

PROJECT DATA

SCOPE OF WORK:

CONSTRUCT NEW ACCESSORY DWELLING UNIT IN REAR YARD; 600 SF FOOTPRINT

SITE INFORMATION:

ZONING: R-1B
 NEIGHBORHOOD: SHEPHERD PARK
 SQUARE: 2773
 LOT: 0019
 CURRENT USE: RESIDENTIAL-DETACHED-SINGLA-FA
 LOT SIZE: 5,125 SF
 LOT OCCUPANCY: EXISTING: 868 + 181 = 1,049 SF (20.5%)
 PROPOSED: 868 + 600 = 1,468 SF (28.6%)

APPLICABLE CODES:

IRC 2015, NFPA NEC 2014, IFGC 2015, IPC 2015, IFC 2015, IECC 2015;
 ALL AS SPECIFIED BY DCMR12 2017.

BUILDER:

FOUR BROTHERS LLC
 4009 Georgia Ave NW
 WASHINGTON, DC 20011
 202.423.8703
www.fourbrotherscarpentry.com
 ATTN: JEREMY TETREAULT

OWNER:

SARAH RILEY
 TREVOR KECK

GENERAL NOTES

- ALL WORK SHALL CONFORM WITH APPLICABLE BUILDING CODES AND REGULATIONS.
- ALL DIMENSIONS ARE FINISH TO FINISH UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED IN THE FIELD.
- DIMENSIONS GOVERN OVER DRAWING SCALE. LARGE - SCALE DETAILS GOVERN OVER SMALL - SCALE UNLESS NOTED OTHERWISE.
- ALL WORK SHALL BE PERFORMED IN GOOD WORKMANLIKE MANNER AND SHALL BE EXECUTED TO COMPLETION WITH ALL DUE DILIGENCE.
- ALL CUTTING AND PATCHING SHALL BE PERFORMED IN A NEAT, PROFESSIONAL MANNER.
- ALL ADJACENT WORK AND AREAS OR ITEMS NOT IN CONSTRUCTION SHALL BE PROTECTED FROM ANY DAMAGE CAUSED FROM THIS WORK, AS SHALL ANY EXISTING FINISHES THAT ARE TO REMAIN.

DC WASA NOTES

A. NOTIFY DCWASA ONE-WEEK PRIOR TO START OF CONSTRUCTION, UTILITY INSPECTION SECTION AT 202-787-2377, WATER SERVICES 202-612-3400 OR 3460 AND SEWER SERVICES 202-264-3824 OR 3829.

B. DEVELOPERS, CONTRACTORS AND PLUMBERS MUST SUBMIT FINAL CONSTRUCTION AS-BUILT INFORMATION TO THE APPROPRIATE DCWASA INSPECTOR(S) FOR REVIEW AND APPROVAL, UPON COMPLETION OF NEW AND EXISTING UTILITIES TO BE ABANDON IN PUBLIC SPACE, APPLICANT MUST SUBMIT THESE DRAWINGS. AS-BUILT DRAWINGS MUST SHOW DIMENSIONS, ELEVATION, RELOCATION OF ANY WASA UTILITIES AND PERTINENT INFORMATION.

C. ONCE THE WASA INSPECTOR APPROVES THE AS-BUILT, A COPY MUST BE SUBMITTED TO THE DOCUMENTS AND PERMITS OFFICE AT ROOM 203 AND THE WATER AND SEWER DESIGN SECTION AT 5000 OVERLOOK AVE., S.W., 5TH FLOOR.

D. UNDER DCWASA CUSTOMER FEES AND CHARGES, CONTRACTORS, PLUMBERS, OWNERS ARE RESPONSIBLE FOR EXCAVATION, BACK FILLING, REPAVING AND RESTORATION OF PUBLIC SPACE FOR STREET AND SIDEWALK CUTS, FOR NEW UTILITIES, CONNECTIONS, TAPS AND ABANDONMENT OF SERVICES WITHIN PUBLIC SPACE UNDER DC WASA INSPECTION. DC WASA IS NOT RESPONSIBLE FOR FINAL RESTORATION OF STREET AND SIDEWALK CUTS PERFORMED BY THESE DEVELOPERS.

DRAWING SYMBOLS

| | |
|--|--------------------------------|
| | EXISTING WALL TO REMAIN |
| | DEMOLITION |
| | NEW MASONRY WALL |
| | NEW STUD WALL |
| | PLAN DETAIL REFERENCE |
| | ELEVATION REFERENCE |
| | SECTION REFERENCE |
| | INTERIOR ELEVATION DESIGNATION |
| | DOOR DESIGNATION |
| | WINDOW DESIGNATION |
| | PARTITION TYPE |
| | Fixture TYPE |
| | ELEVATION MARKER |

DRAWING INDEX

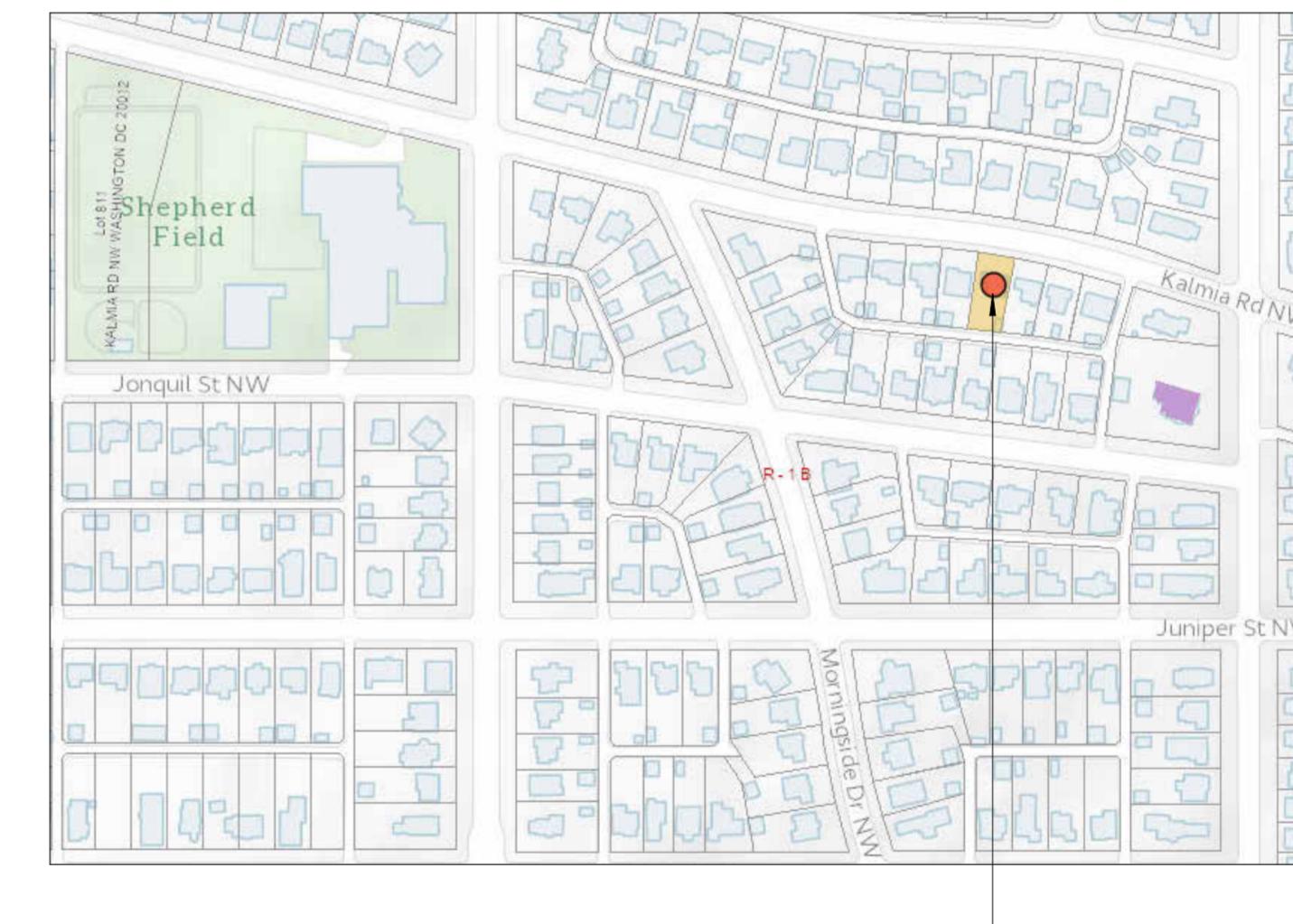
| Sheet Number | Sheet Name |
|--------------|---------------------|
| 0001 | COVER SHEET |
| 0002 | 3D VIEWS |
| 0003 | SOLAR STUDY |
| 0004 | SOLAR STUDY |
| 0101 | SITE PLAN |
| A101 | PROPOSED PLANS |
| A201 | EXTERIOR ELEVATIONS |

