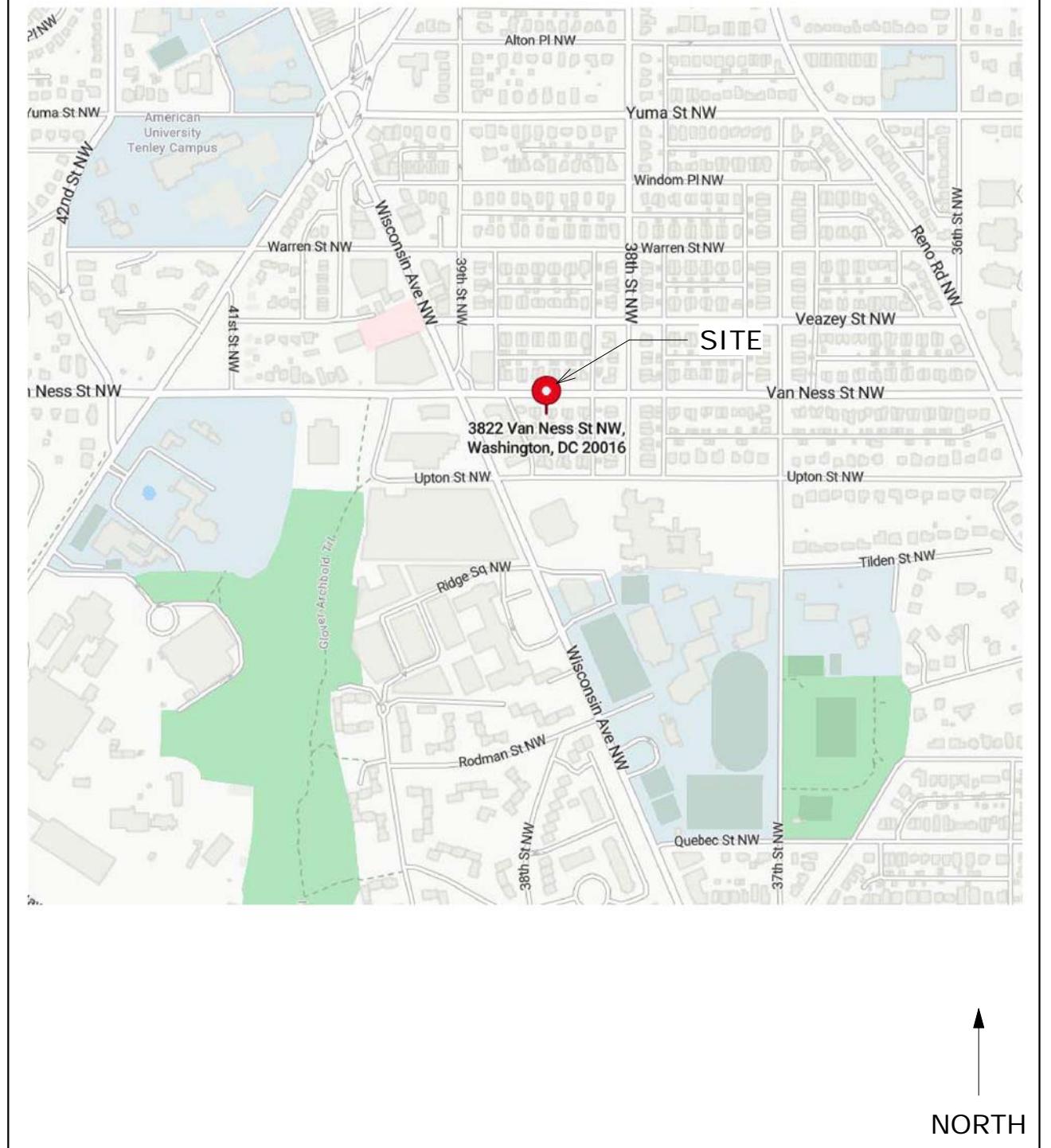




GENERAL NOTES

- ALL WORK SHALL COMPLY WITH THE 2015 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC), THE 2015 EDITION OF THE INTERNATIONAL ENERGY CONSERVATION CODE AND ALL OTHER APPLICABLE CODES, REGULATIONS & ORDINANCES.
- ALL WORK SHALL BE COMPLETED BY EXPERIENCED TRADESMEN.
- ANY INCONSISTENCIES FOUND BETWEEN THE DRAWINGS AND EXISTING CONDITIONS OR BETWEEN THE DRAWINGS THEMSELVES SHALL BE REPORTED TO THE ARCHITECT. ANY WORK DONE WITHOUT NOTIFICATION OF THE ARCHITECT WILL BE AT THE CONTRACTOR'S RISK AND EXPENSE.
- WHEN MULTIPLE SPECIFICATIONS ARE GIVEN, CONTRACTOR SHOULD ASSUME MORE EXPENSIVE OPTION FOR PRICING PURPOSES AND NOTIFY ARCHITECT.
- ANY SUBSTITUTIONS IN MATERIALS, FINISHES OR FIXTURES FROM THE SPECIFICATIONS OF THE DRAWINGS SHALL BE SUBMITTED IN WRITING DURING THE BID PROCESS FOR OWNER AND ARCHITECT APPROVAL.
- DRAWINGS ARE TO BE READ AND NEVER SCALED.
- PROTECT ALL JOBSITE CONDITIONS NOT SPECIFICALLY AFFECTED BY THE WORK.
- THE CONTRACTOR SHALL MAINTAIN THE JOBSITE FREE AND CLEAR OF TRASH & DEBRIS.
- ALL METAL FLASHING INSTALLATIONS PER SMACNA.
- FOLLOW INDUSTRY GUIDELINES & REGULATIONS FOR SELECTION, APPLICATION AND INSTALLATION OF EACH MATERIAL.
- ONE YEAR WARRANTY SHALL BEGIN AT SUBSTANTIAL COMPLETION.
- FIELD VERIFY ALL DIMENSIONS BEFORE BEGINNING THE WORK.
- THE CONTRACTORS SHALL BE REQUIRED TO MAKE PROPER AND COMPLETE WORK WHICH IS SHOWN SINGLE OR PARTIALLY INDICATED TO AVOID NEEDLESS REPETITION FOR THE SAKE OF BREVITY AND FOR REASONS OF CLARITY.
- CONTRACTORS SHALL FURNISH AND INSTALL ALL WORK AND MATERIALS AS MAY BE PROPER AND SUITABLE PREPARATION BASIS, SUPPORT OR FINISH FOR THE WORK WHICH IS SHOWN ON THE DRAWINGS WHETHER OR NOT THE SAME IS SPECIFICALLY MENTIONED.

