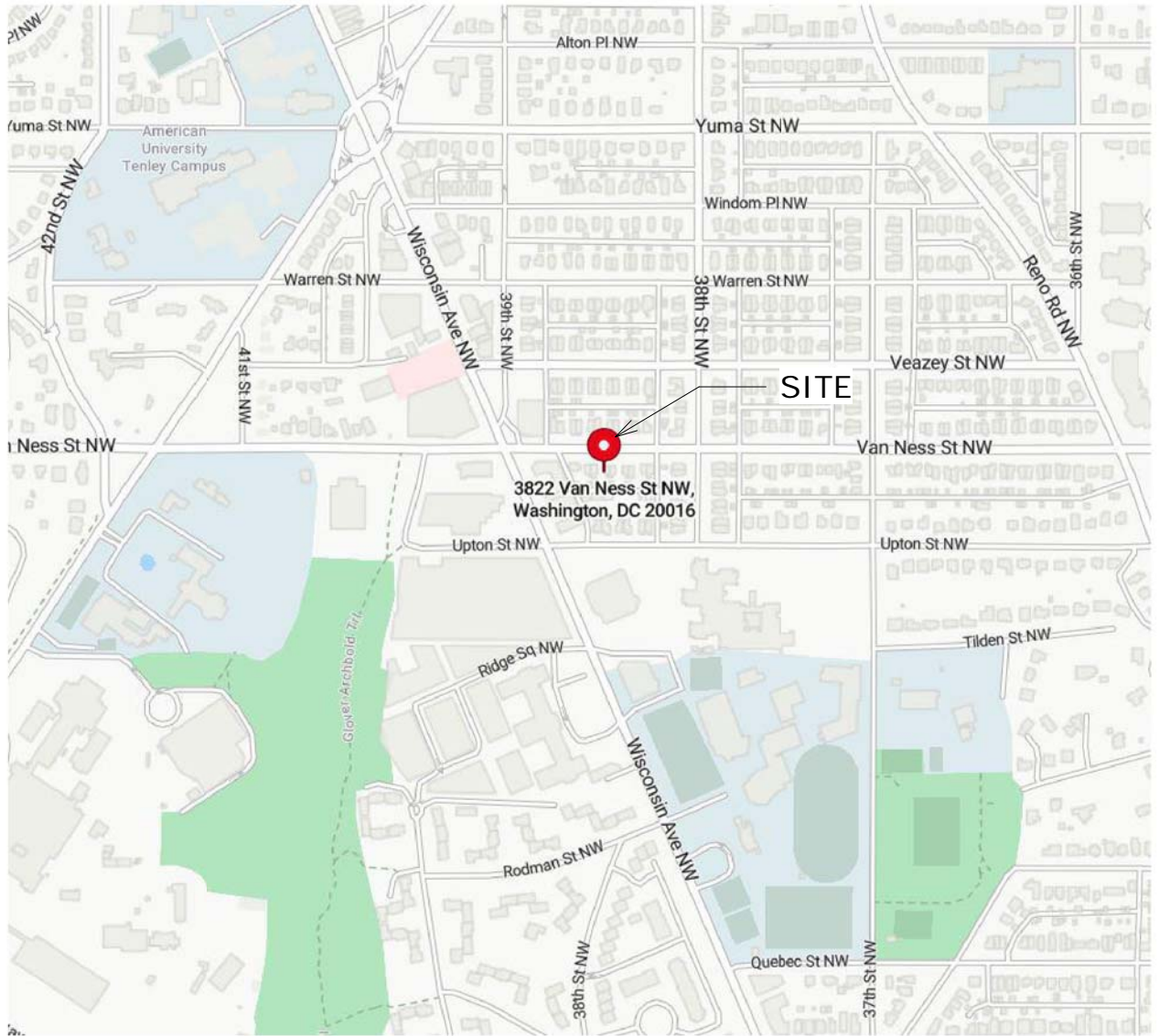




GENERAL NOTES

- ALL WORK SHALL COMPLY WITH THE 2015 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC), THE 2015 EDITION OF THE INTERNATIONAL ENERGY CONSERVATION CODE AND ALL OTHER APPLICABLE CODES, REGULATIONS & ORDINANCES.
- ALL WORK SHALL BE COMPLETED BY EXPERIENCED TRADESMEN.
- ANY INCONSISTENCIES FOUND BETWEEN THE DRAWINGS AND EXISTING CONDITIONS OR BETWEEN THE DRAWINGS THEMSELVES SHALL BE REPORTED TO THE ARCHITECT. ANY WORK DONE WITHOUT NOTIFICATION OF THE ARCHITECT WILL BE AT THE CONTRACTOR'S RISK AND EXPENSE.
- WHEN MULTIPLE SPECIFICATIONS ARE GIVEN, CONTRACTOR SHOULD ASSUME MORE EXPENSIVE OPTION FOR PRICING PURPOSES AND NOTIFY ARCHITECT.
- ANY SUBSTITUTIONS IN MATERIALS, FINISHES OR FIXTURES FROM THE SPECIFICATIONS OF THE DRAWINGS SHALL BE SUBMITTED IN WRITING DURING THE BID PROCESS FOR OWNER AND ARCHITECT APPROVAL.
- DRAWINGS ARE TO BE READ AND NEVER SCALED.
- PROTECT ALL JOBSITE CONDITIONS NOT SPECIFICALLY AFFECTED BY THE WORK.
- THE CONTRACTOR SHALL MAINTAIN THE JOBSITE FREE AND CLEAR OF TRASH & DEBRIS.
- ALL METAL FLASHING INSTALLATIONS PER SMACNA.
- FOLLOW INDUSTRY GUIDELINES & REGULATIONS FOR SELECTION, APPLICATION AND INSTALLATION OF EACH MATERIAL.
- ONE YEAR WARRANTY SHALL BEGIN AT SUBSTANTIAL COMPLETION.
- FIELD VERIFY ALL DIMENSIONS BEFORE BEGINNING THE WORK.
- THE CONTRACTORS SHALL BE REQUIRED TO MAKE PROPER AND COMPLETE WORK WHICH IS SHOWN SINGLE OR PARTIALLY INDICATED TO AVOID NEEDLESS REPETITION FOR THE SAKE OF BREVITY AND FOR REASONS OF CLARITY.
- CONTRACTORS SHALL FURNISH AND INSTALL ALL WORK AND MATERIALS AS MAY BE PROPER AND SUITABLE PREPARATION BASIS. SUPPORT OR FINISH FOR THE WORK WHICH IS SHOWN ON THE DRAWINGS WHETHER OR NOT THE SAME IS SPECIFICALLY MENTIONED.

LOCATION MAP



SCOPE OF WORK

BASEMENT:

- CREATE BEDROOM, BATH, LAUNDRY AND REC. ROOM IN EXISTING BASEMENT.

MAIN LEVEL:

- REAR ADDITION TO CREATE KITCHEN AND FAMILY ROOM.
- SIDE ADDITION TO ENLARGE ENTRY FOYER AND CREATE SCREENED PORCH.
- CREATE POWDER ROOM AT EXISTING KITCHEN

SECOND LEVEL:

- RENOVATE EXISTING 3 BEDROOMS AND BATH.
- REAR ADDITION TO CREATE PRIMARY BEDROOM, BATH AND CLOSET

BUILDING DATA

ZONING:	R-2
USE:	RESIDENTIAL - SEMI DETACHED
LOT SIZE:	3,630 SQUARE FEET
LOT COVERAGE:	1,267 S.F. / 34.9% (PROPOSED) 1,452 S.F. /40% (ALLOWED)
PERVIOUS SURFACE:	1,267 S.F. BUILDING FOOTPRINT + 285 S.F. WALKWAYS = 1552 S.F. IMPERVIOUS 3630 S.F. - 1552 S.F. = 2078 S.F./ 57% PERVIOUS (PROPOSED) 1,089 S.F. / 30% (MINIMUM REQUIRED)
FRONT SET BACK:	ESTABLISHED BUILDING LINE (NO CHANGE PROPOSED)
SIDE SET BACK:	±7.63' SIDE SETBACK ONE SIDE (NO CHANGE PROPOSED) 8'-0" REQUIRED, 5'-0" MIN IF EXISTING BUILDING ENCROACHES INTO SETBACK
REAR SET BACK:	37.3' (20' REQUIRED)
AREA OF ADDITION:	817 S.F.; 64 S.F. SCREENED PORCH
ROOF PEAK HEIGHT:	±25'-2" ROOF PEAK HEIGHT FROM APPROXIMATE GRADE

SQUARE FOOTAGE

(PER SQUARE FOOTAGE -METHOD FOR CALCULATING: ANSI Z765-2003)

STATEMENT OF FINISHED SQUARE FOOTAGE:
FINISHED SQUARE FOOTAGE CALCULATIONS FOR THIS HOUSE WERE MADE BASED ON PLAN DIMENSIONS ONLY AND MAY VARY FROM THE FINISHED SQUARE FOOTAGE OF THE HOUSE AS BUILT.

EXISTING	PROPOSED
0 S.F. BASEMENT (FINISHED)	517 S.F. BASEMENT (FINISHED)
588 S.F. FIRST FLOOR	1017 S.F. FIRST FLOOR
556 S.F. SECOND FLOOR	944 S.F. SECOND FLOOR
1144 S.F. TOTAL FINISHED AREA	2478 S.F. TOTAL FINISHED AREA
563 S.F. BASEMENT (UNFINISHED)	46 S.F. BASEMENT (UNFINISHED)
108 S.F. FIRST FLOOR (SCREENED PORCH)	64 S.F. FIRST FLOOR (SCREENED PORCH)
1815 S.F. TOTAL AREA	2588 S.F. TOTAL AREA

DCRA COMMENT

DRAWING LIST

SHEET TITLE	SHEET NUM.
Cover Sheet	A000
Site Plans	CIV100
DOEE and Sediment Control Sheet	CIV101
Schedules	A001
UL Wall Assembly	A002
Existing and Demolition Plans	A100
Existing and Demolition Plans	A101
Existing Elevations	A102
Proposed Plans	A200
Proposed Plans	A201
Elevations	A300
Sections	A400
Thermal and Energy Plans	EC100
Structural Plans	S100
Structural Plans	S101
Structural Bracing	S102
Mechanical Plans - Exhaust Layout	M100
Mechanical Plans - HVAC Layout	M101
Electrical Plans	E100
Plumbing Riser Diagrams	P100

CONTACT INFORMATION

OWNER:

LEY LTD.
5110 1/2 MACARTHUR BLVD. NW
WASHINGTON, DC 20016

ARCHITECT:

MCD STUDIO, LLC
4948 ST. ELMO AVENUE, SUITE 304
BETHESDA, MD 20814
CONTACT: MATT MCDONALD
PHONE: 301-215-7277

STRUCTURAL ENGINEER:

KSE ENGINEERING
1900 AM DRIVE, SUITE 201
QUAKERTOWN, PA 18951
CONTACT: CHARLES ESPENLAUB
PHONE: 215-541-1068

APPLICABLE CODES

DCMR 12 D.C. CONSTRUCTION CODES SUPPLEMENT / 2017
DCMR 12B RESIDENTIAL CODE SUPPLEMENT
DCMR 12J EXISTING BUILDING SUPPLEMENT

INTERNATIONAL RESIDENTIAL CODE / 2015 For 1 and 2 family Dwellings W/ AMENDMENTS BY DCMR 12B RESIDENTIAL CODE SUPPLEMENT

NATIONAL ELECTRICAL CODE / 2014 W/AMENDMENTS
BY DCMR 12C ELECTRICAL CODE SUPPLEMENT OF 2017.