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RILEY RESIDENCE
 1330 KALMIA RD NW
 WASHINGTON, DC 20012

ZONING REPORT MAP



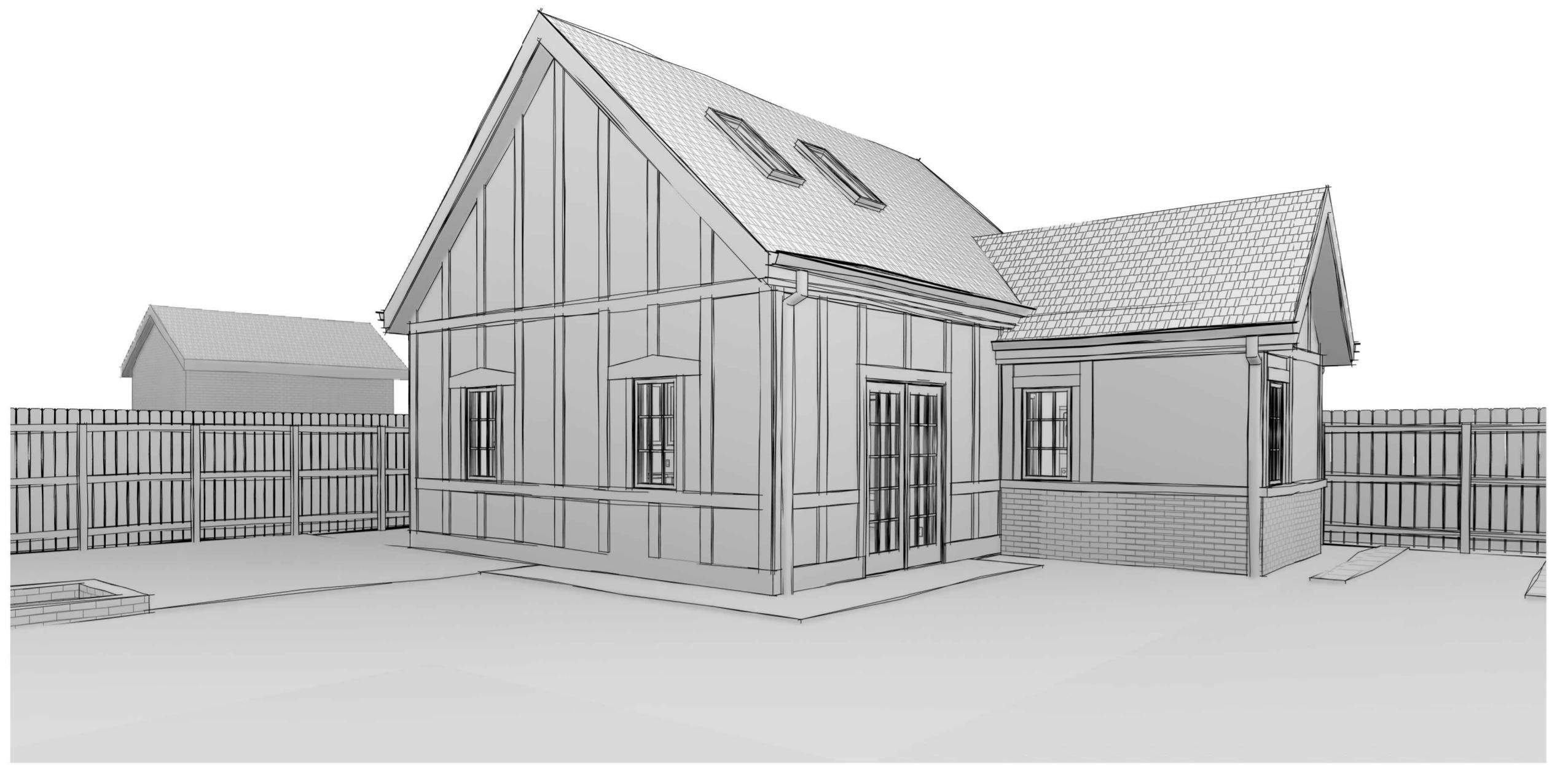
PROJECT LOCATION

| No. | Description | Date |
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COVER SHEET

