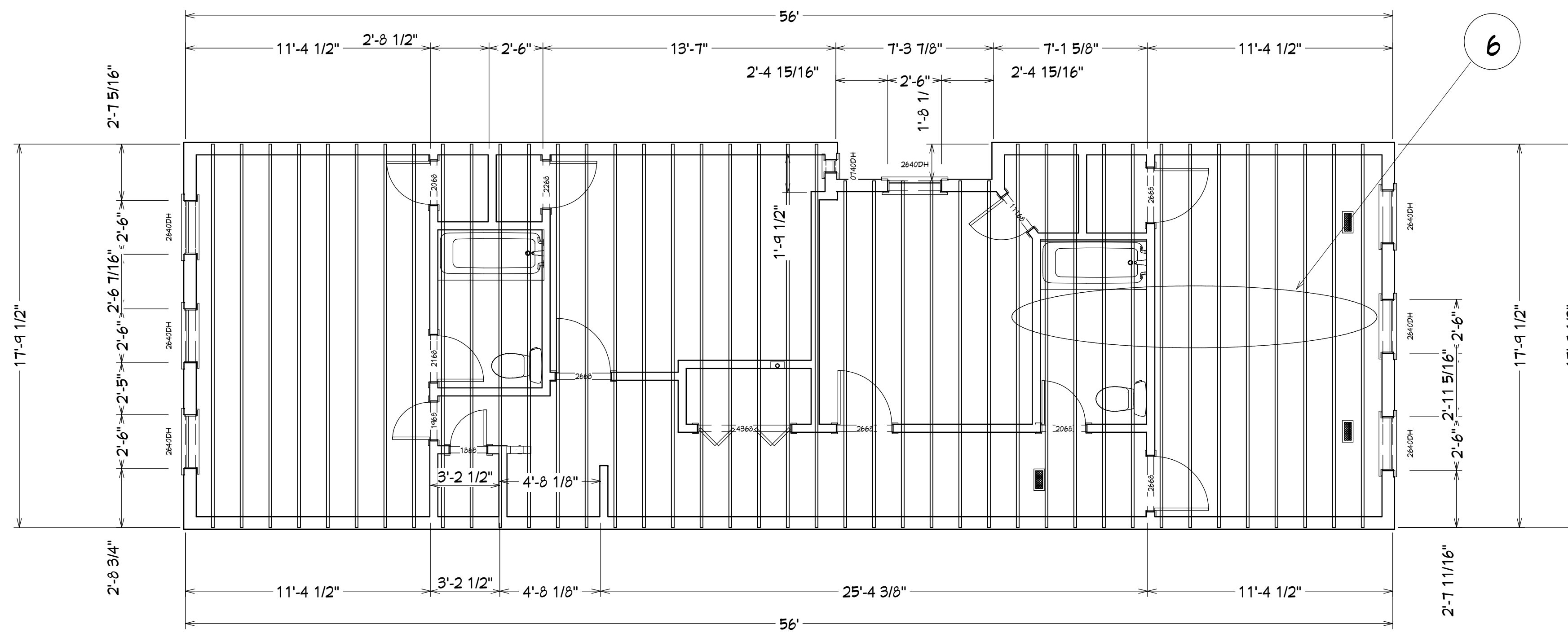
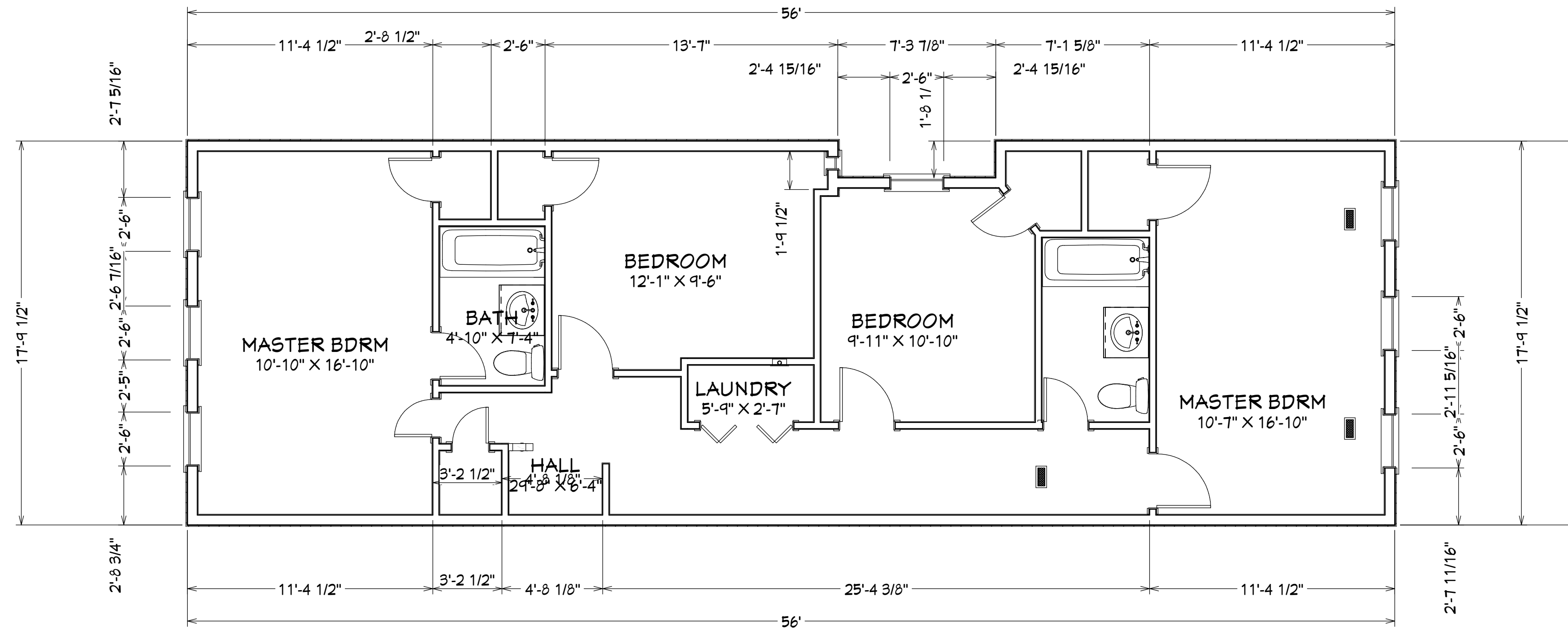
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1. ALL FLOOR JOIST SHALL BE 560- TJI X 11 7/8 (16 O.C.)
2. ALL 2X4 WALLS SHALL BE (16" O.C.)
3. 36" REAR EXTERIOR DOOR
4. TYPICAL WINDOW 30X48" (R.O. 30 1/2 X 48 1/2) HEADER SIZE (2) 2"X6"X33 1/2" WITH 7/16" OSB SPACER UNLESS OTHERWISE STATED (N.J-1)
5. ALL INTERIOR DOORS SHALL BE (24" - 34")
6. ALL NEW ROOF RAFTER/ CEILING JOINT SHALL BE TJI 230 11 1/4" (12 O.C.)

REVISION TABLE	REVISION BY	DESCRIPTION
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New 2nd Floor

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GENERAL NOTES AND SPECIFICATIONS

- The architectural drawings shall be used in conjunction with any structural, civil, mechanical, plumbing and electrical drawing and specification that may apply.
- This structure has been design in accordance with the provision of the international residential code 2012 edition.
- The contractor shall provide temporary shoring and bracing required to erect and hold the structure in proper alignment until permanent support and lateral bracing are in place.
- Loads used in the DESIGN OF THIS STRUCTURE ARE AS FOLLOVED.

A. LIVE LOADS	30PSF
BEDROOMS	40PSF
ROOF	20PSF
B. WIND LOADS	
WIND SPEED	100MPH
EXPOSURE	B
- A PERMANENT ENERGY CODE CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL. THE CERTIFICATE SHALL BE COMPLETED BY THE BUILDER.

RAILING NOTES:

STAIRWAYS SHALL HAVE A MIN. WIDTH OF 34". HAND RAILS MAY ENCR OACH A MAX. OF 3 1/2" INTO THE REQUIRED WIDTH.

TREADS SHALL HAVE A MIN. WIDTH OF 9". STAIR TREADS MUST BE UNIFORM AND CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 3/8".

STAIRWAYS SHALL HAVE MIN. 6'-8" OF HEADROOM AT THE NOSE OF THE STAIR.

ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 5/8" TYPE "X" GYPSUM WALL BOARD.

STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 34" TO 38" ABOVE THE NOSING OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION.

HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL.

STAIRWAYS HAVING LESS THAN 2 RISERS DO NOT REQUIRE A HAND RAIL.

34" MIN. HEIGHT GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 24" BELOW.

RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4".

THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 6" DIAMETER SPHERE TO PASS THROUGH.

EXTERIOR SPIRAL STAIRS TO BE FABRICATED AND INSTALLED PER THE MFG. INSTRUCTIONS.

FOUNDATION NOTES:

- THE FOUNDATION FOR THIS STRUCTURE HAVE BEEN DESIGNED WITH AN ASSUMED BEARING PRESSURE OF 3500 PSF. THE FOOTING SUBGRADE SHALL BE URBAN LAND-SASSAFRAS-CHILLIUM ASSOCIATION: URBAN LAND AND DEEP, NEARLY LEVEL TO STEEP, WELL DRAINED SOILS THAT ARE UNDERLAIN BY SANDY AND GRAVELLY SEDIMENT; ON UPLANDS.
- FOUNDATION BEARING SOILS SHALL BE EVALUATED BY A LICENCED GEOTECHNICAL ENGINEER TO CONFIRM THE DESIGN BEARING PRESSURE.
- CONCRETE SHALL BE NORMAL WEIGHT AND ALL OBTAIN 28 DAY COMPRESSIVE STRENGTHS AS FOLLOVED.

