

PROJECT INFORMATION

ADDRESS:	4405 GREENWICH PKWY NW WASHINGTON, DC
SQUARE:	1350
LOT:	0114
DESCRIPTION:	1-STORY W/ CELLAR REAR ADDITION AND REAR DECK

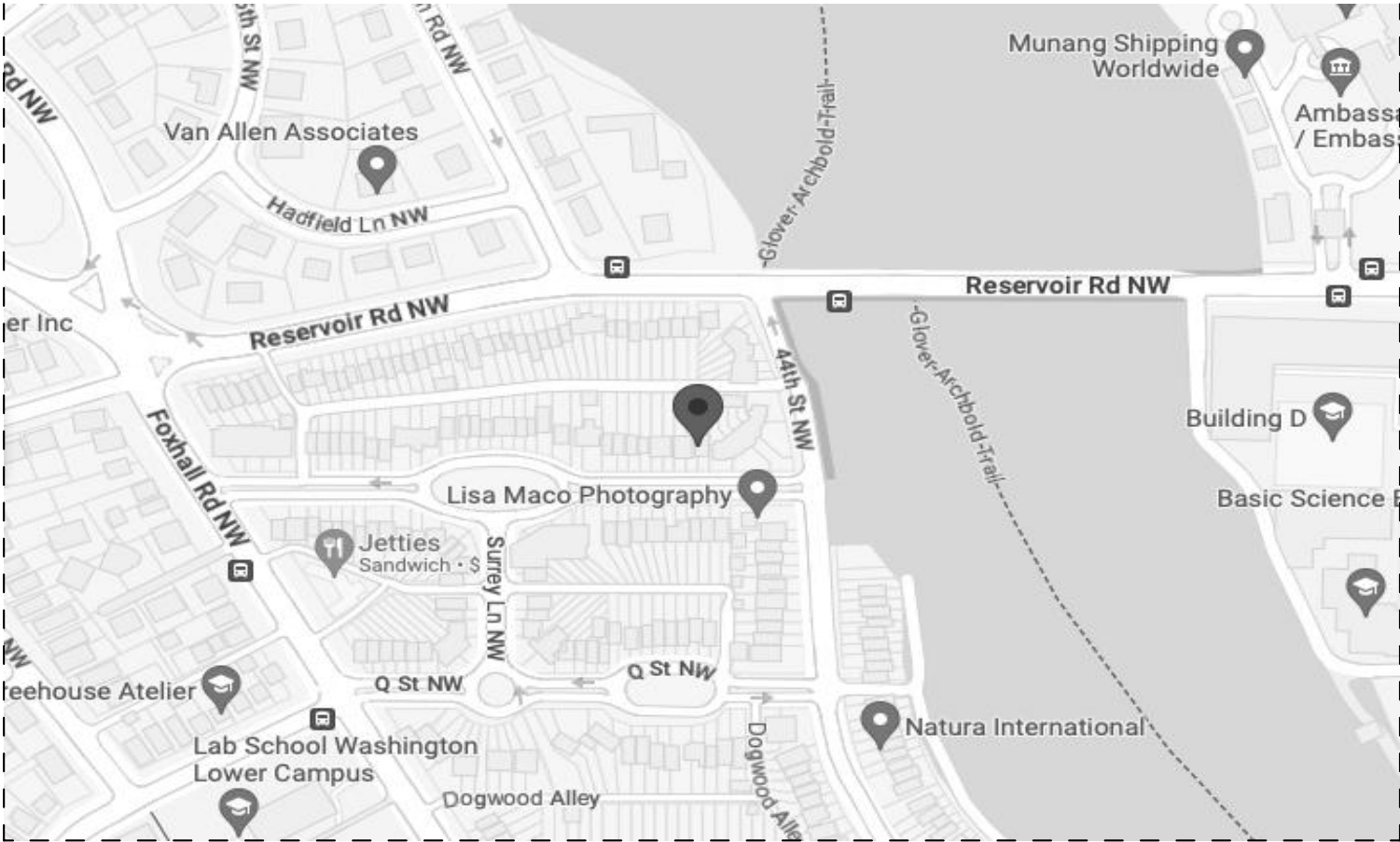
BUILDING CODES

THIS BUILDING RENOVATION CONFORMS TO ALL APPLICABLE BUILDING AND ZONING CODES IN WASHINGTON DC:
2015 INTERNATIONAL BUILDING CODE AS AMENDED BY DCMR12A-2017
ICC/ANSI A117.1 2008 AS AMENDED BY THE DCMR 12A 2013
2014 NATIONAL ELECTRICAL CODE AS AMENDED BY DCMR 12C-2017
2013 ANSI/ASHRAE/IES 90.1
2015 INTERNATIONAL FUEL GAS CODE AS AMENDED BY DCMR 12D-2017
2015 INTERNATIONAL MECHANICAL CODE AS AMENDED BY DCMR 12E-2017
2015 INTERNATIONAL PLUMBING CODE AS AMENDED BY DCMR 12H-2017
2015 INTERNATIONAL PROPERTY MAINTENANCE CODE AS AMENDED BY DCMR 12G-2017
2015 INTERNATIONAL FIRE CODE AS AMENDED BY DCMR 12H-2017
2015 INTERNATIONAL ENERGY CONSERVATION CODE AS AMENDED BY DCMR 12I-2017
2015 INTERNATIONAL GREEN CONSTRUCTION CODE AS AMENDED BY DCMR 12K-2017
2015 INTERNATIONAL EXISTING BUILDING CODE AS AMENDED BY DCMR 12J-2017
NOTE: PROJECT IS DESIGNED TO CONFORM TO THE WORK AREA COMPLIANCE PATH OF THE INTERNATIONAL EXISTING BUILDING CODE, IEBC 301.1.2

PROJECT DIRECTORY

ARCHITECT:	STRUCTURAL:
DISTRICT ARCHITECTURE 1776 FLORIDA AVE NW WASHINGTON DC	BEL ENGINEERING 4542 BEECH RD TEMPLE HILLS, MD 20748
CONTACT: DAVE BLOOM T: 571.216.3103 E: DAVE@DISTRICTARCHITECTURE.COM	CONTACT: YOSEPH WONDIMU T: 703.975.9447 E: YOSEPH@BEL-ENGINEERING.COM

LOCATION MAP



DRAWING INDEX

ARCHITECTURAL:	
A0.1	PROJECT INFORMATION
A0.2	ENERGY PERFORMANCE
A0.3	ABBREVIATIONS & SYMBOLS
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C1.1	SITE PLANS
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D1.1	DEMOLITION PLANS
D1.2	DEMOLITION PLANS
A1.1	CONSTRUCTION PLANS
A1.2	CONSTRUCTION PLANS
