

PROJECT DATA

SCOPE OF WORK:

CONSTRUCT NEW ACCESSORY DWELLING UNIT IN REAR YARD; 600 SF FOOTPRINT

SITE INFORMATION:

ZONING: R-1B
NEIGHBORHOOD: SHEPHERD PARK
SQUARE: 2773
LOT: 0019
CURRENT USE: RESIDENTIAL-DETACHED-SINGLA-FA
LOT SIZE: 5,125 SF
LOT OCCUPANCY: EXISTING: 868 + 181 = 1,049 SF (20.5%)
PROPOSED: 868 + 600 = 1,468 SF (28.6%)

APPLICABLE CODES:

IRC 2015, NFPA NEC 2014, IFGC 2015, IPC 2015, IFC 2015, IECC 2015;
ALL AS SPECIFIED BY DCMR12 2017.

BUILDER:

FOUR BROTHERS LLC
4009 Georgia Ave NW
WASHINGTON, DC 20011
202.423.8703
www.fourbrotherscarpentry.com
ATTN: JEREMY TETREULT

OWNER:

SARAH RILEY
TREVOR KECK

GENERAL NOTES

- ALL WORK SHALL CONFORM WITH APPLICABLE BUILDING CODES AND REGULATIONS.
- ALL DIMENSIONS ARE FINISH TO FINISH UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED IN THE FIELD.
- DIMENSIONS GOVERN OVER DRAWING SCALE. LARGE - SCALE DETAILS GOVERN OVER SMALL - SCALE UNLESS NOTED OTHERWISE.
- ALL WORK SHALL BE PERFORMED IN GOOD WORKMANLIKE MANNER AND SHALL BE EXECUTED TO COMPLETION WITH ALL DUE DILIGENCE.
- ALL CUTTING AND PATCHING SHALL BE PERFORMED IN A NEAT, PROFESSIONAL MANNER.
- ALL ADJACENT WORK AND AREAS OR ITEMS NOT IN CONSTRUCTION SHALL BE PROTECTED FROM ANY DAMAGE CAUSE FROM THIS WORK, AS SHALL ANY EXISTING FINISHES THAT ARE TO REMAIN.

DC WASA NOTES

A. NOTIFY DCWASA ONE-WEEK PRIOR TO START OF CONSTRUCTION, UTILITY INSPECTION SECTION AT 202-787-2377, WATER SERVICES 202-612-3400 OR 3460 AND SEWER SERVICES 202-264-3824 OR 3829.

B. DEVELOPERS, CONTRACTORS AND PLUMBERS MUST SUBMIT FINAL CONSTRUCTION AS-BUILT INFORMATION TO THE APPROPRIATE DCWASA INSPECTOR(S) FOR REVIEW AND APPROVAL, UPON COMPLETION OF NEW AND EXISTING UTILITIES TO BE ABANDON IN PUBLIC SPACE, APPLICANT MUST SUBMIT THESE DRAWINGS. AS-BUILT DRAWINGS MUST SHOW DIMENSIONS, ELEVATION, RELOCATION OF ANY WASA UTILITIES AND PERTINENT INFORMATION.

C. ONCE THE WASA INSPECTOR APPROVES THE AS-BUILT, A COPY MUST BE SUBMITTED TO THE DOCUMENTS AND PERMITS OFFICE AT ROOM 203 AND THE WATER AND SEWER DESIGN SECTION AT 5000 OVERLOOK AVE., S.W., 5TH FLOOR.

D. UNDER DCWASA CUSTOMER FEES AND CHARGES, CONTRACTORS, PLUMBERS, OWNERS ARE RESPONSIBLE FOR EXCAVATION, BACK FILLING REPAVING AND RESTORATION OF PUBLIC SPACE FOR STREET AND SIDEWALKS CUTS, FOR NEW UTILITIES, CONNECTIONS, TAPS AND ABANDONMENT OF SERVICES WITHIN PUBLIC SPACE UNDER DC WASA INSPECTION. DC WASA IS NOT RESPONSIBLE FOR FINAL RESTORATION OF STREET AND SIDEWALK CUTS PERFORMED BY THESE DEVELOPERS.