Drawing Set PERMIT
 Date 11/22/2024

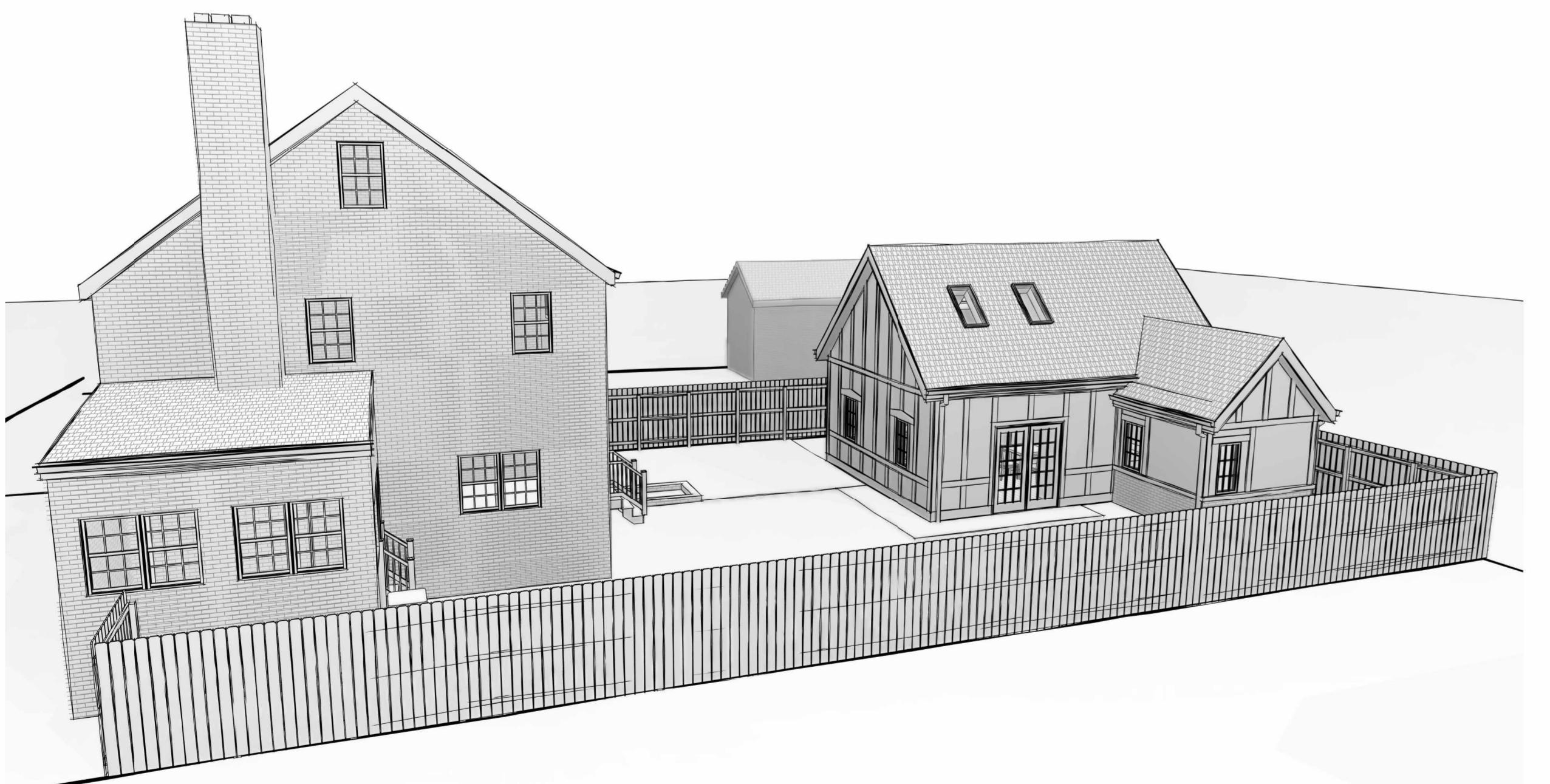
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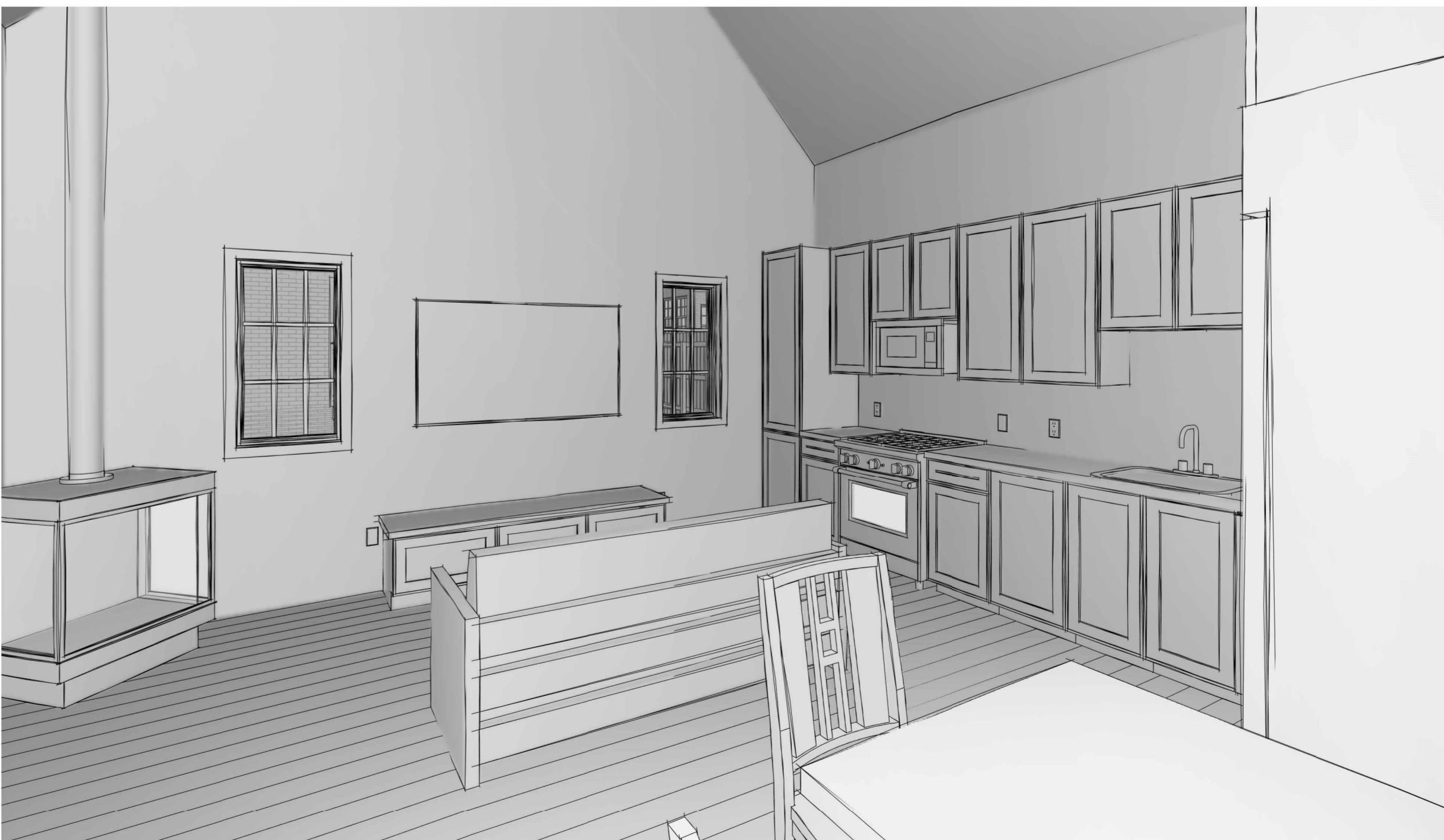
1 3D VIEW - EXTERIOR



3 3D VIEW - INTERIOR



2 3D VIEW - EXTERIOR



4 3D VIEW - INTERIOR

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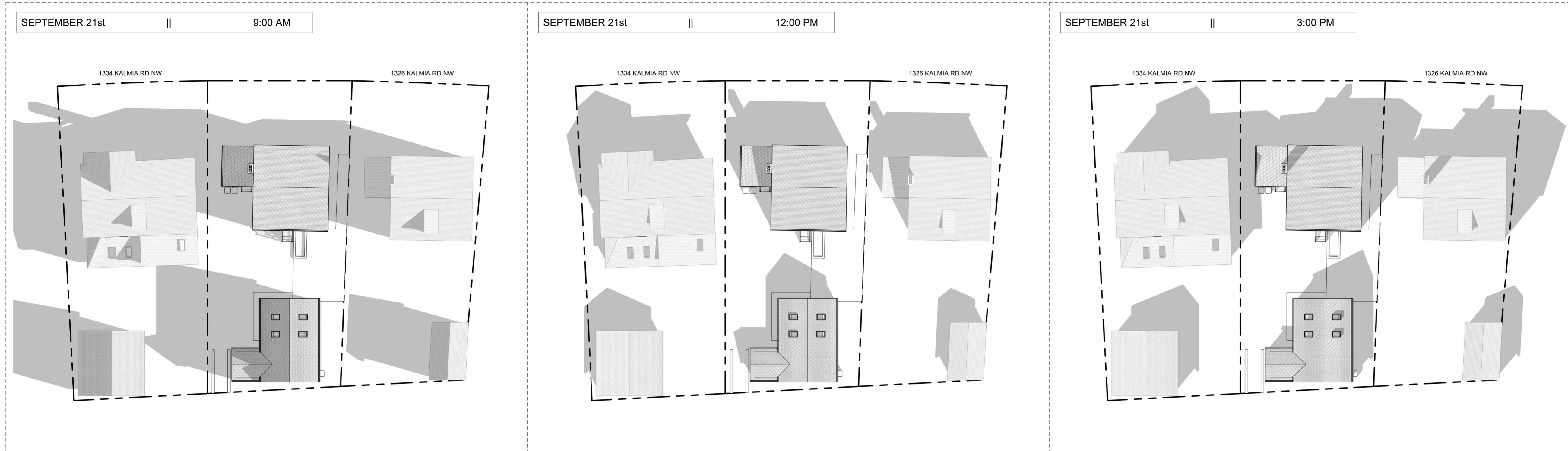
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3D VIEWS