A) SLAB ON GRADE	3500 PSI
B) ALL OTHER CONCRETE NOT OTHERWISE NOTED	3000 PSI
- USE ASTM A-615 GRADE 60 DEFORMED REINFORCING BARS UNLESS NOTED OTHERWISE
- CONCRETE EXPANSION ANCHORS SHALL BE "SIMPSON WEDGE-ALL STUD ANCHORS" OR ENGINEER APPROVED EQUAL. EPOXY TO BE SIMPSON "SET" ADHESIVE OR APPROVED EQUAL.
- ALL REINFORCING STEEL AND EMBEDDING ITEMS SHALL BE ACCURATELY PLACED IN THE POSITIONS SHOWN AND ADEQUATELY TIED AND SUPPORTED BEFORE CONCRETE IS PLACED TO PREVENT DISPLACEMENT BEYOND PERMITTED TOLERANCES.
- MINIMUM CONCRETE COVER FOR REINFORCING STEEL AS INDICATED ON THE DRAWING SHALL GOVERN WHEN IN CONFLICT WITH ACI 318-05.
- INFILTRATION, ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION. THE FOLLOWING AREAS MUST BE SEALED.
 - * JOINTS AROUND WINDOW AND DOOR FRAMES
 - * JOINTS BETWEEN WALL CAVITY AND WINDOW/DR. FME.
 - * JOINTS BETWEEN WALL AND FOUNDATION
 - * JOINTS BETWEEN WALL AND ROOF
 - * JOINTS BETWEEN WALL PANELS.
 - * UTILITY PENETRATIONS THROUGH EXTERIOR WALLS

DOOR AND WINDOW NOTES:

ALL WINDOWS SHALL MEET R310.1.1 MINIMUM.

EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 20" WIDE OR 24" HIGH.

ALL WALK-THRU DOORS SHALL BE SOLID CORE

INTERIOR DOORS SHALL BE PAINTED. ENTRY DOOR TO BE DEFINED BY HOME OWNER PRIOR ORDERING

DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1-3/4" TIGHT FITTING SOLID CORE DOORS WITH A RATING OF 60 MINUTES. DOOR SHALL BE SELF CLOSING

EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS WITH MIN. U-VALUE OF 0.60

PROJECT STATISTICS:

BUILDING SIZE: 656 SQ.FT (3X) 1968 SQ. FT
 ADDITION NEW: 329 SQ.FT (3X) 987 SQ. FT
 LOT SIZE: 2665 SQ. FT.
 ANTICIPATED UNDISTURBED AREA: 316 SQ. FT.
 BUILDING ENVELOPE: 1105 SQ. FT.
 UPPER ROOF AREA: 985 SQ. FT.
 LOWER ROOF AREA: 490 SQ.FT.
 FRONT HEIGHT: 27' FT.
 REAR HEIGHT: 25'-6" FT.

SOIL TYPE: SHALLOW, UNDULATING TO STEEP SOILS OR LIMESTONE OR STRONGLY CEMENTED CHALK.

SOIL DENSITY: *6000 PSF ALLOWABLE (ASSUMED). TO BE DETERMINED AT TIME OF EXCAVATION.

FROST DEPTH: "2'-6"
 SEISMIC ZONE: B
 WIND: 115 MPH (120 MPH 3 SEC GUST), EXPOSURE B.

SITE PLAN NOTES:

- SITE SURVEY TO BE COMPLETED TO VERIFY PIN LOCATIONS AND HOME LOCATION PRIOR TO EXCAVATION.
- CALL BEFORE YOU DIG: 800.428.4950

GENERAL PLUMBING & HVAC NOTES:

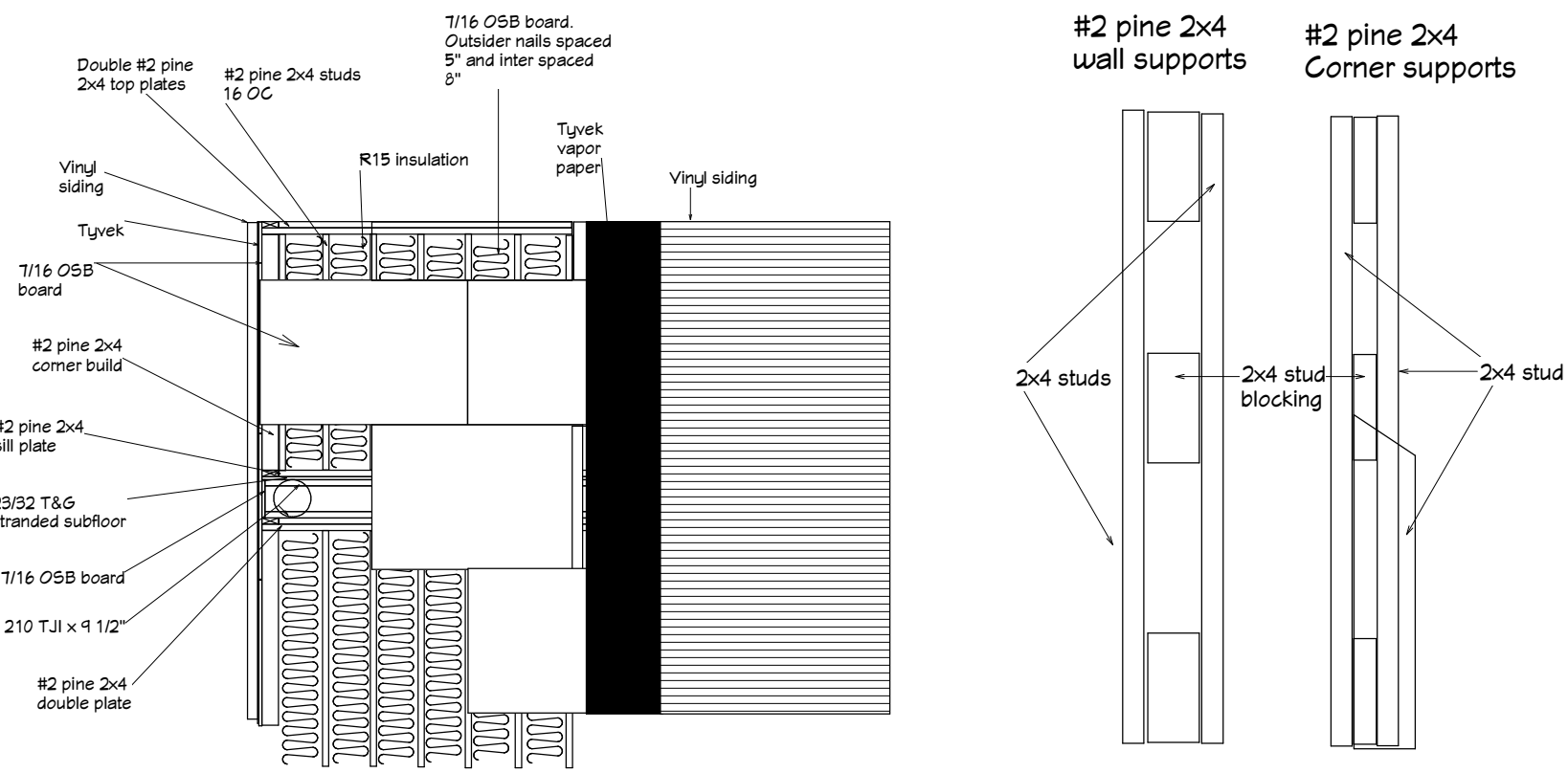
- HVAC SHALL HAVE TWO ZONES, ONE FOR EACH FLOOR.
- THE FURNACE AND WATER HEATER ON FLOOR 1 SHALL SERVE FLOORS 1 & 2.
- METALLIC GAS PIPE, WATER PIPE, AND FOUNDATION REINFORCING BARS SHALL BE BONDED TO THE ELECTRICAL SERVICE GROUND.
- DRYER, WATER HEATER, KITCHEN AND BATHROOM VENTING SHALL EXHAUST TO THE OUTSIDE OF THE BUILDING AND BE EQUIPPED WITH A BACK DRAFT DAMPER
- ALL GAS LINES SHALL BE SIZED FOR APPLIANCE LOAD. "BLACK" PIPE SHALL BE USED INSIDE THE BUILDING, "GREEN" PIPE WHERE UNDERGROUND OR EXPOSED TO WEATHER. ALL JOINTS SHALL BE TAPED WHERE BURIED OR EXPOSED TO WEATHER.
- TUBS/SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING TYPE. THE WATER TEMPERATURE SHALL BE AT A MAXIMUM OF 120°F.
- WATER SOFTENER UNIT SHALL CONDITION WATER BEFORE ENTERING THE WATER HEATERS AND THE COLD WATER SOURCE.
- EACH HOSE BIBB SHALL BE EQUIPPED WITH A BACK FLOW PREVENTION DEVICE.
- HEAT DUCTING SHALL BE SECURED, SEALED AND INSULATED AS APPROPRIATE.
- INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 70" ABOVE SHOWER DRAINS.
- INSULATE WASTE LINES FOR SOUND CONTROL.
- INSTALL PERMANENT DRY LOCATION PLAQUE.
- INSTALL FIRE EXTINGUISHER UNDER KITCHEN SINK.