DRAWING SYMBOLS

- EXISTING WALL TO REMAIN
- DEMOLITION
- NEW MASONRY WALL
- NEW STUD WALL
- PLAN DETAIL REFERENCE
- ELEVATION REFERENCE
- SECTION REFERENCE
- INTERIOR ELEVATION DESIGNATION
- DOOR DESIGNATION
- WINDOW DESIGNATION
- PARTITION TYPE
- FIXTURE TYPE
- ELEVATION MARKER

ABBREVIATIONS

- ADJ

ADJACENT
- AFF

ABOVE FINISH FLOOR
- B/O

BOTTOM OF
- BLDG

BUILDING
- BLK(G)

BLOCK(ING)
- BM

BEAM
- BSMT

BASEMENT
- CFM

CUBIC FEET / METER
- CLNG

CEILING
- CLR

CLEAR/CLEARANCE
- COL

COLUMN
- CONC

CONCRETE
- CR

CEILING REGISTER
- DBL

DOUBLE
- DIR

DIRECTION
- DIM(S)

DIMENSION(S)
- DN

DOWN
- EQ

EQUAL
- EXH

EXHAUST
- EXT

EXTERIOR
- EXST

EXISTING
- FLR

FLOOR
- GYP BD

GYP SUM BOARD
- HDR

HEADER
- HDWR

HARDWARE
- HT

HEIGHT
- HWH

HOT WATER HEATER
- INT

INTERIOR
- IJS

IN JOIST SPACE
- MTL

METAL
- NIC

NOT IN CONTRACT
- OC

ON CENTER
- P1

PLUMBING STACK (1)
- PAN

PANTRY
- R/A

RETURN-AIR
- RAG

RETURN-AIR GRILL
- REG

REGISTER
- RM

ROOM
- SAM

SELF-ADHESIVE MEMBRANE
- S/A

SUPPLY-AIR
- SF

SQUARE FEET
- SIM

SIMILAR
- ST

STEEL
- T/O

TOP OF
- TBD

TO BE DETERMINED
- TYP

TYPICAL
- UNO

UNLESS NOTED OTHERWISE
- VIF

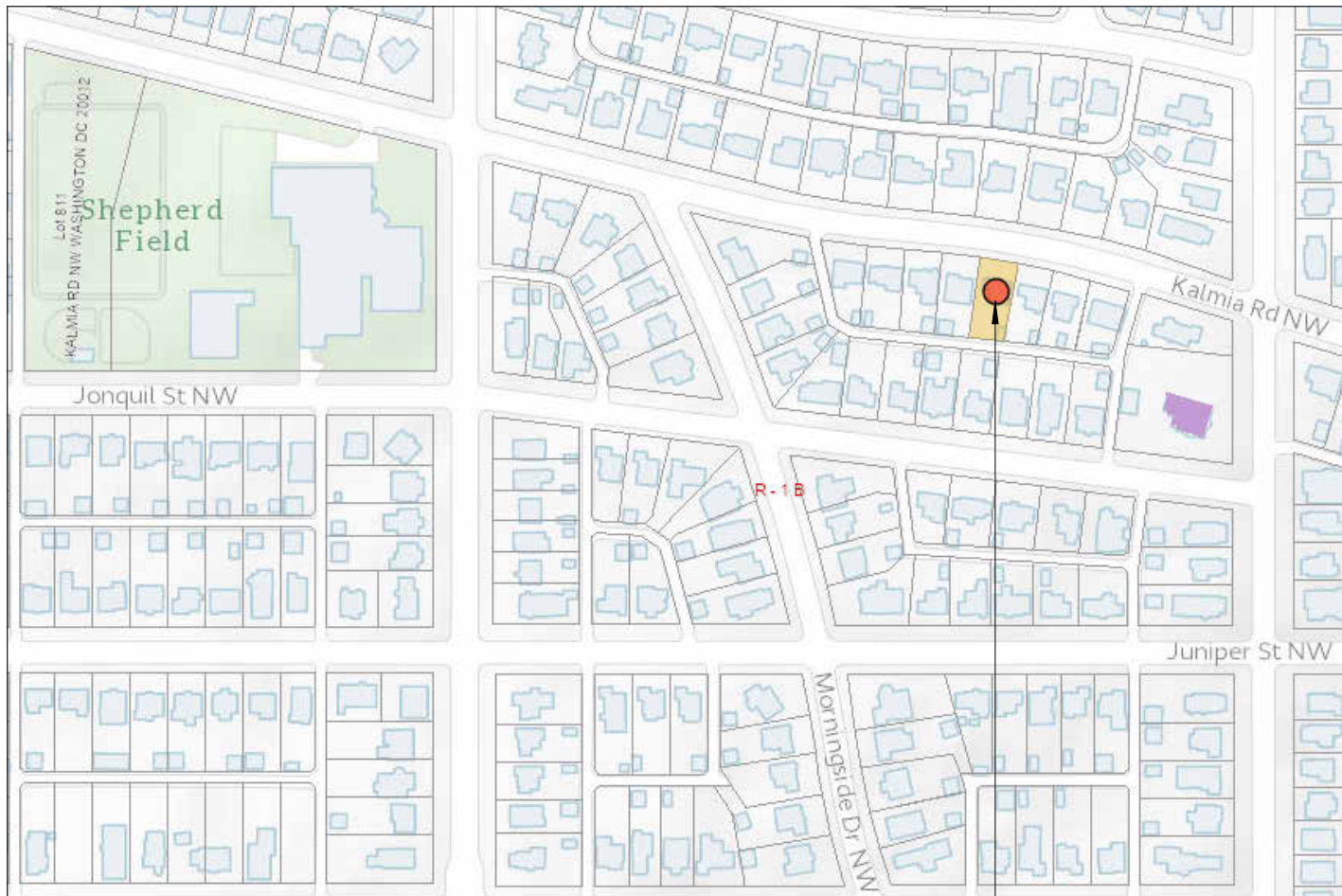
VERIFY IN FIELD
- VOF

VERTICAL OUTSIDE FACE
- VTR

VENT TO ROOF
- WD

WOOD

ZONING REPORT MAP



PROJECT LOCATION

DRAWING INDEX

Sheet Number	Sheet Name
0001	COVER SHEET
0002	3D VIEWS
0003	SOLAR STUDY
0004	SOLAR STUDY
0101	SITE PLAN
A101	PROPOSED PLANS
A201	EXTERIOR ELEVATIONS