INTERNATIONAL MECHANICAL CODE / 2015 W/AMENDMENTS
BY DCMR 12E MECHANICAL CODE SUPPLEMENT OF 2017.

INTERNATIONAL PLUMBING CODE / 2015 W/AMENDMENTS
BY DCMR 12F PLUMBING CODE SUPPLEMENT OF 2017.

INTERNATIONAL ENERGY CONSERVATION CODE / 2015
W/AMENDMENTS BY DCMR 12I ENERGY CONSERVATION CODE SUPPLEMENT OF 2017.

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3822 Van Ness
Street NW
Washington, DC 20016

DCRA DIGITAL STAMP AREA

Project Number:	24-049
Client Name:	Ley Ltd.
Project Status:	<input type="checkbox"/> As Built Conditions <input type="checkbox"/> Preliminary Design <input type="checkbox"/> Design Development <input checked="" type="checkbox"/> Permit Submission <input type="checkbox"/> Construction Documents <input type="checkbox"/> Construction Administration <input type="checkbox"/> Pricing
Drawing Issue Date:	1/23/2025

Revision Schedule		
No.	Description	Date

Drawn by: AP
Checked by: MM
Scale: 1/4" = 1'-0"
Sheet Name:

Cover Sheet

Sheet Number:

A000

Board of Zoning Adjustments
District of Columbia
CASE NO.21286
EXHIBIT NO.6

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WEST 33.00'

SOUTH 110.00'

NORTH 110.00'

EAST 33.00'

EXISTING DETACHED GARAGE

REAR SETBACK

20.0'

37.3'

8.0'

SIDE SETBACK

7.63'

ADDITION TO ALIGN WITH EXISTING SIDE SETBACK. MIN. 5'-0" REQUIRED IF EXISTING BUILDING ENCLOSES INTO SETBACK

2 STORY ADDITION ON CRAWL SPACE ~388 S.F.

SCREENED PORCH ~ 64 S.F.

#3822

EXISTING 2 STORY BRICK & FRAME W/BASEMENT

1 STORY ADDITION ~ 40 S.F.

± 7.63'

EXST'G

285 S.F. WALKWAYS

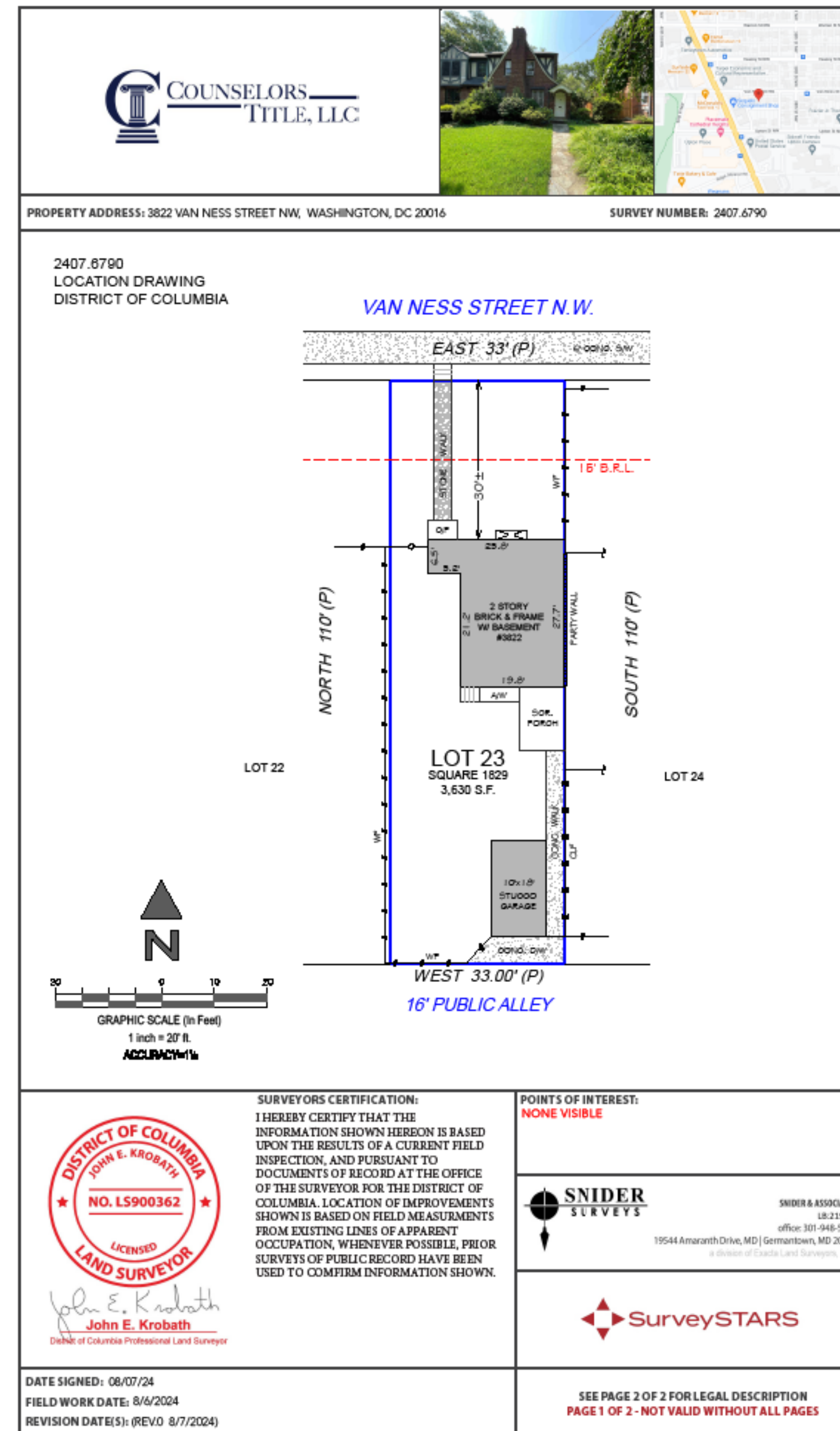
± 30.0' EXST'G

ALIGN

ALIGN



① Existing Site Plan
1" = 20'-0"



Drawn by:	AP
Checked by:	MM
Scale:	As indicated
Sheet Name:	

A circular seal for the District of Columbia. The outer ring contains the text "DISTRICT OF COLUMBIA" at the top and "ARCHITECT" at the bottom, separated by two stars. Inside the ring, the name "MATTHEW STROH MCDONALD" is written in a semi-circle. Below the name is a horizontal line with the alphanumeric code "ARC102480" centered underneath it. At the bottom of the seal, the word "LICENSED" is written in a semi-circle. A blue ink signature is scrawled across the bottom half of the seal, overlapping the "LICENSED" and "ARCHITECT" text.

**3822 Van Ness
Street NW**
Washington, DC 20016

Drawing Issue Date:	1/23/2025
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Drawn by:	AP
Checked by:	MM
Scale:	As indicated
Sheet Name:	

CIV100

- GENERAL FIRST FLOOR NOTES
1.

FINISH FLOOR MATERIAL TBD BY OWNER.
2.

PAINTED WALL TO BE GYP. BD. - ASSUME 1 COLOR PER ROOM, 1 COAT PRIMER AND TWO COATS FINISH PAINT, BENJAMIN MOORE OR EQUAL - COLOR TBD BY OWNER.
3.

CEILING TO BE PAINTED GYP. BD. - ASSUME 1 COLOR, 1 COAT PRIMER AND TWO COATS FINISH PAINT - COLOR TBD BY OWNER
4.

BASE MOLDING AND CROWN MOLDING TBD BY OWNER.
5.

WINDOW AND DOOR TRIM TBD BY OWNER.
6.

GENERAL CABINETRY, COUNTERTOP AND VANITY LAYOUTS ARE SHOWN - FINAL LAYOUT AND DESIGN BY OTHERS.
7.

GENERAL PLUMBING FIXTURE AND LOCATIONS SHOWN. FINAL SELECTION TO BE DETERMINED BY OWNER. BATHROOM FINISHES TO BE SELECTED BY OWNER.

