

EXISTING SINGLE FAMILY ROW HOUSE ADDITION
AND INTERIOR ALTERATIONS
28 46TH PLACE, N.E, WASHINGTON, DC. 20019

PERMIT SET - MARCH 10, 2022
REVISED PERMIT SET - FEBRUARY 03, 2023
REVISED PERMIT SET - AUGUST 02, 2023

NEW WALL

EXISTING WALL

170

ROOM NUMBER

1670

DOOR NUMBER

W4

WINDOW TYPE

3

WALL TYPE

ELEVATION FLOOR

ELEVATION BLDG.

BLDG. KEY SECTION

DETAIL

2/A7.3

DETAIL TARGET LARGE AREA

3/A4.2

DETAIL TARGET SMALL AREA

INT. ELEVATIONS

COL. GRID NEW

EQUIPMENT

ACDUSTICAL TILE

MARBLE

BRICK

PLASTER

CONCRETE

PLYWOOD

CONC. MAS. UNIT

SLATE

EARTH

STEEL

FINISH WOOD

STONE

GRANULAR FILL

TERRAZZO

INSULATION

WOOD

SCOPE OF WORK: EXISTING SINGLE FAMILY REAR 2 STORY WITH BASEMENT ADDITION & INTERIOR RENOVATION INCLUDING MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEM.

BUILDING LOCATION

LOT - 77
SQUARE: 5138

BUILDING CODE ANALYSIS

APPLICABLE CODES:

ALL DCMR TITLE 12 AMENDMENTS
2017 DC CONSTRUCTION CODES
2017 DCMR 12A, DC BUILDING CODE AMENDMENTS
2017 DCMR 12B, DC RESIDENTIAL CODE AMENDMENTS
2017 DCMR 12C, DC ELECTRIC CODE
2017 DCMR 12D, DC FUEL GAS CODE
2017 DCMR 12E, DC MECHANICAL CODE
2017 DCMR 12F, DC PLUMBING CODE
2017 DCMR 12G, DC PROPERTY MAINTENANCE CODE
2017 DCMR 12H, DC FIRE CODE
2017 DCMR 12I, DC ENERGY CONSERVATION CODE
2017 DCMR 12J, DC EXISTING BUILDING CODE
2017 DCMR 12K, DC GREEN CONSTRUCTION CODE
2017 DCMR 12L, DC SWIMMING POOL AND SPA CODE
2017 DCMR 12I, ENERGY CONSERVATION CODE
SUPPLEMENT OF 2017 RESIDENTIAL PROVISIONS

EXISTING BUILDING

PROPOSED BUILDING ADDITION

LAND USE CODE:

013-RESIDENTIAL-SEMI-DETACHED-SINGLE-FAMILY

CONSTRUCTION TYPE:

V-B (2 STORY, FRAMED) V-B (2 STORY, FRAMED)

ZONING DISTRICT:

R-2 R-2

PROPERTY LAND AREA:

2563 S.F. 2563 S.F.

ALLOWABLE BLDG. HEIGHT:

40 FT 40 FT

FRONT YARD:

NO LESSER OR GREATER THAN EXIST. SETBACKS ON THE SAME BLOCK

SIDE YARD:

8 FT 8 FT

REAR YARD:

20 FT 20 FT

MAXIMUM STORIES:

3 3

PERVIOUS SURFACE 30% (768.9 S.F.): (1,794.2 S.F.) 70%

(1,554.29 S.F.) 39.36%

ABOVE GRADE LIVING AREA: 723.71 S.F.

(285.00 S.F. ADD.) 1,008.71 S.F.

40% OF LOT COVERAGE: (1,025.2 S.F. MAX.) EX. 28.24%

NEW 39.36%

SQUARE FOOTAGES

FLOORS

NO. OF BEDROOMS

AREA (S.F.)

BASEMENT

0

902.71 S.F.

FIRST FLOOR

0

855.50 S.F.

SECOND FLOOR+STAIRS

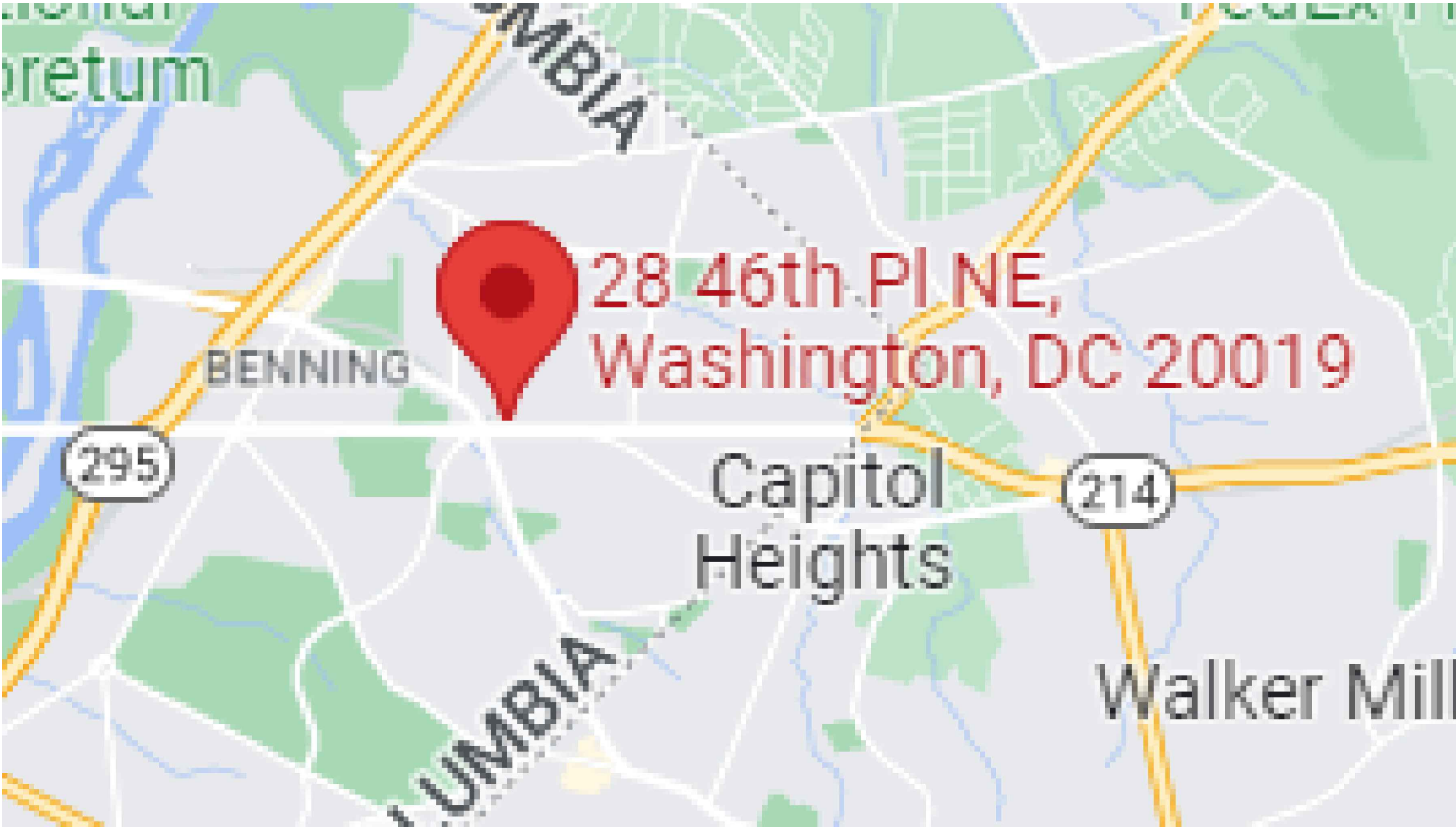
3

855.50 S.F.

TOTAL

2,613.71 S.F.

NORTH



28 46th Pl NE,
Washington, DC 20019

Capitol Heights

Walker Mill

PROFESSIONAL CERTIFICATION

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE DISTRICT OF COLUMBIA

ARCHITECT: PATRICK C. OSI
LICENSE NUMBER: ARC 10627
EXPIRATION DATE: 4/30/2024

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CIVIL

SP SITE PLAN

ESC EROSION AND SEDIMENT CONTROL

ARCHITECTURAL

A001

EXISTING/DEMOLITION FLOOR PLANS

A002

PROPOSED FLOOR PLANS

A003

PROPOSED ELEVATIONS AND SCHEDULES

A004

BUILDING SECTION & MISCELLANEOUS DETAILS

A005

FIREPLACE SPECS & TYP. PARTY WALL SECTION

A006

MISCELLANEOUS DETAILS

STRUCTURAL

S001

PROPOSED FOUNDATION & FLOOR FRAMING PLANS

S002

PROPOSED ROOF AND FRAMING PLANS

S003

GENERAL SPECIFICATIONS

S004

PROPOSED STRUCTURAL WALL BRACING DETAILS

S005

MISCELLANEOUS DETAILS

MECHANICAL

M100

MECHANICAL COVER SHEET AND SCHEDULES

M200

MECHANICAL DEMOLITION PLANS

M300

MECHANICAL NEW WORK PLANS

M400

MECHANICAL DETAILS

ELECTRICAL

E100

ELECTRICAL COVER SHEET

E200

ELECTRICAL LIGHTING FLOOR PLANS

E300

ELECTRICAL POWER FLOOR PLANS

E400

ELECTRICAL PANEL SCHEDULES & RISER DIAGRAM

E500

ELECTRICAL MISCELLANEOUS DETAILS

PLUMBING

P100

PLUMBING COVER SHEET

P200

PLUMBING DEMOLITION FLOOR PLANS

P300

PLUMBING SANITARY AND GAS FLOOR PLANS

P400

PLUMBING DOMESTIC WATER FLOOR PLANS

P500

PLUMBING SANITARY AND GAS RISER DIAGRAMS

P600

PLUMBING DOMESTIC WATER RISER DIAGRAM

DCRA STAMP

OWNER NAME

MILBOURNE, CAROLYN R

28 46TH PLACE, NE

WASHINGTON, DC. 20019

PHONE: (202) 396-3318

EMAIL: RONHANTZ@NDCCNETWORK.ORG

ARCHITECTS

SOI TECHNOLOGICAL SERVICES

6225 DEEP EARTH LANE

COLUMBIA, MARYLAND 20145

PHONE: 443-864-2477

EMAIL: OSOKOYA1027@GMAIL.COM

STRUCTURAL ENGINEERS

MARCO GIURIOLA, P.E.