FOUR BROTHERS
DESIGN + BUILD

4009 GEORGIA AVE, NW | WASHINGTON DC 20011
202.423.8703 | www.fourbrothersdc.com

RILEY RESIDENCE

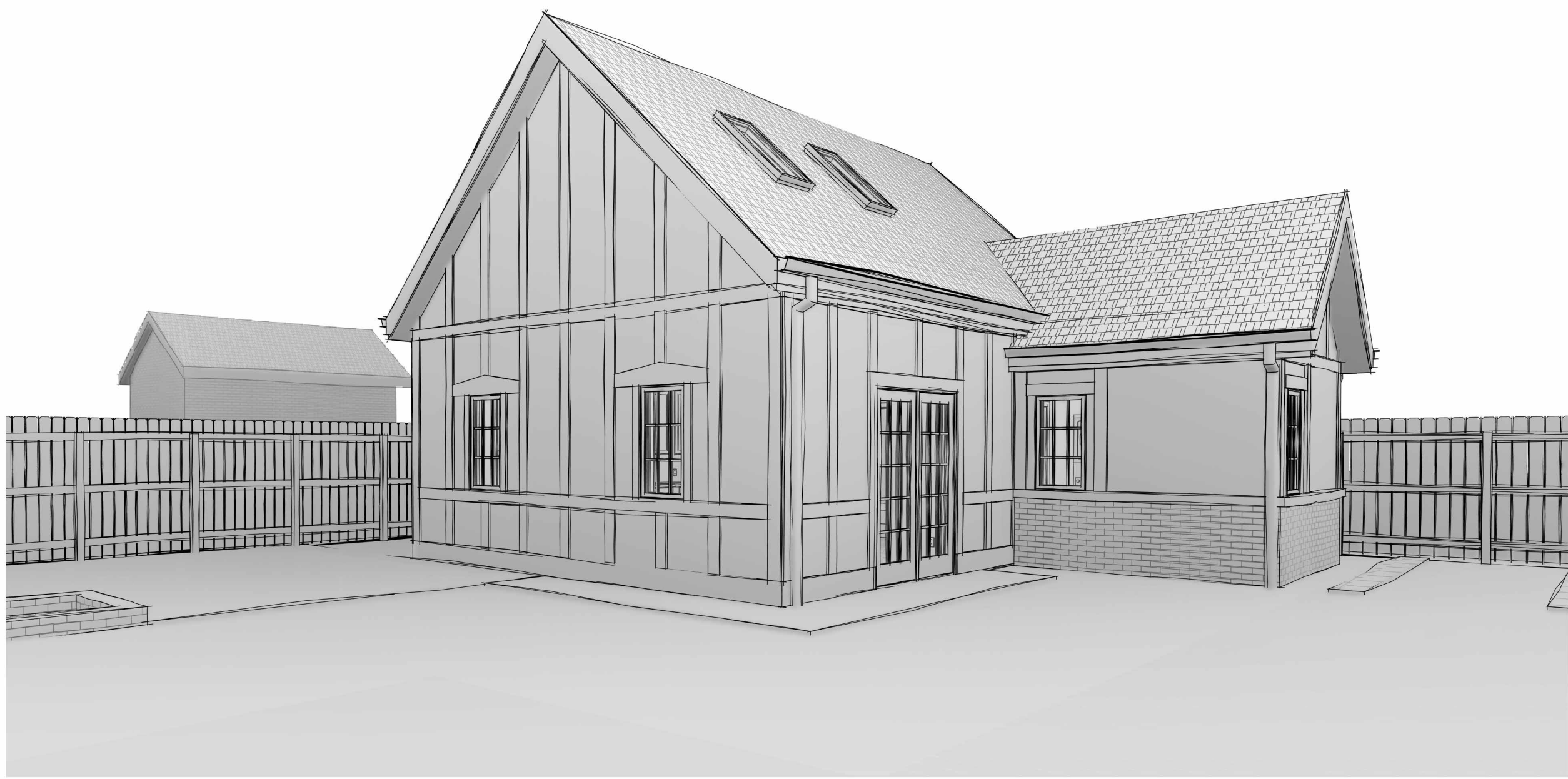
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WASHINGTON, DC 20012