A2.1	SECTION & ELEVATION
A4.1	WALL AND FLOOR ASSEMBLIES
E1.1	ELECTRICAL PLANS
M1.1	MECHANICAL AND PLUMBING PLANS

ZONING DATA

	EXISTING	PROPOSED
SQUARE:	1350	1350
LOT:	0114	0114
ZONE:	R-3	R-3
HISTORIC ZONE:	NA	NA
NUMBER OF STORIES:	2+CELLAR	2+CELLAR
BUILDING HEIGHT FROM BHMP:	27'-4"	27'-4"
GRADE TO 1ST FLOOR, FINISHED:	2'-5"	2'-5"
NUMBER OF UNITS:	1	1
NUMBER OF PARKING SPACES:	1	1
LOT AREA [SF]	2,648	2,648
BLDG AREA [SF] / LOT OCC [%]	918 34.67%	1,103 41.65%
GROSS FLR AREA [SF] / FAR	1,580 NA	1,128 NA
PERVIOUS AREA [SF] / [%]	1,783 67.33%	958 36.18%
REAR YARD SETBACK	90.57'	80.57'
SIDEYARD SETBACK @ LEFT	0.00'	0.00'
SIDEYARD SETBACK @ RIGHT	0.00'	0.00'

- S0001 GENERAL NOTES.pdf
- S0101 FOUNDATION 1ST AND ROOF FRAMING PLANS.pdf
- S0200 WALL BRACING PLANS.pdf
- S0201 WALL BRACING NOTES.pdf
- S0301 SECTIONS AND TYPICAL DETAILS.pdf
- S0401 TYPICAL DETAILS.pdf

BUILDING INFORMATION

	EXISTING	PROPOSED
OCCUPANCY GROUP	R-3	R-3
NUMBER OF UNITS	1	1
CONSTRUCTION TYPE	VB	VB
SPRINKLER SYSTEM	NO	NO
FIRE ALARM SYSTEM	NO	NO
SMOKE DETECTION SYSTEM	YES	YES
ACCESSIBILITY	NO	NO
LEVEL OF ALTERATION	ADDITION	
ENERGY COMPLIANCE PATH	PRESCRIPTIVE	

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 82305542 Date 08/31/23

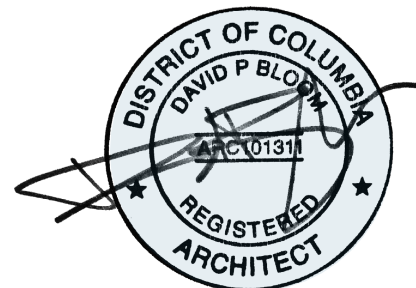
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

DOEE EV Review - Cameron Sherr - 08-31-2023
Energy Review - Ashley Delgado - 08-31-2023
HPRB Review - Anne Brockett - 08-31-2023
Plumbing Review - Chrys Edet - 08-31-2023
Mechanical Review - Chrys Edet - 08-31-2023
Structural Review - Netsanet Zelelew - 08-31-2023
Electrical Review - Mohinder Sood - 08-31-2023
DC Water Review - Vahid Bilvardi - 08-31-2023
Neighbor Notification - Kolas Eilon - 08-31-2023
DOEE SE-SW Review - Janina Jones - 08-31-2023