8496 IMPERIAL DRIVE

LAUREL, MD. 20708

PHONE: 240-583-9589

EMAIL: ORIANAG@AOL.COM

MEP

DESIGN AMERICA ENGINEERING, INC.

14080 RED RIVER DRIVE

CENTERVILLE, VA. 20121

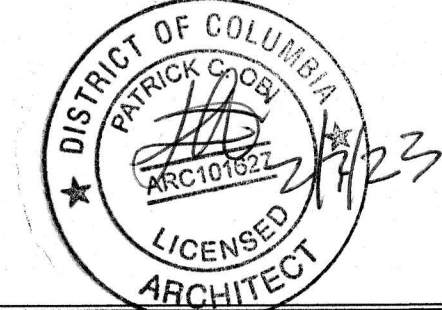
PHONE: 571-220-3239

EMAIL: DAENG2000@GMAIL.COM

These plans are conditionally approved as submitted and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

Energy Review - Ashley Delgado - 01-29-2024
DOEE SE-SW Review - Saba Gharavi - 01-29-2024

PROFESSIONAL CERTIFICATION



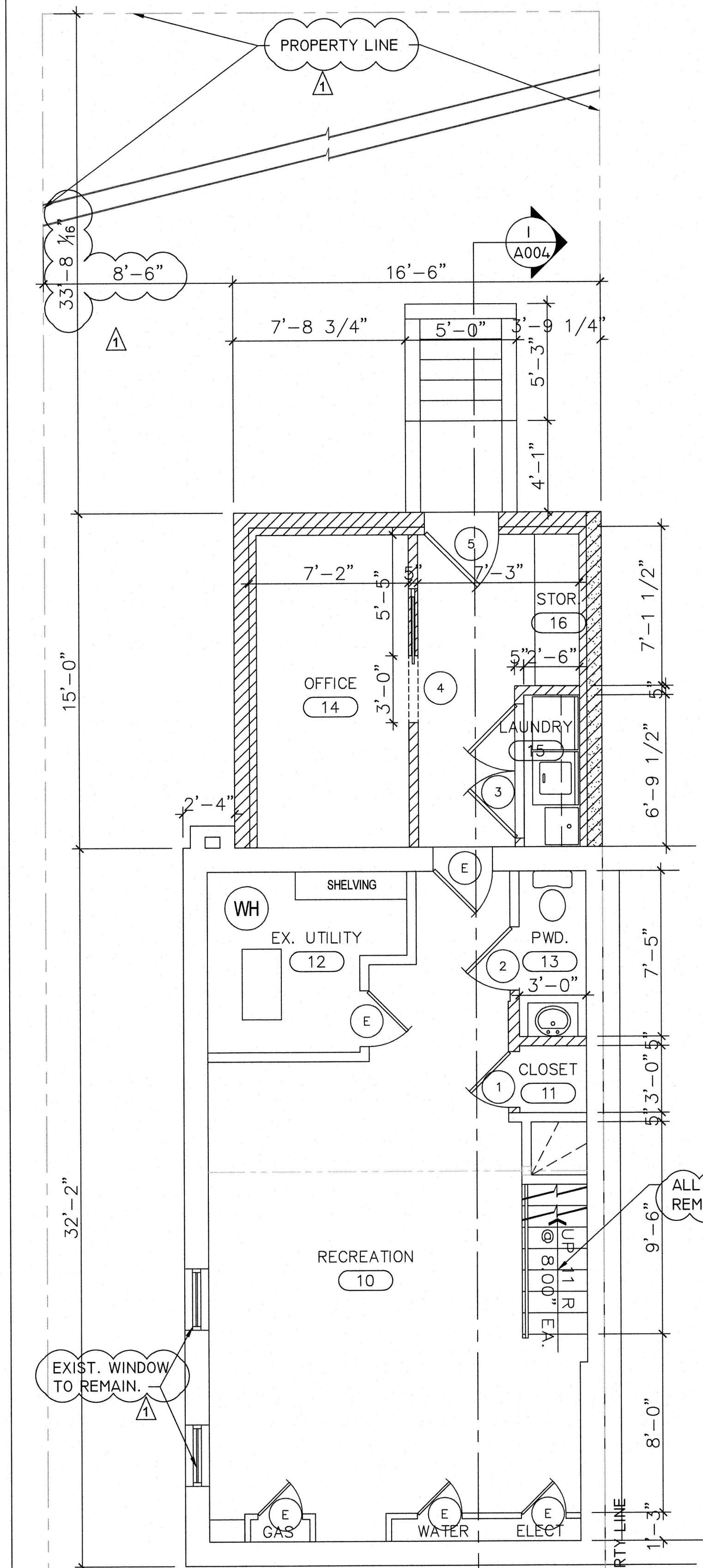
PROFESSIONAL CERTIFICATION
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ARCHITECT: PATRICK C. OBI
LICENSE NUMBER: ARC 101627
EXPIRATION DATE:

No.	Revision/Issue	Date
1	Window dimensions, Property line indication. Egress Windows. Min. side yard corrected.	1/24/23

Firm Name and Address
SOI TECHNOLOGICAL SERVICES INC.
6225 DEEP EARTH LANE
COLUMBIA, MARYLAND 21045

Project Name and Address
SINGLE FAMILY RESIDENTIAL ROW
HOUSE RENOVATION AT
28 46TH PLACE, N.E.
WASHINGTON, D.C. 20019

Project PROPOSED FLOOR PLANS	Sheet
Date MARCH 10, 2022	A002
Scale AS NOTED	

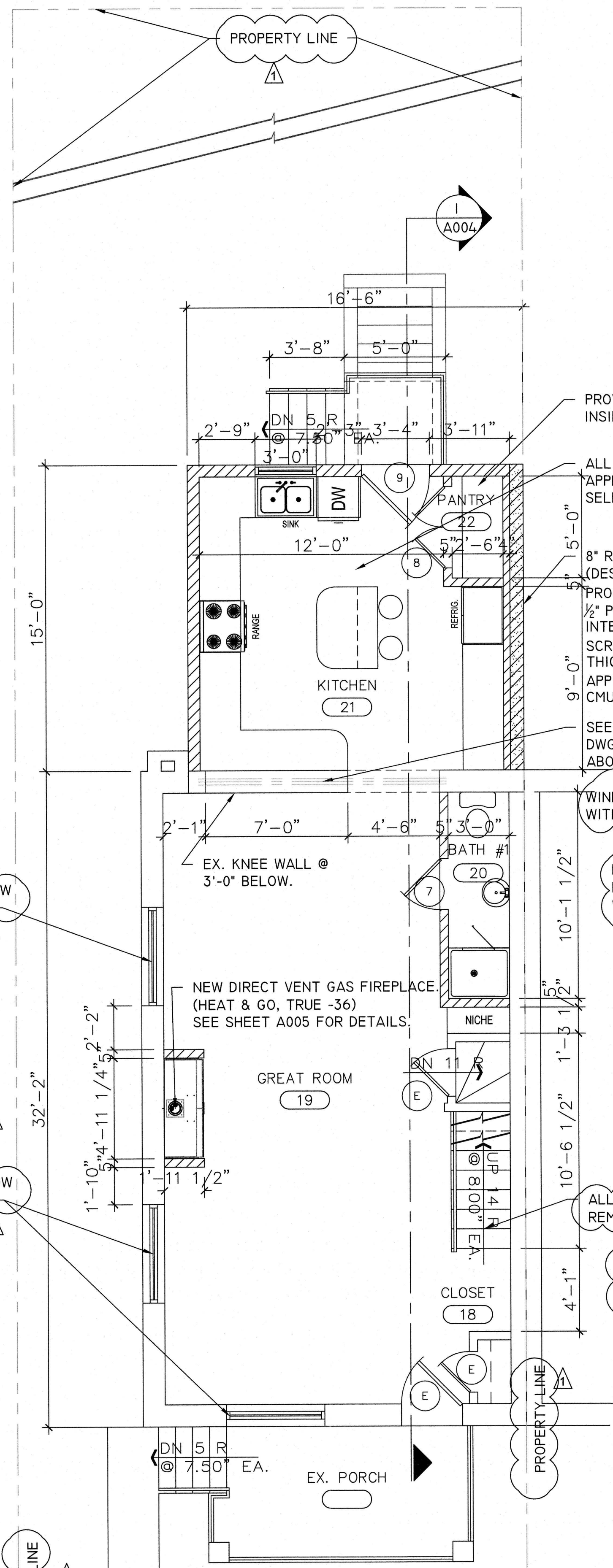


NOTES:

- ALL NEW INTERIOR PARTITIONS TO BE 3 1/2" WOOD STUDS @ 16" O.C. WITH ONE LAYER OF 1/2" GYPSUM BOARD ON BOTH SIDES. PROVIDE WATER RESISTANCE 1/2" GYPSUM BOARD ON ALL WET WALLS SIDE ONLY.
- ALL EXTERIOR WALL ABOVE GRADE EXCEPT PARTY WALL TO BE 5 1/2" WOOD STUDS @ 16" O.C. WITH ONE LAYER OF 1/2" GYPSUM BOARD ON INTERIOR SIDE AND SIDING ON THE EXTERIOR EXCEPT THE PARTY WALL. PARTY WALL IS UL DESIGN NO. 905
- ALL NEW WINDOWS TO BE DOUBLE HUNG INSULATED WINDOWS TO MATCH EXISTING.