No.	Description	Date

COVER SHEET

Drawing Set PERMIT
Date 11/22/2024

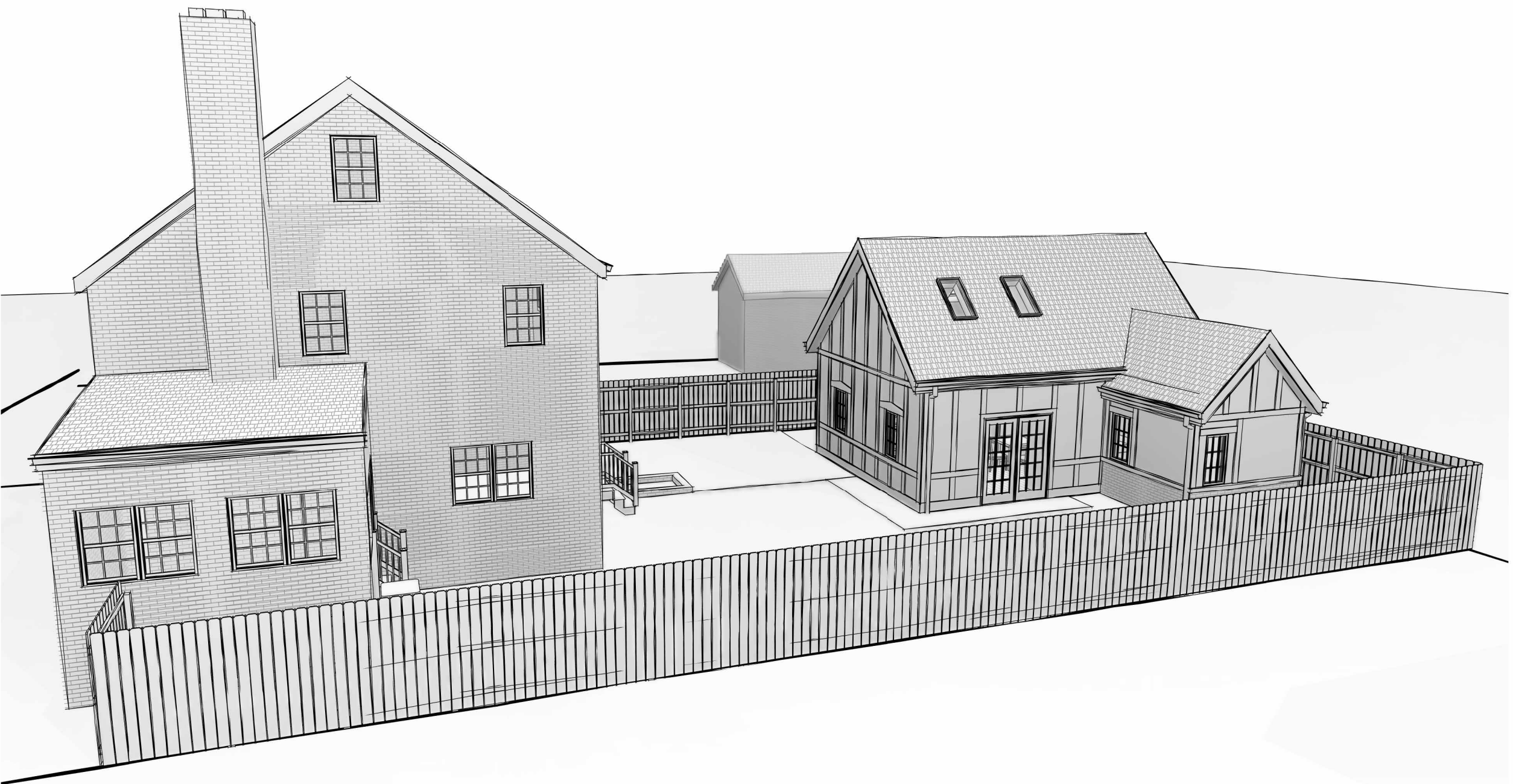
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① 3D VIEW - EXTERIOR