EROSION CONTROL NOTES:

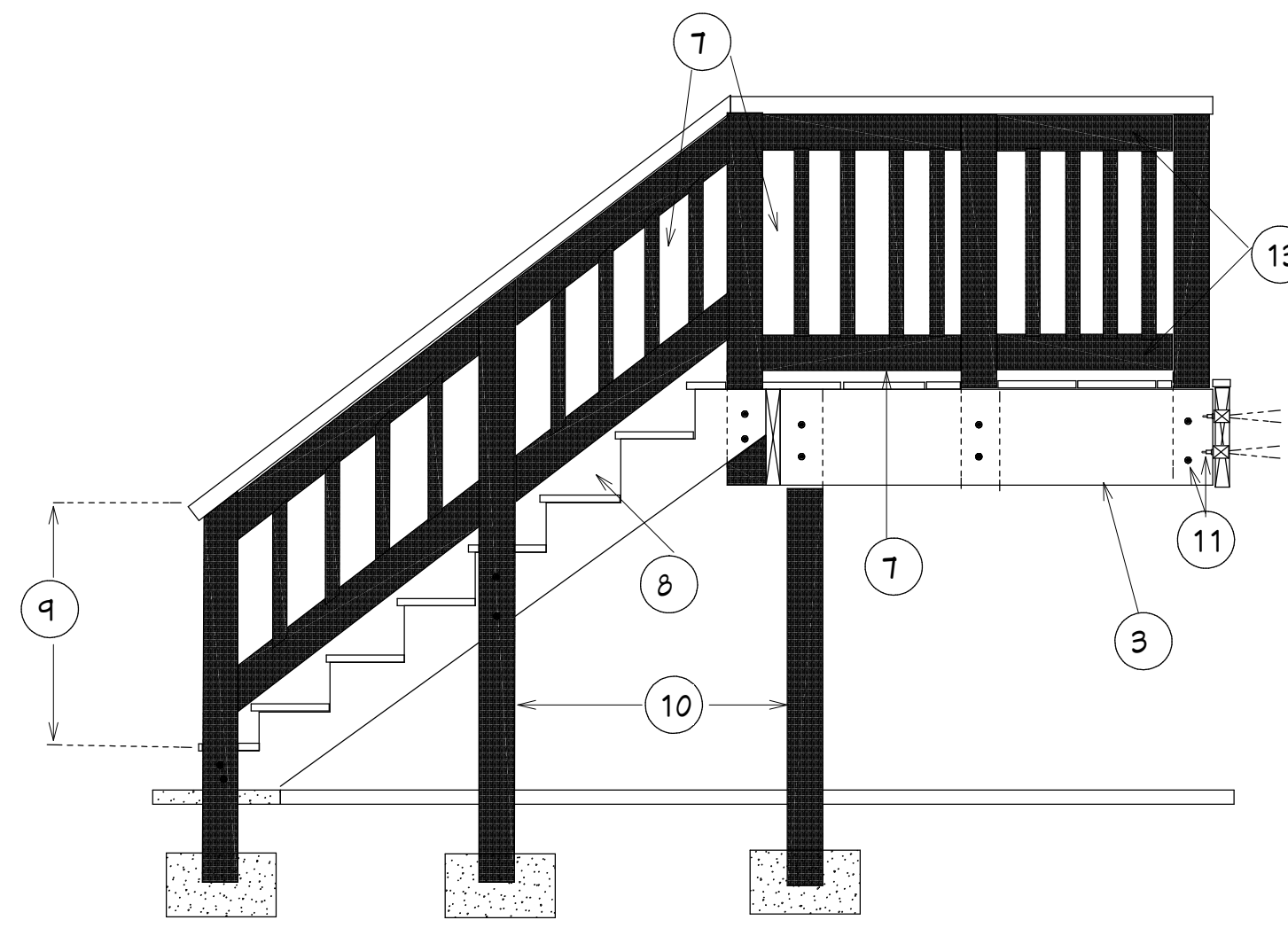
- INSTALL SILT FENCE PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
- MINIMIZE SITE DISTURBANCE BY TIGHT CONTROL OF EXCAVATION LIMITS.
- ALL EXPOSED SOIL SHALL BE MULCHED WITH STRAW OR WOOD CHIPS TO MINIMIZE SOIL EROSION. NO SOIL SHALL BE LEFT IN AN EXPOSED CONDITION. IT IS RECOMMENDED THAT THE CONTRACTOR MAINTAIN A STOCK PILE OF THIS MATERIAL ON SITE FOR QUICK APPLICATION.
- HYDROSEED WITH A WOOD CELLULOSE FIBER MULCH APPLIED AT A RATE OF 2,000#/ACRE. USE AN ORGANIC TACKIFIER AT NO LESS THAN 150 #/ACRE OR PER MANUFACTURER'S RECOMMENDATION IF HIGHER. APPLICATION OF TACKIFIER SHALL BE HEAVIER AT EDGES, IN VALLEYS AND AT CRESTS OF BANKS AND OTHER AREAS WHERE SEED CAN BE MOVED BY WIND OR WATER.
- DISPERSION TRENCHES SHALL OVERFLOW ONTO NATIVE UNDISTURBED GROUND. NO SITE DISTURBANCE BELOW TRENCHES.

ELECTRICAL DATA & AUDIO NOTES:

- ELECTRICAL NOTES:**
- ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
 - PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
 - ALL 120V OUTLET SHALL BE TAMPER PROOF.
 - OUTLETS LOCATED OUTSIDE IN THE FRONT AND REAR SHALL BE (TW) GFCI PLACED IN, IN-USE COVER BOXES.
 - ALL BEDROOM OUTLETS AND SMOKE DETECTORS WILL BE ON ARC FAULT BREAKERS.
 - ALL NEW APPLIANCES SHALL OPERATE ON ELECTRIC OTHER.(NO FUEL BURNING APPLIANCES)
 - ATTIC SHALL HAVE ONE LIGHT AND ONE GFCI OUTLET
 - AT LEASE ONE LIGHT SHALL BE PLACE IN FRONT AND REAR OF HOUSE.
 - KITCHEN
 - 20A MIRCOWAVE
 - 20A DISHWASHER
 - 20A GARBAGE DISPOSAL
 - 20A COUNTER OUTLTES
- AUDIO: NONE**