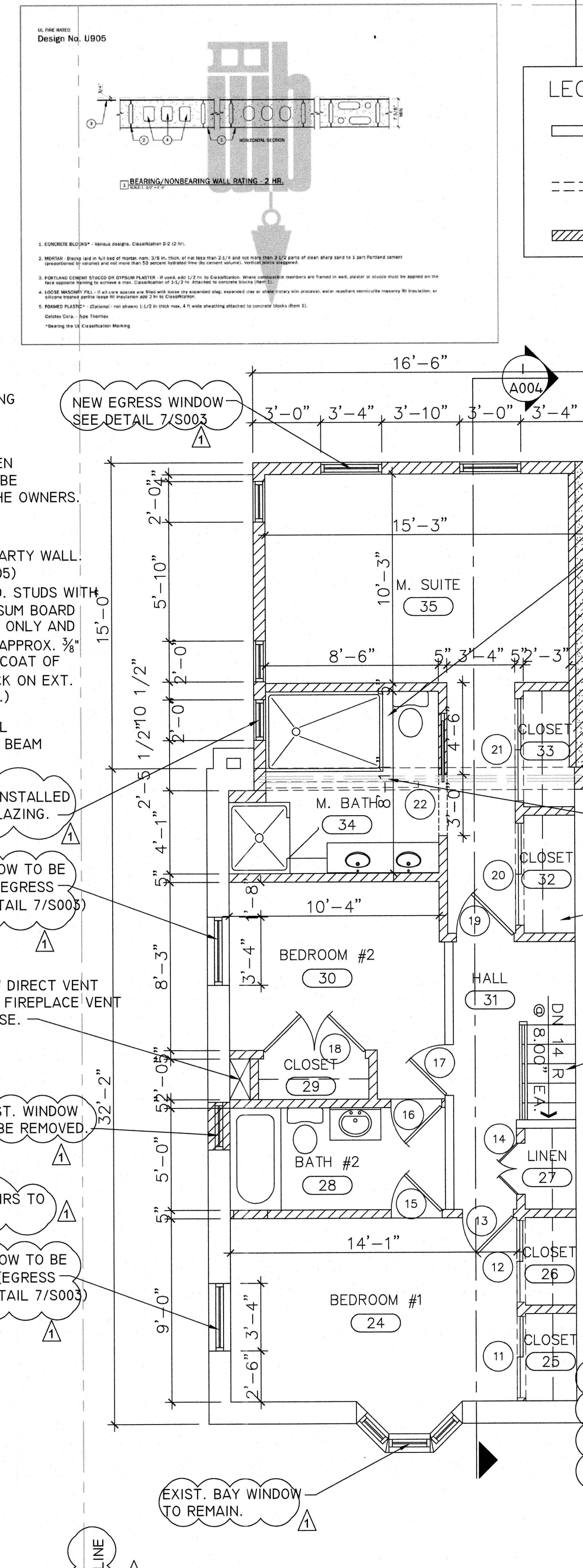
PROPOSED BASEMENT FLOOR PLAN

A002 SCALE: 1/4" = 1'-0"



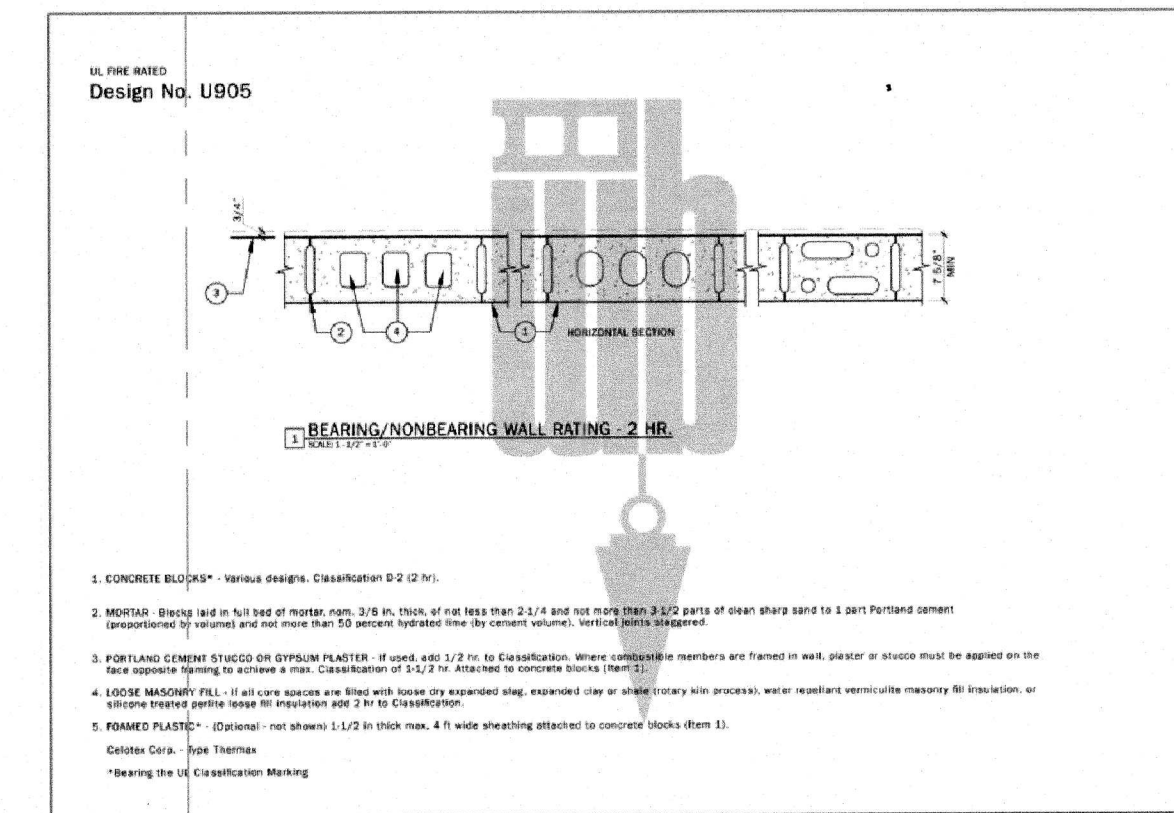
PROPOSED FIRST FLOOR PLAN

A002 SCALE: 1/4" = 1'-0"



PROPOSED SECOND FLOOR PLAN

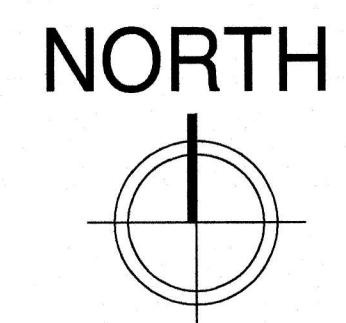
A002 SCALE: 1/4" = 1'-0"



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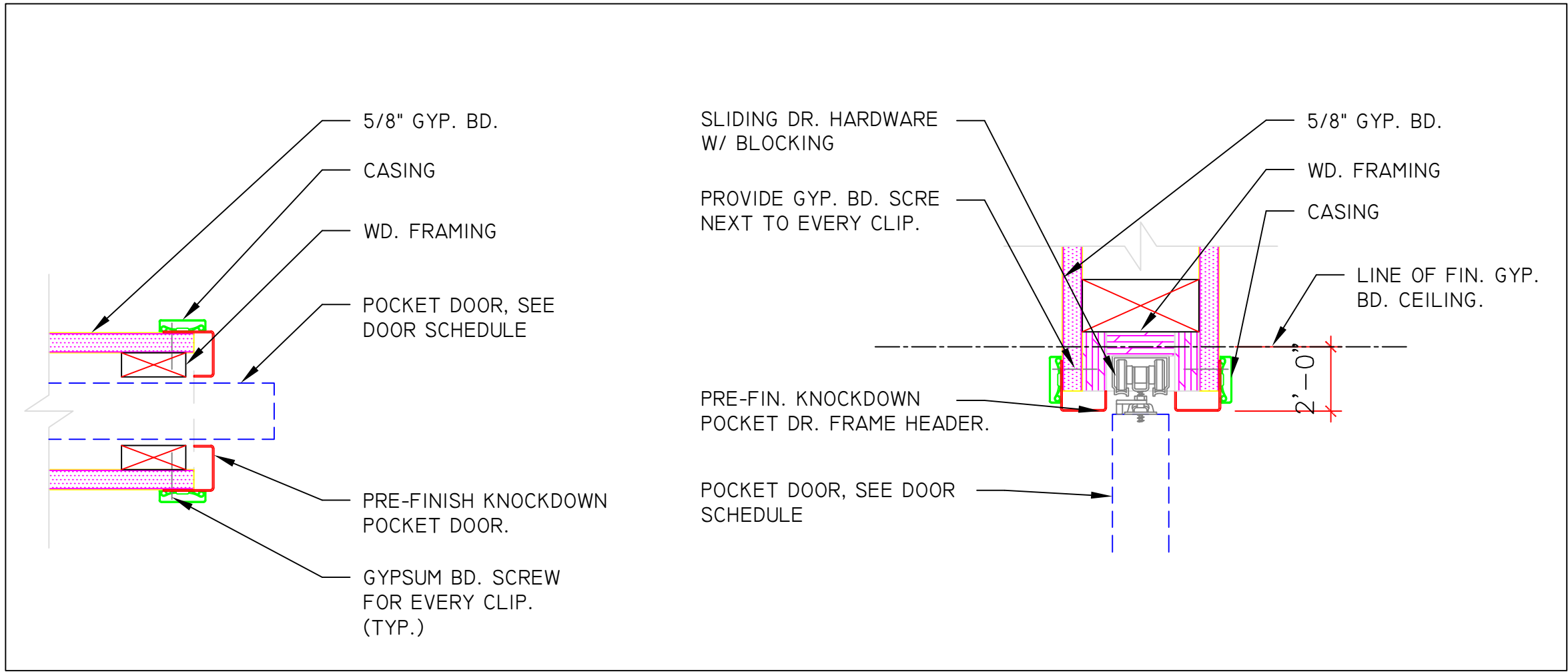
LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- NEW WALL



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3 POCKET DOOR JAMB & HEAD DETAILS
A003 SCALE: N.T.S.