③ 3D VIEW - INTERIOR



② 3D VIEW - EXTERIOR



④ 3D VIEW - INTERIOR

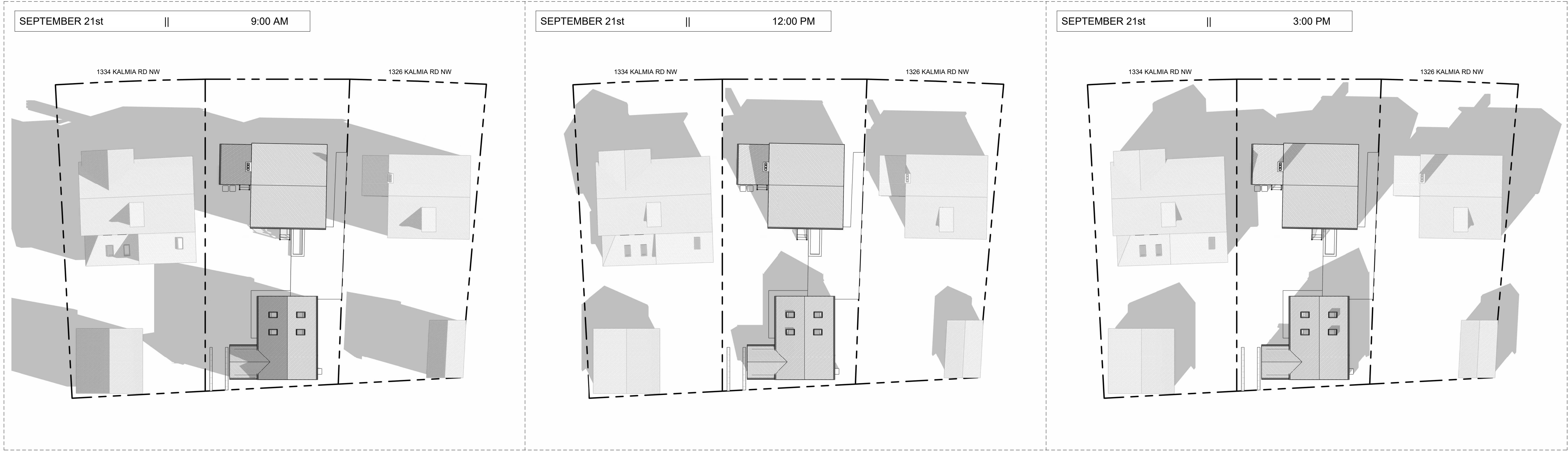
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No.	Description	Date

3D VIEWS

FALL SEASON



SEPTEMBER 21st

||

12:00 PM