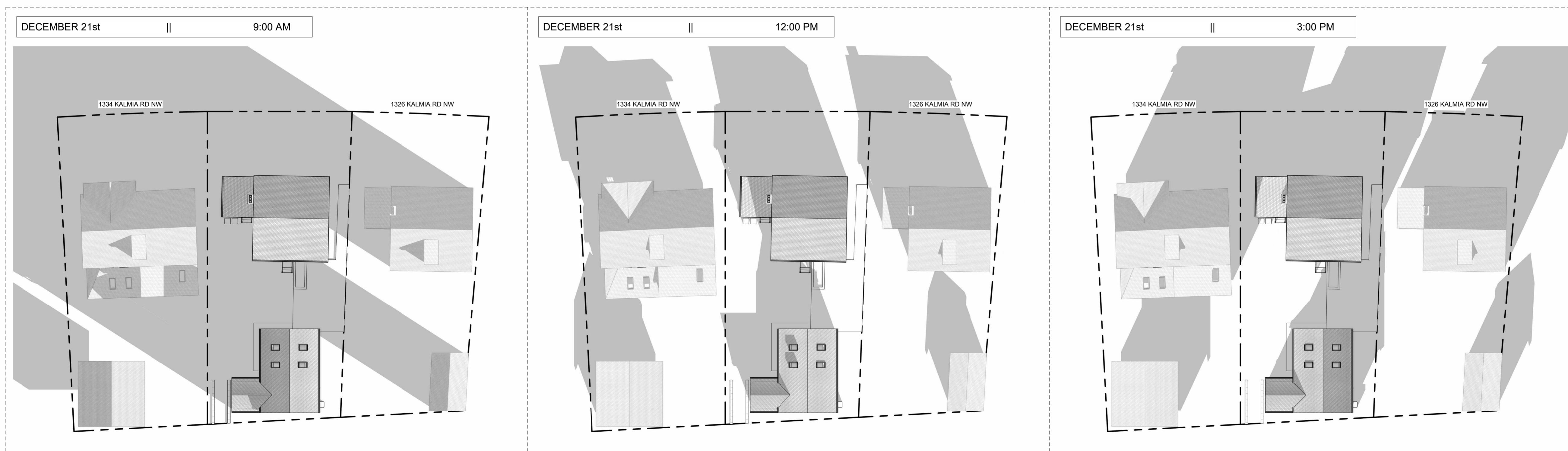
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| Drawing Set | PERMIT |
| Date | 11/22/2024 |

0002

FALL SEASON



WINTER SEASON



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WASHINGTON, DC 20012

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SOLAR STUDY

Drawing Set **PERMIT**
Date **11/22/2024**

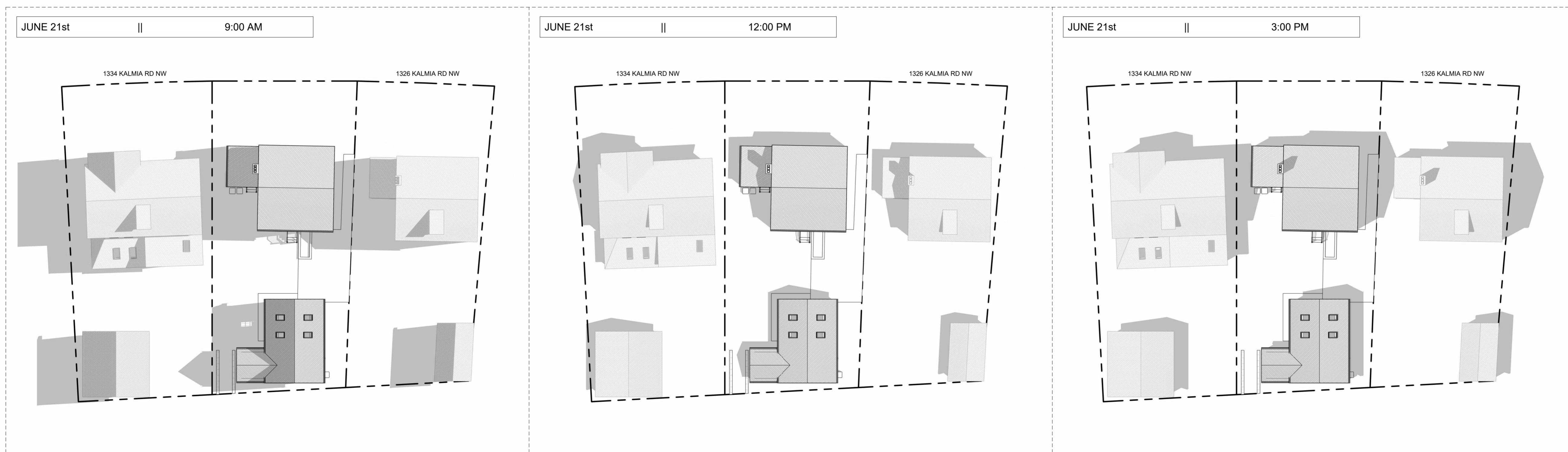
A scale bar diagram. On the left is a circle containing a vertical arrow pointing upwards. To its right is a horizontal line with tick marks. The first tick mark is labeled '0' below it. The second tick mark is labeled '20' below it. The fourth tick mark is labeled '40' below it. The fifth tick mark is labeled '50' below it. Below the scale bar is the text 'SCALE: 1" = 20'.

0003

SPRING SEASON



SUMMER SEASON





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RILEY RESIDENCE

1330 KALMIA RD NW

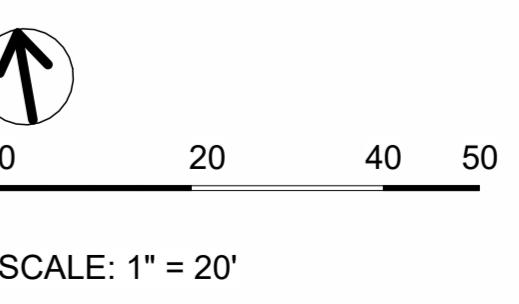
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SOLAR STUDY

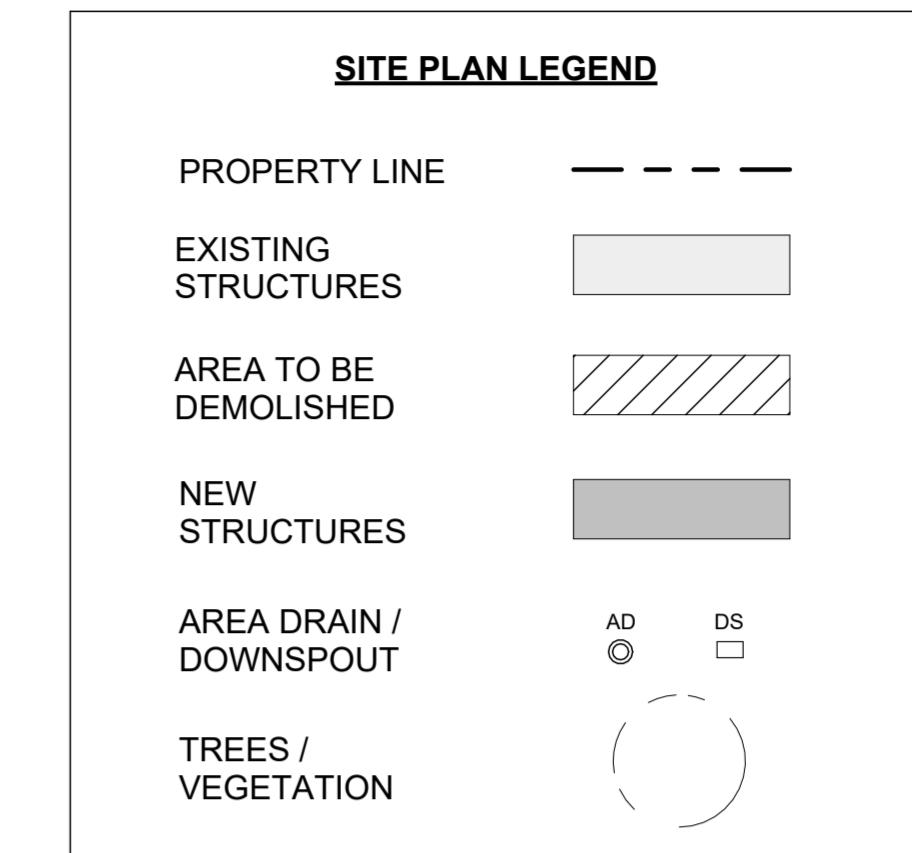
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11/22/2024