- FIRST FLOOR KEY NOTES
- 1.1

STEPS DN TO BE COORDINATED WITH GRADE. STEPS PER 2015 IRC SECTION R311. 7 3/4" MAX RISE W/MIN. 10" TREAD.
- 1.2

EXISTING STAIR/RAIL SYSTEM UP AND DOWN TO REMAIN.
- 1.3

EXISTING FIREPLACE TO REMAIN.
- 1.4

36" RANGE SHOWN.
- 1.5

36" FRIDGE SHOWN.
- 1.6

ALIGN FACE OF SIDING AT NEW EXTERIOR WALL WITH PROPERTY LINE. WALL ASSEMBLY PER 1 / A001
- 1.7

EXISTING PARTY WALL TO REMAIN.
- 1.8

POSTS PER STRUCTURAL DRAWINGS. DECORATIVE WRAP TO CREATE 8"x8" COLUMN.
- 1.9

CONCRETE SLAB PER STRUCTURAL DRAWINGS.
- 1.10

FURR WALL AS REQUIRED TO ALIGN WITH INTERIOR FINISH FACE OF NEW EXTERIOR WALL.
- 1.11

FLAT FURR WALL AS REQUIRED TO ALIGN INTERIOR FINISH FACE.
- 1.12

PROPERTY LINE.
- 1.13

INFILL WALL IN AREA OF REMOVED OPENING. MATCH FINISHES AND TRIM.
- 1.14

ALIGN FACE OF NEW STUD WALLS SO STUCCO FINISH WILL ALIGN W/ EXST'G MASONRY FACADE
- 1.15

BUILT-IN BUFFET.
- 1.16

FURR WALL AT POSTS. POSTS PER S SHEETS.
- 1.17

SCREENED PANEL SYSTEM.
- 1.18

BUILT-IN BENCH.
- 1.19

GYP BOARD OR OTHER DECORATIVE WRAP AT EXISTING/NEW BEAM.
- 1.20

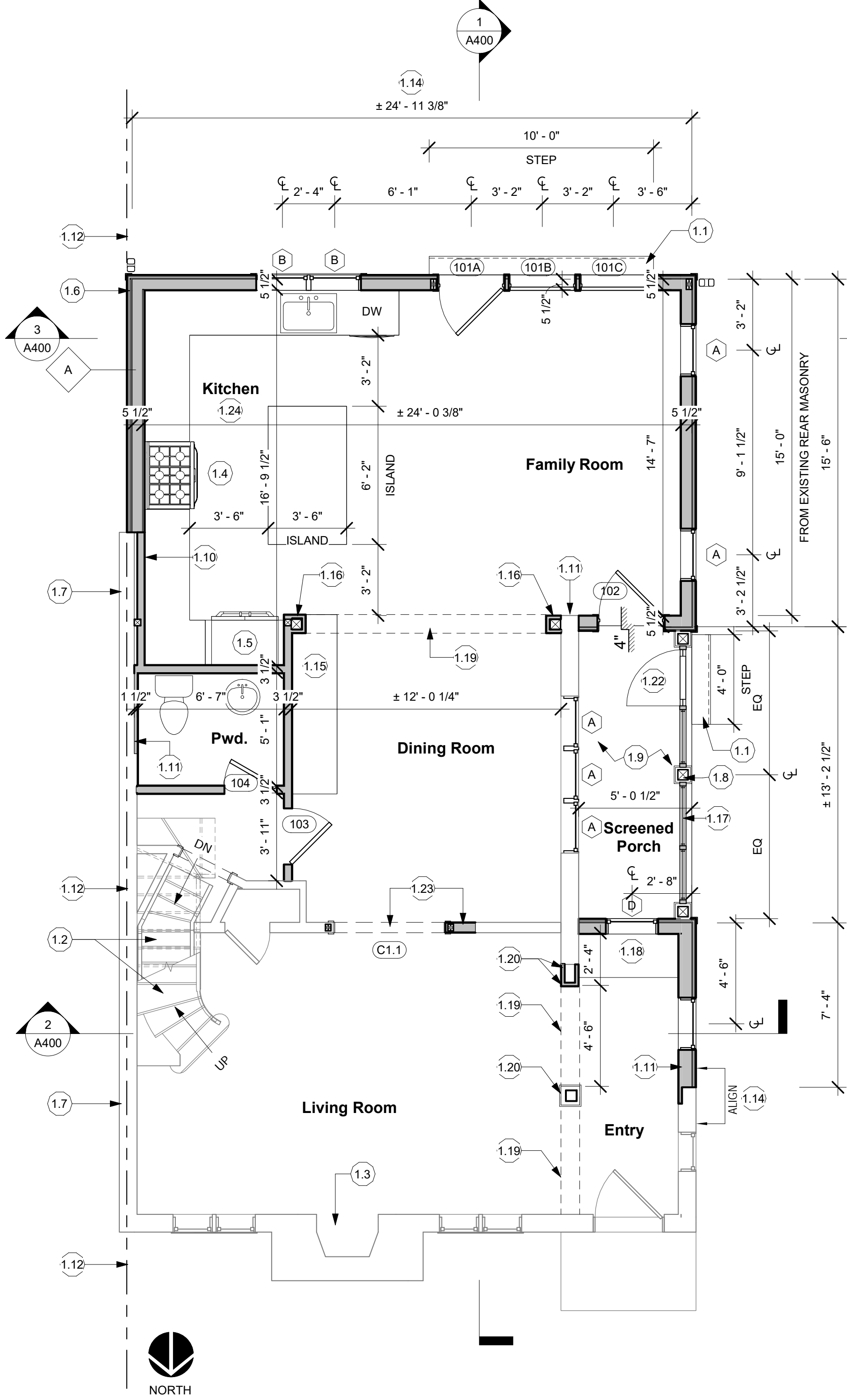
STEEL TUBE COLUMN PER STRUCTURAL DRAWINGS. DECORATIVE WRAP TO CREATE 10"x10" COLUMN.
- 1.21

INFILL WALL IN AREA OR REMOVED WINDOW. FURR WALL AT AREA OF BUILT-IN BENCH.
- 1.22

SCREENED PORCH DOOR. REVIEW/VERIFY FINAL LOCATION IN FIELD.
- 1.23

ENLARGE & RELOCATE EXST'G OPENING INTO DINING ROOM, PATCH AREA'S OF EXST'G WALL AS REQ'D.
- 1.24

KITCHEN DESIGN BY OTHERS. GENERAL CABINETRY AND APPLIANCE LAYOUT SHOWN.



2 Proposed First Floor Plan
1/4" = 1'-0"

- GENERAL BASEMENT NOTES
1.

FINISH FLOOR MATERIAL TBD BY OWNER.
2.

PAINTED WALL TO BE GYP. BD. - ASSUME 1 COLOR PER ROOM, 1 COAT PRIMER AND TWO COATS FINISH PAINT, BENJAMIN MOORE OR EQUAL - COLOR TBD BY OWNER.
3.

CEILING TO BE PAINTED GYP. BD. - ASSUME 1 COLOR, 1 COAT PRIMER AND TWO COATS FINISH PAINT - COLOR TBD BY OWNER
4.

BASE MOLDING TBD BY OWNER.
5.

WINDOW AND DOOR TRIM TBD BY OWNER.
6.

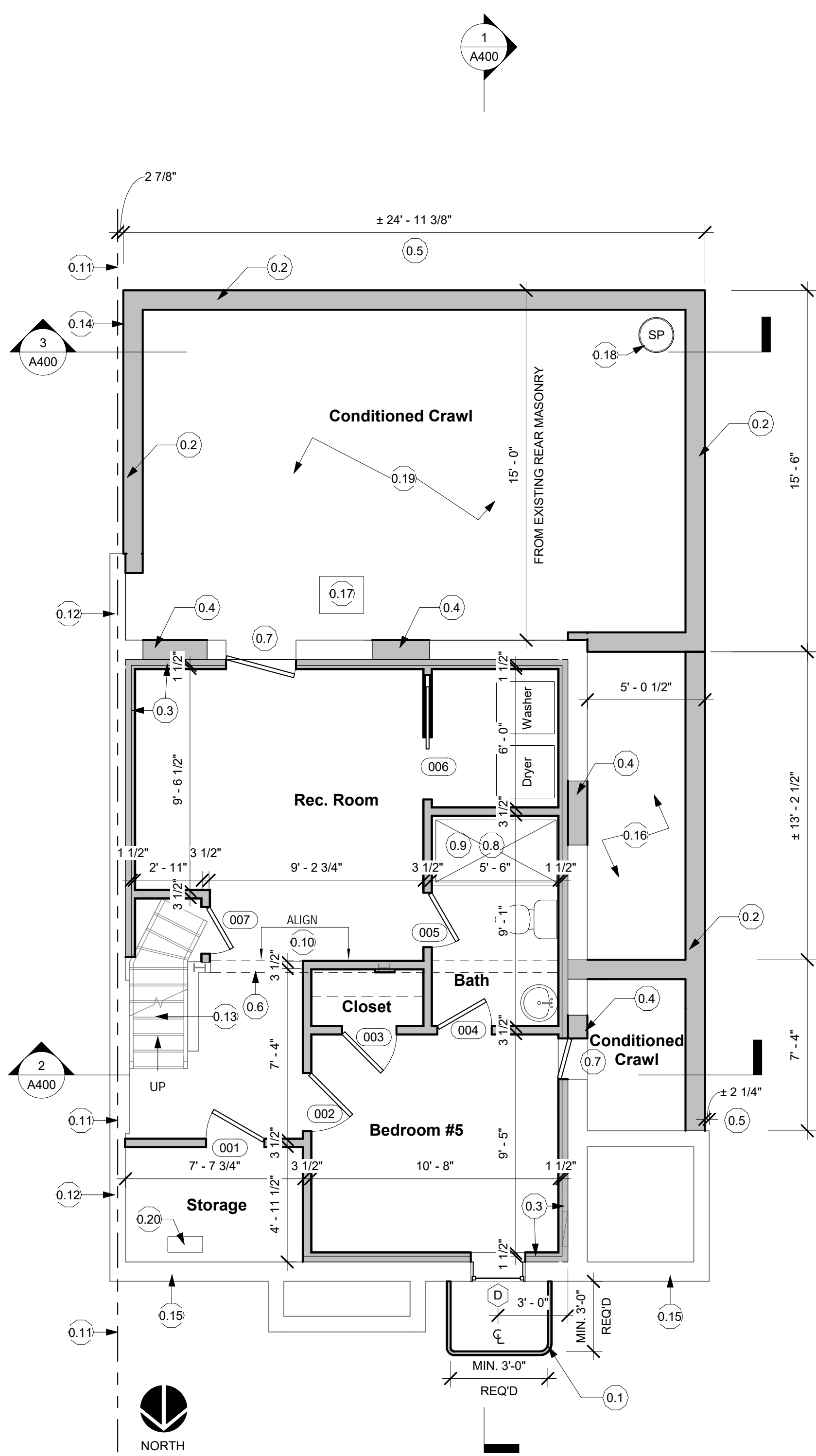
GENERAL CABINETRY, COUNTERTOP AND VANITY LAYOUTS ARE SHOWN - FINAL LAYOUT AND DESIGN BY OTHERS.
7.

GENERAL PLUMBING FIXTURE AND LOCATIONS SHOWN. FINAL SELECTION TO BE DETERMINED BY OWNER.
8.

CONFIRM SHOWER AND TUB SHAMPOO NICHES WITH OWNER
9.

PROVIDE PAINTED GYP. BD. BULKHEAD AROUND DROPPED BEAM LOCATIONS.
10.

SHOWERS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.



1 Proposed Basement Plan
1/4" = 1'-0"

- DCRA COMMENT
1.

ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, UNLESS NOTED OTHERWISE.
2.

ALL INTERIOR WALLS SHALL BE NOM. 2X4 WOOD STUD @ 16" O.C. WITH 1/2"GWB ON BOTH SIDES, U.N.O.
3.

ALL NEW EXTERIOR WALLS SHALL BE NOM. 2X6 WOOD STUD @ 16" O.C. WITH 1/2" GWB ON INTERIOR SIDE, R-21 MIN. BATT INSULATION WITHIN STUD CAVITIES AND 7/16" OSB ON EXTERIOR SIDE, WITH R-5 CONTINUOUS RIGID INSULATION AT THE EXTERIOR, U.N.O. AN INSULATED SHEATHING PANEL SYSTEM MAY BE SUBSTITUTED PROVIDED IT MEETS OR EXCEEDS R-5 INSULATION VALUE.
4.

ALL BATHROOMS WITHOUT WINDOWS SHALL BE VENTED TO THE OUTSIDE.
5.

GLASS DOORS, SIDE GLASS PANELS, TUB AND SHOWER ENCLOSURES AND OTHER GLAZING IN HAZARDOUS LOCATIONS SHALL BE SAFETY GLAZED PER CURRENT BUILDING CODES.
6.

CLOTHES DRYER VENT SYSTEMS SHALL BE INDEPENDENT OF ALL OTHER SYSTEMS AND SHALL BE VENTED TO THE EXTERIOR OF THE BUILDING. FLEXIBLE DUCT CONNECTORS SHALL NOT BE CONCEALED WITHIN WALLS OR CEILING.
7.

THE MAXIMUM LENGTH OF A 4" DIAMETER EXHAUST VENT SHALL NOT EXCEED 25' FROM THE DRYER TO THE WALL OR ROOF TERMINATION. A REDUCTION OF 2.5' FOR EACH 45 DEGREE BED AND 5' FOR EACH 90 DEGREE BEND SHALL APPLY.
8.

REVIEW ALL DROPPED BEAM HEIGHTS WITH ARCHITECT PRIOR TO FINAL CLOSE-IN.