SEPTEMBER 21st

||

3:00 PM

WINTER SEASON



DECEMBER 21st

||

12:00 PM

DECEMBER 21st

||

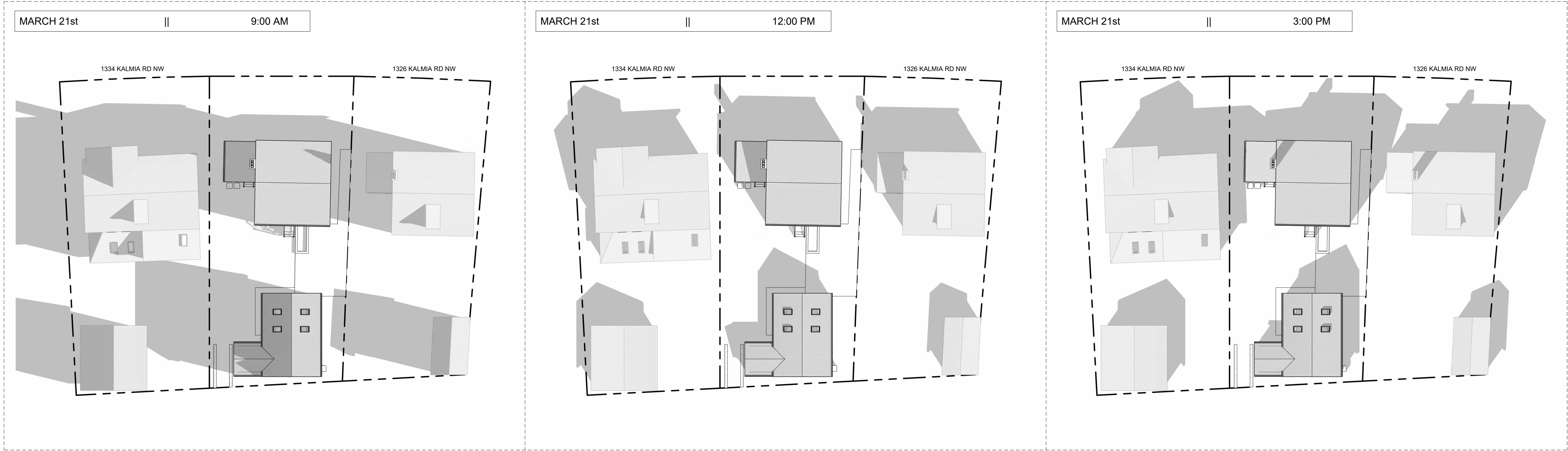
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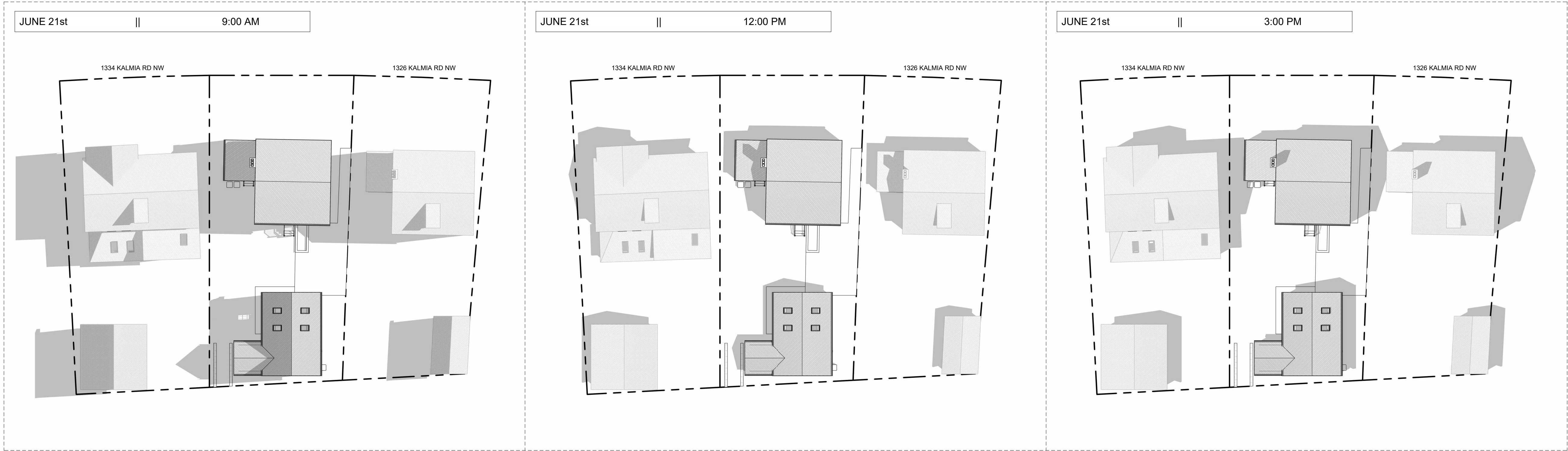
SOLAR STUDY