LOCATION MAP



DCRA COMMENT

mcדstudio

4948 St. Elmo Ave, Suite 304
Bethesda, MD 20814
P. (301) 215-7277
www.mcdstudio.com

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DRAWING LIST

SHEET TITLE	SHEET NUM.
Cover Sheet	A000
Site Plans	CIV100
DOEE and Sediment Control Sheet	CIV101
Schedules	A001
UL Wall Assembly	A002
Existing and Demolition Plans	A100
Existing and Demolition Plans	A101
Proposed Plans	A200
Proposed Plans	A201
Elevations	A300
Sections	A400
Thermal and Energy Plans	EC100
Structural Plans	S100
Structural Plans	S101
Structural Bracing	S102
Mechanical Plans - Exhaust Layout	M100
Mechanical Plans - HVAC Layout	M101
Electrical Plans	E100
Plumbing Riser Diagrams	P100

SCOPE OF WORK

BASEMENT:

- CREATE BEDROOM, BATH, LAUNDRY AND REC. ROOM IN EXISTING BASEMENT.

MAIN LEVEL:

- REAR ADDITION TO CREATE KITCHEN AND FAMILY ROOM.
- SIDE ADDITION TO ENLARGE ENTRY FOYER AND CREATE SCREENED PORCH.
- CREATE POWDER ROOM AT EXISTING KITCHEN

SECOND LEVEL:

- RENOVATE EXISTING 3 BEDROOMS AND BATH.
- REAR ADDITION TO CREATE PRIMARY BEDROOM, BATH AND CLOSET

CONTACT INFORMATION

OWNER:

LEY LTD.
5110 1/2 MACARTHUR BLVD. NW
WASHINGTON, DC 20016

ARCHITECT:

MCD STUDIO, LLC
4948 ST. ELMO AVENUE, SUITE 304
BETHESDA, MD 20814
CONTACT: MATT MCDONALD
PHONE: 301-215-7277

STRUCTURAL ENGINEER:

KSE ENGINEERING
1900 AM DRIVE, SUITE 201
QUAKERTOWN, PA 18951
CONTACT: CHARLES ESPENLAUB
PHONE: 215-541-1068

BUILDING DATA

<u>ZONING:</u>	R-2
<u>USE:</u>	RESIDENTIAL - SEMI DETACHED
<u>LOT SIZE:</u>	3,630 SQUARE FEET
<u>LOT COVERAGE:</u>	1,267 S.F. / 34.9% (PROPOSED) 1,452 S.F. /40% (ALLOWED)
<u>PERVIOUS SURFACE:</u>	1,267 S.F. BUILDING FOOTPRINT + 285 S.F. WALKWAYS = 1552 S.F. IMPERVIOUS 3630 S.F. - 1552 S.F. = 2078 S.F. / 57% PERVIOUS (PROPOSED) 1,089 S.F. / 30% (MINIMUM REQUIRED)
<u>FRONT SET BACK:</u>	ESTABLISHED BUILDING LINE (NO CHANGE PROPOSED)
<u>SIDE SET BACK:</u>	±7.63' SIDE SETBACK ONE SIDE (NO CHANGE PROPOSED) 8'-0" REQUIRED, 5'-0" MIN IF EXISTING BUILDING ENCROACHES INTO SETBACK
<u>REAR SET BACK:</u>	37.3' (20' REQUIRED)
<u>AREA OF ADDITION:</u>	817 S.F.; 64 S.F. SCREENED PORCH
<u>ROOF PEAK HEIGHT:</u>	±25'-2" ROOF PEAK HEIGHT FROM APPROXIMATE GRADE

APPLICABLE CODES

DCMR 12 D.C. CONSTRUCTION CODES SUPPLEMENT / 2017
DCMR 12B RESIDENTIAL CODE SUPPLEMENT
DCMR 12J EXISTING BUILDING SUPPLEMENT

INTERNATIONAL RESIDENTIAL CODE / 2015 For 1 and 2 family
Dwellings W/ AMENDMENTS BY DCMR 12B RESIDENTIAL CODE
SUPPLEMENT

NATIONAL ELECTRICAL CODE / 2014 W/AMENDMENTS
BY DCMR 12C ELECTRICAL CODE SUPPLEMENT OF 2017.

INTERNATIONAL MECHANICAL CODE / 2015 W/AMENDMENTS
BY DCMR 12E MECHANICAL CODE SUPPLEMENT OF 2017.

INTERNATIONAL PLUMBING CODE / 2015 W/AMENDMENTS
BY DCMR 12F PLUMBING CODE SUPPLEMENT OF 2017.

INTERNATIONAL ENERGY CONSERVATION CODE / 2015
W/AMENDMENTS BY DCMR 12I ENERGY CONSERVATION
CODE SUPPLEMENT OF 2017.

Project Number: 24-049
Client Name: Ley Ltd.

Project Status:
 As Built Conditions
 Preliminary Design
 Design Development
 Permit Submission
 Construction Documents
 Construction Administration
 Pricing