- BASEMENT KEY NOTES
- 0.1

PRE-FAB WINDOW WELL MIN. 3'-0" x 3'-0". WINDOW WELL TO COMPLY WITH 2015 IRC SECTION R310.2.3.
- 0.2

FOUNDATION WALL PER STRUCTURAL. PROVIDE WATERPROOFING AND PERIMETER DRAIN SYSTEM TO SUMP OR DAYLIGHT.
- 0.3

PROVIDE 2x4 FLAT FURRED WALL ON 3" CONTINUOUS INSULATION AT PERIMETER OF EXISTING MASONRY WALLS IN BASEMENT AS SHOWN.
- 0.4

INFILL WALL IN AREA OF REMOVED WINDOW.
- 0.5

COORDINATE FOUNDATION WALL TO ALIGN SIDING WITH FACE OF BRICK ABOVE. OUTSIDE FACE OF FOUNDATION WALL TO ALIGN WITH FACE OF SHEATHING.
- 0.6

PROVIDE GYP BOARD WRAP AT EXISTING STEEL BEAM.
- 0.7

CRAWL SPACE ACCESS AT LOCATION OF EXISTING DOOR.
- 0.8

5'-0" x 3'-0" SHOWER SHOWN.
- 0.9

SHOWERS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
- 0.10

ALIGN STUD WALL AND BULKHEAD.
- 0.11

PROPERTY LINE
- 0.12

EXISTING PARTY WALL TO REMAIN.
- 0.13

EXISTING STAIR/RAIL SYSTEM UP TO REMAIN.
- 0.14

COORDINATE FOUNDATION WALL WITH EXTERIOR STUD WALL ABOVE. FACE OF SIDING ABOVE TO ALIGN WITH PROPERTY LINE. FOUNDATION WALL TO ALIGN WITH OUTSIDE FACE OF STUD.
- 0.15

EXISTING FOUNDATION WALL TO REMAIN.
- 0.16

CONCRETE SLAB ABOVE PER S SHEETS.
- 0.17

NEW FURNACE PER MECHANICAL SHEETS.
- 0.18

SUMP IF REQUIRED FOR DRAINAGE SYSTEM SELECTION.
- 0.19

CRAWL SPACE CONCRETE SLAB PER S SHEETS.
- 0.20

NEW WATER HEATER.

DCRA DIGITAL STAMP AREA

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DISTRICT OF COLUMBIA

MATTHEW STROH MCDONALD

ARC102480

REGISTERED ARCHITECT

3822 Van Ness Street NW

Washington, DC 20016

Project Number: 24-049

Client Name: Ley Ltd.

Project Status:

☐ As Built Conditions

☐ Preliminary Design

☐ Design Development

☒ Permit Submission

☐ Construction Documents

☐ Construction Administration

☐ Pricing

Drawing Issue Date: 1/23/2025

Revision Schedule

No.	Description	Date

Drawn by: AP
Checked by: MM
Scale: 1/4" = 1'-0"
Sheet Name: Proposed Plans

Sheet Number: A200

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GENERAL ROOF NOTES

- ALL GUTTERS AND LEADERS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
- PROVIDE ROOF VENTING IF REQUIRED BASED ON TYPE OF INSULATION USED.
- IN AREAS OF OVERFRAMING, SHEATHING SHALL BE INTERRUPTED FOR CONTINUITY OF ATTIC VENTING.
- CHIMNEY'S SHALL EXTEND A MINIMUM OF 2'-0" ABOVE ANY PORTION OF BUILDINGS WITHIN 10'-0" AND A MINIMUM OF 3'-0" ABOVE THE HIGHEST POINT WHICH THE CHIMNEY PASSES THROUGH THE ROOF.
- APPLY ICE AND WATER SHIELD AT ALL EAVES, RIDGES AND VALLEYS.
- ROOF MATERIAL AS NOTED ON ROOF PLAN.

DS INDICATES PROPOSED DOWNSPOUT LOCATION. SIZE & LOCATION OF DOWNSPOUTS AND GUTTERS TO BE VERIFIED BY INSTALLER.

ROOF KEY NOTES

- R.1 EXISTING ROOF TO REMAIN.
- R.2 EXISTING CHIMNEY TO REMAIN.
- R.3 PARAPET TO REMAIN.
- R.4 ROOF TO BE ASPHALT SHINGLES TO MATCH EXISTING.
- R.5 LOW-SLOPE ROOF TO BE TPO OR EPDM.
- R.6 MATCH EXISTING ROOF SLOPE.
- R.7 LINE OF WALL BELOW.
- R.8 CENTERLINE OF POSTS BELOW.
- R.9 RIDGE VENT.
- R.10 METAL GUTTER ON FASCIA TRIM.
- R.11 PROPERTY LINE.
- R.12 PARAPET. SLOPE PARAPET TO MATCH ADJACENT ROOF SLOPE TO SHED WATER TOWARDS REAR OF HOUSE. PARAPET TO BE MAX 6" ABOVE ROOFING.

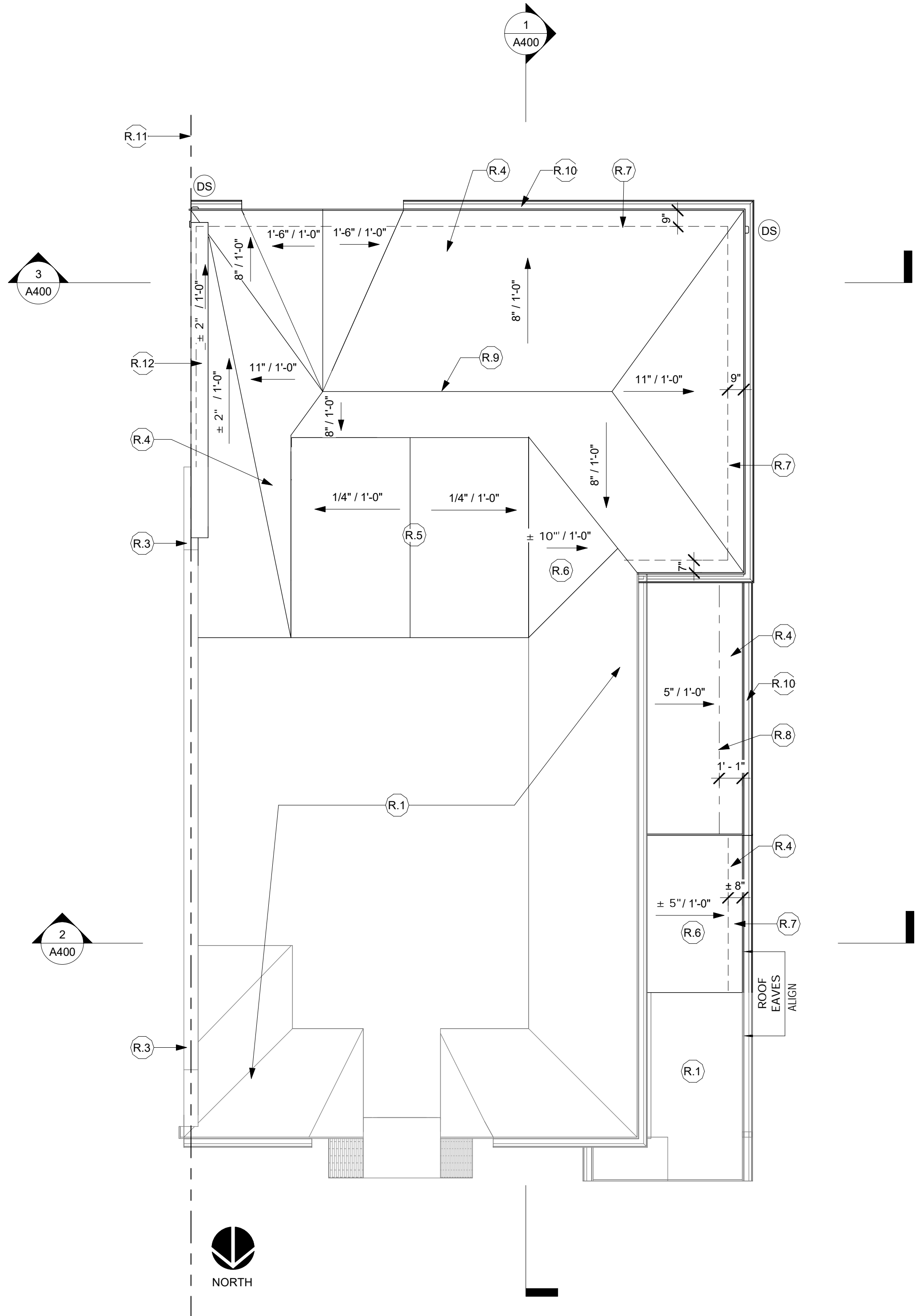
GENERAL SECOND FLOOR NOTES

- FINISH FLOOR MATERIAL TBD BY OWNER.
- PAINTED WALL TO BE GYP. BD. - ASSUME 1 COLOR PER ROOM, 1 COAT PRIMER AND TWO COATS FINISH PAINT, BENJAMIN MOORE OR EQUAL - COLOR TBD BY OWNER.
- CEILING TO BE PAINTED GYP. BD. - ASSUME 1 COLOR, 1 COAT PRIMER AND TWO COATS FINISH PAINT - COLOR TBD BY OWNER
- BASE MOLDING AND CROWN MOLDING TBD BY OWNER.
- WINDOW AND DOOR TRIM TBD BY OWNER.
- GENERAL CABINETRY, COUNTERTOP AND VANITY LAYOUTS ARE SHOWN - FINAL LAYOUT AND DESIGN BY OTHERS.
- GENERAL PLUMBING FIXTURE AND LOCATIONS SHOWN. FINAL SELECTION TO BE DETERMINED BY OWNER. BATHROOM FINISHES TO BE SELECTED BY OWNER.