SPRING SEASON



SUMMER SEASON



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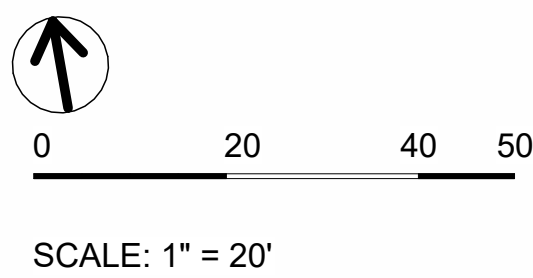
No.	Description	Date

SOLAR STUDY

Drawing Set
Date

PERMIT
11/22/2024

0004



SITE PLAN NOTES

1. VERIFY ALL FIELD DIMENSIONS PRIOR TO FRAMING / GRADING
2. EXISTING FENCE ALONG PROPERTY LINES TO REMAIN

SITE PLAN LEGEND

- PROPERTY LINE
EXISTING STRUCTURES
AREA TO BE DEMOLISHED
NEW STRUCTURES
AREA DRAIN / DOWNSPOUT
TREES / VEGETATION

ZONING INFORMATION

- ZONING: R-1B
NEIGHBORHOOD: SHEPHERD PARK
SSL: 2773 0019
LOT SIZE: 5,125 SF (MIN. 5,000 SF)
LOT OCCUPANCY: 28.6% (MAX. 40%)
EXISTING: 868 + 181 (EXST GARAGE) 1,049 SF (20.5%)
PROPOSED: 868 + 600 (ADU) 1,468 SF (28.6%)
PERVIOUS SURFACE: 3,104 SF (60.56%) (MIN. 50%)
SETBACKS:
SIDE: MIN. 8 FT
REAR: MIN. 7'-6" FROM ALLEY CENTERLINE
HEIGHT: 20'-6" (MAX. 22 FT)