Drawing Issue Date: 1/23/2025

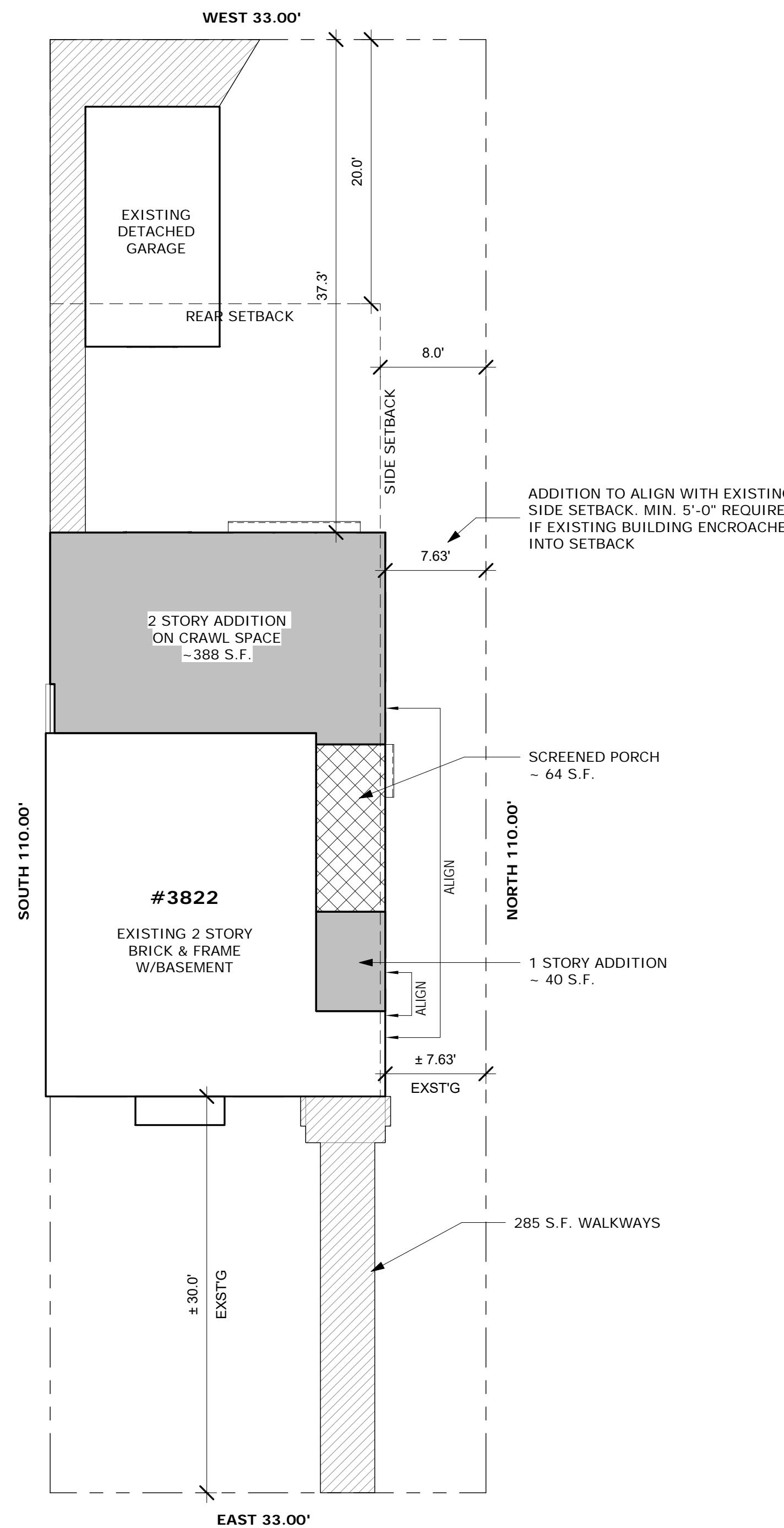
Revision Schedule		
No.	Description	Date

Drawn by: AP
Checked by: MM
Scale: 1/4" = 1'-0"
Sheet Name: Cover Sheet

Sheet Number: A000

A000
Board of Zoning Adjustment
Permit#3822 Van Ness/Revit/Permit/3822_Van_Ness_permit.rvt
CASE NO.21286
EXHIBIT NO.6