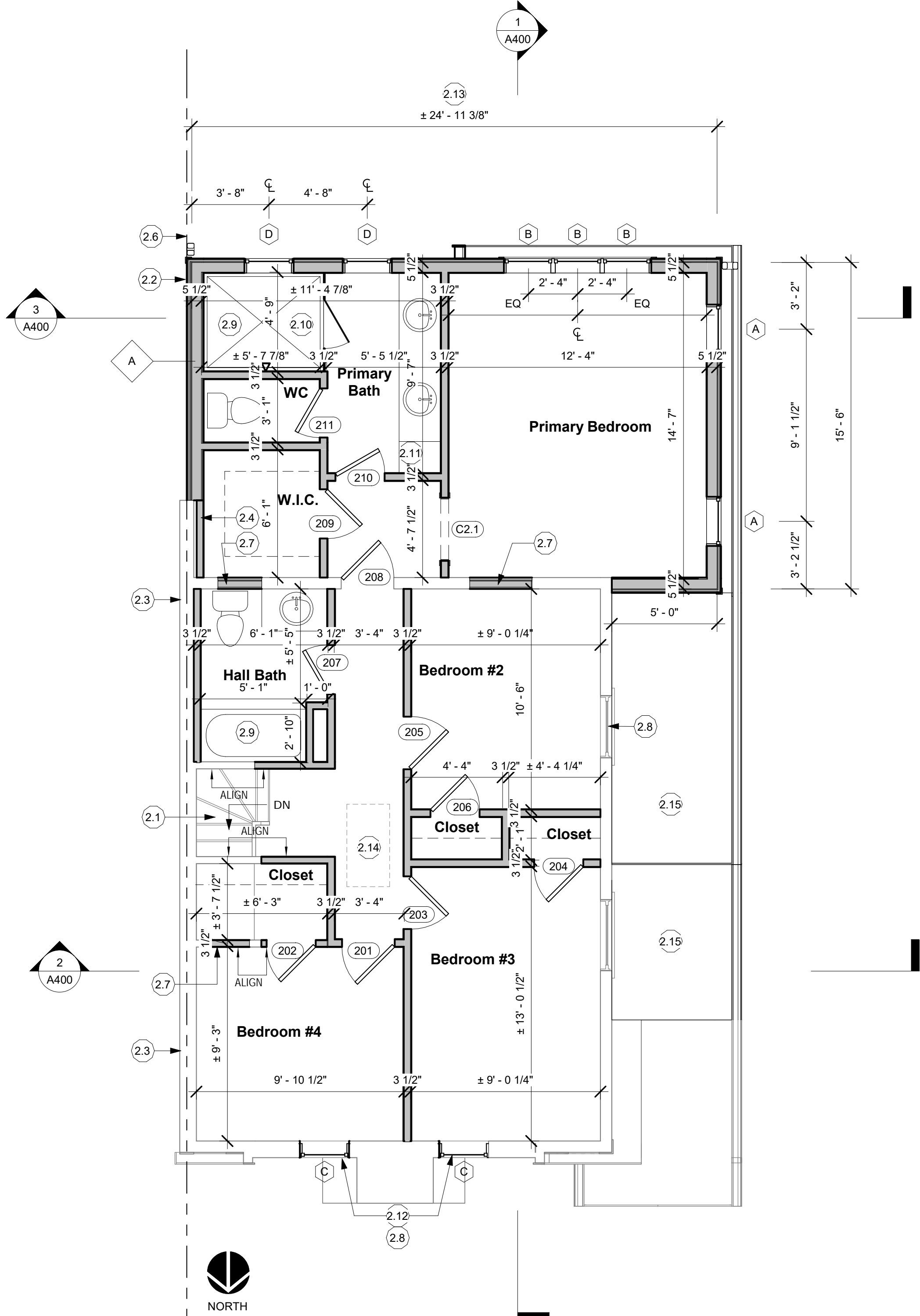
DCRA COMMENT

SECOND FLOOR KEY NOTES

- 2.1 EXISTING STAIR/RAIL SYSTEM DOWN TO REMAIN.
- 2.2 ALIGN FACE OF SIDING AT NEW EXTERIOR WALL WITH PROPERTY LINE. WALL ASSEMBLY PER 1 / A001
- 2.3 EXISTING PARTY WALL TO REMAIN.
- 2.4 FURR WALL AS REQUIRED TO ALIGN WITH INTERIOR FINISH FACE OF NEW EXTERIOR WALL.
- 2.5 FURR WALL AS REQUIRED TO ALIGN INTERIOR FINISH FACE.
- 2.6 PROPERTY LINE.
- 2.7 INFILL WALL IN AREA OF REMOVED OPENING. MATCH FINISHES AND TRIM.
- 2.8 CONFIRM EXISTING WINDOW MEETS EGRESS REQUIREMENTS. REPLACE IF REQUIRED TO MEET CODE REQUIREMENTS.
- 2.9 SHOWERS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
- 2.10 5'-6" x 4'-8" SHOWER SHOWN WITH GLASS ENCLOSURE AND DOOR.
- 2.11 LINEN CABINET.
- 2.12 REPLACE WINDOW IN EXISTING OPENING.
- 2.13 ALIGN WITH STUD WALLS BELOW.
- 2.14 NEW ATTIC ACCESS HATCH TO BE COORDINATED WITH EXISTING CEILING/ROOF FRAMING.
- 2.15 ROOF BELOW. FLASH ROOF-WALL INTERSECTION PER SMACNA

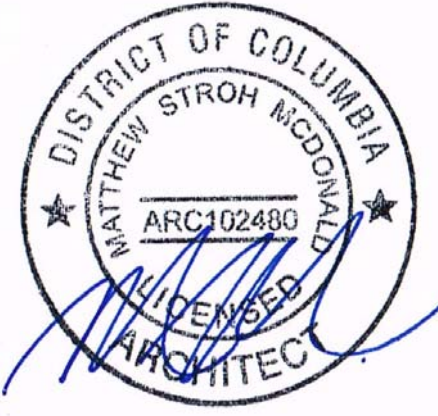


2 Proposed Roof Plan
1/4" = 1'-0"



1 Proposed Second Floor Plan
1/4" = 1'-0"

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**3822 Van Ness
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Washington, DC 20016

Project Number:	24-049
Client Name:	Ley Ltd.
Project Status:	<input type="checkbox"/> As Built Conditions <input type="checkbox"/> Preliminary Design <input type="checkbox"/> Design Development <input checked="" type="checkbox"/> Permit Submission <input type="checkbox"/> Construction Documents <input type="checkbox"/> Construction Administration <input type="checkbox"/> Pricing
Drawing Issue Date:	1/23/2025

Revision Schedule		
No.	Description	Date

Drawn by: AP
Checked by: MM
Scale: 1/4" = 1'-0"
Sheet Name:

Proposed Plans

Sheet
Number:

A201

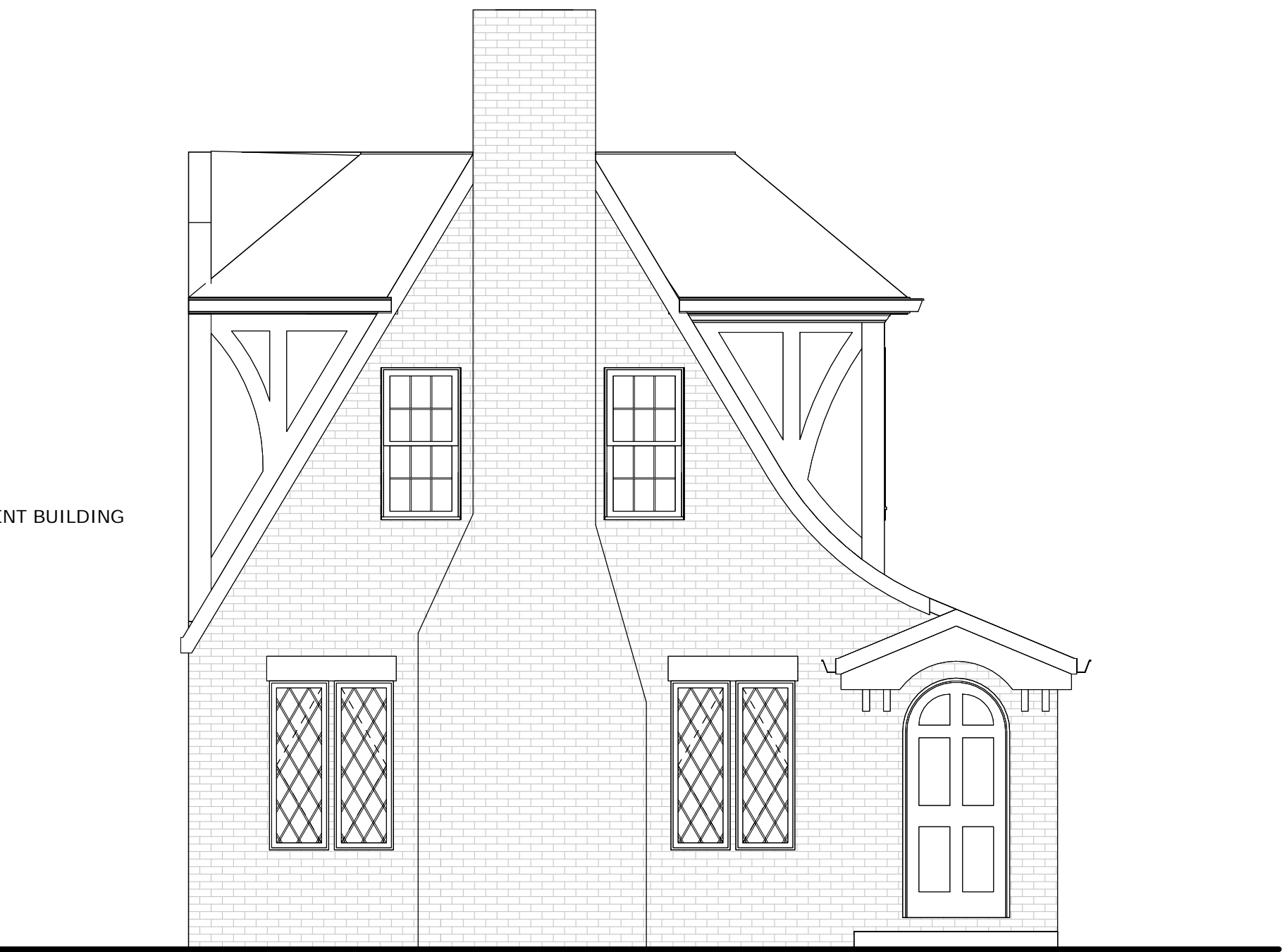
DCRA DIGITAL STAMP AREA

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② Existing Right Elevation
1/4" = 1'-0"



① Existing Front Elevation
1/4" = 1'-0"



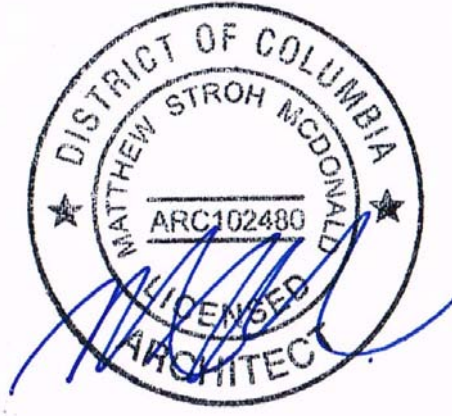
③ Existing Rear Elevation
1/4" = 1'-0"

DCRA COMMENT

ADJACENT BUILDING

MCD STUDIO LLC DOES NOT WARRANT THE ABSOLUTE ACCURACY OF THE DELINEATION OF EXISTING CONDITIONS AS SHOWN ON THESE DRAWINGS. ACTUAL FIELD CONDITIONS MAY VARY. EXISTING CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF THE WORK AND ANY DISCREPANCIES, HIDDEN AND UNFORESEEN CONDITIONS DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

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Drawing Issue Date: 1/23/2025

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Drawn by: AP
Checked by: MM
Scale: 1/4" = 1'-0"