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SITE PLAN NOTES

1. VERIFY ALL FIELD DIMENSIONS PRIOR TO FRAMING / GRADING
2. EXISTING FENCE ALONG PROPERTY LINES TO REMAIN

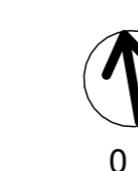
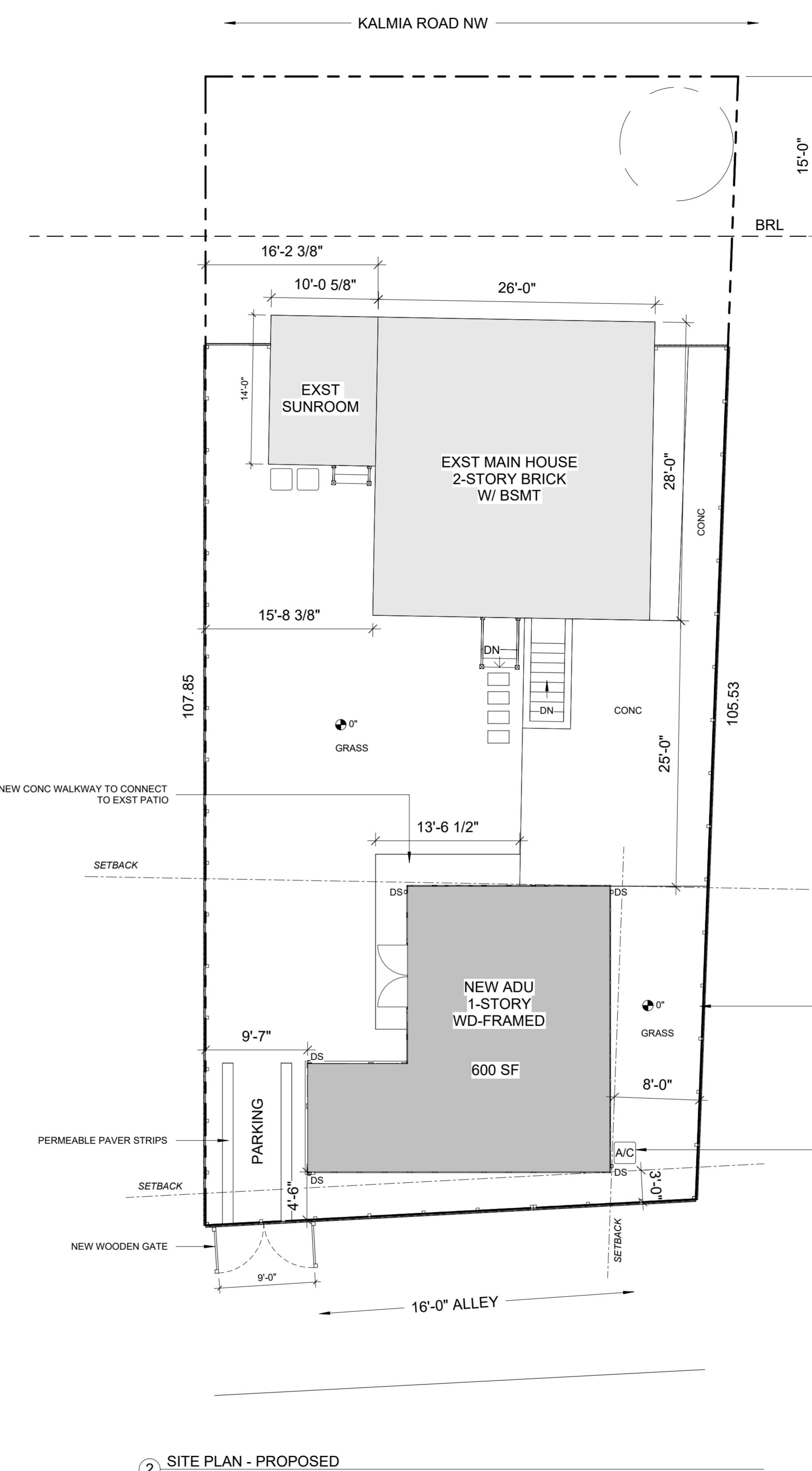
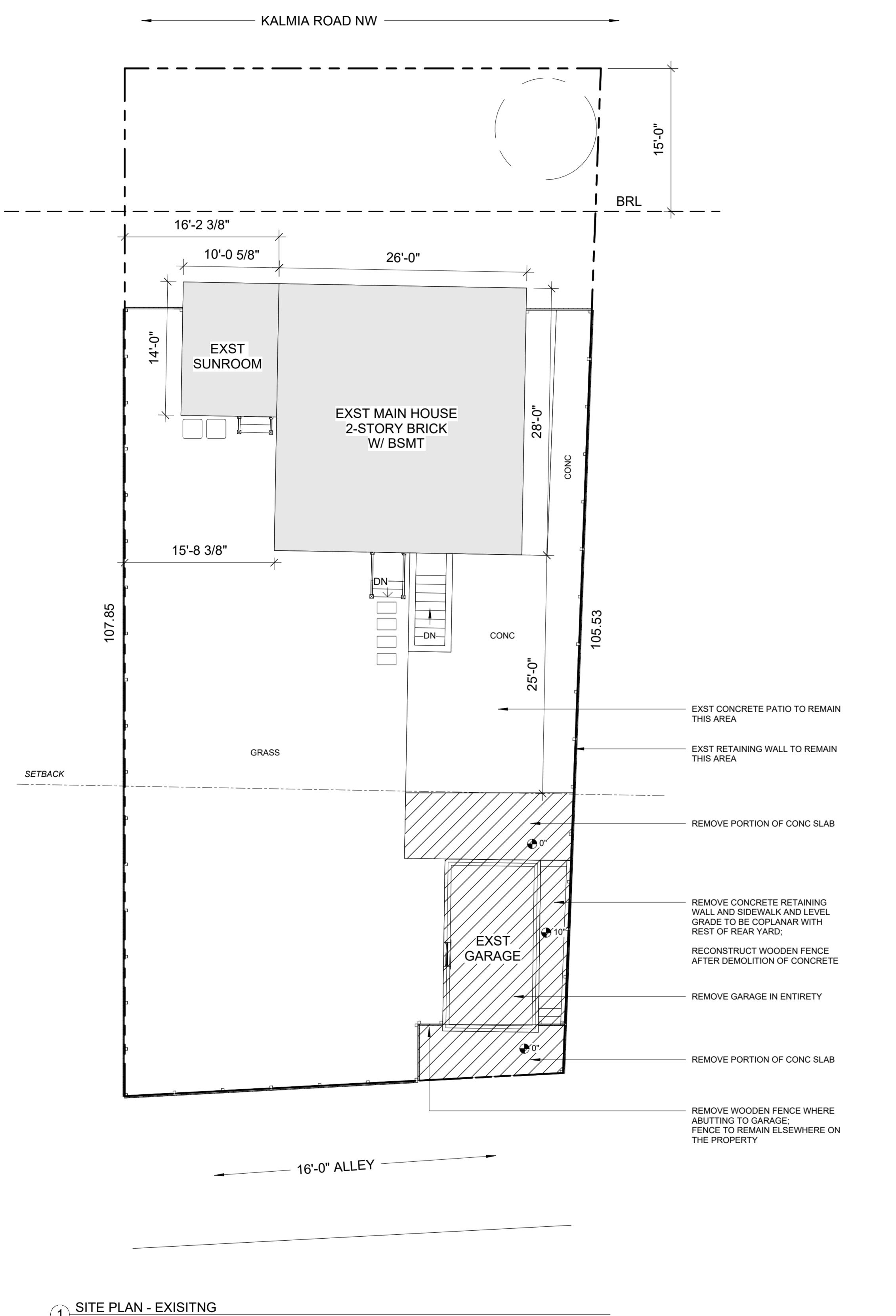