DISTRICT
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studio
1766 Florida Ave NW Washington DC

4405 GREENWICH PKWY NW
WASHINGTON DC

CLIENT: SAAM JAHANBEEN



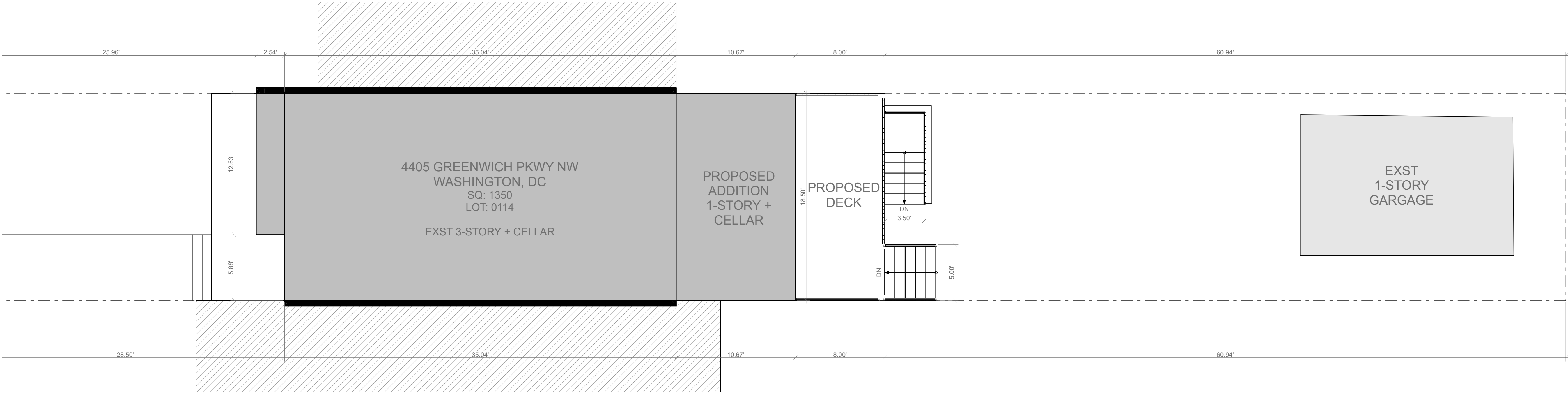
I AM RESPONSIBLE FOR DETERMINING THAT THE ARCHITECTURAL DESIGN INCLUDED IN THIS APPLICATION ARE IN COMPLIANCE WITH ALL LAWS AND REGULATIONS OF THE DISTRICT OF COLUMBIA. I HAVE PERSONALLY PREPARED OR DIRECTLY SUPERVISED THE DEVELOPMENT OF THE ARCHITECTURAL DESIGNS INCLUDED IN THIS APPLICATION.

PROJECT INFORMATION

ISSUED
FOR PERMIT

REVISION

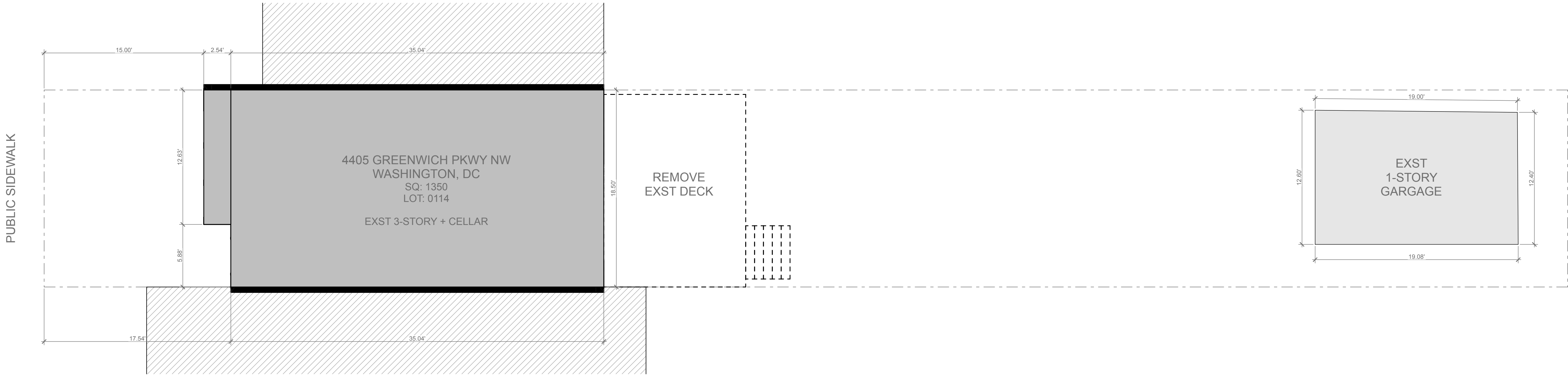
Board of Zoning Adjustment
District of Columbia
CASE NO. 2128A
EXHIBIT NO. 6
DATE
4/28/23