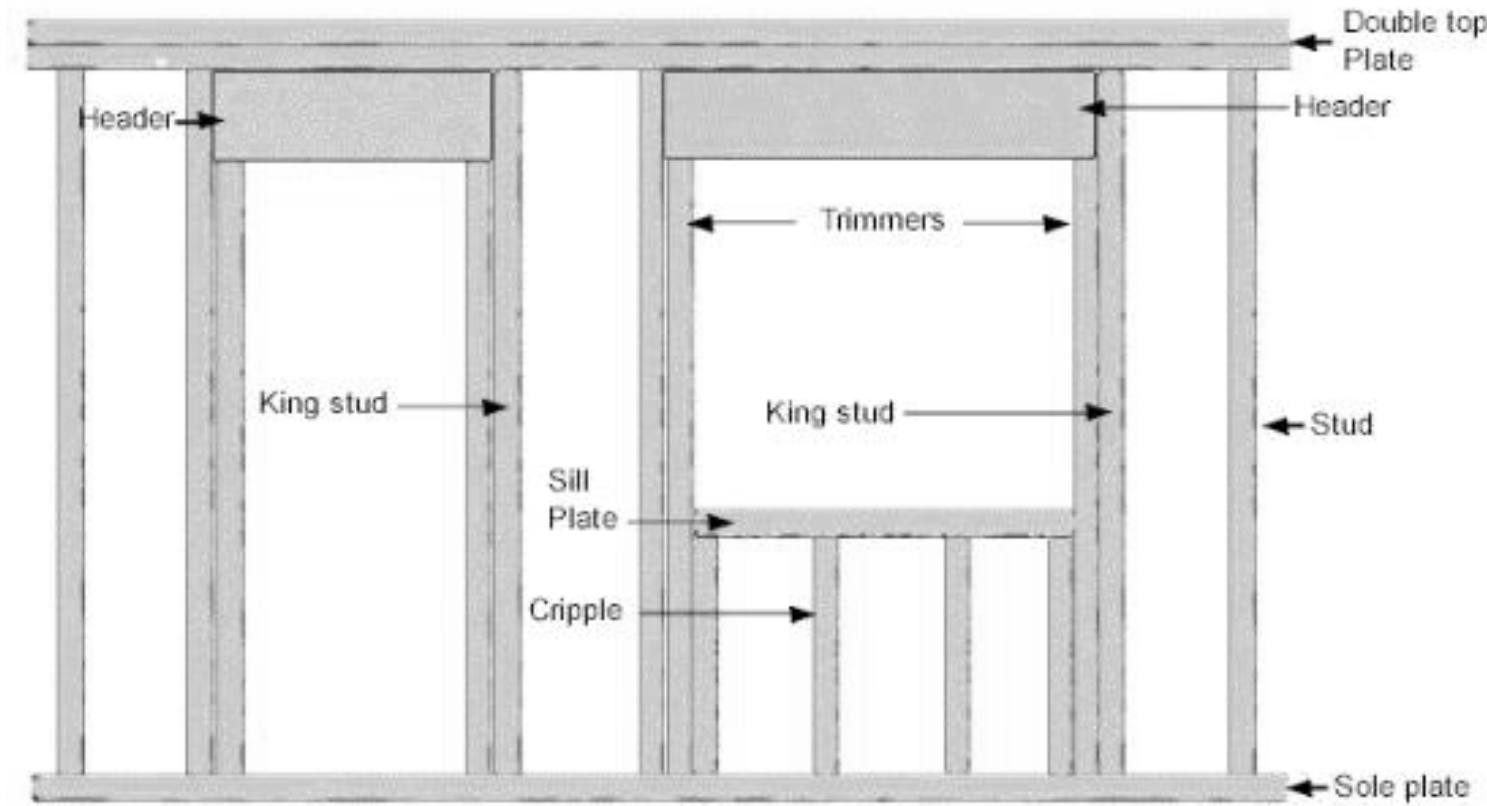


EXTERIOR WALL SECTION

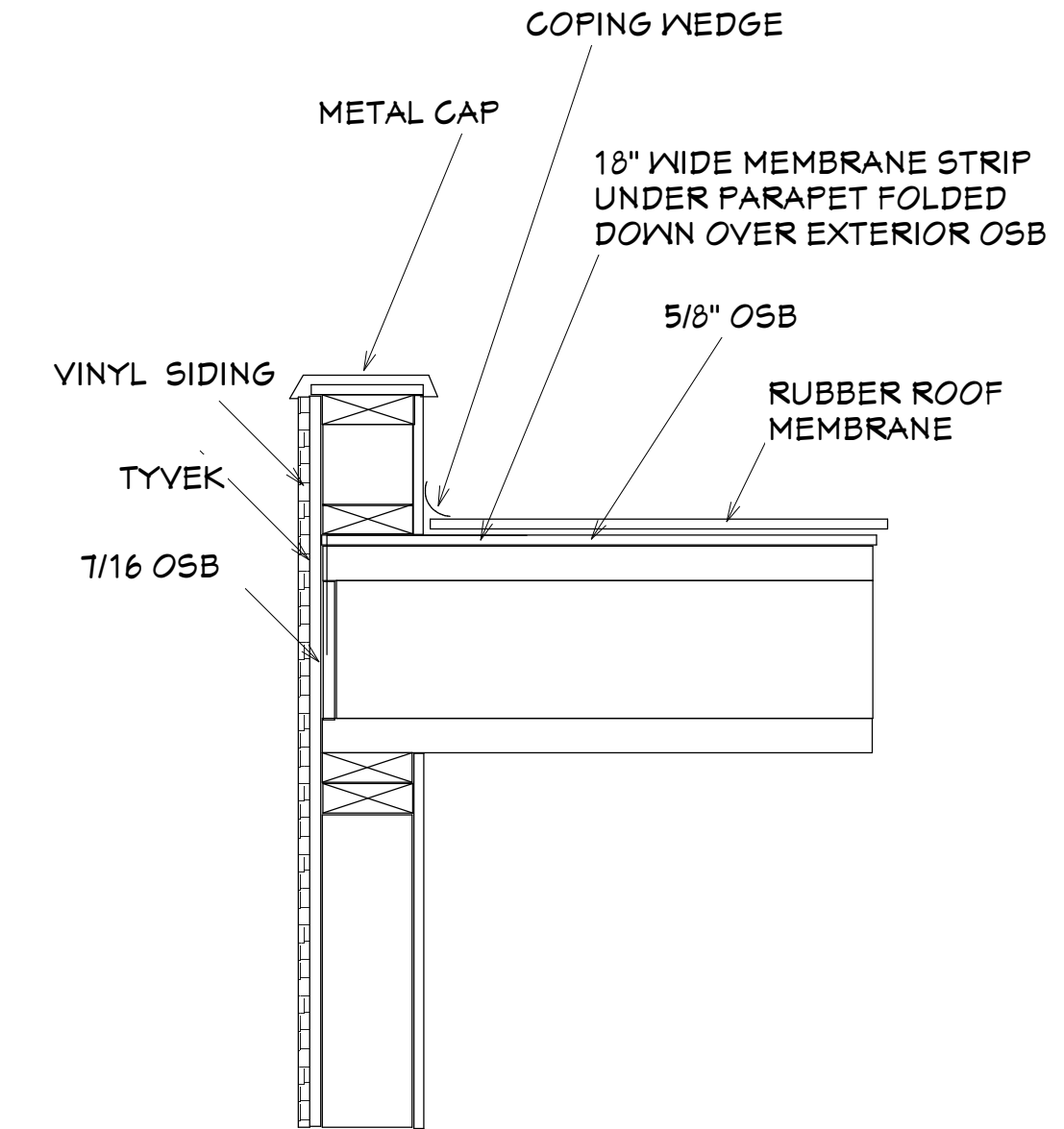


EXTERIOR STAIR AND RAIL SECTION

1. ALL #2 TREATED LUMBER	
2. 4X4	
3. 2X10	
4. 2X4	
5. 2X6 DECKING BOARD	
6. GUARD HEIGHT 36" MIN	
7. GUARD OPENING SHALL NOT PERMIT PASSAGE OF 4"	
8. TRIANGLE OPENING SHALL NOT PERMIT PASSAGE OF 6".	
9. STAIR GUARD HEIGHT MIN 34" MEASURED FROM NOSING OF STEP	
10. 6" OR LESS BETWEEN POST	
11. 3 1/2 GALV LAGGING BOLTS	
12. 3" GALV DECK SCREWS	
13. STAIR GUARD	
DETAILS:	
(10) RISERS OF	6 3/8"
TOTAL RUN	7' 8-1/4"
TOTAL RISE	5' 3-5/8"
STEP RISE (RISER HEIGHT)	6 - 3/8"
STEP RUN (TREAD DEPTH)	10-1/4"
BOTTOM STEP RISE	4-7/8"
ANGLE	31.02 DEGREES
STRINGER LENGTH	9' 0-9/16"



DOOR AND WINDOW DETAILS



FLAT ROOF DETAILS

LUMBER SPECIES:

- POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF-#2.
- EXPOSED ARCH BEAMS TO BE DF-#1 OR BETTER.
- SILLS, PLATES BEAMING, AND BRIDGING TO BE DF-#2.
- SILLS, PLATES ON CONCRETE SHALL BE DF-#2 TREATED.
- ALL STUDS TO BE DF-#2 OR BETTER.
- PLYWOOD SHEATHING SHALL BE AS FOLLOWS:
- ROOF SHEATHING SHALL BE 5/8" PLYWOOD OR 9/32 OSB.
- WALL SHEATHING SHALL BE 1/2" INT-APA RATED 32/16 OR 7/16" OSB.
- FLOOR SHEATHING SHALL BE 3/4" T & G INT-APA RATED OSB.

WALL PANEL NOTES:

- B.P. BRACED WALL PANEL**
 3'-4" MIN. LENGTH w/ 7/16" OSB OR 1/2" PLYWOOD AND 8d COMMONS 6" o/c AT ALL PANEL EDGES, 12" o/c FIELD.
- I.B.P. INTERIOR BRACED WALL PANEL**
 12" GYP. BD PER R 602.10.3(5); 1/2 GWB EACH SIDE w/ #6 X 1 1/4 TYPE S OR W SCREWS PER ASTM C1002 @ 7" o/c AT ALL SUPPORTS
- A.B.P. ALTERNATE BRACED WALL PANEL**
 2'-9" MIN. WIDTH w/ 7/16" OSB OR 1/2" PLYWOOD AND 8d COMMONS 6" o/c AT ALL PANEL EDGES, 12" o/c FIELD & (2) A.B. PER PANEL LOCATED AT 1/4 POINTS & 1800# MIN. HOLDDOWN EACH END *HPAHD22 OR STD10)