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WASHINGTON, DC 20012

ZONING INFORMATION

| | |
|-----------------------|---|
| ZONING: | R-1B |
| NEIGHBORHOOD: | SHEPHERD PARK |
| SSL: | 2773 0019 |
| LOT SIZE: | 5,125 SF |
| LOT OCCUPANCY: | (MAX. 40%) |
| EXISTING: | 868 + 181 (EXST GARAGE) 1,049 SF (20.5%) |
| PROPOSED: | 868 + 600 (ADU) 1,468 SF (28.6%) |
| PERVIOUS SURFACE: | 3,104 SF (60.56%) (MIN. 50%) |
| SETBACKS: | |
| SIDE: | MIN. 8 FT |
| REAR: | MIN. 7'-6" FROM ALLEY CENTERLINE |
| HEIGHT: | 20'-6" (MAX. 22 FT) |



SCALE: 1/8" = 1'-0"

0 10 30 60 100

| No. | Description | Date |
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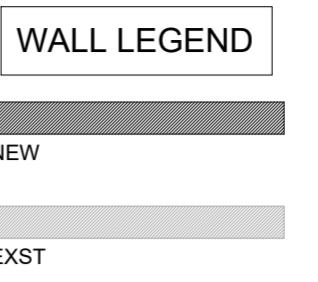
Drawing Set PERMIT
Date 11/22/2024

SITE PLAN

0101

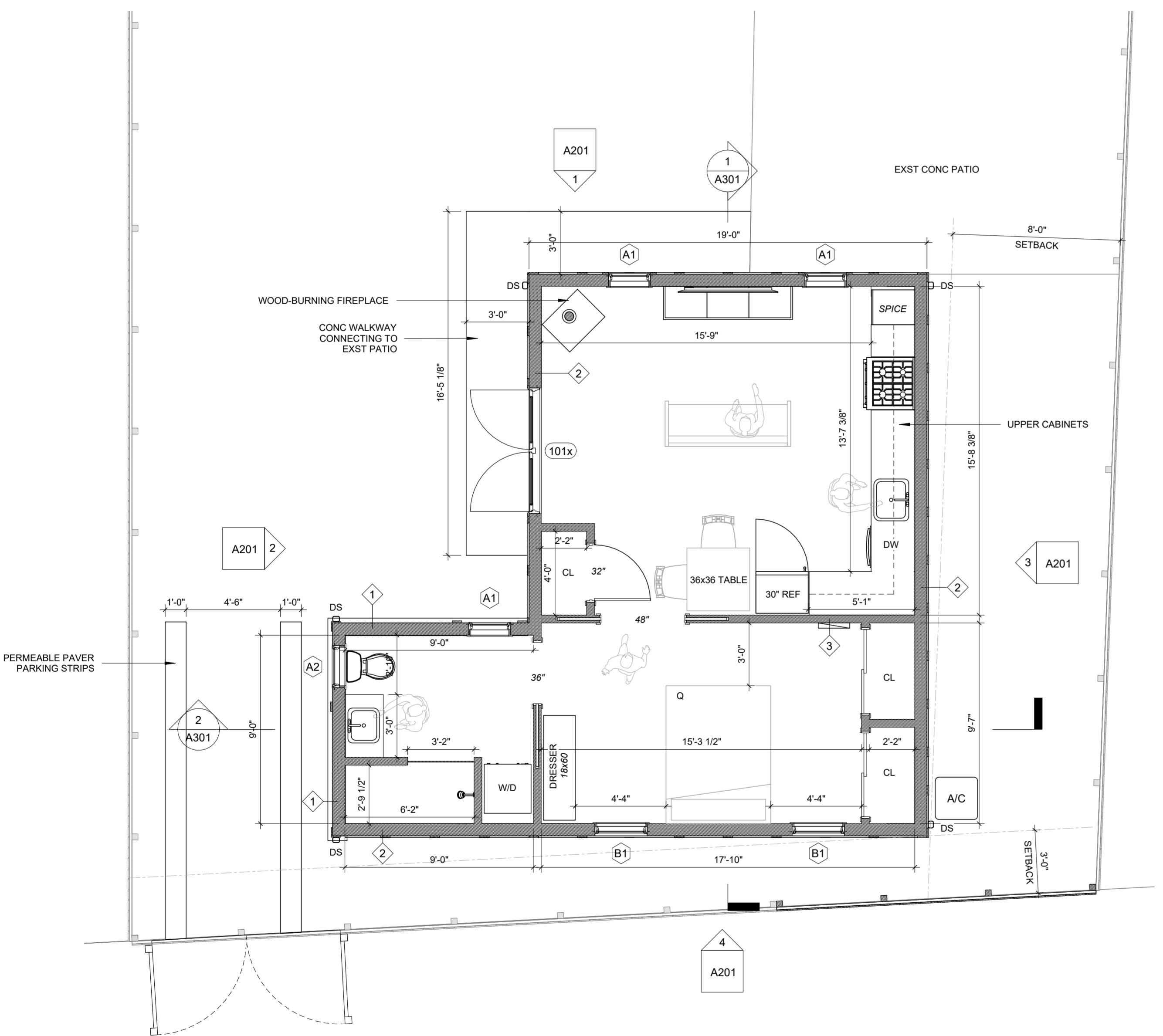
| Window Schedule | | | | | | | | | |
|-----------------|---------------------|----------------------|-------|--------|---------|------|----------|----------|-------|
| WT | Model | Manufacturer | Width | Height | U-Value | SHGC | Comments | Tempered | Count |
| A1 | 400-Series Casement | Andersen Corporation | 2'-0" | 3'-10" | 0.28 | 0.29 | | | 3 |
| A2 | 400-Series Casement | Andersen Corporation | 2'-0" | 3'-10" | 0.28 | 0.29 | Yes | | 1 |
| B1 | 400-Series Casement | Andersen Corporation | 2'-6" | 4'-6" | 0.27 | 0.30 | | | 2 |
| C1 | FCM2246 | Velux | 2'-0" | 4'-0" | 0.51 | 0.29 | | | 4 |

NOTE: FINAL WINDOW PLACEMENT WILL BE DETERMINED AT THE TIME OF BUILDING PERMIT AND WILL NOT EXCEED 15% OF OPENINGS ALONG ANY GIVEN FAÇADE.