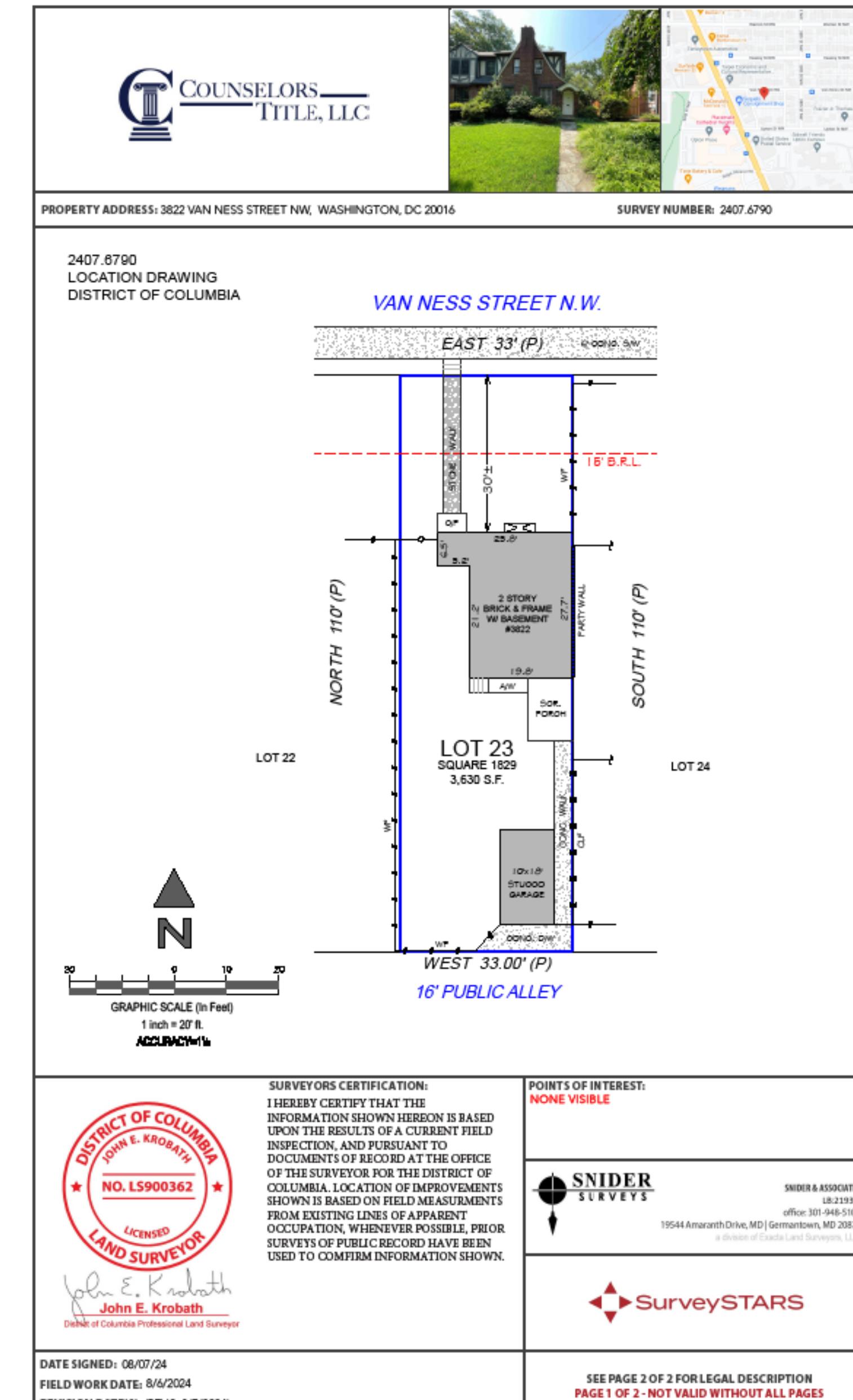
PUBLIC ALLEY



② Proposed Site Plan
1/8" = 1'-0"

VAN NESS STREET N.W.

① Existing Site Plan
1" = 20'-0"



DCRA COMMENT

DCRA DIGITAL STAMP AREA

mcדstudio

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Bethesda, MD 20814
P: (301) 215-7277
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3822 Van Ness Street NW
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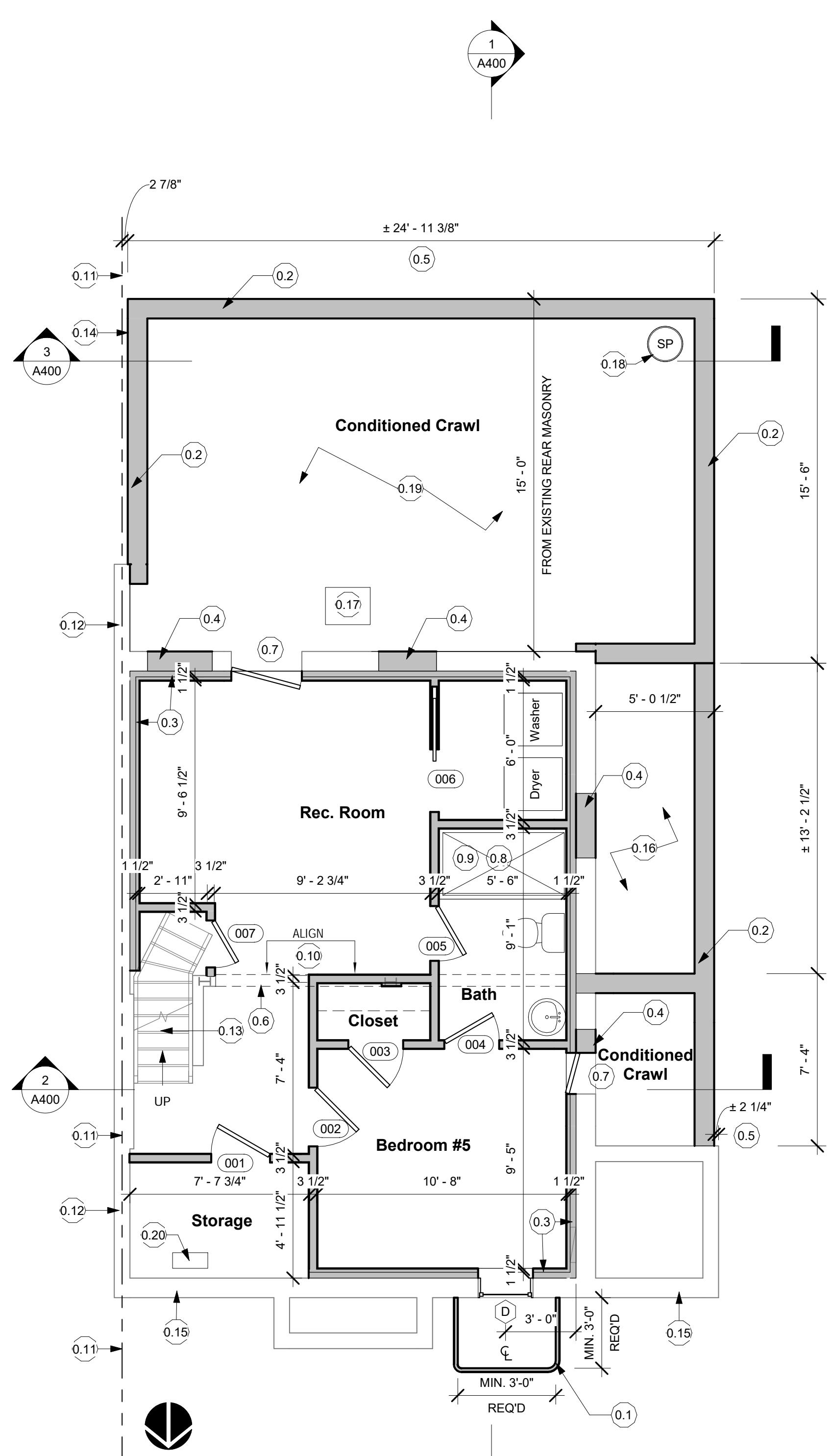
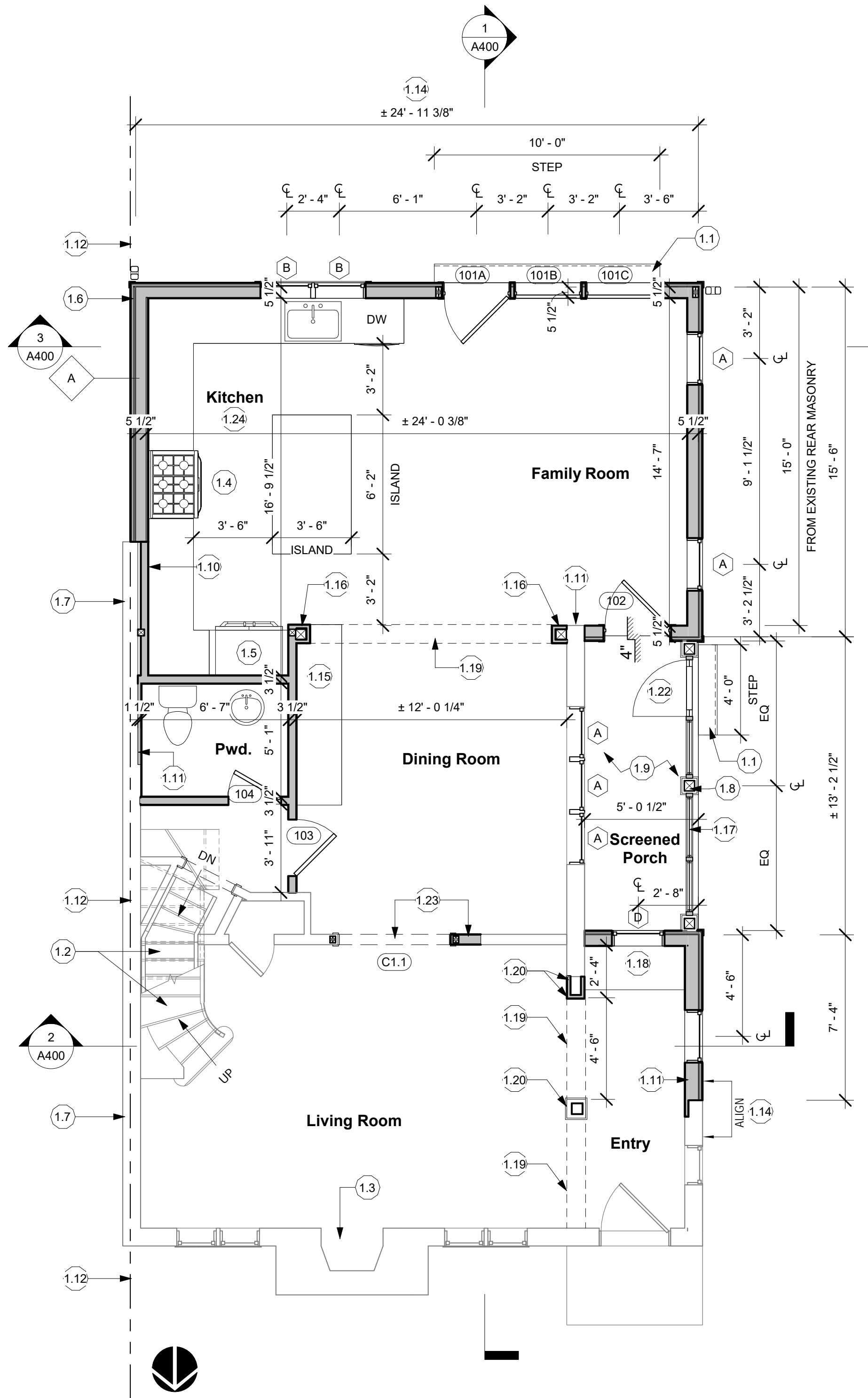
Drawn by: AP
Checked by: MM
Scale: As indicated
Sheet Name:

Site Plans

Sheet Number:
CIV100

GENERAL FIRST FLOOR NOTES	
1.	FINISH FLOOR MATERIAL TBD BY OWNER.
2.	PAINTED WALL TO BE GYP. BD. - ASSUME 1 COLOR PER ROOM, 1 COAT PRIMER AND TWO COATS FINISH PAINT, BENJAMIN MOORE OR EQUAL - COLOR TBD BY OWNER.
3.	CEILING TO BE PAINTED GYP. BD. - ASSUME 1 COLOR, 1 COAT PRIMER AND TWO COATS FINISH PAINT - COLOR TBD BY OWNER.
4.	BASE MOLDING AND CROWN MOLDING TBD BY OWNER.
5.	WINDOW AND DOOR TRIM TBD BY OWNER.
6.	GENERAL CABINETRY, COUNTERTOP AND VANITY LAYOUTS ARE SHOWN - FINAL LAYOUT AND DESIGN BY OTHERS.
7.	GENERAL PLUMBING FIXTURE AND LOCATIONS SHOWN. FINAL SELECTION TO BE DETERMINED BY OWNER. BATHROOM FINISHES TO BE SELECTED BY OWNER.

FIRST FLOOR KEY NOTES	
1.1	STEPS DN TO BE COORDINATED WITH GRADE. STEPS PER 2015 IRC SECTION R311. 7 3/4" MAX RISE W/MIN. 10" TREAD.
1.2	EXISTING STAIR/RAIL SYSTEM UP AND DOWN TO REMAIN.
1.3	EXISTING FIREPLACE TO REMAIN.
1.4	36" RANGE SHOWN.
1.5	36" FRIDGE SHOWN.
1.6	ALIGN FACE OF SIDING AT NEW EXTERIOR WALL WITH PROPERTY LINE. WALL ASSEMBLY PER 1 / A001
1.7	EXISTING PARTY WALL TO REMAIN.
1.8	POSTS PER STRUCTURAL DRAWINGS. DECORATIVE WRAP TO CREATE 8"x8" COLUMN.
1.9	CONCRETE SLAB PER STRUCTURAL DRAWINGS.
1.10	FURR WALL AS REQUIRED TO ALIGN WITH INTERIOR FINISH FACE OF NEW EXTERIOR WALL.
1.11	FLAT FURR WALL AS REQUIRED TO ALIGN INTERIOR FINISH FACE.
1.12	PROPERTY LINE.
1.13	INFILL WALL IN AREA OF REMOVED OPENING. MATCH FINISHES AND TRIM.
1.14	ALIGN FACE OF NEW STUD WALLS SO STUCCO FINISH WILL ALIGN W/ EXST'G MASONRY FAÇADE
1.15	BUILT-IN BUFFET.
1.16	FURR WALL AT POSTS. POSTS PER S SHEETS.
1.17	SCREENED PANEL SYSTEM.
1.18	BUILT-IN BENCH.
1.19	GYP BOARD OR OTHER DECORATIVE WRAP AT EXISTING/NEW BEAM.
1.20	STEEL TUBE COLUMN PER STRUCTURAL DRAWINGS. DECORATIVE WRAP TO CREATE 10"x10" COLUMN.
1.21	INFILL WALL IN AREA OF REMOVED WINDOW. FURR WALL AT AREA OF BUILT-IN BENCH.
1.22	SCREENED PORCH DOOR. REVIEW/VERIFY FINAL LOCATION IN FIELD.
1.23	ENLARGE & RELOCATE EXST'G OPENING INTO DINING ROOM, PATCH AREA'S OF EXST'G WALL AS REQ'D.
1.24	KITCHEN DESIGN BY OTHERS. GENERAL CABINETRY AND APPLIANCE LAYOUT SHOWN.