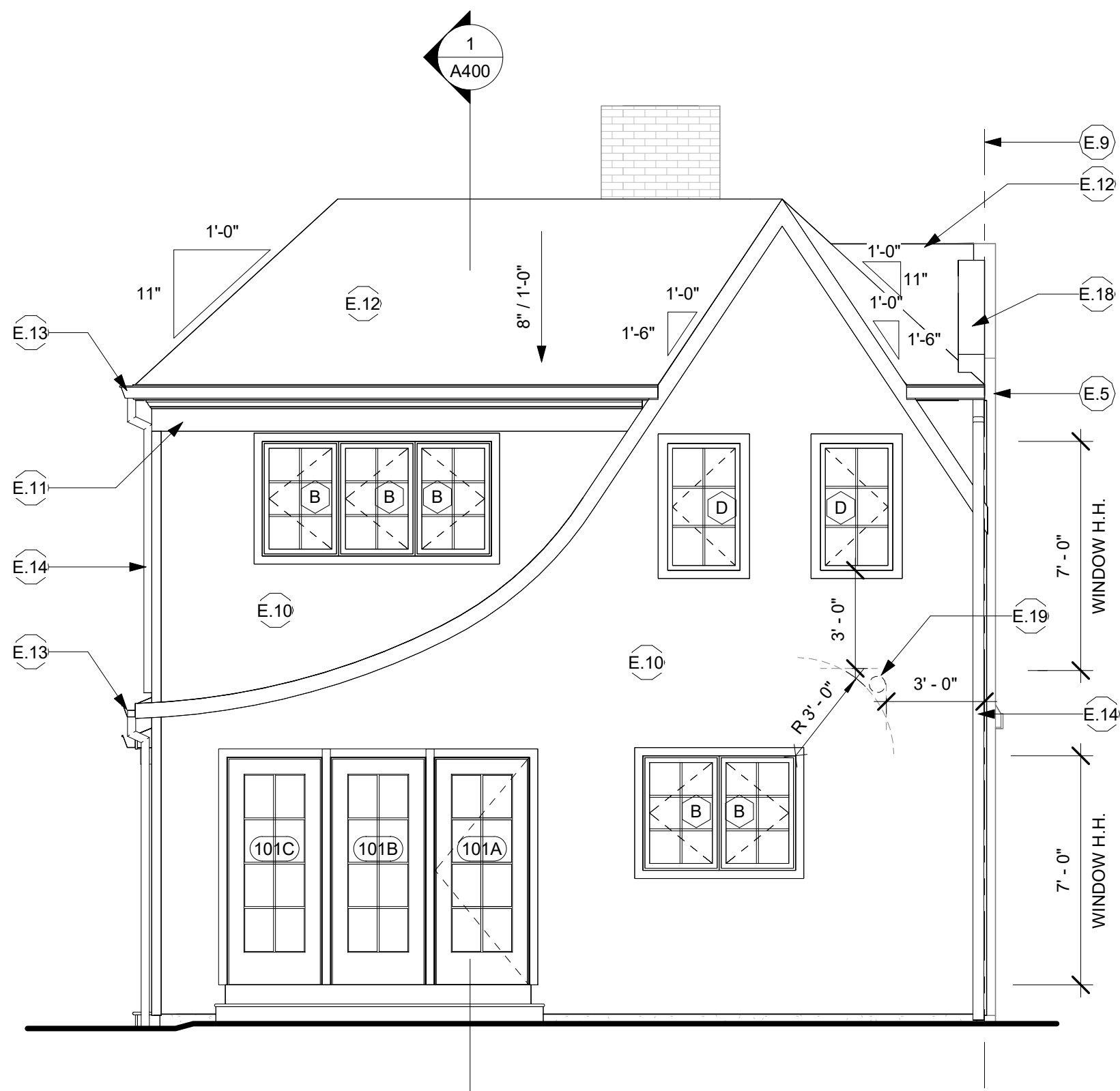
Sheet Name: Existing Elevations

Sheet Number:

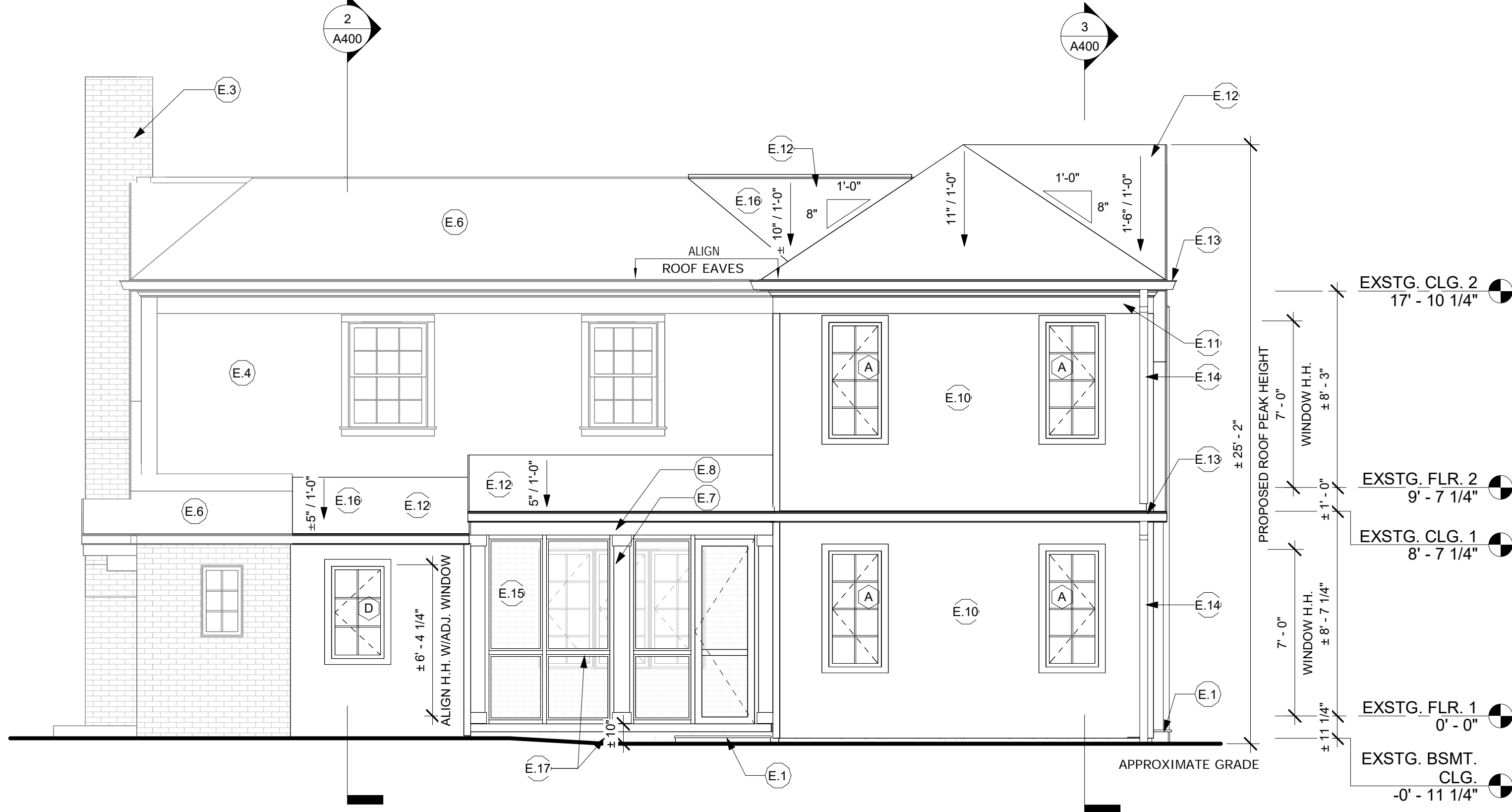
A102

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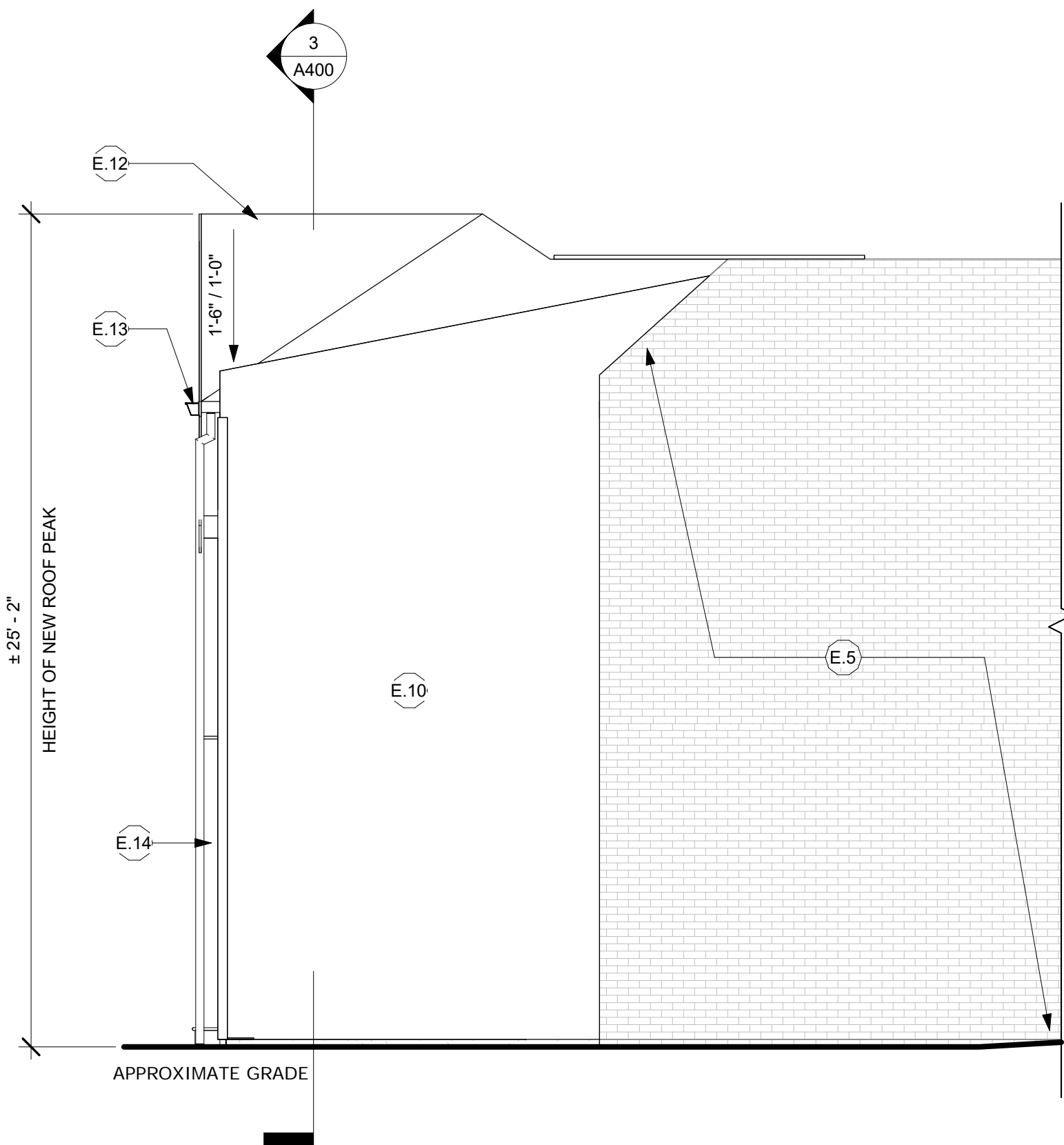
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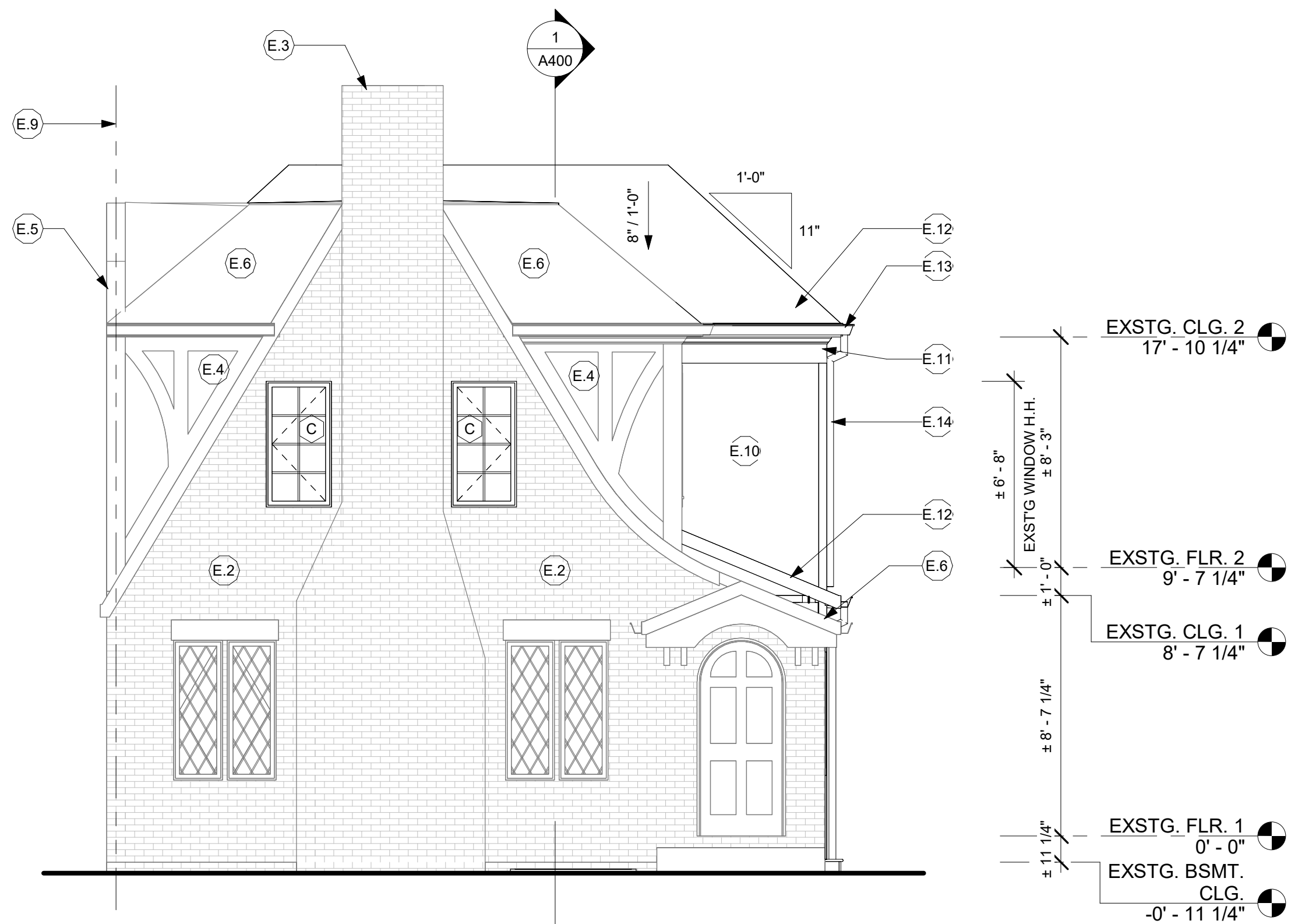
④ Proposed Rear Elevation
1/4" = 1'-0"