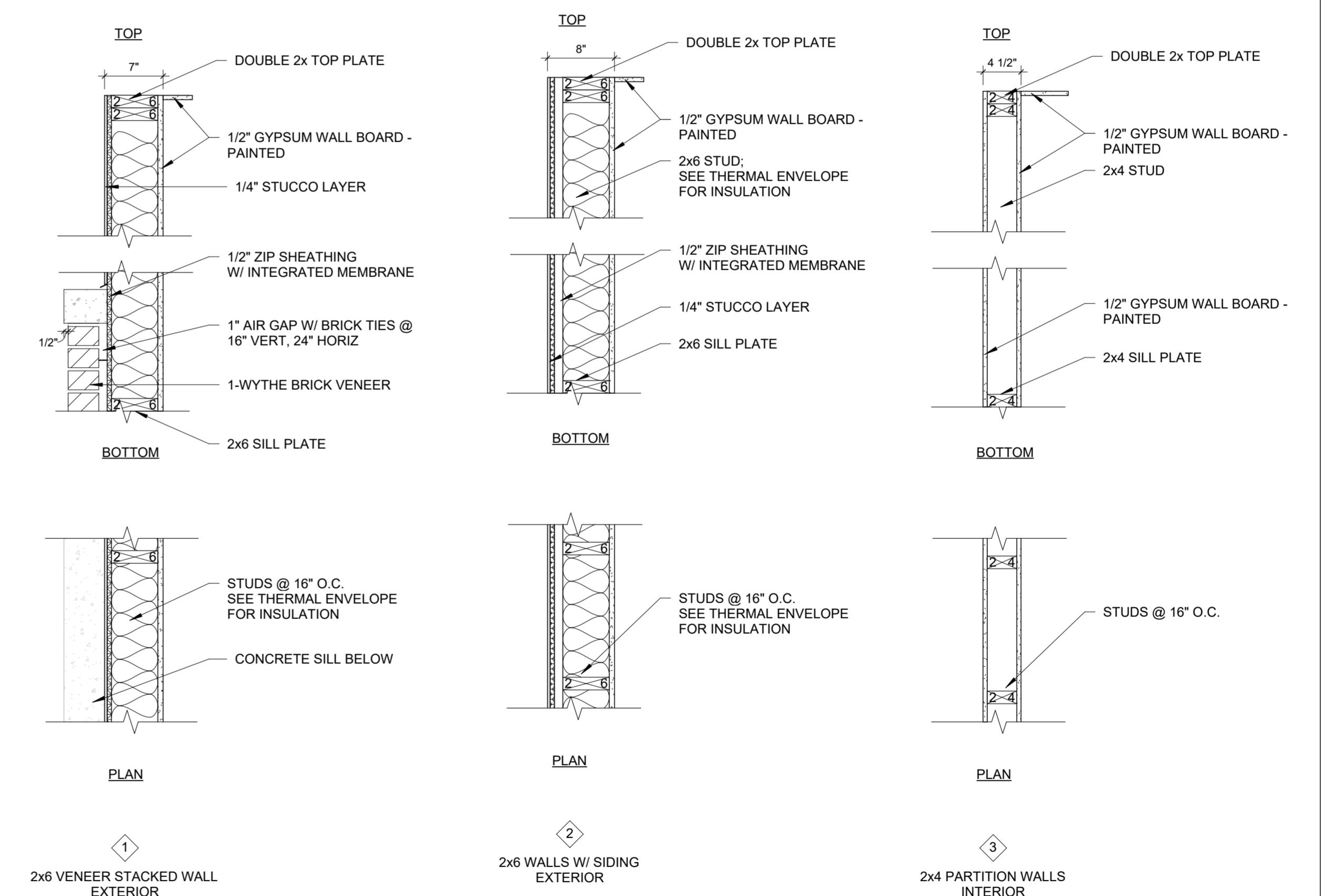
GENERAL NOTES

| Door Schedule | | | | |
|---------------|-----------------|-------|--------|----------|
| Mark | Type | Width | Height | Comments |
| 101x | French Outswing | 6'-0" | 7'-0" | |



① PROPOSED - FIRST FLOOR PLAN
1/4" = 1'-0"

TYPICAL PARTITIONS:

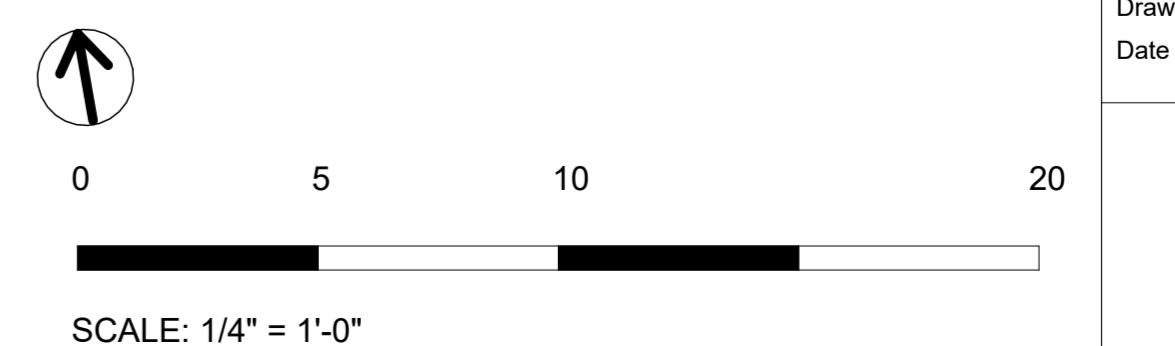


RILEY RESIDENCE

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PROPOSED PLANS

Drawing Set PERMIT
Date 11/22/2024



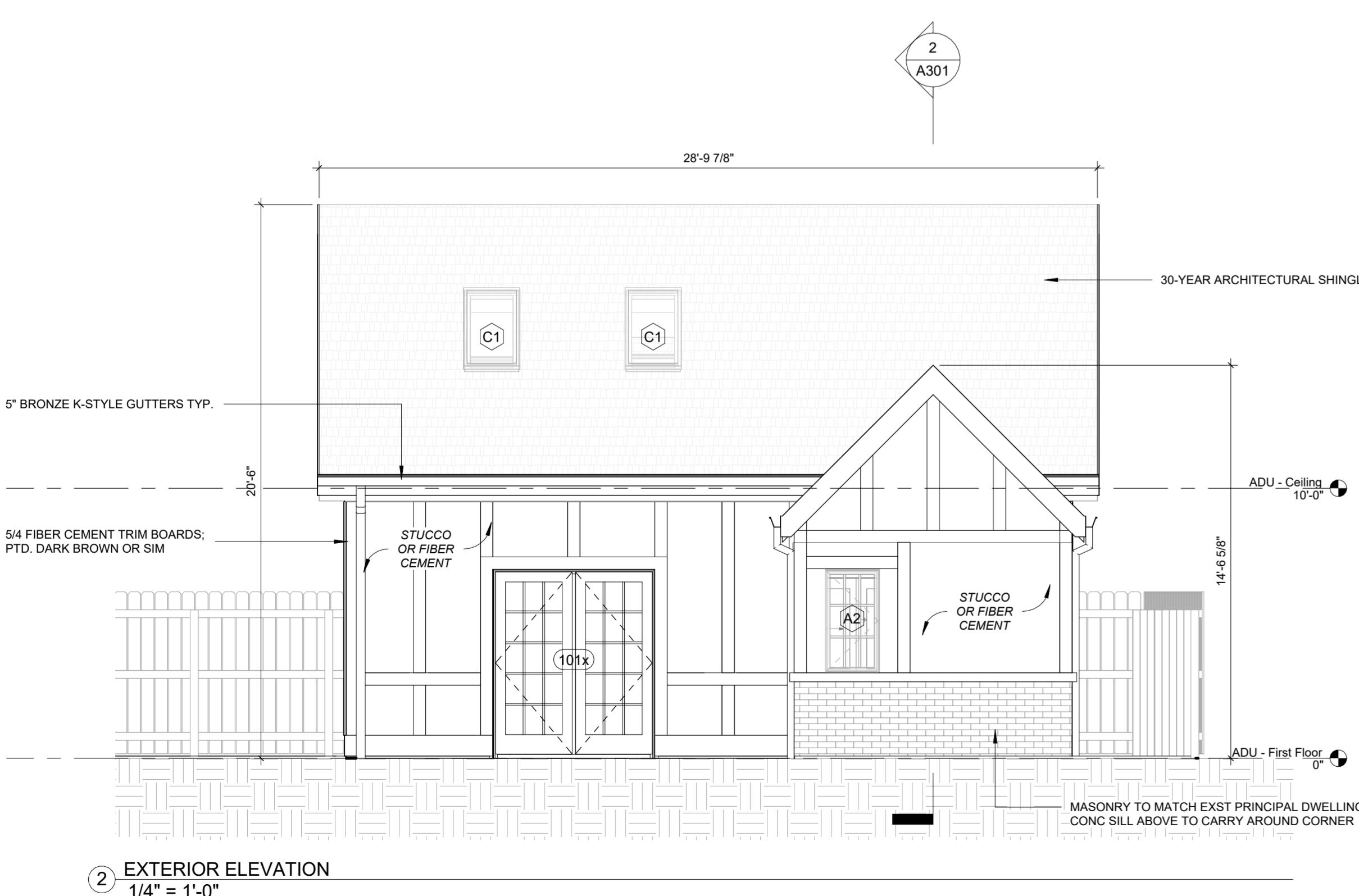
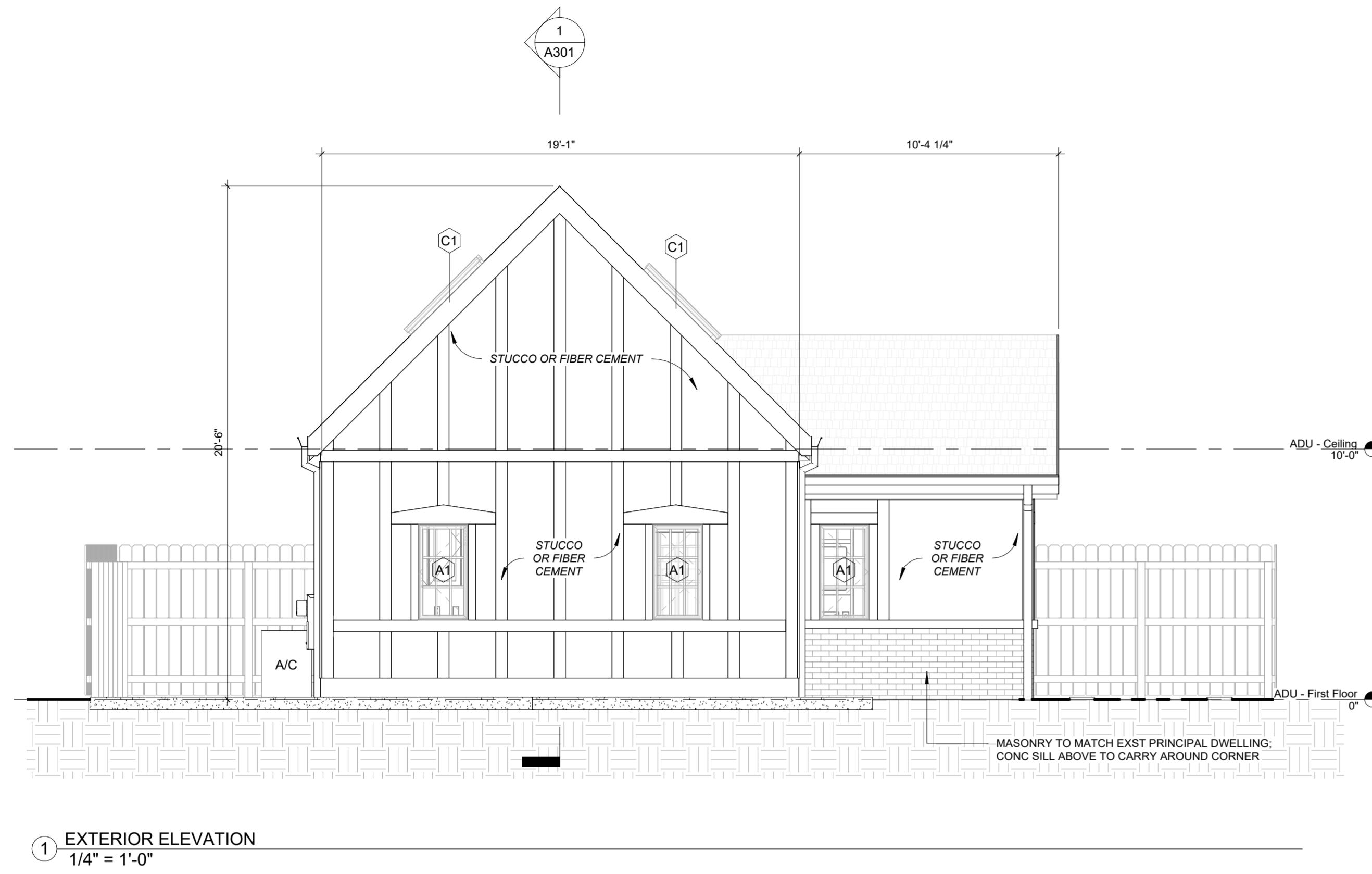
A101

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1. ARCHITECTURAL DRAWINGS MUST ALWAYS BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT SERVICES DRAWINGS AND CONTRACT DOCUMENTS. ANY DISCREPANCY BETWEEN THESE DRAWINGS AND DOCUMENTS SHOULD BE REPORTED TO THE ARCHITECT AND/OR ENGINEER FOR CLARIFICATION AND VERIFICATION.
2. THE SUPERINTENDENT SHALL COORDINATE ALL MECHANICAL FLOOR/WALL SLEEVES AND SHAFTS IN CONCRETE SLABS/WALLS WITH MECHANICAL, PLUMBING, FIRE PROTECTION, ELECTRICAL, STRUCTURAL AND ARCHITECTURAL DRAWINGS AND DISCREPANCIES, IF ANY, ARE TO BE BROUGHT TO NOTICE OF THE ENGINEER PRIOR TO EXECUTION OF WORK.
3. DRAWINGS AND DIMENSIONS:
 - A. VERIFY ALL FIELD DIMENSIONS PRIOR TO FRAMING.
 - B. ONLY WRITTEN DIMENSIONS IN ALL CASES SHALL BE FOLLOWED.
 - C. EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE AND CENTERLINE OF WINDOWS UNO; INTERIOR DIMENSIONS ARE TO FINISHED FACE UNLESS NOTED OTHERWISE.
 - D. ALL DIMENSIONS ARE IN FEET OR INCHES AND ANGLES IN DEGREES UNLESS NOTED OTHERWISE.
 - E. SPOT ELEVATIONS ARE MEASURED FROM FIRST FLOOR (FIRST FLOOR = 0'-0").
 - F. SEE STRUCTURAL SHEETS FOR MEMBER TYPES AND TEMPORARY SUPPORTS. VERIFY ALL LOCATIONS OF NEW POST-DN CONDITIONS ON SITE.
 - G. SEE MECHANICAL PLANS FOR REALLOCATED EQUIPMENT LOCATIONS AND REFRIGERANT LINE PATHS.
 - H. SEE PLUMBING & ELECTRICAL PLANS PRIOR TO FRAMING FLOORS.
 - I. SEE ELECTRICAL PLANS FOR SMOKE/CARBON-MONOXIDE DETECTORS.

NOTE: FINAL WINDOW PLACEMENT WILL BE DETERMINED AT THE TIME OF BUILDING PERMIT AND WILL NOT EXCEED 15% OF OPENINGS ALONG ANY GIVEN FAÇADE.



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No. Description Date

EXTERIOR ELEVATIONS

Drawing Set PERMIT
Date 11/22/2024

A201