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PROJECT DETAILS / OVERVIEW

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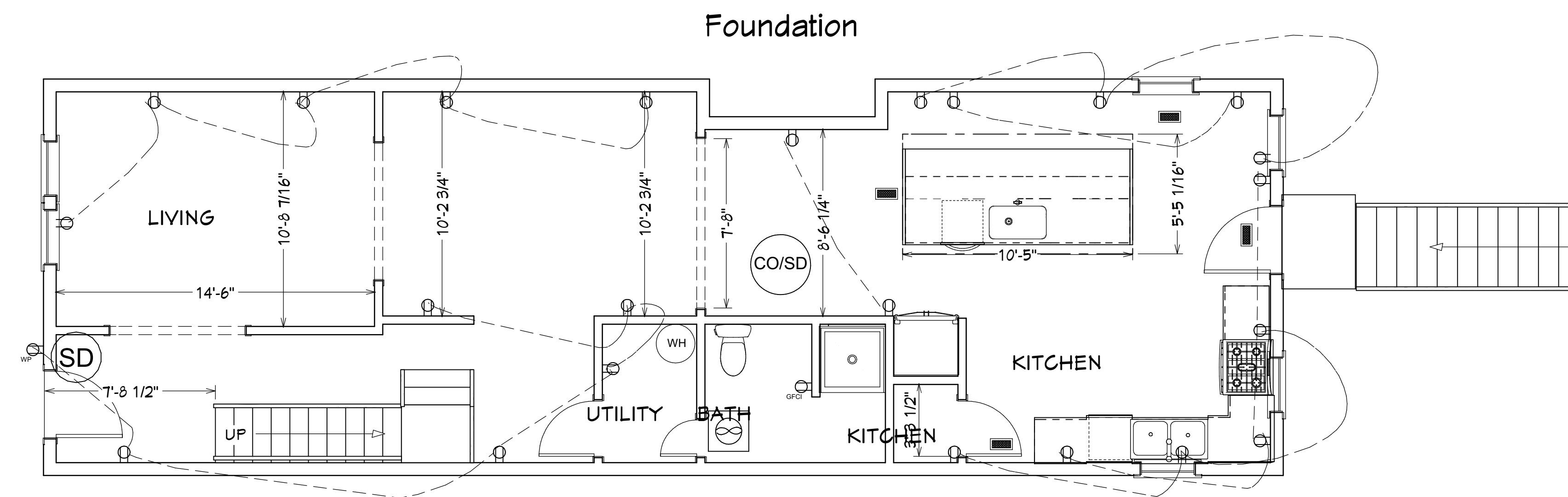
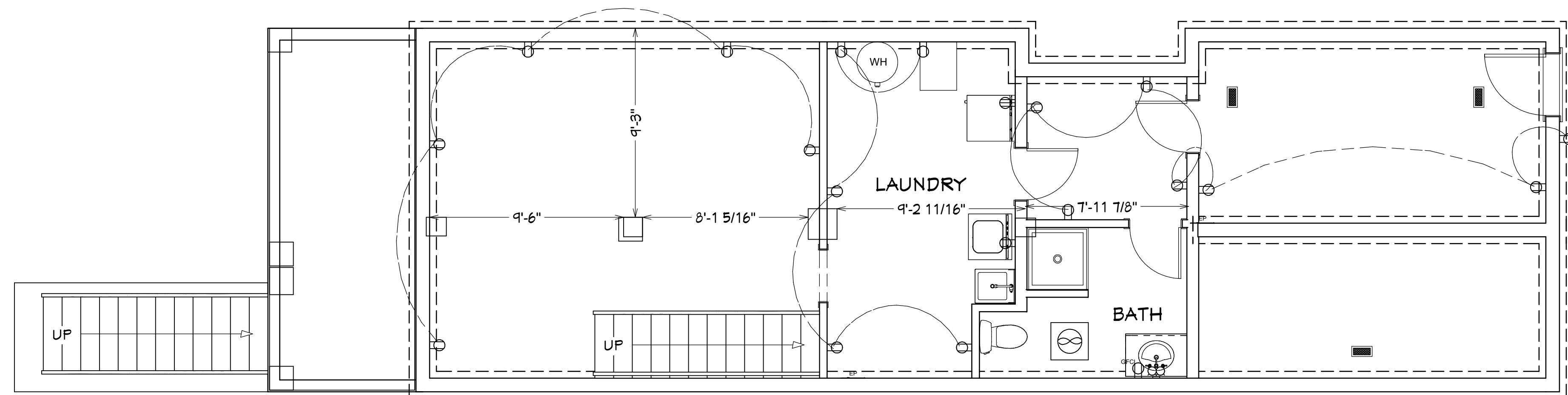
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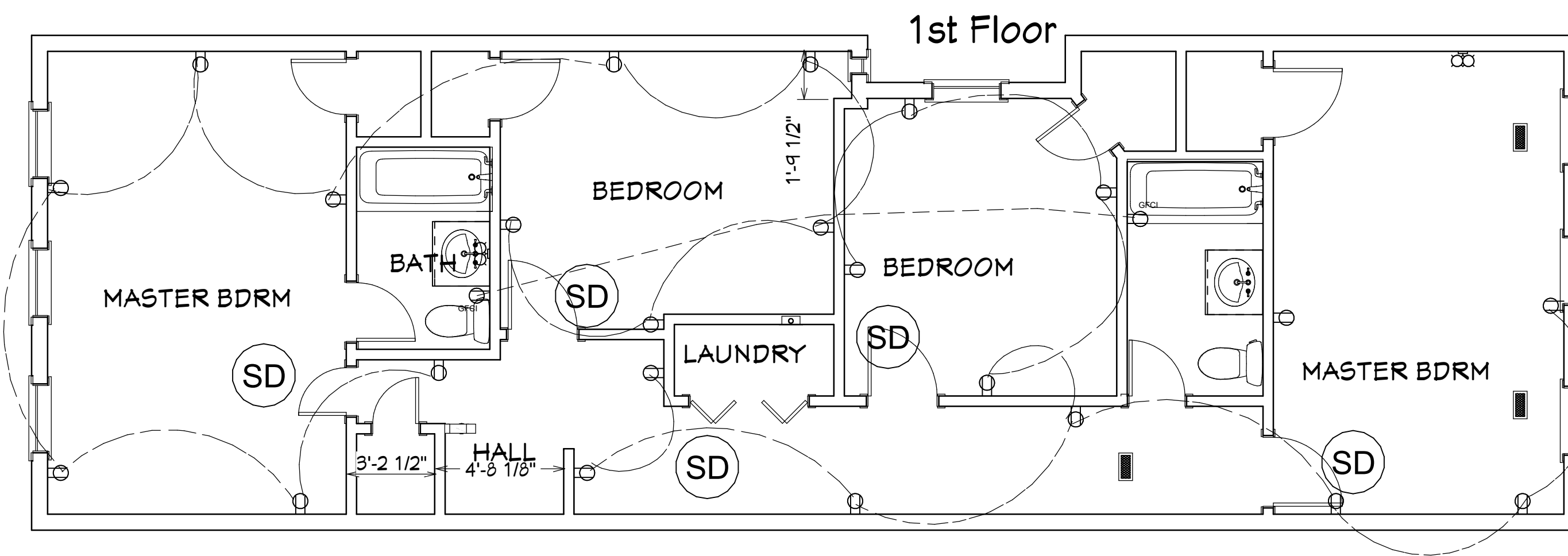
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- 1) ALL BATHROOMS SHALL HAVE GFCI 20A OUTLET.
- 2) KITCHEN SHALL HAVE
 - A) (2) 20A OUTLETS SPACED 2 FEET ABOVE ALL COUNTER TOPS.
 - B) (1) 20A DISH WASHER
 - C) (1) 20A MICROWAVE
 - D) (1) 20A GARBAGE DISPOSAL
- 3) ALL BEDROOM SHALL BE ARC FAULT PROTECTED.
- 4) ONE TP-GFCI SHALL BE INSTALLED IN WITHIN 10 FEET OF THE FRONT AND REAR EXTERIOR DOOR.
- 5) ALL OUTLETS SHALL IN TAMPER PROOF.
- 6) ALL BEDROOM AND HALLWAYS SHALL HAVE SMOKE DETECTOR. KITCHEN SHALL HAVE SMOKE AND CARBON DETECTOR. ALL SMOKE AND CARBON DETECTORS WILL BE INTERCONNECTED 120V / ARC FAULT.



2nd Floor

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

Electrical

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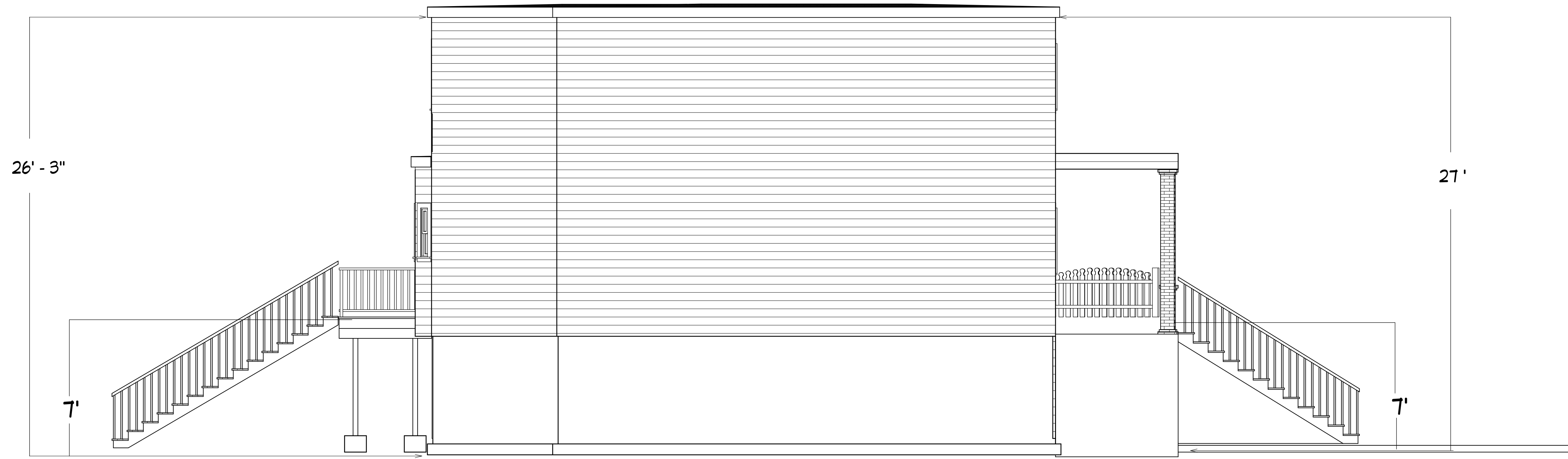
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E001



REVISION TABLE	
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Existing elevation