PROPOSED SITE PLAN

SCALE: 1" = 5'

2



EXISTING SITE PLAN

SCALE: 1" = 5'

1

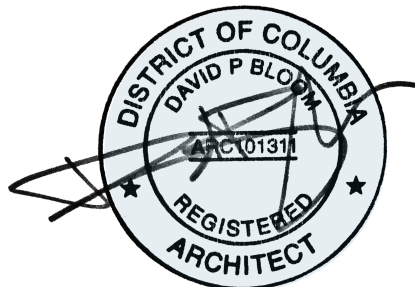
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SITE PLANS

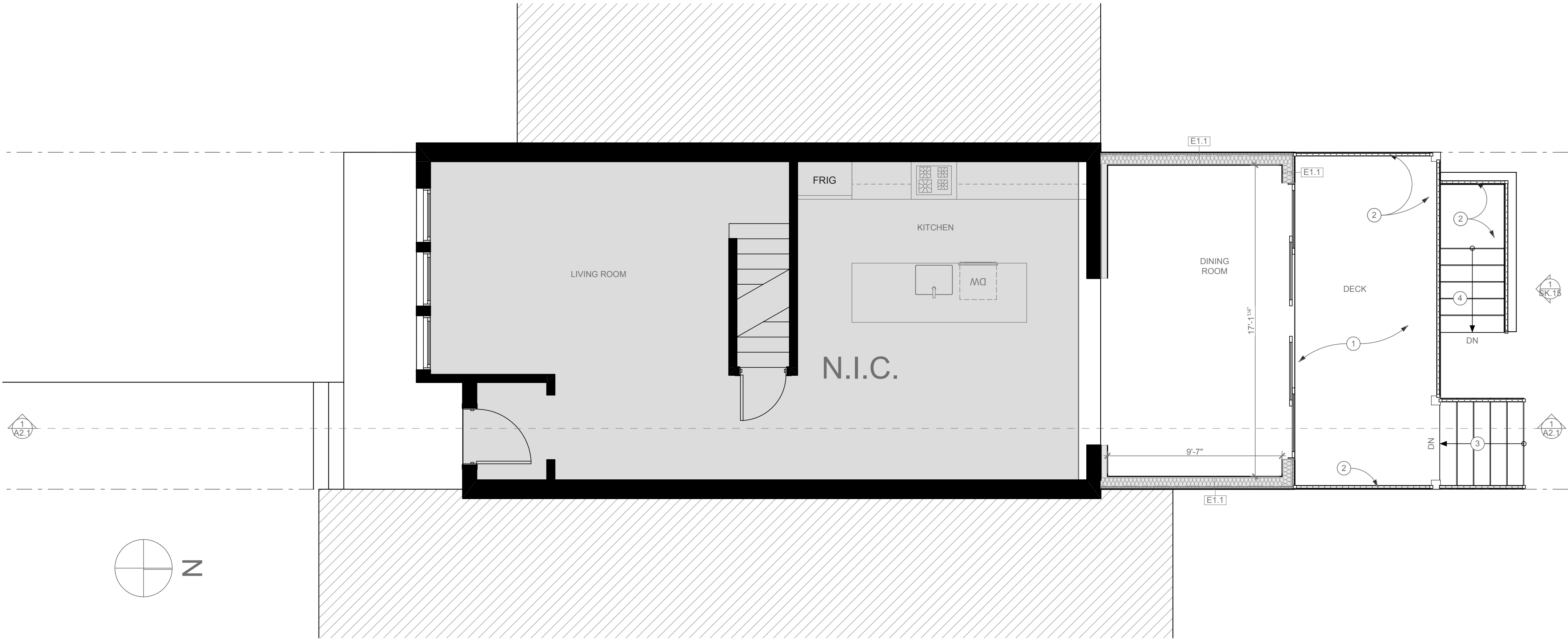
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C1.1