THERMOPLASTIC SINGLE-PLY SHALL BE DESIGN WITH A MINIMUM SLOPE OF 2% SLOPE. IT SHALL COMPLY WITH ASTM D4434, ASTM D6754 OR ASTM D6878 STANDARD TABLE 905.13
THERMOPLASTIC SINGLE-PLY SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.

NEW SINGLE-PLY, FULLY ADHERED THERMOPLASTIC POLYOLEFIN ROOF FINISH @ 3/4" PER FOOT SLOPE OVER 3/4" PLYWD. SHEATHING ON 4" RIGID INSULATION ON 3/4" PLYWD. SHEATHING OVER 8" MIN. FIBERGLASS INSULATION
CEILING SYSTEM WITH IHR FIRE RATING (UL R4024) UL DESIGN L556. SEE DETAIL #2-A005

NEW PRE-FINISHED METAL COPING W/ WATERTIGHT JOINTS OVER FLASHING & COUNTERFLASHING OVER PRESSURE TREATED 2 X 8 WD. PLATE BOLTED TO 2 X 6 STUDS BELOW.

NEW METAL COPING HT. TO MATCH EX. @ FRONT ELEVATION
ELEVATION @ 20.66'
NEW METAL COPING HT @ ADDITION
ELEVATION @ 19.33'

NEW MIN. 4" PRE-FINISHED METAL GUTTER W/ 3" DIA. MIN. DOWNSPOUT.
NEW 2'-0" X 4'-0" INSULATED DOUBLE HUNG WINDOW (TYP.)

FIN. FL. @ ADDITION TO MATCH EX. 2ND FLOOR.
ELEVATION @ 9.33'

NEW VINYL SIDING WITH TRIM CORNER (TYP.) OR OWNER'S CHOICE
32" HIGH PAINTED GUARDRAIL.

FIN. FL. @ ADDITION TO MATCH EX. 1ST FLOOR.
ELEVATION @ 0.00'

NEW REINF. POURED CONC. STAIRS WITH 8 RISERS @ 7" EACH & 7 TREADS @ 11 1/2" EACH INCLUDING NOSING.
SEE STRUCT. DWGS. FOR DETAILS.

FIN. CONC. SLAB @ ADDITION TO MATCH EX. BASEMENT
ELEVATION @ 0.00'

1 PROPOSED LEFT SIDE ELEVATION
A003 SCALE: 1/4" = 1'-0"

ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALLS	CEILING		COMMENTS
					TYPE	HEIGHT	
10	RECREATION	F3	B4	W1, W2	C3	7'-6"	
11	CLOSET	F3	B3	W1, W2	C3	7'-6"	
12	EX. UTILITY	F3	B3	W1, W2	C3	7'-6"	
13	POWDER ROOM	F3	B4	W1, W2	C3	7'-6"	INSTALL MOISTURE RESISTANCE DRYWALL
14	OFFICE	F3	B4	W1, W2	C3	7'-6"	
15	LAUNDRY	F3	B4	W1, W2	C3	7'-6"	INSTALL MOISTURE RESISTANCE DRYWALL
16	STORAGE	F3	B4	W1, W2	C3	7'-6"	
17	NOT USED						
18	EX. CLOSET	F4	B4	W1, W2	C3	8'-0"	
19	GREAT ROOM	F4	B4	W2	C3	8'-0"	
20	BATH #1	F3	B4	W2	C3	8'-0"	INSTALL MOISTURE RESISTANCE DRYWALL
21	KITCHEN	F3	B4	W2	C3	8'-0"	
22	PANTRY	F3	B4	W2	C3	8'-0"	
23	NOT USED						
24	BEDROOM #1	F4	B4	W2	C3	8'-0"	
25	CLOSET	F4	B4	W2	C3	8'-0"	
26	CLOSET	F4	B4	W2	C3	8'-0"	
27	LINEN	F4	B4	W2	C3	8'-0"	
28	BATH #2	F3	B4	W2	C3	8'-0"	INSTALL MOISTURE RESISTANCE DRYWALL
29	CLOSET	F4	B4	W2	C3	8'-0"	
30	BEDROOM #2	F4	B4	W2	C3	8'-0"	
31	HALL	F4	B4	W2	C3	8'-0"	
32	CLOSET	F4	B4	W2	C3	8'-0"	
33	CLOSET	F4	B4	W2	C3	8'-0"	
34	MASTER BATH	F3	B4	W2	C3	8'-0"	INSTALL MOISTURE RESISTANCE DRYWALL
35	MASTER SUITE	F4	B4	W2	C3	8'-0"	

WINDOWS AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.3 CFM PER SQUARE FOOT (1.5L/s/m2), AND SWINGING DOORS NO MORE THAN 0.5 CFM PER SQUARE FOOT (2.6L/s/m2), WHEN TESTED ACCORDING TO NFRC 400 OR AAMA/WDMA/CSA1011.5.2/A440 BY AN ACCREDITED, INDEPENDENT LABORATORY AND LISTED AND LABELED BY THE MANUFACTURER.

NEW SINGLE-PLY, FULLY ADHERED THERMOPLASTIC POLYOLEFIN ROOF FINISH @ 3/4" PER FOOT SLOPE OVER 3/4" PLYWD. SHEATHING ON 4" RIGID INSULATION ON 3/4" PLYWD. SHEATHING OVER 8" MIN. FIBERGLASS INSULATION
CEILING SYSTEM WITH IHR FIRE RATING (UL R4024) UL DESIGN L556. SEE DETAIL #2-A005

NEW PRE-FINISHED METAL COPING W/ WATERTIGHT JOINTS OVER FLASHING & COUNTERFLASHING OVER PRESSURE TREATED 2 X 8 WD. PLATE BOLTED TO 2 X 6 STUDS BELOW.

NEW EGRESS WINDOW
SEE DETAIL 7/S003.

NEW METAL COPING HT. TO MATCH EX. @ FRONT ELEVATION
ELEVATION @ 20.66'
NEW METAL COPING HT @ ADDITION
ELEVATION @ 19.33'

NEW MIN. 4" PRE-FINISHED METAL GUTTER W/ 3" DIA. MIN. DOWNSPOUT.

NEW 3'-0" X 4'-0" INSULATED DOUBLE HUNG WINDOW (TYP.)

FIN. FL. @ ADDITION TO MATCH EX. 2ND FLOOR.
ELEVATION @ 9.33'

NEW VINYL SIDING WITH TRIM CORNER (TYP.) OR OWNER'S CHOICE

NEW PAINTED METAL GUARD RAILING WITH PICKETS @ 4" MAC O.C. ON CONC. SLAB OVER BASEMENT AREAWELL.

FIN. FL. @ ADDITION TO MATCH EX. 1ST FLOOR.
ELEVATION @ 0.00'

NEW CONC. BASEMENT RETAINING WALL. SEE STRUCT. DWGS. FOR DETAILS.

FIN. CONC. SLAB @ ADDITION TO MATCH EX. BASEMENT
ELEVATION @ 0.00'

2 PROPOSED REAR ELEVATION
A003 SCALE: 1/4" = 1'-0"

NOTE: ALL DIMENSIONS TO BE VERIFY IN FIELD AND CONFIRMED WITH THE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION.

LEGEND

EXISTING WALL TO REMAIN
EXISTING WALL TO BE DEMOLISHED
NEW WALL

FINISH SCHEDULE LEGEND:

FLOOR FINISH:

F1 - SEALED CONCRETE
F2 - CARPET
F3 - CERAMIC TILE
F4 - STAINED HARD WOOD

BASE FINISH -

B1 - CARPET
B2 - CERAMIC
B3 - NONE
B4 - STAINED HARD WOOD

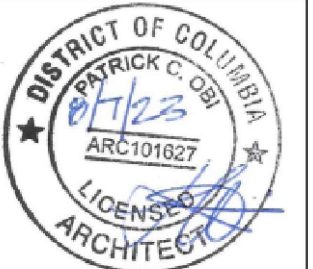
WALL FINISH -

W1 - PAINTED CMU
W2 - PAINTED GYPSUM BOARD

CEILING FINISH -

C1 - EXPOSED STRUCTURE, PAINTED
C2 - ACOUSTICAL CEILING TILES
C3 - DRYWALL, PAINTED

PROFESSIONAL CERTIFICATION



PROFESSIONAL CERTIFICATION

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE DISTRICT OF COLUMBIA
ARCHITECT: PATRICK C. OBI
LICENSE NUMBER: ARC 101827
EXPIRATION DATE: 4/30/25

2	Fenestration Air Leakage Rate Per Sec. R402.4.3 & Unvented Roof Detail Per R806.5	8/2/23
1	Egress Window dimensions, Safety Glazing in M. Bathroom Window	1/24/23
No.	Revision/Issue	Date

Firm Name and Address
SOI TECHNOLOGICAL SERVICES INC.
6225 DEEP EARTH LANE
COLUMBIA, MARYLAND 21045

Project Name and Address
SINGLE FAMILY RESIDENTIAL ROW HOUSE RENOVATION AT 28 46TH PLACE, N.E. WASHINGTON, D.C. 20019