② Proposed Right Elevation
1/4" = 1'-0"



③ Proposed Left Elevation
1/4" = 1'-0"



① Proposed Front Elevation
1/4" = 1'-0"

DCRA COMMENT

GENERAL ELEVATION NOTES

- SEE ROOF PLAN FOR ROOF VENTING NOTES.
- SEE ROOF PLAN FOR ROOF FINISH AND INSTALLATION NOTES.
- ALL GUTTERS AND DOWNSPOUTS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS. SEE ROOF PLAN FOR LOCATIONS AND ADDITIONAL INFORMATION.
- ROOF FLASHING PER SMACNA.
- ALL EXTERIOR TRIM AND FASCIA TBD BY OWNER.
- EXTERIOR WINDOW AND DOOR TRIM TBD BY OWNER.
- ALL WINDOWS AND DOORS TO HAVE HEAD AND SILL FLASHING, AND END DAMS WHERE APPLICABLE PER SMACNA.
- EXTERIOR CLADDING AS NOTED ON ELEVATIONS.
- PATCH AND REPAIR ALL EXISTING EXTERIOR FINISHES AFFECTED BY DEMOLITION AND CONSTRUCTION.

ELEVATION KEY NOTES

- E.1 STEPS TO BE COORDINATED WITH GRADE. STEPS PER 2015 IRC SECTION R311. 7 3/4" MAX RISE W/MIN. 10" TREAD.
- E.2 EXISTING MASONRY WALL TO REMAIN.
- E.3 EXISTING CHIMNEY TO REMAIN.
- E.4 EXISTING STUCCO WITH TRIM CLADDING TO REMAIN.
- E.5 EXISTING PARTY WALL BEYOND TO REMAIN.
- E.6 EXISTING ROOF TO REMAIN.
- E.7 8"x8" WRAPPED COLUMN. POSTS PER STRUCTURAL DRAWINGS.
- E.8 BEAM AT PORCH PER S-SHEETS. WRAP BEAM W/DECORATIVE CLADDING, FINISH TBD.
- E.9 PROPERTY LINE.
- E.10 EXTERIOR CLADDING TO BE STUCCO W/CORNER TRIM TO RESEMBLE EXISTING.
- E.11 WALL BOARD TRIM TO MATCH EXISTING TRIM.
- E.12 ROOF TO BE ASPHALT SHINGLE.
- E.13 METAL GUTTER ON FASCIA TRIM.
- E.14 DOWNSPOUT.
- E.15 SCREENED PANEL SYSTEM.
- E.16 SLOPE ROOF TO MATCH EXISTING ROOF SLOPE.
- E.17 SCREENED PORCH SLAB LESS THAN 30" FROM APPROXIMATE GRADE. NO GUARDRAIL REQUIRED.
- E.18 PARAPET. SLOPE PARAPET TO MATCH ADJACENT ROOF SLOPE TO SHED WATER TOWARDS REAR OF HOUSE. PARAPET TO BE MAX 6" ABOVE ROOFING. PROVIDE METAL CAP AT PARAPET PER SMACNA.
- E.19 RANGE HOOD EXHAUST. LOCATE MIN. 3" FROM ALL ADJACENT WALL OPENINGS AND PROPERTY LINE.

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**3822 Van Ness
Street NW**

Washington, DC 20016

Project Number: 24-049
Client Name: Ley Ltd.

Project Status:
☐ As Built Conditions
☐ Preliminary Design
☐ Design Development
☒ Permit Submission
☐ Construction Documents
☐ Construction Administration
☐ Pricing

Drawing Issue Date: 1/23/2025

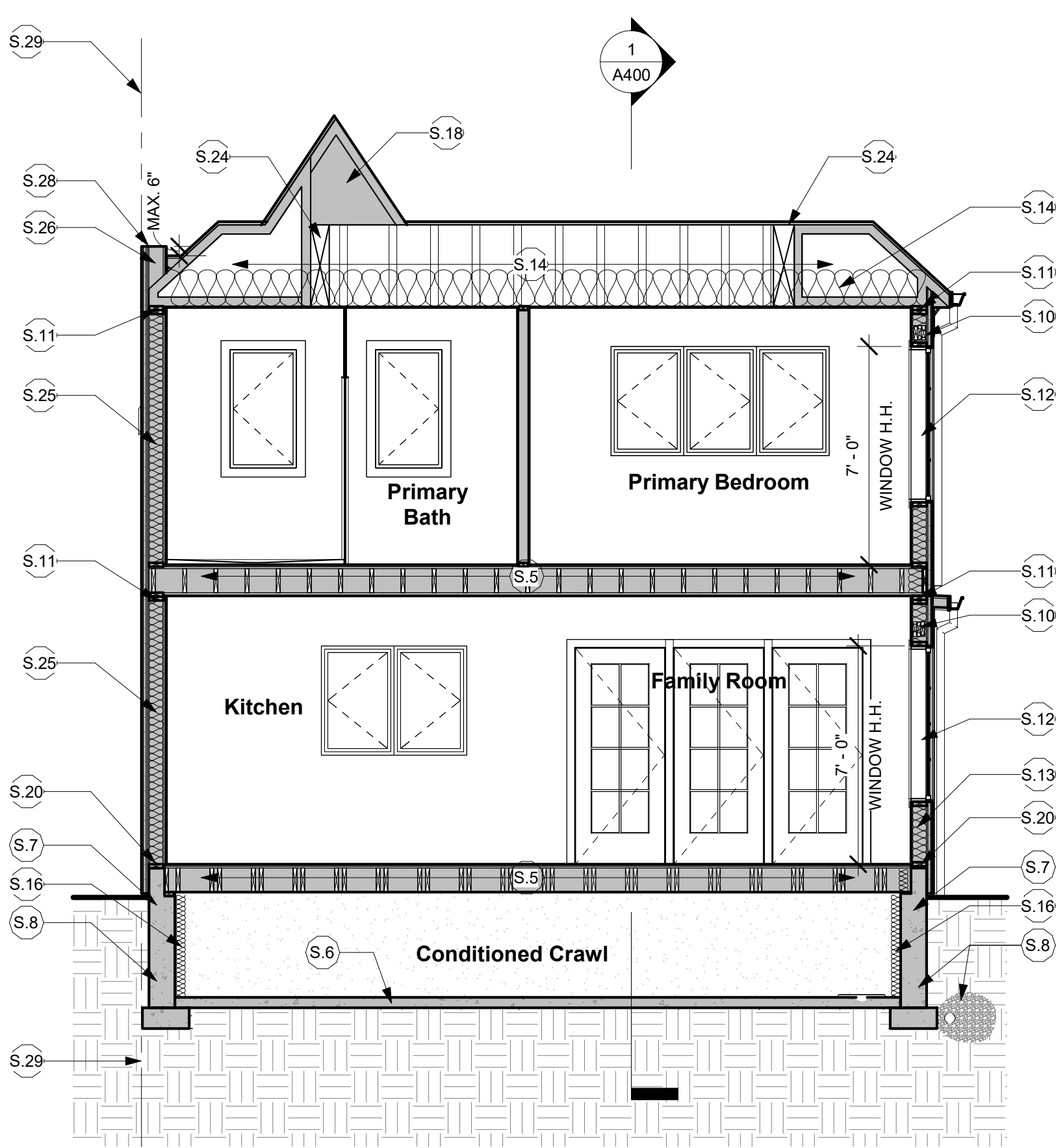
Revision Schedule		
No.	Description	Date