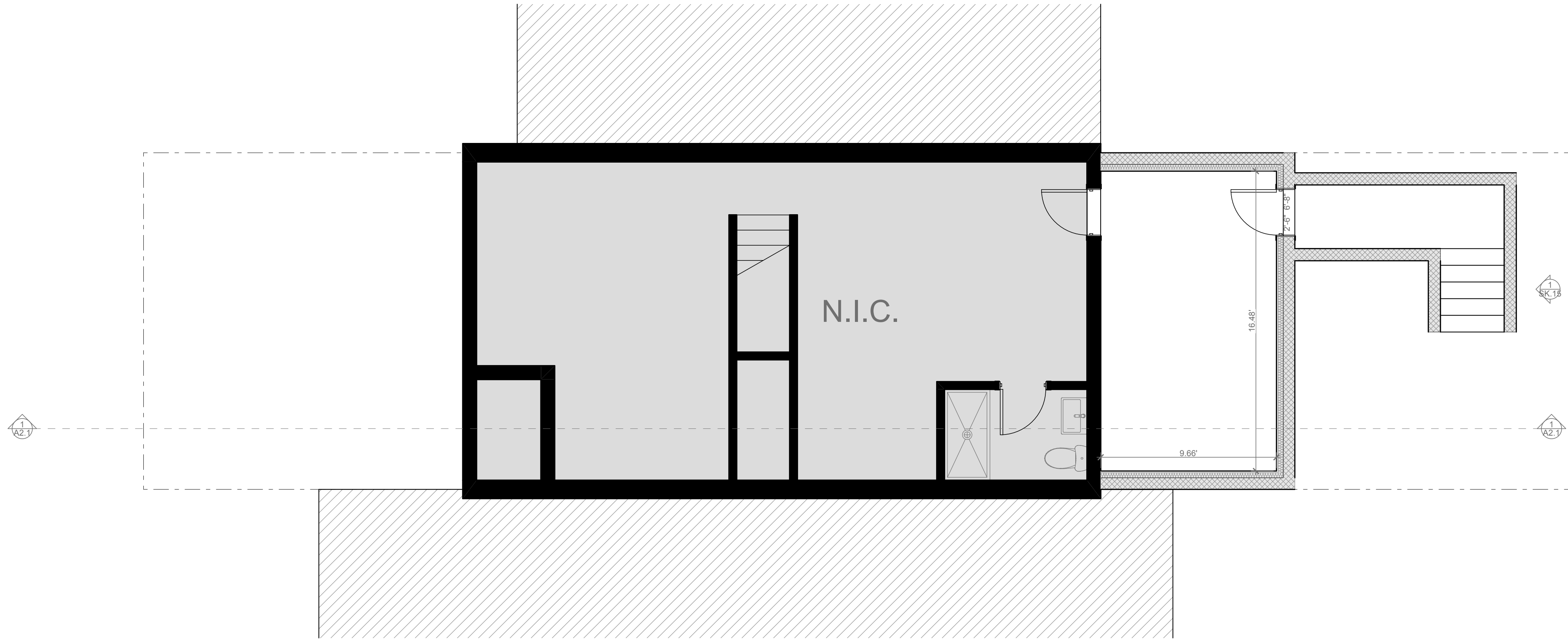
REVISION

DATE

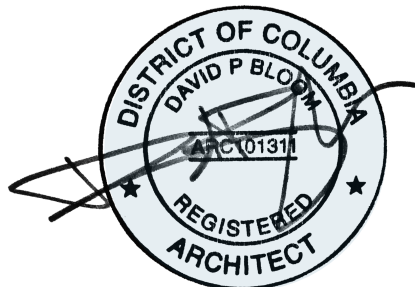
2/10/25



1ST FLOOR
SCALE: 1/4" = 1'-0" **2**



CELLAR