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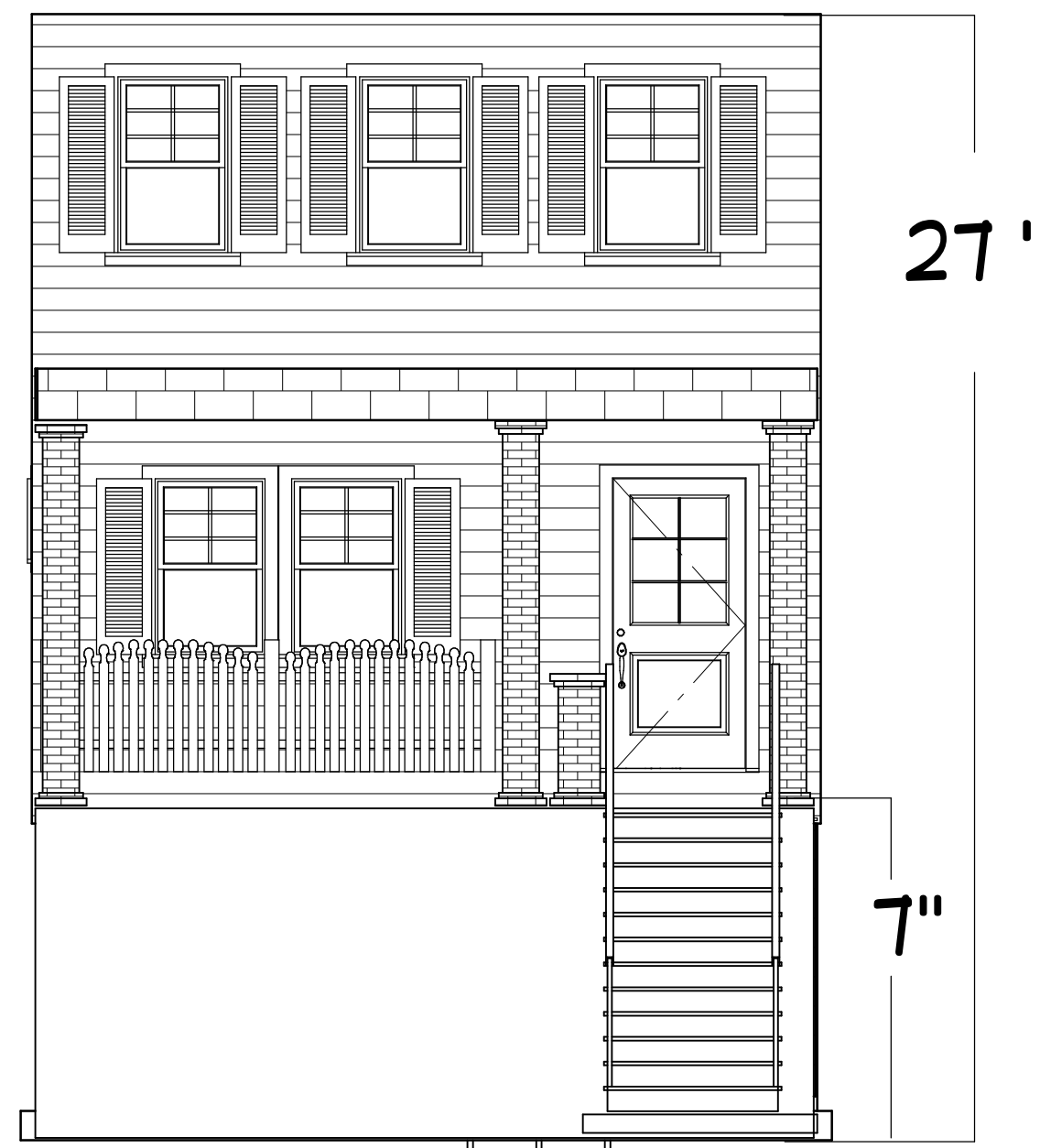
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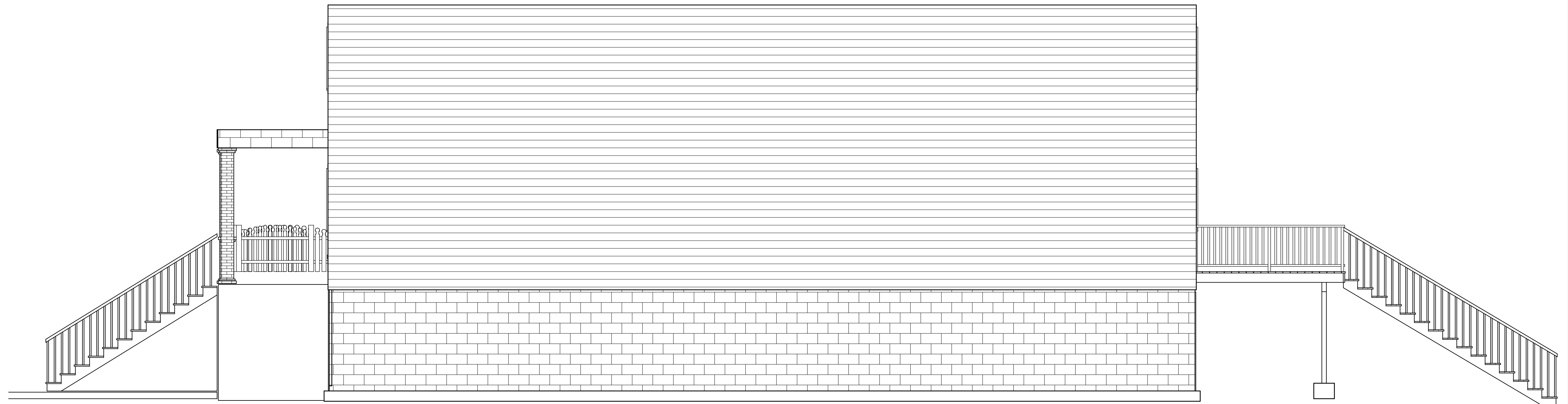
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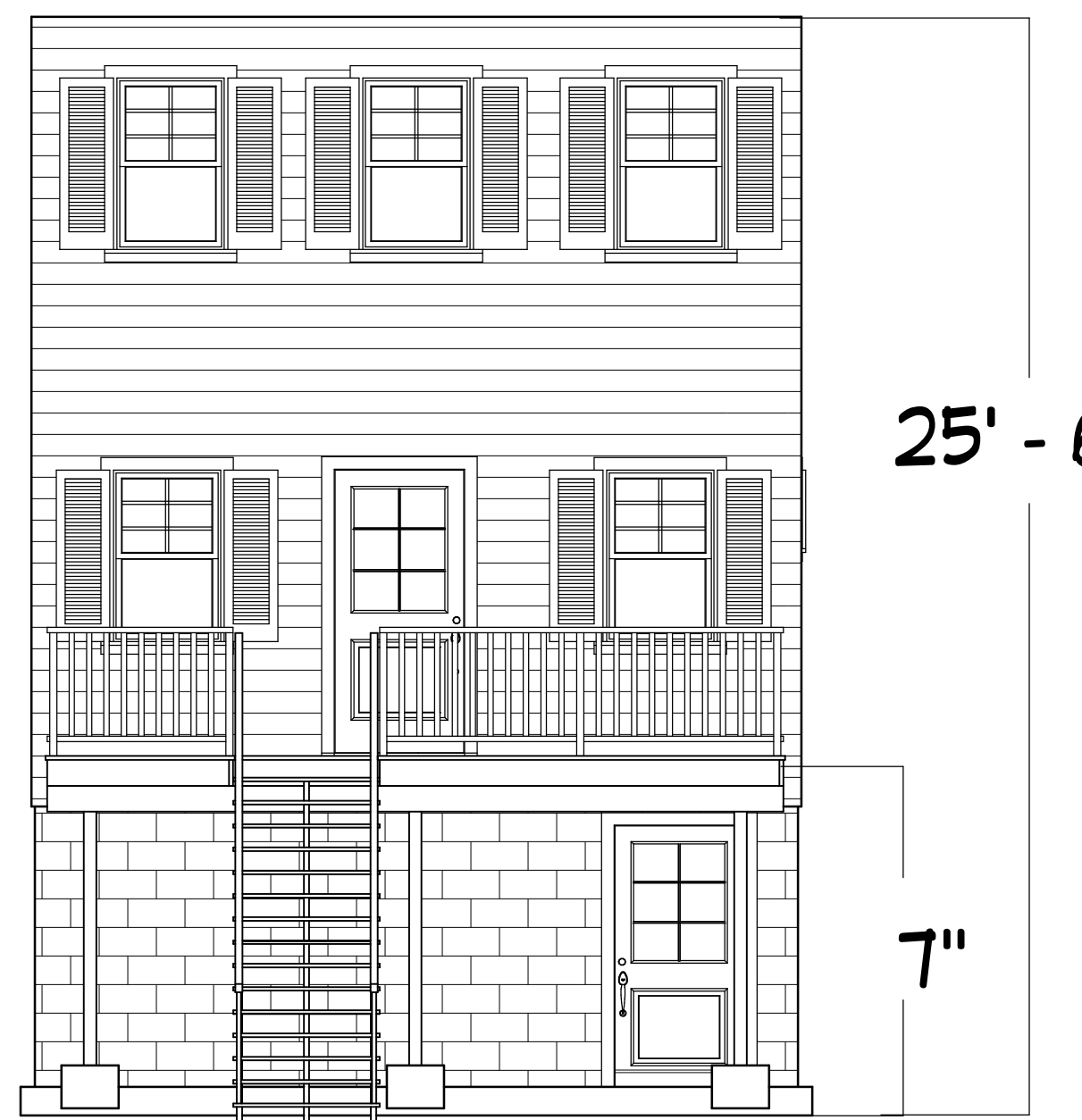
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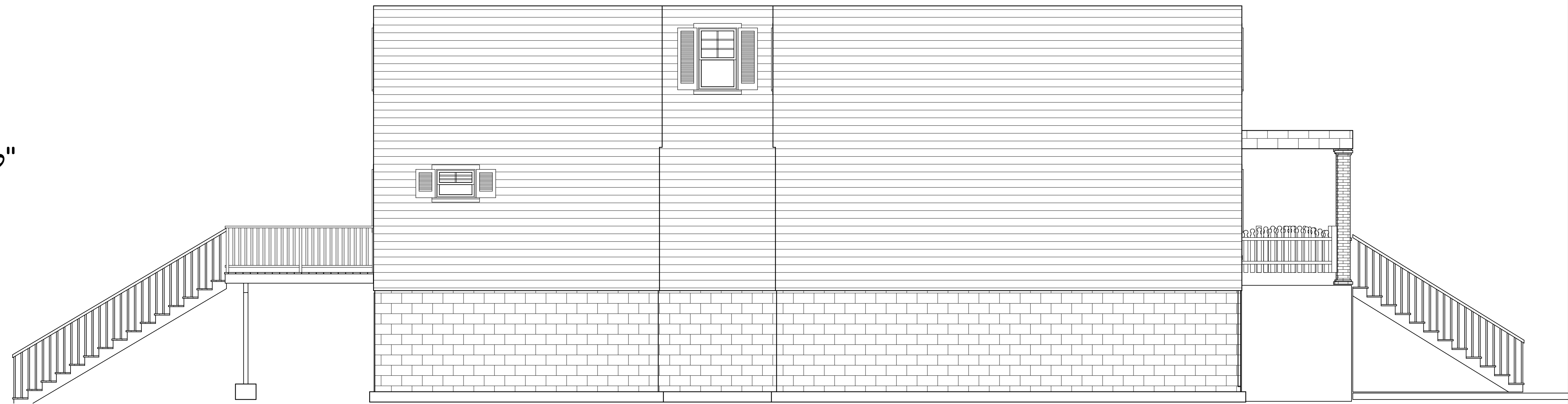
Front