GENERAL BASEMENT NOTES	
1.	FINISH FLOOR MATERIAL TBD BY OWNER.
2.	PAINTED WALL TO BE GYP. BD. - ASSUME 1 COLOR PER ROOM, 1 COAT PRIMER AND TWO COATS FINISH PAINT, BENJAMIN MOORE OR EQUAL - COLOR TBD BY OWNER.
3.	CEILING TO BE PAINTED GYP. BD. - ASSUME 1 COLOR, 1 COAT PRIMER AND TWO COATS FINISH PAINT - COLOR TBD BY OWNER.
4.	BASE MOLDING TBD BY OWNER.
5.	WINDOW AND DOOR TRIM TBD BY OWNER.
6.	GENERAL CABINETRY, COUNTERTOP AND VANITY LAYOUTS ARE SHOWN - FINAL LAYOUT AND DESIGN BY OTHERS.
7.	GENERAL PLUMBING FIXTURE AND LOCATIONS SHOWN. FINAL SELECTION TO BE DETERMINED BY OWNER.
8.	CONFIRM SHOWER AND TUB SHAMPOO NICHES WITH OWNER
9.	PROVIDE PAINTED GYP. BD. BULKHEAD AROUND DROPPED BEAM LOCATIONS.
10.	SHOWERS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.

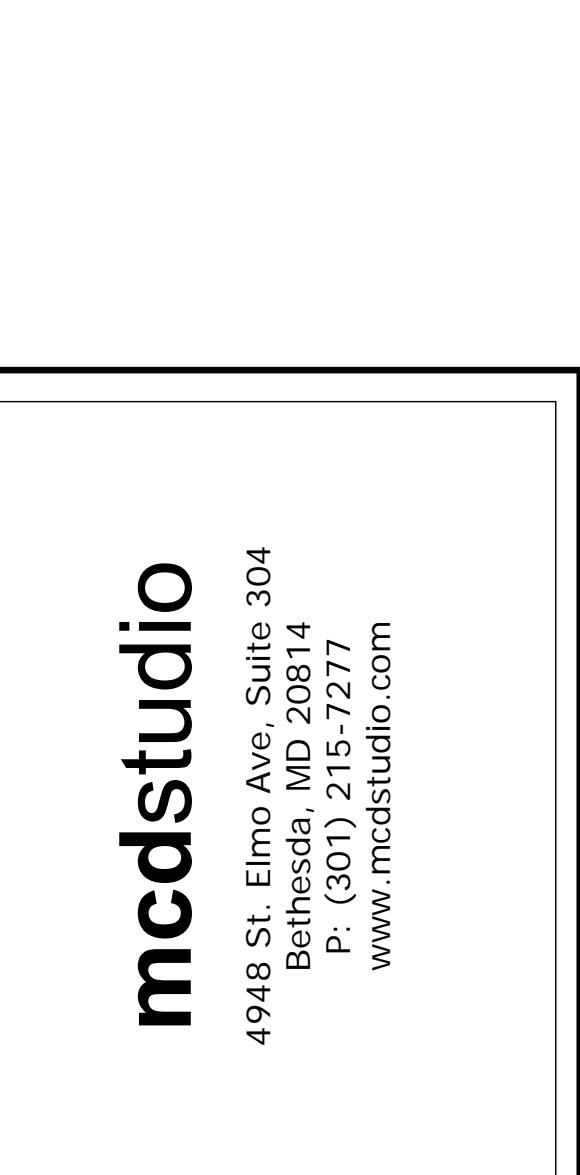
DCRA COMMENT	
1.	ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. UNLESS NOTED OTHERWISE.
2.	ALL INTERIOR WALLS SHALL BE NOM. 2X4 WOOD STUD @ 16" O.C. WITH 1/2" GWB ON BOTH SIDES, U.N.O.
3.	ALL NEW EXTERIOR WALLS SHALL BE NOM. 2X6 WOOD STUD @ 16" O.C. WITH 1/2" GWB ON INTERIOR SIDE, R-21 MIN. BATT INSULATION WITHIN STUD CAVITIES AND 7/16" OSB ON EXTERIOR SIDE, WITH R-5 CONTINUOUS RIGID INSULATION AT THE EXTERIOR. U.N.O. AN INSULATED SHEATHING PANEL SYSTEM MAY BE SUBSTITUTED PROVIDED IT MEETS OR EXCEEDS R-5 INSULATION VALUE.
4.	ALL BATHROOMS WITHOUT WINDOWS SHALL BE VENTED TO THE OUTSIDE.
5.	GLASS DOORS, SIDE GLASS PANELS, TUB AND SHOWER ENCLOSURES AND OTHER GLAZING IN HAZARDOUS LOCATIONS SHALL BE SAFETY GLAZED PER CURRENT BUILDING CODES.
6.	CLOTHES DRYER VENT SYSTEMS SHALL BE INDEPENDENT OF ALL OTHER SYSTEMS AND SHALL BE VENTED TO THE EXTERIOR OF THE BUILDING. FLEXIBLE DUCT CONNECTORS SHALL NOT BE CONCEALED WITHIN WALLS OR CEILING.
7.	THE MAXIMUM LENGTH OF A 4" DIAMETER EXHAUST VENT SHALL NOT EXCEED 25' FROM THE DRYER TO THE WALL OR ROOF TERMINATION. A REDUCTION OF 2.5' FOR EACH 45 DEGREE BEND AND 5' FOR EACH 90 DEGREE BEND SHALL APPLY.
8.	REVIEW ALL DROPPED BEAM HEIGHTS WITH ARCHITECT PRIOR TO FINAL CLOSE-IN.