SCALE: 1/4" = 1'-0" **1**



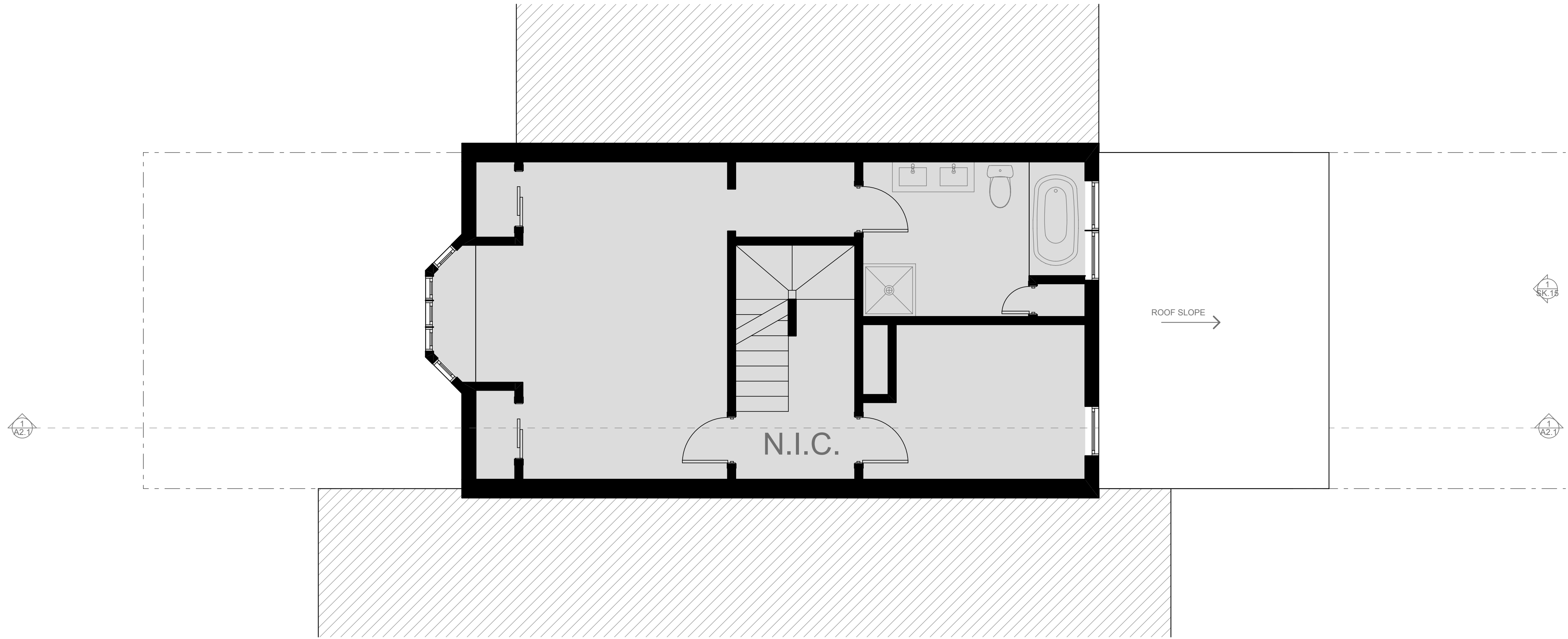
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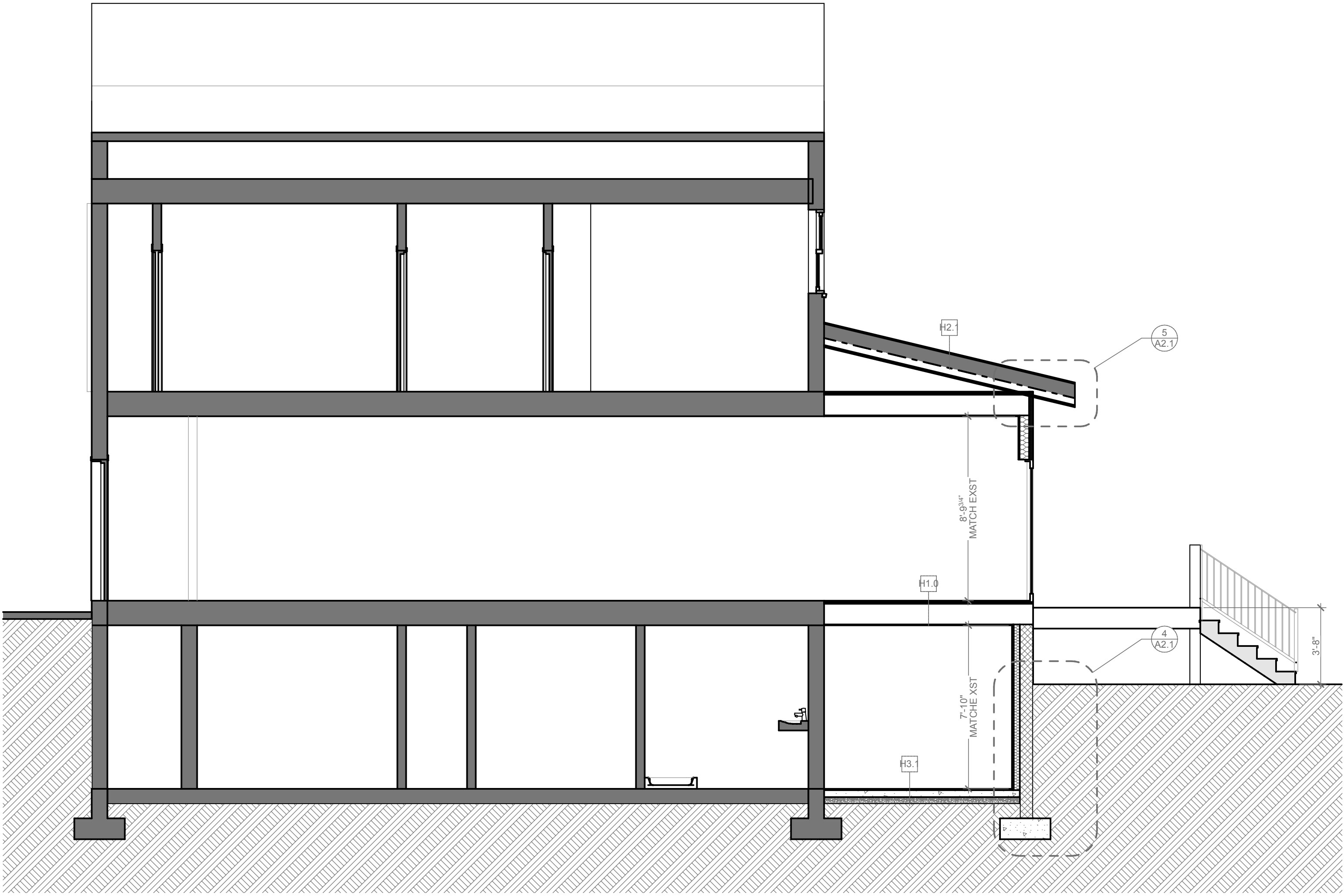
CONSTRUCTION PLANS