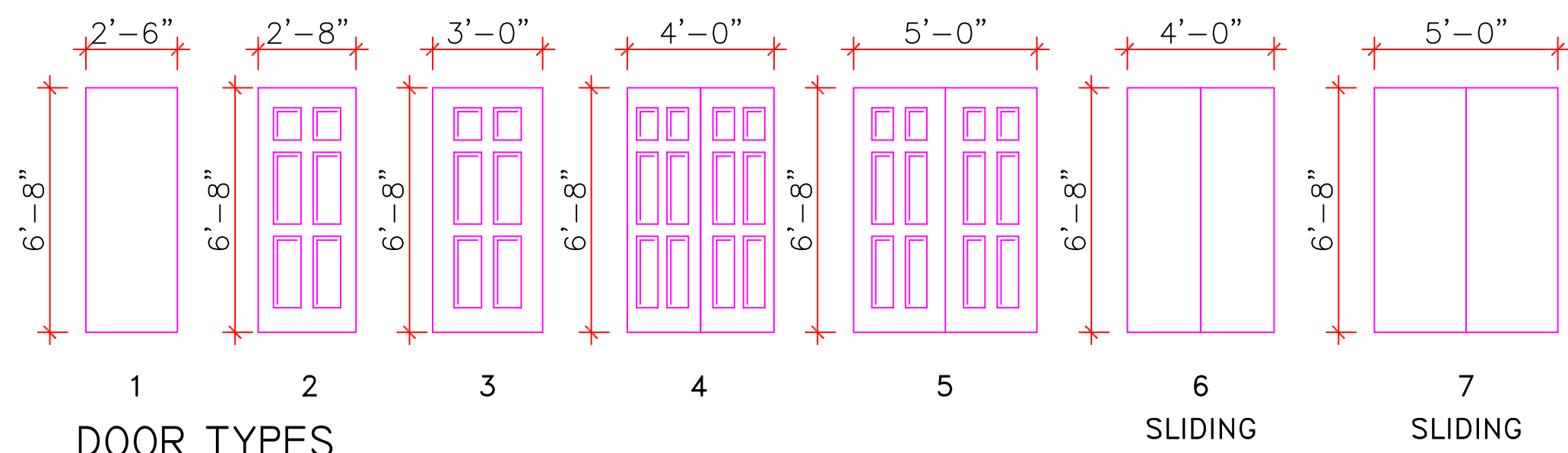
Project PROPOSED ELEVATIONS & SCHEDS.
Date MARCH 10, 2022
Scale AS NOTED

Sheet

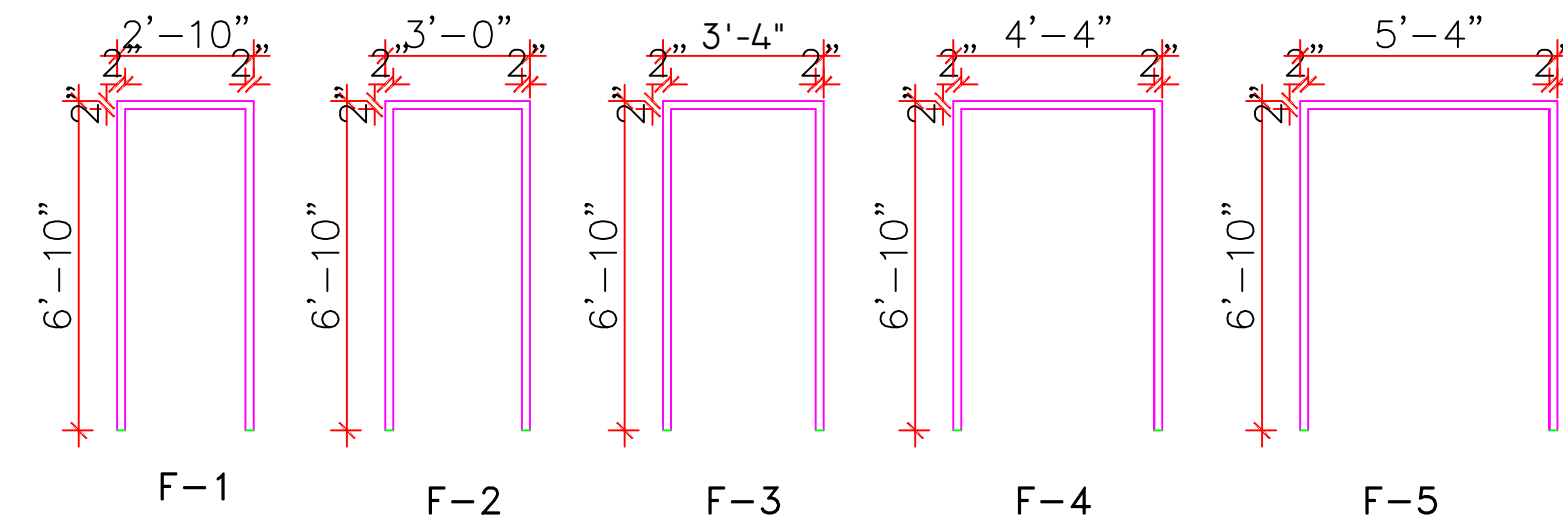
A003

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DOEE SE-SW Review - Saba Gharavi - 01-29-2024



DOOR TYPES



DOOR FRAMES

3 DOOR TYPES & FRAMES

A004 SCALE: 1/4" = 1'-0"

NEW SINGLE-PLY, FULLY ADHERED THERMOPLASTIC POLYOLEFIN ROOF FINISH @ 3/4" PER FOOT SLOPE OVER 3/4" PLYWD. SHEATHING ON 4" RIGID INSULATION ON 3/4" PLYWD. SHEATHING OVER 8" MIN. FIBERGLASS INSULATION CEILING SYSTEM WITH IHR FIRE RATING (UL R4024) UL DESIGN L556. SEE DETAIL #2-A005

NEW PRE-FINISHED METAL COPING W/ WATER-TIGHT JOINTS OVER FLASHING & COUNTERFLASHING OVER PRESSURE TREATED 2 X 8 WD. PLATE BOLTED TO 2 X 6 STUDS BELOW.

NEW METAL COPING HT. TO MATCH EX. @ FRONT ELEVATION
ELEVATION @ 20.66'
NEW METAL COPING HT. @ ADDITION
ELEVATION @ 19.35'

NEW MIN. 4" PRE-FINISHED METAL GUTTER W/ 3" DIA. MIN. DOWNSPOUT.
NEW EXT. WALL TO BE 2 X 6 WD. STUDS @ 16" O.C. W/ DOUBLE TOP PLATES, SINGLE BOTTOM PLATE, 1/2" EXT. GRADE SHEATHING W/ R-20 MIN. BATT INSULATION, VINYL SIDING ON EXT. SIDE & PAINTED 1/2" GYP. BOARD ON THE INT. SIDES (TYP.)

FIN. FL. @ ADDITION TO MATCH EX. 2ND FLOOR.
ELEVATION @ 9.33'

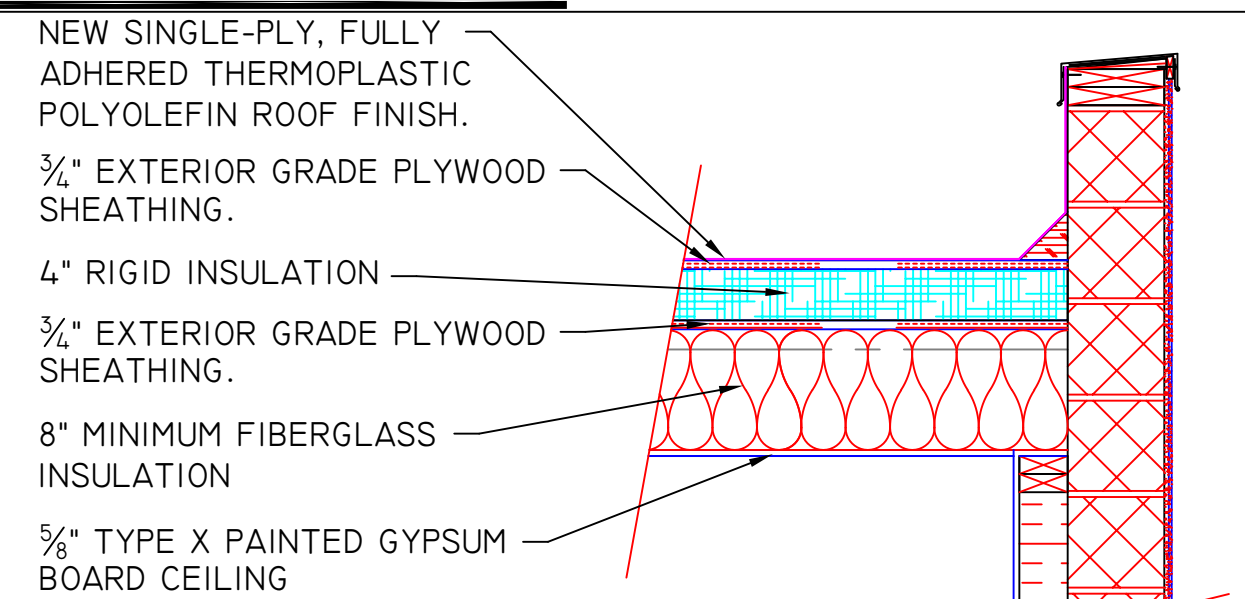
SEE STRUCT. DWGS. FOR FRAMING PLANS AND DETAILS.

3'-6" HIGH GUARDRAIL WITH 2 X 2 PICKETS @ 4" O.C. MAX. ABOVE CONC. LANDING.