GENERAL PLAN NOTES	
1.	ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. UNLESS NOTED OTHERWISE.
2.	ALL INTERIOR WALLS SHALL BE NOM. 2X4 WOOD STUD @ 16" O.C. WITH 1/2" GWB ON BOTH SIDES, U.N.O.
3.	ALL NEW EXTERIOR WALLS SHALL BE NOM. 2X6 WOOD STUD @ 16" O.C. WITH 1/2" GWB ON INTERIOR SIDE, R-21 MIN. BATT INSULATION WITHIN STUD CAVITIES AND 7/16" OSB ON EXTERIOR SIDE, WITH R-5 CONTINUOUS RIGID INSULATION AT THE EXTERIOR. U.N.O. AN INSULATED SHEATHING PANEL SYSTEM MAY BE SUBSTITUTED PROVIDED IT MEETS OR EXCEEDS R-5 INSULATION VALUE.
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8.	REVIEW ALL DROPPED BEAM HEIGHTS WITH ARCHITECT PRIOR TO FINAL CLOSE-IN.

BASEMENT KEY NOTES	
0.1	PREFAB WINDOW WELL MIN. 3'-0" x 3'-0". WINDOW WELL TO COMPLY WITH 2015IRC SECTION R310.2.3.
0.2	FOUNDATION WALL PER STRUCTURAL PROVIDE WATERPROOFING AND PERIMETER DRAIN SYSTEM TO SUMP OR DAYLIGHT.
0.3	PROVIDE 2X4 FLAT FURRED WALL ON 3" CONTINUOUS INSULATION AT PERIMETER OF EXISTING MASONRY WALLS IN BASEMENT AS SHOWN.
0.4	INFILL WALL IN AREA OF REMOVED WINDOW.
0.5	COORDINATE FOUNDATION WALL TO ALIGN SIDING WITH FACE OF BRICK ABOVE. OUTSIDE FACE OF FOUNDATION WALL TO ALIGN WITH FACE OF SHEATHING.
0.6	PROVIDE GYP BOARD WRAP AT EXISTING STEEL BEAM.
0.7	CRAWL SPACE ACCESS AT LOCATION OF EXISTING DOOR.
0.8	5'-0" x 3'-0" SHOWER SHOWN.
0.9	SHOWERS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
0.10	ALIGN STUD WALL AND BULKHEAD.
0.11	PROPERTY LINE.
0.12	EXISTING PARTY WALL TO REMAIN.
0.13	COORDINATE STAIR/RAIL SYSTEM UP TO REMAIN.
0.14	COORDINATE FOUNDATION WALL WITH EXTERIOR STUD WALL ABOVE. FACE OF SIDING ABOVE TO ALIGN WITH PROPERTY LINE. FOUNDATION WALL TO ALIGN WITH OUTSIDE FACE OF STUD.
0.15	EXISTING FOUNDATION WALL TO REMAIN.
0.16	CONCRETE SLAB ABOVE PER S SHEETS.
0.17	NEW FURNACE PER MECHANICAL SHEETS.
0.18	SUMP IF REQUIRED FOR DRAINAGE SYSTEM SELECTION.
0.19	CRAWL SPACE CONCRETE SLAB PER S SHEETS.
0.20	NEW WATER HEATER.

Project Number: 24-049
Client Name: Ley Ltd.
Project Status:
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Revision Schedule
No. Description Date
Drawn by: AP
Checked by: MM
Scale: 1/4" = 1'-0"
Sheet Name: Proposed Plans
Sheet Number:

A200



GENERAL ROOF NOTES		ROOF KEY NOTES	GENERAL SECOND FLOOR NOTES	DCRA COMMENT																					
<p>1. ALL GUTTERS AND LEADERS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.</p> <p>2. PROVIDE ROOF VENTING IF REQUIRED BASED ON TYPE OF INSULATION USED.</p> <p>3. IN AREAS OF OVERFRAMING, SHEATHING SHALL BE INTERRUPTED FOR CONTINUITY OF ATTIC VENTING.</p> <p>4. CHIMNEY'S SHALL EXTEND A MINIMUM OF 2'-0" ABOVE ANY PORTION OF BUILDINGS WITHIN 10'-0" AND A MINIMUM OF 3'-0" ABOVE THE HIGHEST POINT WHICH THE CHIMNEY PASSES THROUGH THE ROOF.</p> <p>5. APPLY ICE AND WATER SHIELD AT ALL EAVES, RIDGES AND VALLEYS.</p> <p>6. ROOF MATERIAL AS NOTED ON ROOF PLAN.</p> <p>(DS) INDICATES PROPOSED DOWNSPOUT LOCATION. SIZE & LOCATION OF DOWNSPOUTS AND GUTTERS TO BE VERIFIED BY INSTALLER.</p>		<p>R.1 EXISTING ROOF TO REMAIN.</p> <p>R.2 EXISTING CHIMNEY TO REMAIN.</p> <p>R.3 PARAPET TO REMAIN.</p> <p>R.4 ROOF TO BE ASPHALT SHINGLES TO MATCH EXISTING.</p> <p>R.5 LOW-SLOPE ROOF TO BE TPO OR EPDM.</p> <p>R.6 MATCH EXISTING ROOF SLOPE.</p> <p>R.7 LINE OF WALL BELOW.</p> <p>R.8 CENTERLINE OF POSTS BELOW.</p> <p>R.9 RIDGE VENT.</p> <p>R.10 METAL GUTTER ON FASCIA TRIM.</p> <p>R.11 PROPERTY LINE.</p> <p>R.12 PARAPET SLOPE PARAPET TO MATCH ADJACENT ROOF SLOPE TO SHED WATER TOWARDS REAR OF HOUSE. PARAPET TO BE MAX 6" ABOVE ROOFING.</p>	<p>1. FINISH FLOOR MATERIAL TBD BY OWNER.</p> <p>2. PAINTED WALL TO BE GYP. BD. - ASSUME 1 COLOR PER ROOM, 1 COAT PRIMER AND TWO COATS FINISH PAINT, BENJAMIN MOORE OR EQUAL - COLOR TBD BY OWNER.</p> <p>3. CEILING TO BE PAINTED GYP. BD. - ASSUME 1 COLOR, 1 COAT PRIMER AND TWO COATS FINISH PAINT - COLOR TBD BY OWNER</p> <p>4. BASE MOLDING AND CROWN MOLDING TBD BY OWNER.</p> <p>5. WINDOW AND DOOR TRIM TBD BY OWNER.</p> <p>6. GENERAL CABINETRY, COUNTERTOP AND VANITY LAYOUTS ARE SHOWN - FINAL LAYOUT AND DESIGN BY OTHERS.</p> <p>7. GENERAL PLUMBING FIXTURE AND LOCATIONS SHOWN. FINAL SELECTION TO BE DETERMINED BY OWNER. BATHROOM FINISHES TO BE SELECTED BY OWNER.</p>	DCRA DIGITAL STAMP AREA																					
<p>SECOND FLOOR KEY NOTES</p> <table border="1"> <tr> <td>2.1 EXISTING STAIR/RAIL SYSTEM DOWN TO REMAIN.</td> </tr> <tr> <td>2.2 ALIGN FACE OF SIDING AT NEW EXTERIOR WALL WITH PROPERTY LINE. WALL ASSEMBLY PER 1/A001</td> </tr> <tr> <td>2.3 EXISTING PARTY WALL TO REMAIN.</td> </tr> <tr> <td>2.4 FURR WALL AS REQUIRED TO ALIGN WITH INTERIOR FINISH FACE OF NEW EXTERIOR WALL.</td> </tr> <tr> <td>2.5 FURR WALL AS REQUIRED TO ALIGN INTERIOR FINISH FACE.</td> </tr> <tr> <td>2.6 PROPERTY LINE.</td> </tr> <tr> <td>2.7 INFILL WALL IN AREA OF REMOVED OPENING. MATCH FINISHES AND TRIM.</td> </tr> <tr> <td>2.8 CONFIRM EXISTING WINDOW MEETS EGRESS REQUIREMENTS. REPLACE IF REQUIRED TO MEET CODE REQUIREMENTS.</td> </tr> <tr> <td>2.9 SHOWERS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.</td> </tr> <tr> <td>2.10 5'-6" x 4'-8" SHOWER SHOWN WITH GLASS ENCLOSURE AND DOOR.</td> </tr> <tr> <td>2.11 LINEN CABINET.</td> </tr> <tr> <td>2.12 REPLACE WINDOW IN EXISTING OPENING.</td> </tr> <tr> <td>2.13 ALIGN WITH STUD WALLS BELOW.</td> </tr> <tr> <td>2.14 NEW ATTIC ACCESS HATCH TO BE COORDINATED WITH EXISTING CEILING/ROOF FRAMING.</td> </tr> <tr> <td>2.15 ROOF BELOW. FLASH ROOF-WALL INTERSECTION PER SMACNA</td> </tr> </table> <p>3822 Van Ness Street NW Washington, DC 20016</p> <p>Project Number: 24-049 Client Name: Ley Ltd. Project Status: <input type="checkbox"/> As Built Conditions <input type="checkbox"/> Preliminary Design <input checked="" type="checkbox"/> Design Development <input checked="" type="checkbox"/> Permit Submission <input type="checkbox"/> Construction Documents <input type="checkbox"/> Construction Administration <input type="checkbox"/> Pricing Drawing Issue Date: 1/23/2025 Revision Schedule <table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td></td> <td></td> <td></td> </tr> </tbody> </table> Drawn by: AP Checked by: MM Scale: 1/4" = 1'-0" Sheet Name: Proposed Plans Sheet Number: A201</p>					2.1 EXISTING STAIR/RAIL SYSTEM DOWN TO REMAIN.	2.2 ALIGN FACE OF SIDING AT NEW EXTERIOR WALL WITH PROPERTY LINE. WALL ASSEMBLY PER 1/A001	2.3 EXISTING PARTY WALL TO REMAIN.	2.4 FURR WALL AS REQUIRED TO ALIGN WITH INTERIOR FINISH FACE OF NEW EXTERIOR WALL.	2.5 FURR WALL AS REQUIRED TO ALIGN INTERIOR FINISH FACE.	2.6 PROPERTY LINE.	2.7 INFILL WALL IN AREA OF REMOVED OPENING. MATCH FINISHES AND TRIM.	2.8 CONFIRM EXISTING WINDOW MEETS EGRESS REQUIREMENTS. REPLACE IF REQUIRED TO MEET CODE REQUIREMENTS.	2.9 SHOWERS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.	2.10 5'-6" x 4'-8" SHOWER SHOWN WITH GLASS ENCLOSURE AND DOOR.	2.11 LINEN CABINET.	2.12 REPLACE WINDOW IN EXISTING OPENING.	2.13 ALIGN WITH STUD WALLS BELOW.	2.14 NEW ATTIC ACCESS HATCH TO BE COORDINATED WITH EXISTING CEILING/ROOF FRAMING.	2.15 ROOF BELOW. FLASH ROOF-WALL INTERSECTION PER SMACNA	No.	Description	Date			
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2.13 ALIGN WITH STUD WALLS BELOW.																									
2.14 NEW ATTIC ACCESS HATCH TO BE COORDINATED WITH EXISTING CEILING/ROOF FRAMING.																									
2.15 ROOF BELOW. FLASH ROOF-WALL INTERSECTION PER SMACNA																									
No.	Description	Date																							

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Project Number: 24-049
Client Name: Ley Ltd.
Project Status:
 As Built Conditions
 Preliminary Design
 Design Development
 Permit Submission
 Construction Documents
 Construction Administration
 Pricing
Drawing Issue Date: 1/23/2025
Revision Schedule
No. Description Date
1/23/2025
Drawn by: AP
Checked by: MM
Scale: 1/4" = 1'-0"
Sheet Name: Existing Elevations
Sheet Number:

A102

DCRA COMMENT

DCRA DIGITAL STAMP AREA



③ Existing Rear Elevation
1/4" = 1'-0"



② Existing Right Elevation
1/4" = 1'-0"



① Existing Front Elevation
1/4" = 1'-0"

MCD STUDIO LLC DOES NOT WARRANT THE ABSOLUTE ACCURACY OF THE DELINEATION OF EXISTING CONDITIONS AS SHOWN ON THESE DRAWINGS. ACTUAL FIELD CONDITIONS MAY VARY. EXISTING CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF THE WORK AND ANY DISCREPANCIES, HIDDEN AND UNFORESEEN CONDITIONS DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