RIGHT



REAR



LEFT

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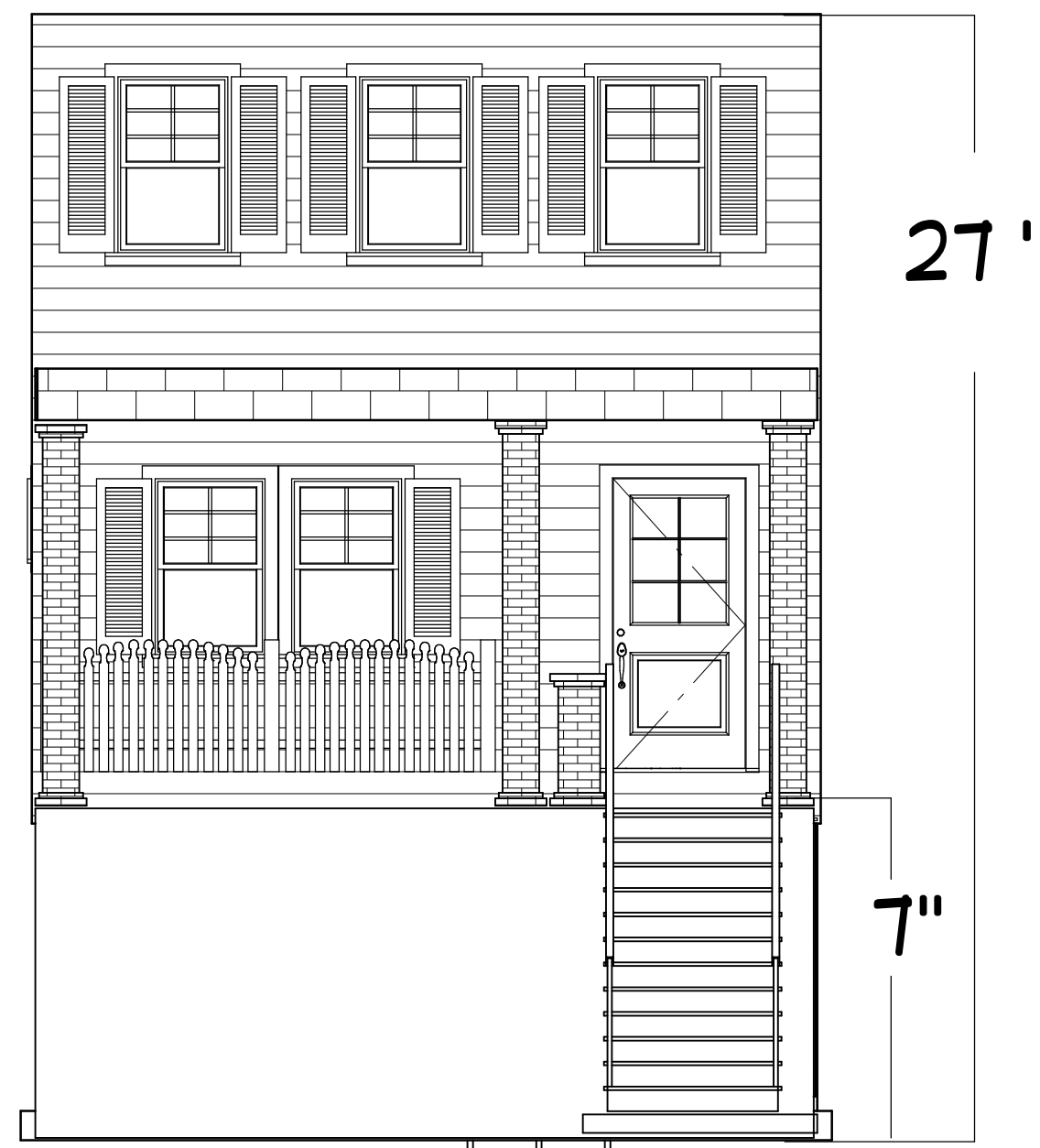
New
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604 Gallatin st NW
Washington, DC 20011