FIN. FL. @ ADDITION TO MATCH EX. 1ST FLOOR.
ELEVATION @ 0.00'

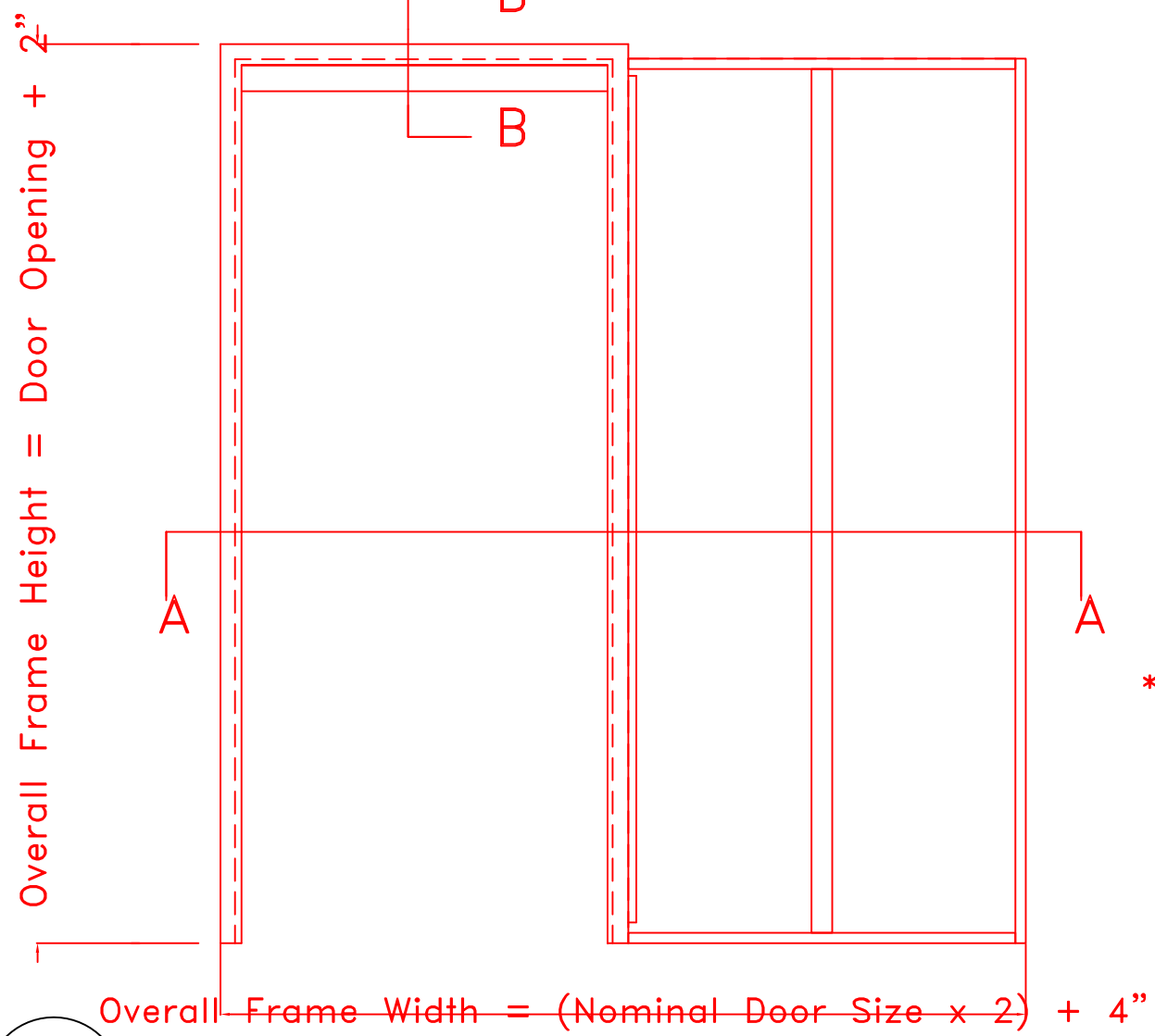
CONC. SLAB LANDING OVER BASEMENT AREAWALL.

FIN. CONC. SLAB @ ADDITION TO MATCH EX. BASEMENT
ELEVATION @ 0.00'



5 ROOF AIR IMPERMEABLE INSULATION DETAIL

A004 SCALE: N.T.S.

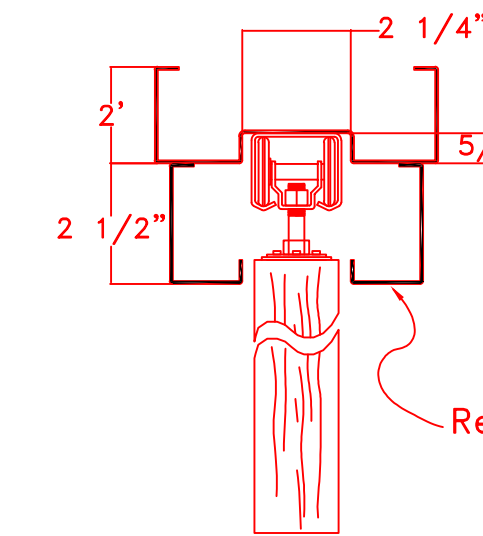


Elevation

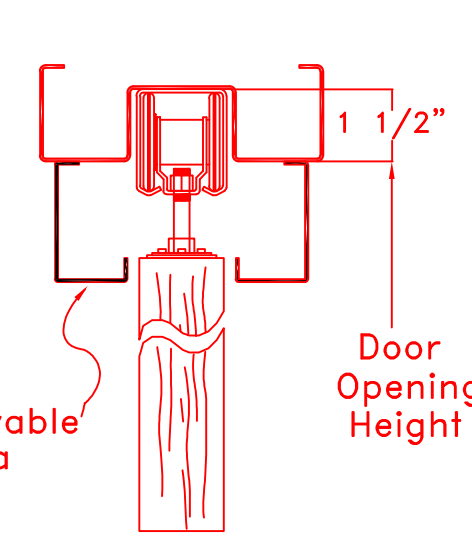
4 POCKET FRAME W/ ATTACHED POCKET

A004 SCALE: 1/4" = 1'-0"

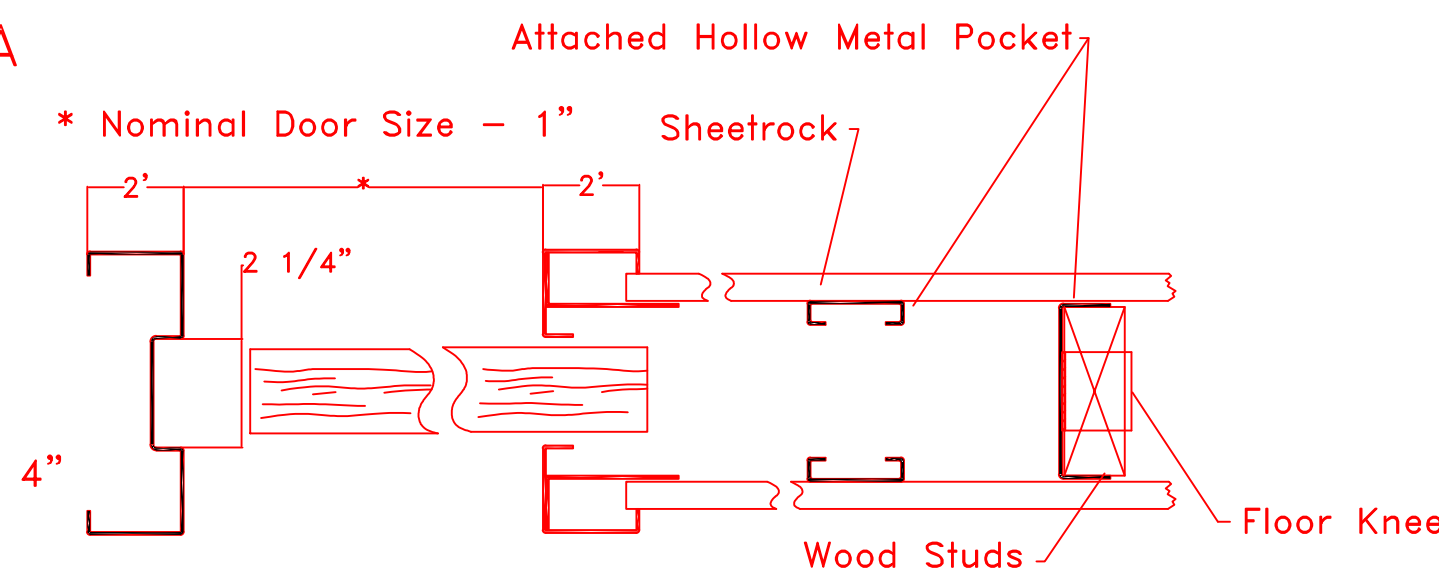
Light Duty Track



Heavy Duty Track



Header Section B B



Jambs Section A A

NUMBER	QTY.	TYPE	SIZE	DOOR TYPE	FRAME TYPE	FINISH	REMARKS
1	1	WOOD	2'-6" x 6'-8"	1	F-1	PAINTED	
2	1	WOOD	2'-6" x 6'-8"	1	F-1	PAINTED	
3	1	WOOD	(2) 2'-6" x 6'-8"	5	F-5	PAINTED	
4	1	POCKET DOOR				SEE DETAILS 3/A003 & 4/A004	
5	1	FIBERGLASS	3'-0" x 6'-8"	3	F-3	PAINTED	WEATHER STRIPPING SEE NOTES BELOW NOT USED
6							
7	1	WOOD	2'-6" x 6'-8"	1	F-1	PAINTED	
8	1	WOOD	(2) 2'-0" x 6'-8"	4	F-4	PAINTED	
9	1	FIBERGLASS	3'-0" x 6'-8"	3	F-3	PAINTED	WEATHER STRIPPING SEE NOTES BELOW NOT USED
10							
11	1	WOOD	(2) 2'-0" x 6'-8"	6	F-4	PAINTED	
12	1	WOOD	(2) 2'-0" x 6'-8"	6	F-4	PAINTED	
13	1	WOOD	2'-8" x 6'-8"	2	F-2	PAINTED	
14	1	WOOD	2'-6" x 6'-8"	1	F-1	PAINTED	
15	1	WOOD	2'-8" x 6'-8"	2	F-2	PAINTED	
16	1	WOOD	2'-8" x 6'-8"	2	F-2	PAINTED	
17	1	WOOD	2'-8" x 6'-8"	2	F-2	PAINTED	
18	1	WOOD	(2) 2'-0" x 6'-8"	4	F-4	PAINTED	
19	1	WOOD	2'-8" x 6'-8"	2	F-2	PAINTED	
20	1	WOOD	5'-0" x 6'-8"	5	F-5	PAINTED	
21	1	WOOD	5'-0" x 6'-8"	5	F-5	PAINTED	
22	1	POCKET DOOR				SEE DETAILS 3/A003 & 4/A004	