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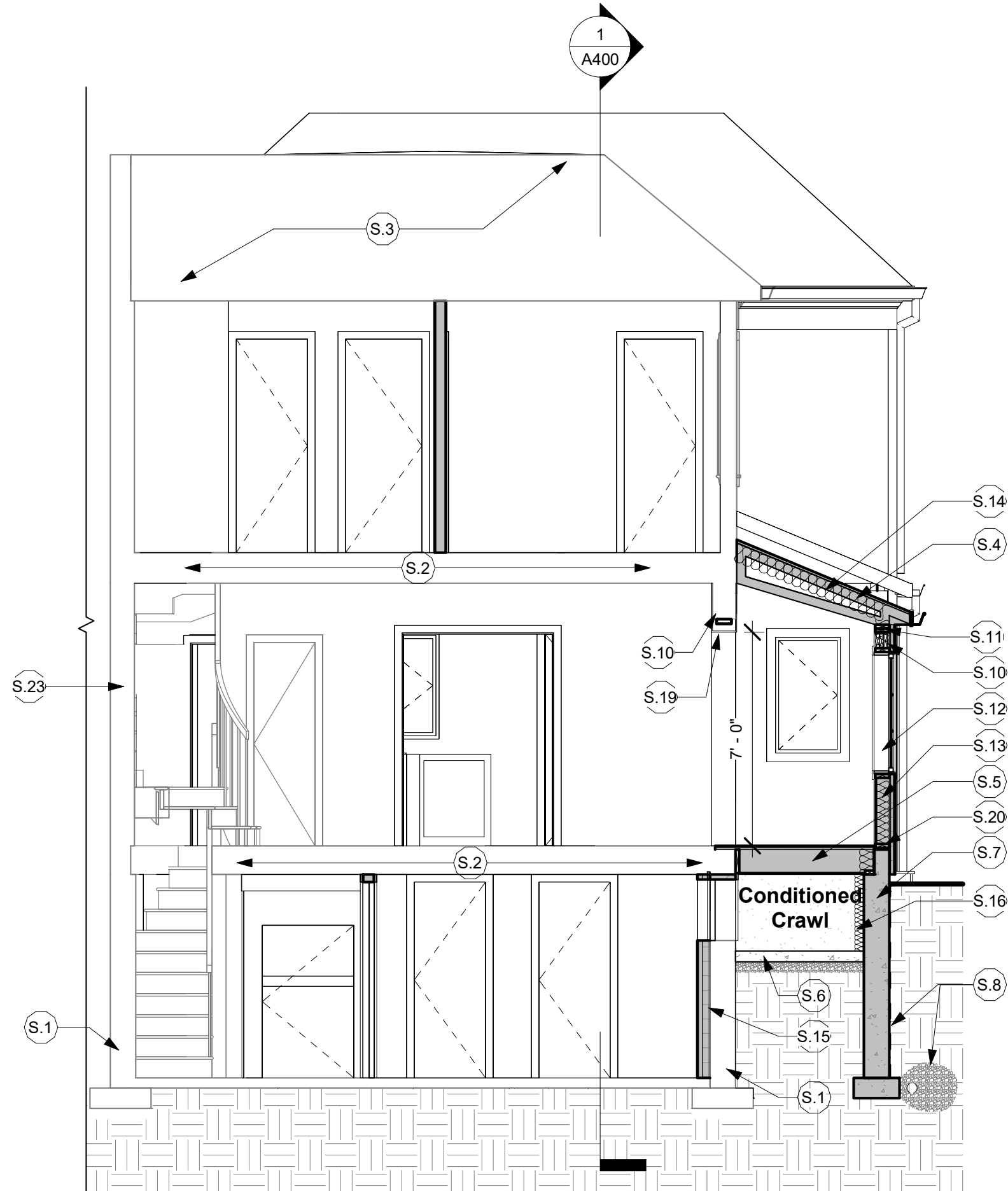
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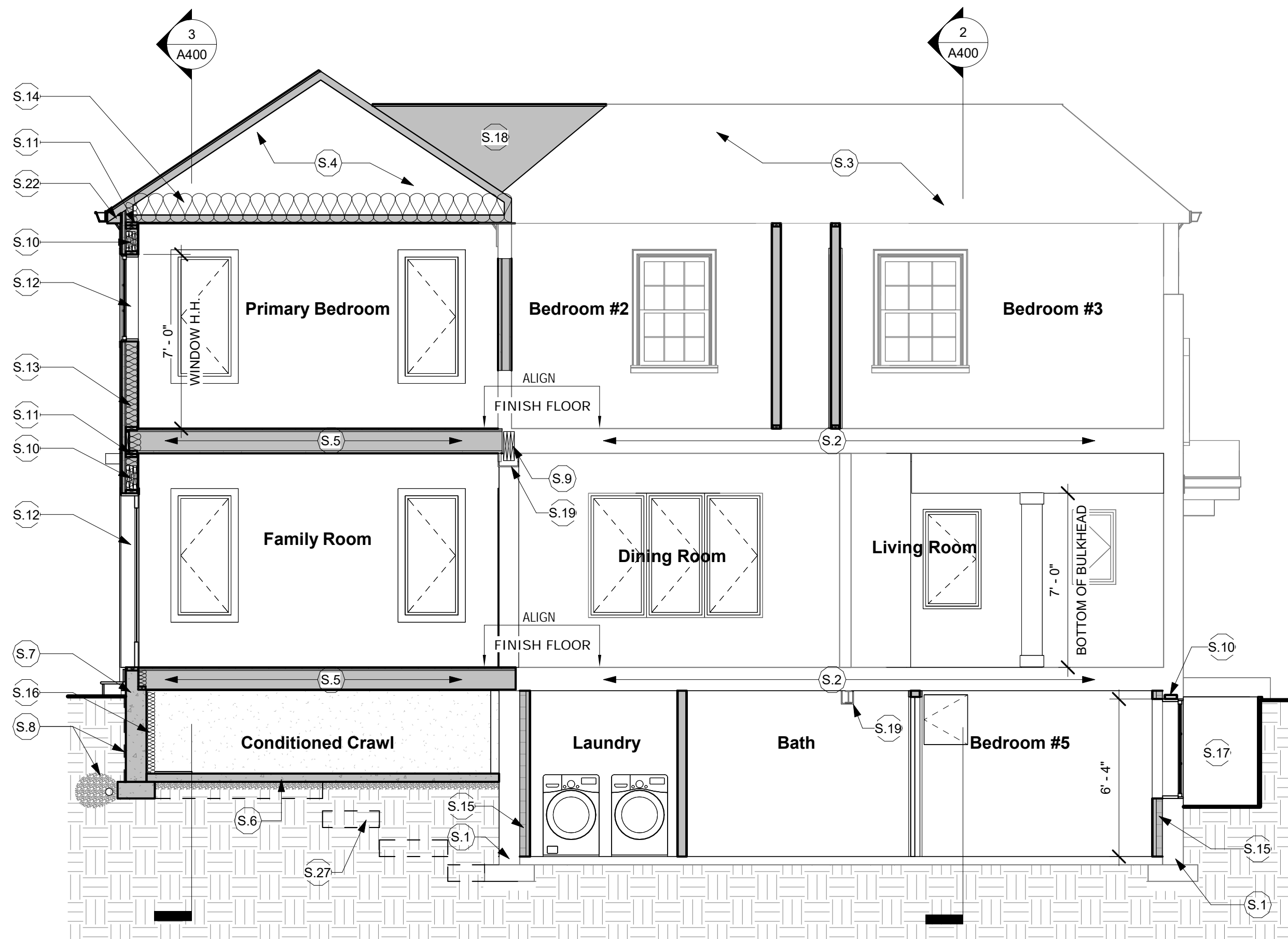
A300



3 Section C
1/4" = 1'-0"



2 Section B
1/4" = 1'-0"



1 Section A
1/4" = 1'-0"

EXSTG. CLG. 2
17' - 10 1/4"

± 8' - 3"

± 1' - 0"

EXSTG. CLG. 1
8' - 7 1/4"

± 8' - 7 1/4"

± 1' - 1/4"

EXSTG. FLR. 1
0' - 0"

EXSTG. BSMT. CLG.
-0' - 11 1/4"

± 6' - 8"

EXSTG. BSMT.
-7' - 7 1/4"

EXSTG. CLG. 2
17' - 10 1/4"

± 8' - 3"

± 1' - 0"

EXSTG. FLR. 2
9' - 7 1/4"

EXSTG. CLG. 1
8' - 7 1/4"

± 8' - 7 1/4"

± 1' - 1/4"

EXSTG. FLR. 1
0' - 0"

EXSTG. BSMT. CLG.
-0' - 11 1/4"

± 6' - 8"

EXSTG. BSMT.
-7' - 7 1/4"

DCRA COMMENT

GENERAL SECTION NOTES

1. ROOF MATERIAL AND FINISH - AS SPECIFIED ON ROOF PLAN.
2. ROOFING UNDERLAYMENT PER MANUFACTURER'S SPECIFICATIONS FOR EACH SPECIFIC ROOFING MATERIAL.
3. ROOF DECKING TO BE 3/4" PLYWOOD UNLESS A PRODUCT WITH HIGHER STRUCTURAL CAPACITY IS REQUIRED FOR THE SPECIFIED ROOF.
4. SEE THERMAL ENVELOPE PLANS FOR SPECIFIC INSULATION VALUES.
5. FINISHED FLOORING TO BE ON 3/4" PLYWOOD SUBFLOOR ON FLOOR JOISTS PER STRUCTURAL SHEETS.
6. SEE STRUCTURAL DRAWINGS FOR FOUNDATION WALL AND SLAB REQUIREMENTS.

SECTION KEY NOTES

- S.1 EXISTING FOUNDATION WALL AND FOOTINGS.
- S.2 EXISTING FLOOR JOISTS.
- S.3 EXISTING ROOF FRAMING.
- S.4 ROOF TRUSSES/ROOF RAFTERS PER S-SHEETS.
- S.5 FLOOR FRAMING PER S-SHEETS.
- S.6 CONCRETE SLAB PER S-SHEETS.
- S.7 FOUNDATION WALL AND FOOTING PER S-SHEETS. REVERSE LEDGE TO MAINTAIN MIN. 8" CLEARANCE FROM GRADE TO FRAMING. SEE STRUCTURAL DETAILS.
- S.8 PROVIDE WATER PROOFING AND PERIMETER DRAIN TO DAYLIGHT, EXISTING DRAIN SYSTEM OR CONNECT TO SUMP PUMP SYSTEM.
- S.9 BEAM PER S-SHEETS.
- S.10 STRUCTURAL HEADER PER S-SHEETS.
- S.11 DOUBLE TOP PLATE.
- S.12 WINDOW/DOOR INSTALLATION PER MANUFACTURER SPECIFICATIONS.
- S.13 MIN. R-21 INSULATION IN STUD CAVITY WITH R-5 CONTINUOUS AT EXTERIOR WALLS.
- S.14 CEILING INSULATION PER CURRENT ENERGY CODES (SEE SHEET EC100 FOR REQUIRED R-VALUE. USE SPRAY FOAM OR OTHER HIGH R-VALUE INSULATION IF CLEARANCES REQUIRE).
- S.15 FLAT FURR WALL ON R-15 CONTINUOUS INSULATION AT FINISHED AREAS OF BASEMENT PERIMETER WALL.
- S.16 CONTINUOUS R-15 (MIN.) BASEMENT WALL AND CRAWL SPACE INSULATION WITH FSK FACING @ EXTERIOR PERIMETER WALLS OF UNFINISHED BASEMENT AREAS.
- S.17 PRE-FAB EGRESS WINDOW WELL. WINDOW WELL TO COMPLY WITH 2015 IRC SECTION R310.2.3. DRAIN AT BOTTOM TO TIE INTO EXISTING DRAINAGE SYSTEM. PROVIDE LADDER AS REQUIRED. PROVIDE FALL PROTECTION AT TOP PER R312 IF GRADE DIFFERENCE IS > 30" BETWEEN GRADE AND BOTTOM OF WELL.
- S.18 AREA OF OVERBUILT FRAMING.
- S.19 GYP BOARD OR OTHER DECORATIVE WRAP AT EXISTING/NEW BEAM.
- S.20 PRESSURE TREATED SILL PLATE PER STRUCTURAL DRAWINGS.
- S.21 FLASH ROOF-WALL INTERSECTIONS PER SMACNA.
- S.22 SOFFIT. VENT AS REQUIRED PER MANUFACTURER SPECIFICATIONS FOR INSULATION SELECTED.
- S.23 EXISTING PARTY WALL.
- S.24 GIRDER TRUSS PER S-SHEETS.
- S.25 FIRE RATED EXTERIOR WALL AT PROPERTY LINE. SEE 1 / A001
- S.26 SLOPE PARAPET. PARAPET SLOPE TO MATCH ADJACENT ROOF SLOPE TO SHED WATER TOWARDS REAR OF HOUSE. PARAPET TO BE MAX 6" ABOVE ROOFING.
- S.27 STEP FOOTING PER S-SHEETS.
- S.28 METAL PARAPET CAP INSTALLED PER SMACNA AT TOP OF NEW PARAPET.
- S.29 PROPERTY LINE.

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Sections

Sheet Number:

A400