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REVISION
DATE
2/10/25





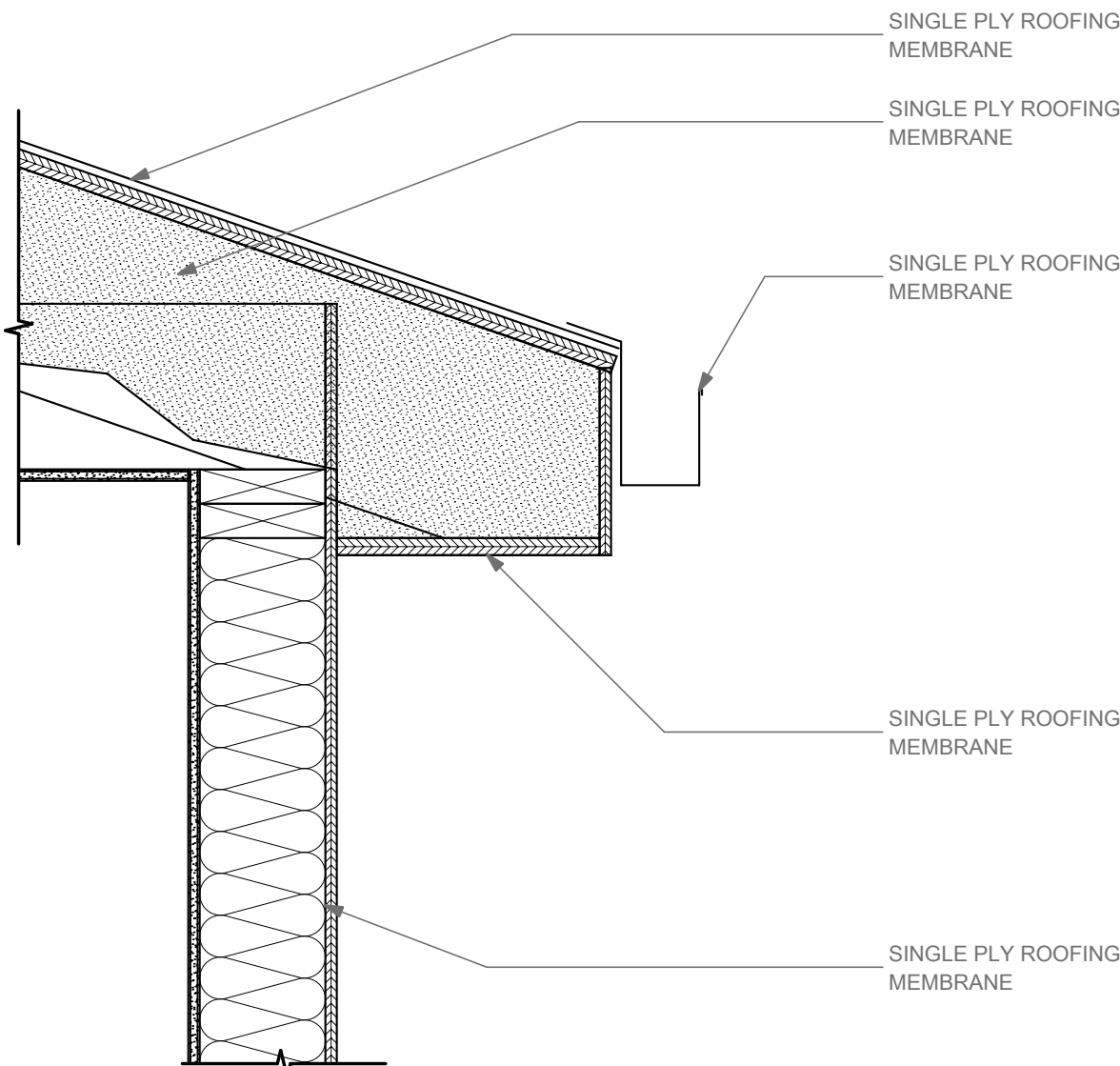
LONG SECTION
SCALE: 1/4" = 1'-0"
1



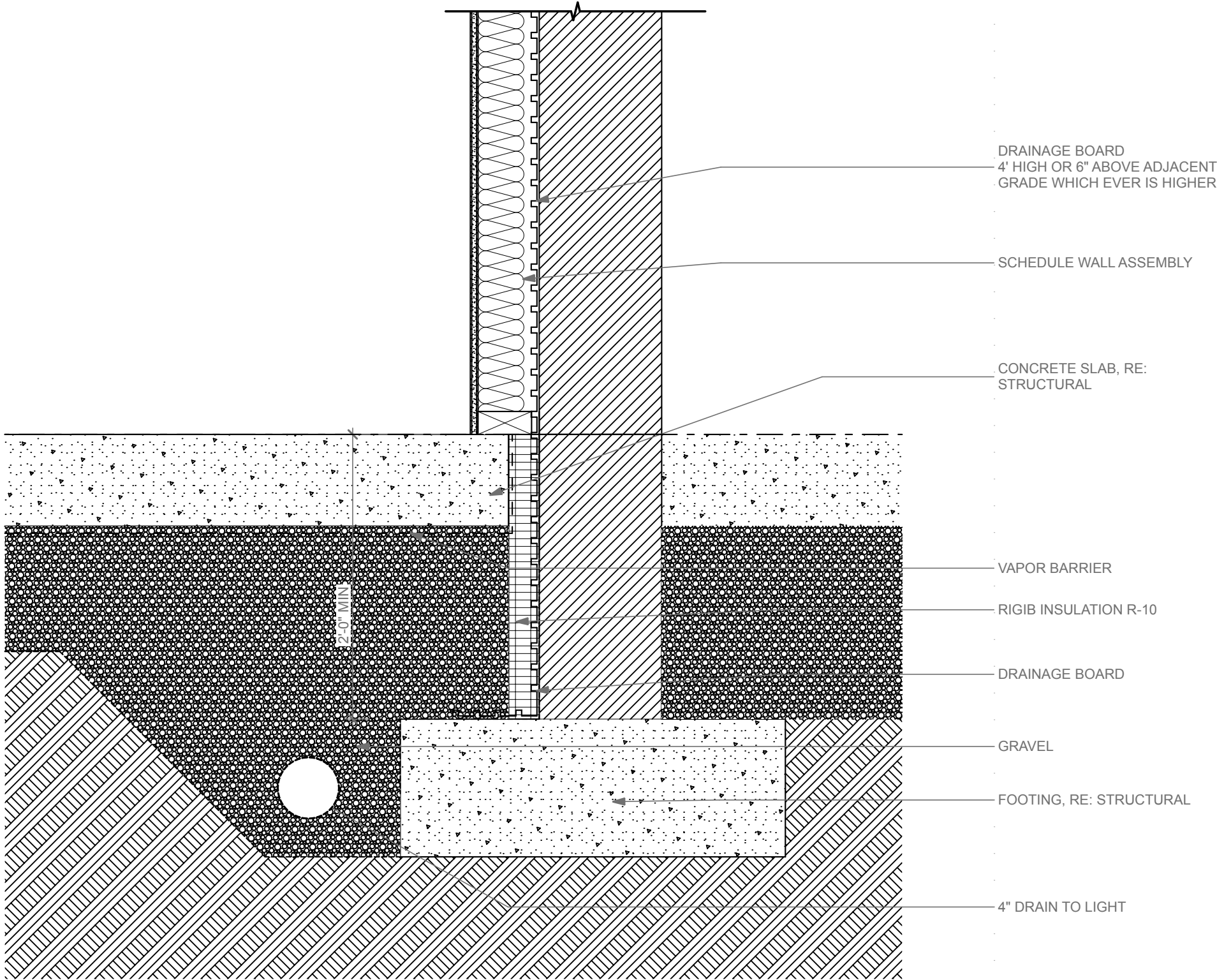
REAR ELEVATION
SCALE: 1/4" = 1'-0"
3

BUILDING SECTION GENERAL NOTES

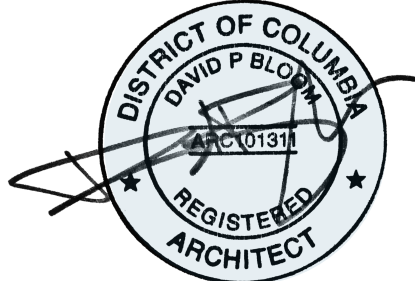
1. REFER TO A0.1 FOR ABBREVIATIONS, PROJECT INFORMATION AND TYPICAL LEGEND. REFER TO SPECIFICATION NOTES FOR ADDITIONAL INFORMATION.
2. REFER TO A4.3 FOR TYPICAL STAIR, RAILING AND GUARD RAIL DETAILS
3. REFER TO A4.2 FOR HORIZONTAL ASSEMBLIES
3. REFER TO A4.1 FOR WALL ASSEMBLIES



SOFFIT DETAIL
SCALE: 1 1/2"= 1'-0"
5



SLAB ON GRADE DETAIL
SCALE: 1 1/2"= 1'-0"
4



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