NOTES: ALL EXTERIOR DOORS TO HAVE WEATHER STRIPPING INSTALLED.
ALL EXTERIOR DOORS WITH NO GLASS MUST HAVE A U-FACTOR OF 0.17 OR LESS (NO SHGC REQUIREMENT), DOORS WITH ABOUT 50% GLASS MUST HAVE A U-FACTOR OF 0.25 OR LESS AND AN SHGC OF 0.25 OR LESS. DOORS WITH MORE THAN 50% GLASS, A U-FACTOR 0.30 OR LESS AND AN SHGC OF 0.40 OR LESS PER R402

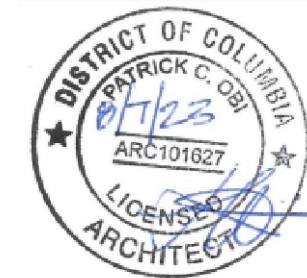
1 BUILDING SECTION

A004 SCALE: 1/4" = 1'-0"

2 DOOR SCHEDULE

A004 SCALE: 1/4" = 1'-0"

PROFESSIONAL CERTIFICATION



PROFESSIONAL CERTIFICATION

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE DISTRICT OF COLUMBIA
ARCHITECT: PATRICK C. OBI
LICENSE NUMBER: ARC 101827
EXPIRATION DATE: 4/30/25

2	Door U-Factor & SHGC Per R402 Unvented Roof Detail Per R806.5	8/2/23
1	Roof Ceiling UL rating.	1/24/23
No.	Revision/Issue	Date

Firm Name and Address
SOI TECHNOLOGICAL SERVICES INC.
6225 DEEP EARTH LANE
COLUMBIA, MARYLAND 21045

Project Name and Address
SINGLE FAMILY RESIDENTIAL ROW HOUSE RENOVATION AT 28 46TH PLACE, N.E. WASHINGTON, D.C. 20019

Project	BUILD SECTION & MISCELLANEOUS DETAILS	Sheet
Date	MARCH 10, 2022	
Scale	AS NOTED	

A004

These plans are conditionally approved as submitted and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

Energy Review - Ashley Delgado - 01-29-2024
DOEE SE-SW Review - Saba Gharavi - 01-29-2024

PROFESSIONAL CERTIFICATION



PROFESSIONAL CERTIFICATION

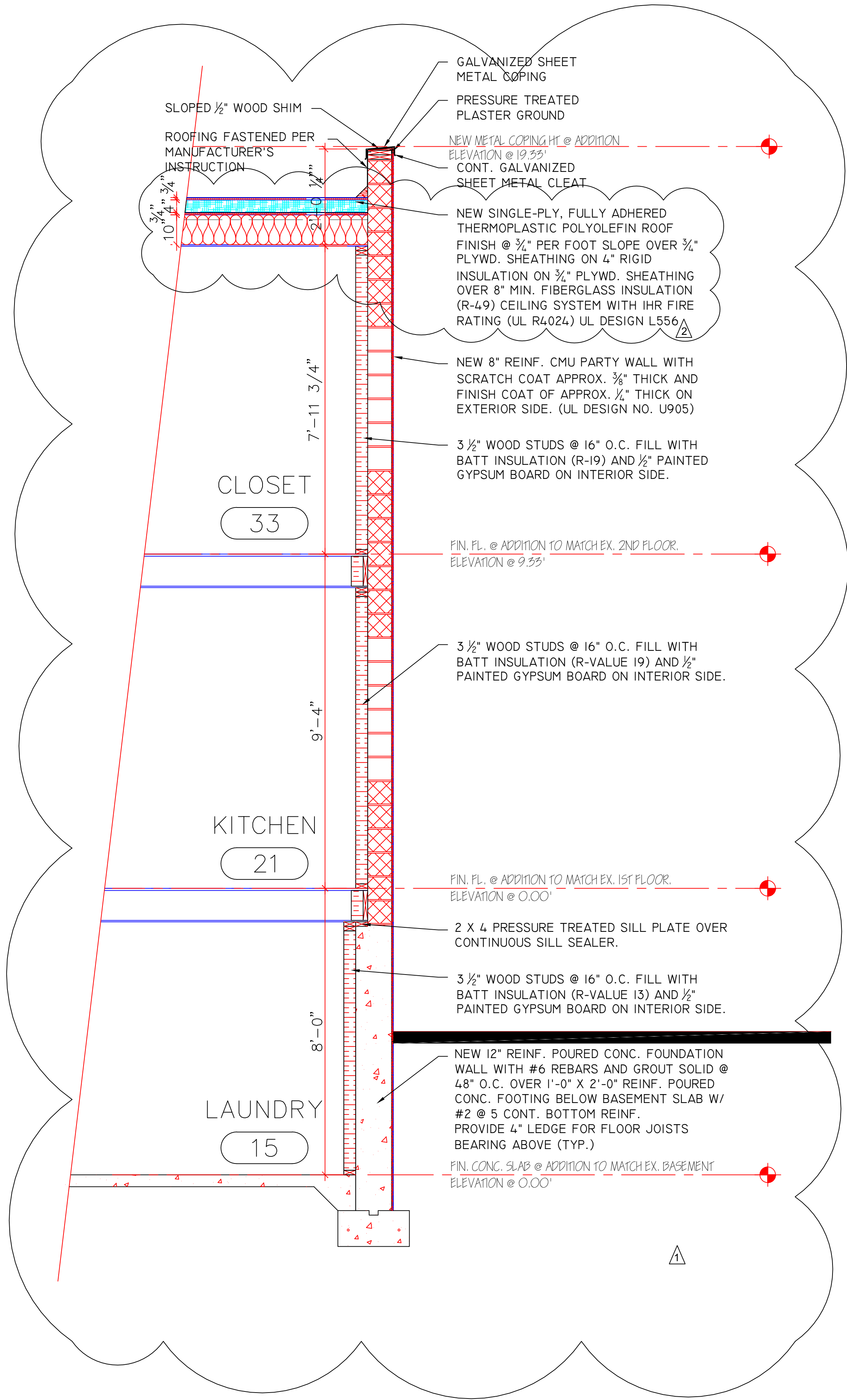
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE DISTRICT OF COLUMBIA
ARCHITECT: PATRICK C. OBI
LICENSE NUMBER: ARC 101827
EXPIRATION DATE: 4/30/25

2	R-Value indication on exterior wall.	8/2/23
1	Typical Party Wall Section	1/24/23
No.	Revision/Issue	Date

Firm Name and Address
SOI TECHNOLOGICAL SERVICES INC.
6225 DEEP EARTH LANE
COLUMBIA, MARYLAND 21045

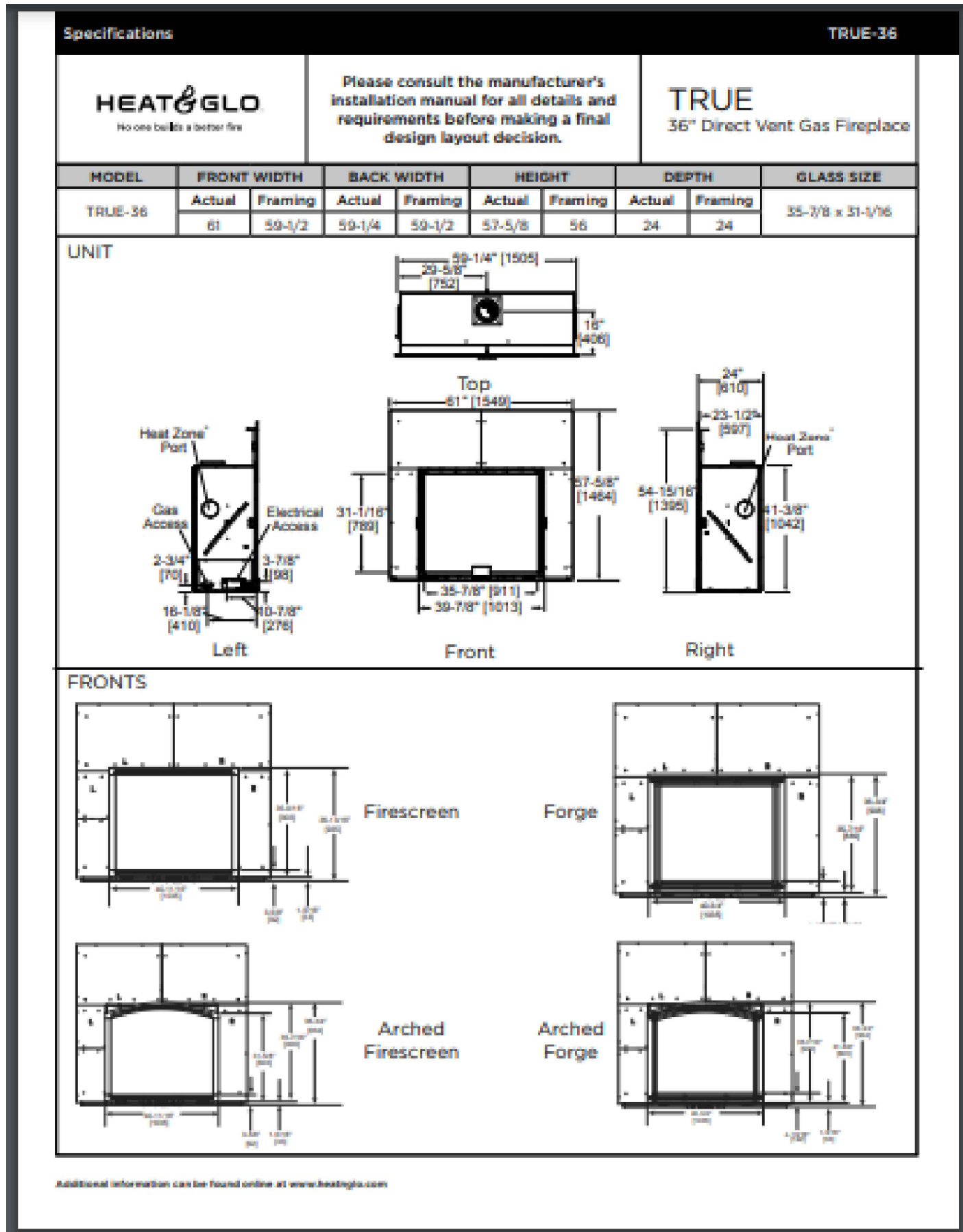
Project Name and Address
SINGLE FAMILY RESIDENTIAL ROW
HOUSE RENOVATION AT
28 46TH PLACE, N.E.
WASHINGTON, D.C. 20019