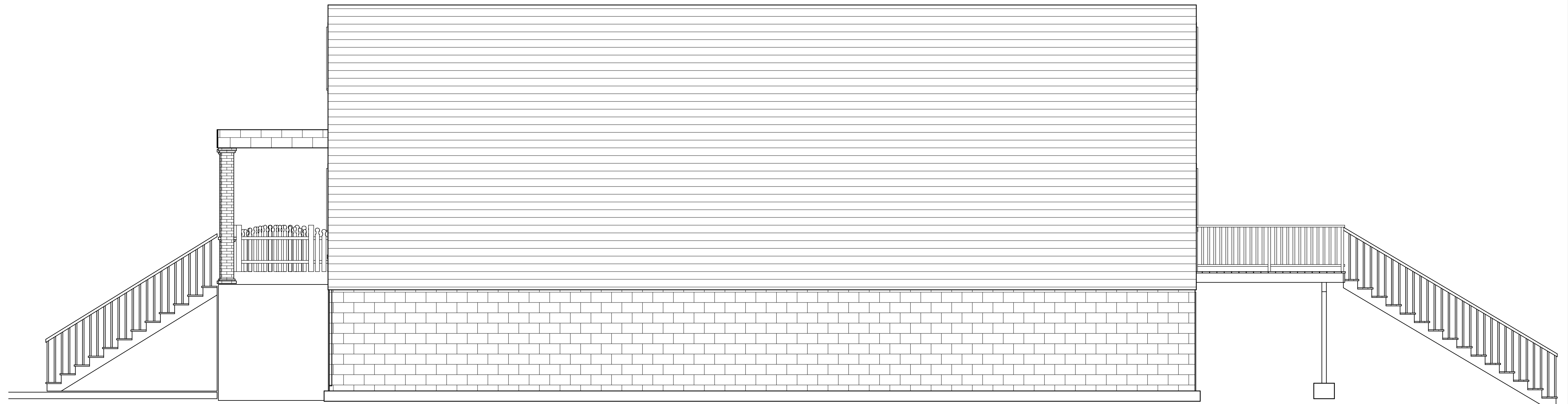
DATE:
4/3/2019

SCALE: 1/4

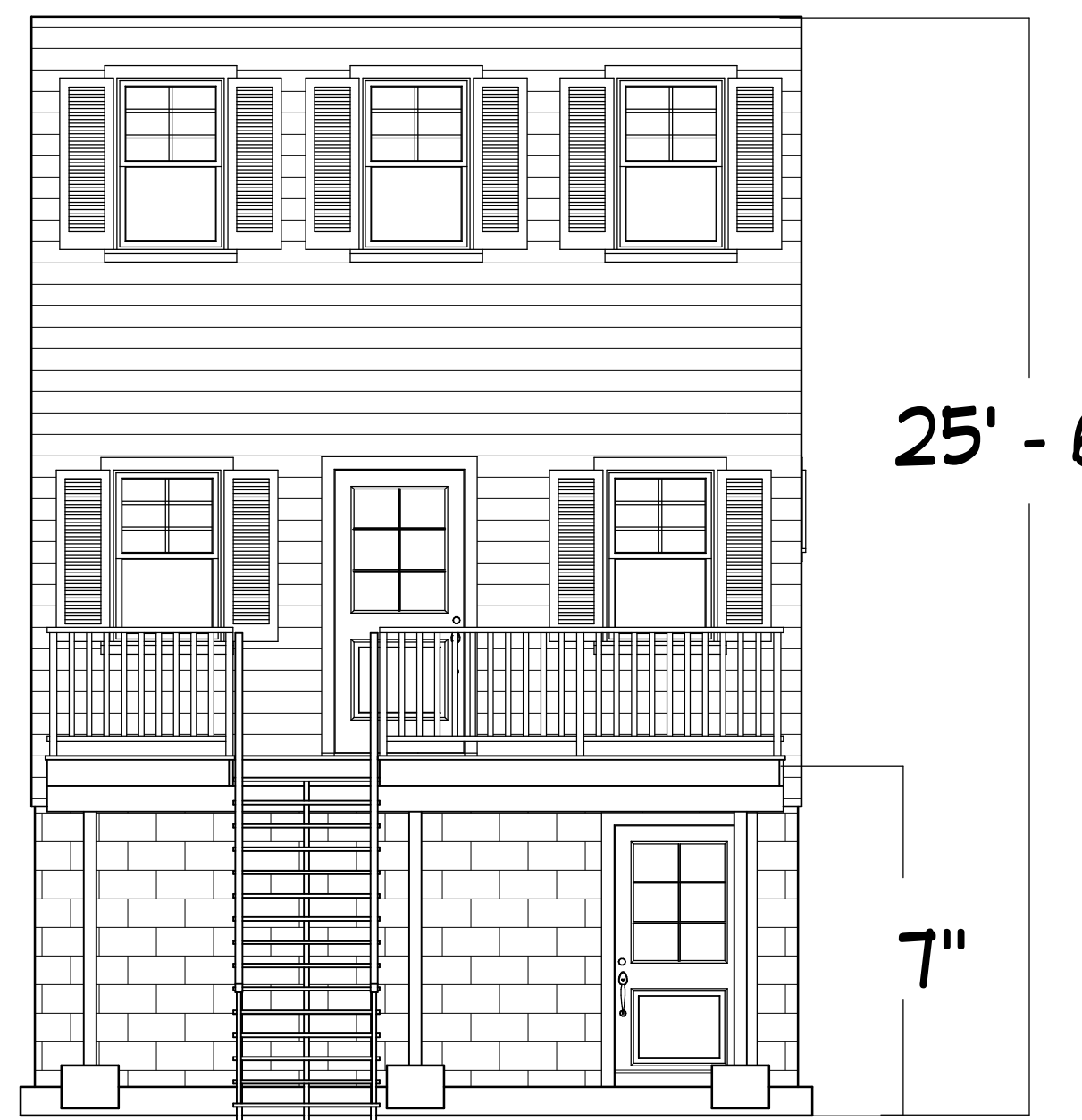
SHEET:
EL101



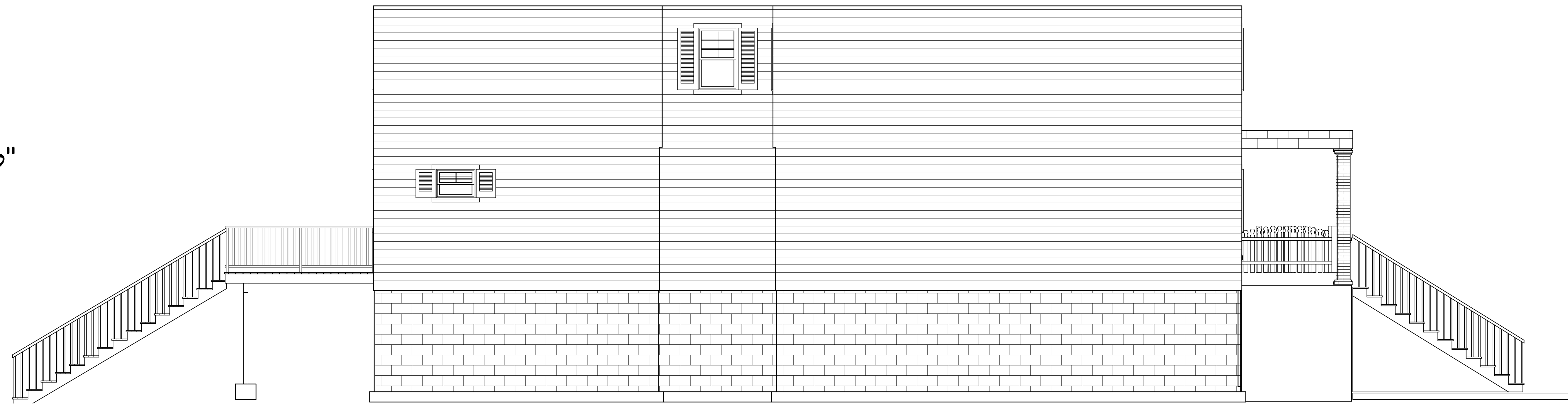
Front



RIGHT



REAR



LEFT

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

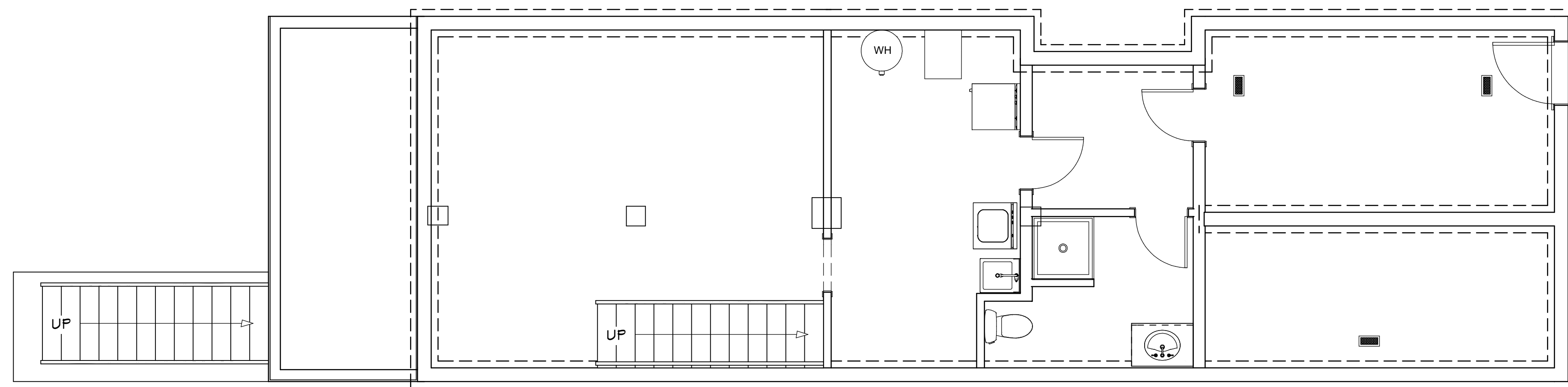
New
Elevation

DRAWINGS PROVIDED BY:
Betty Matthews
604 Gallatin st NW
Washington, DC 20011

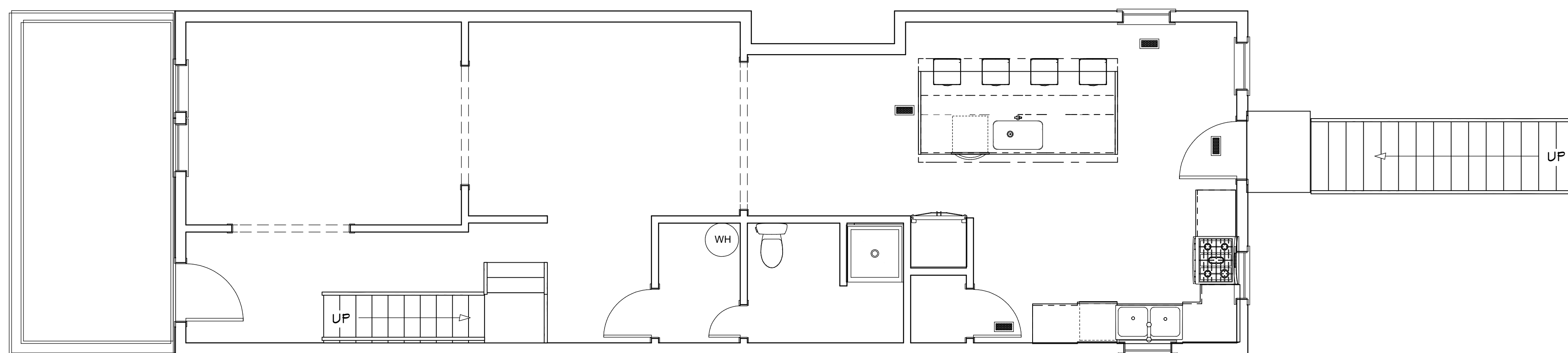
DATE:
4/3/2019

SCALE: 1/4

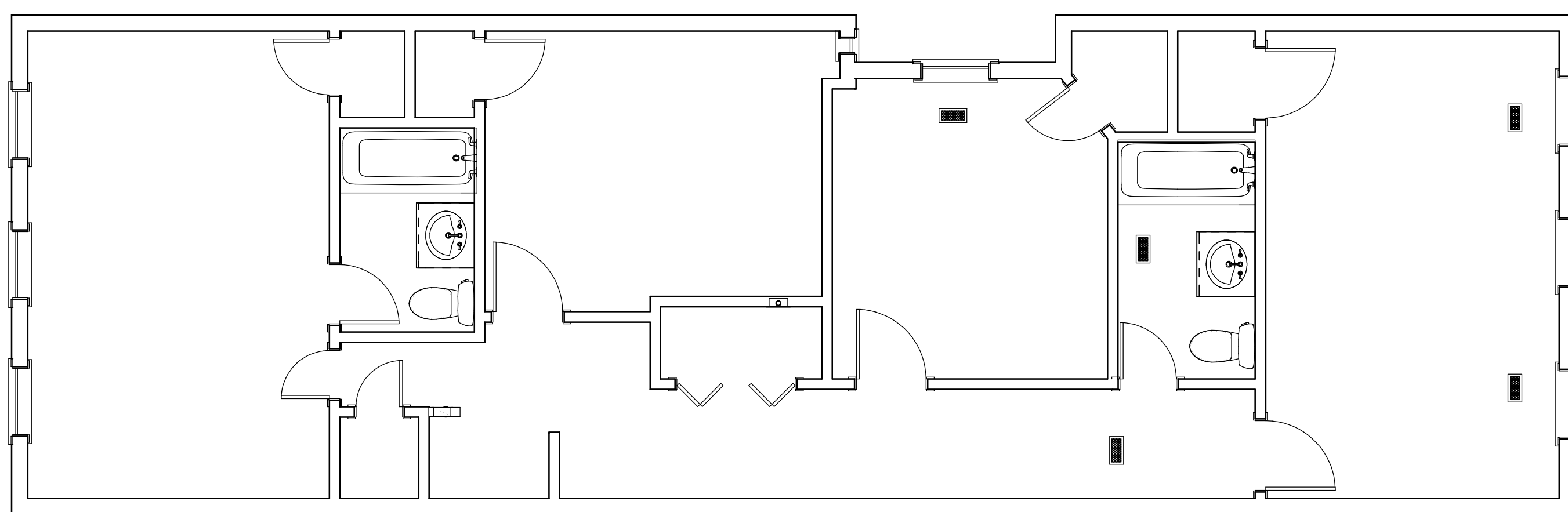
SHEET:
EL101



Foundation



1st Floor



2nd Floor

NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION

HVAC

DRAWINGS PROVIDED BY:
Betty Matthews
 604 Gallatin st NW
 Washington, DC 20011

DATE:

4/3/2019

SCALE: 1/4

SHEET:

M001