Project	FIREPLACE SPECS. & PARTY WALL SECTION	Sheet
Date	JANUARY 24, 2023	A005
Scale	AS NOTED	



2 TYPICAL WALL SECTION @ PARTY WALL

A005 SCALE: N.T.S.



1 DIRECT FIREPLACE SPECIFICATION

A005 SCALE: N.T.S.

These plans are conditionally approved as submitted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing
Energy Review - Ashley Delgado - 01-29-2024
DOEE SE-SW Review - Saba Gharavi - 01-29-2024

PROFESSIONAL CERTIFICATION



PROFESSIONAL CERTIFICATION

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE DISTRICT OF COLUMBIA
ARCHITECT: PATRICK C. OBI
LICENSE NUMBER: ARC 101827
EXPIRATION DATE: 4/30/25

1	Air Barrier & Insulation Per Table R402.4.1.1	8/2/23
No.	Revision/Issue	Date

Firm Name and Address
SOI TECHNOLOGICAL SERVICES INC.
6225 DEEP EARTH LANE
COLUMBIA, MARYLAND 21045

Project Name and Address
SINGLE FAMILY RESIDENTIAL ROW
HOUSE RENOVATION AT
28 46TH PLACE, N.E.
WASHINGTON, D.C. 20019

Project MISCELLANEOUS
DETAILS

Date
AUGUST 2, 2023

Scale
AS NOTED

Sheet

A006

TABLE R402.4.1.1
AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
General requirements	A continuous six-sided air barrier shall be installed in the building envelope. The exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed.	Air-permeable insulation shall not be used as a sealing material. All ceiling, wall, floor and slab insulation shall achieve Grade I installation per the RESNET Standards or, alternatively, Grade II for surfaces that contain a layer of continuous, air impermeable insulation > R5.
Ceiling/attic	The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier shall be sealed. Access openings, drop down stairs or knee wall doors to unconditioned attic spaces shall be sealed.	The insulation in any dropped ceiling/soffit shall be aligned with the air barrier.
Walls	The junction of the foundation and sill plate shall be sealed. The junction of the top plate and the top of exterior walls shall be sealed. Knee walls shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance of not less than R-3 per inch. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.
Windows, skylights and doors	The space between window/door jambs and framing, and skylights and framing shall be sealed. Doors adjacent to unconditioned space or ambient conditions shall be made substantially air-tight with weather stripping or equivalent gasket.	Continuous exterior insulation shall continue over window and door headers. Skylight and window chases through unconditioned attic space must be insulated to exterior wall values per table 402.1.2.
Rim joists	Rim joists shall include continuous air barrier.	Rim joists shall be insulated per Table 402.1.2.
Floors (including above garage and cantilevered floors)	The air barrier shall be installed at any exposed edge of insulation.	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of subfloor decking, or floor framing cavity insulation shall be permitted to be in contact with the top side of sheathing, or continuous insulation installed on the underside of floor framing and extends from the bottom to the top of all perimeter floor framing members.
Crawl space walls	Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.	Where provided instead of floor insulation, insulation shall be permanently attached to the crawlspace walls.
Shafts, penetrations	Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.	Duct shafts or chases next to exterior or unconditioned space shall be insulated.
Narrow cavities		Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.	Walls next to unconditioned garage space shall be insulated.
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be sealed to the drywall.	Recessed light fixtures installed in the building thermal envelope shall be air tight and IC rated.
Plumbing and wiring	Seal any plumbing or wiring that penetrates the building envelope.	Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.
Shower/tub on exterior wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate them from the showers and tubs.	Exterior walls adjacent to showers and tubs shall be insulated.
Electrical/phone box on exterior walls	The air barrier shall be installed behind electrical or communication boxes or air-sealed boxes shall be installed.	
Common wall separating dwelling units	Air barrier is installed in common wall between dwelling units.	
HVAC register boots	HVAC register boots that penetrate building thermal envelope shall be sealed to the subfloor or drywall.	
Concealed sprinklers	When required to be sealed, concealed fire sprinklers shall only be sealed in a manner that is recommended by the manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between fire sprinkler cover plates and walls or ceilings.	
Fireplace	An air barrier shall be installed on fireplace walls.	

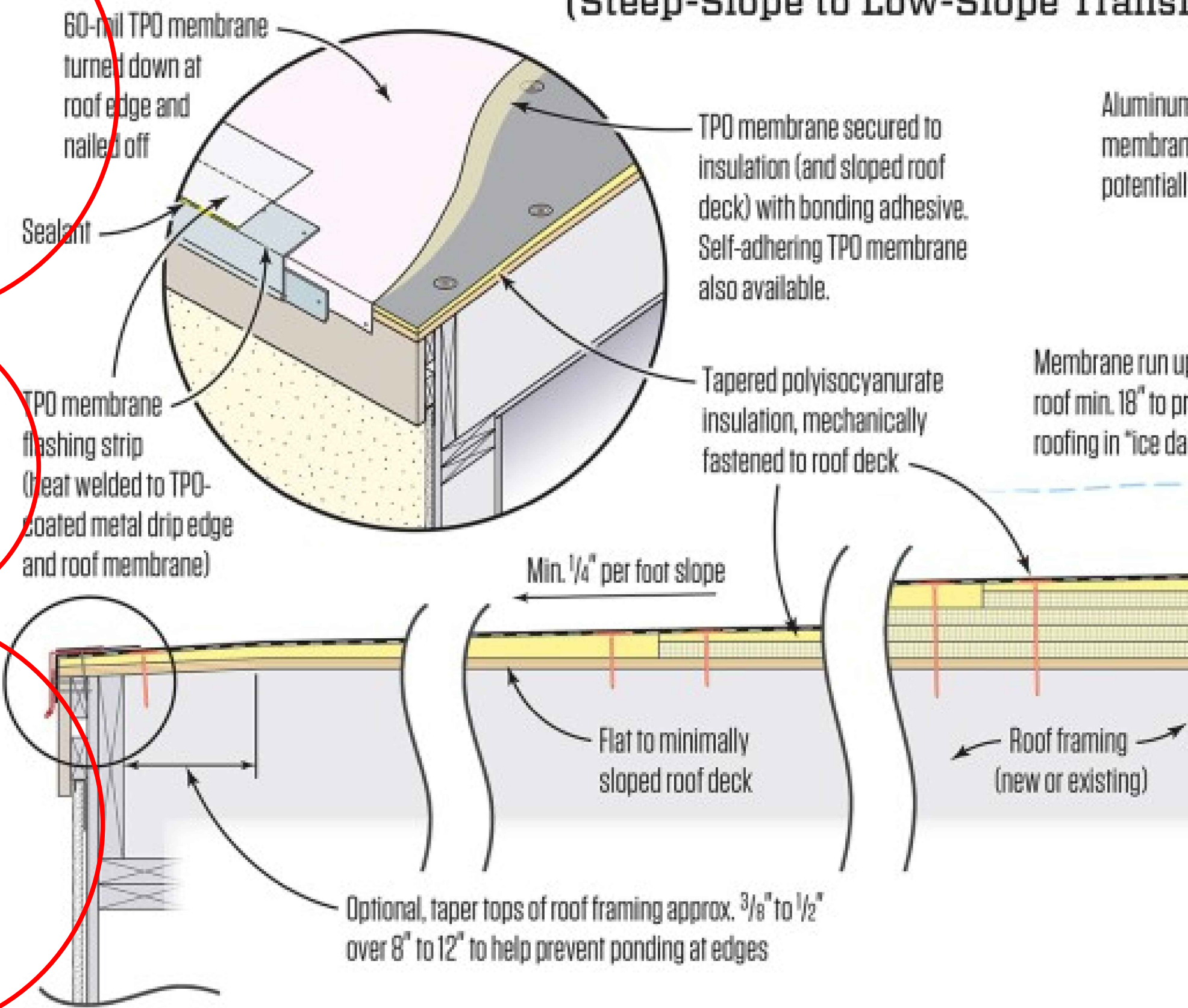
a. In addition, inspection of log walls shall be in accordance with the provisions of ICC-400.

AIR BARRIER AND INSULATION INSTALLATION

A006

SCALE: N.T.S.

(Steep-Slope to Low-Slope 'Transi



TYPICAL LOW-SLOPE ROOF-DETAIL

A006

SCALE: N.T.S.