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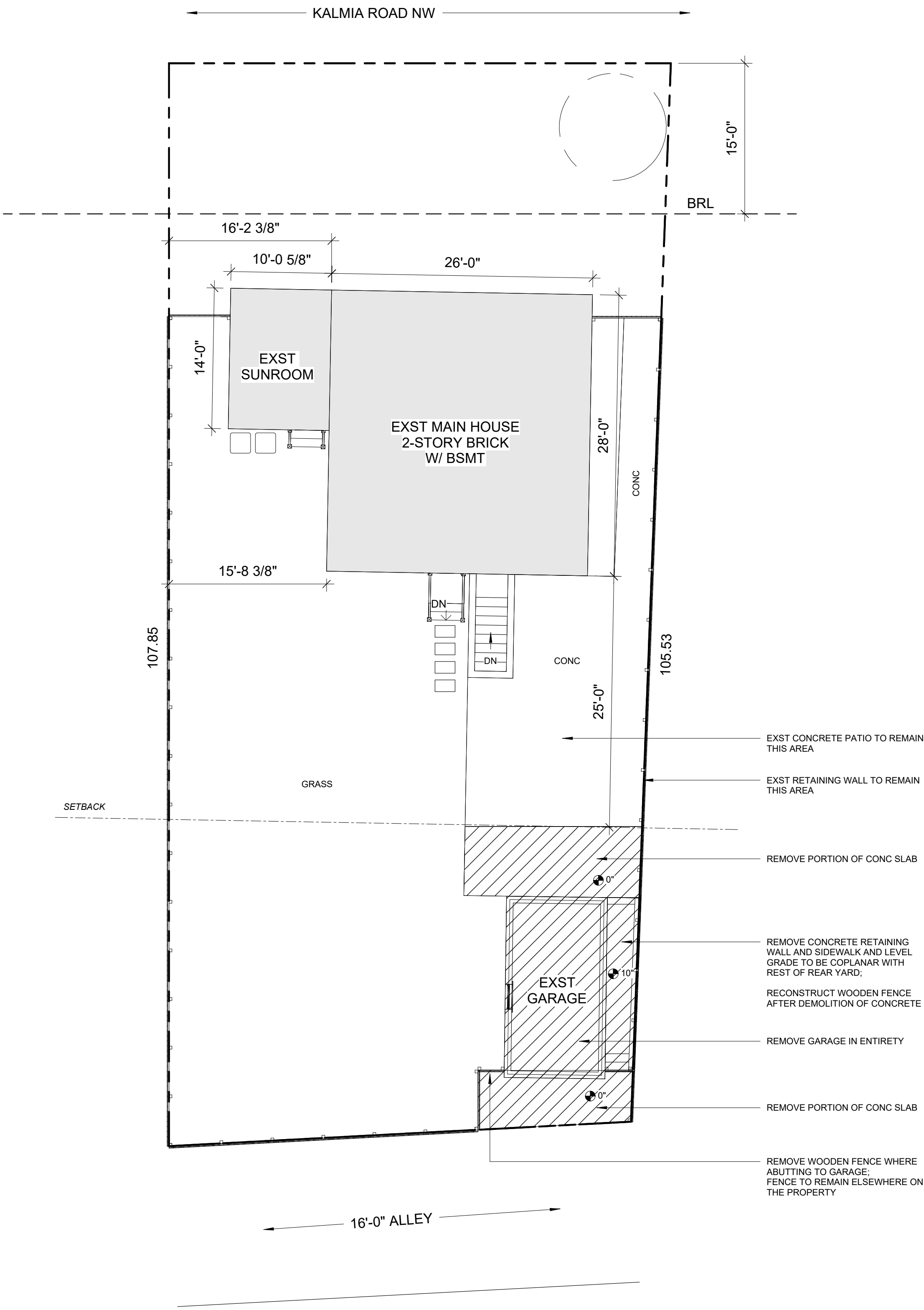
No.	Description	Date

SITE PLAN

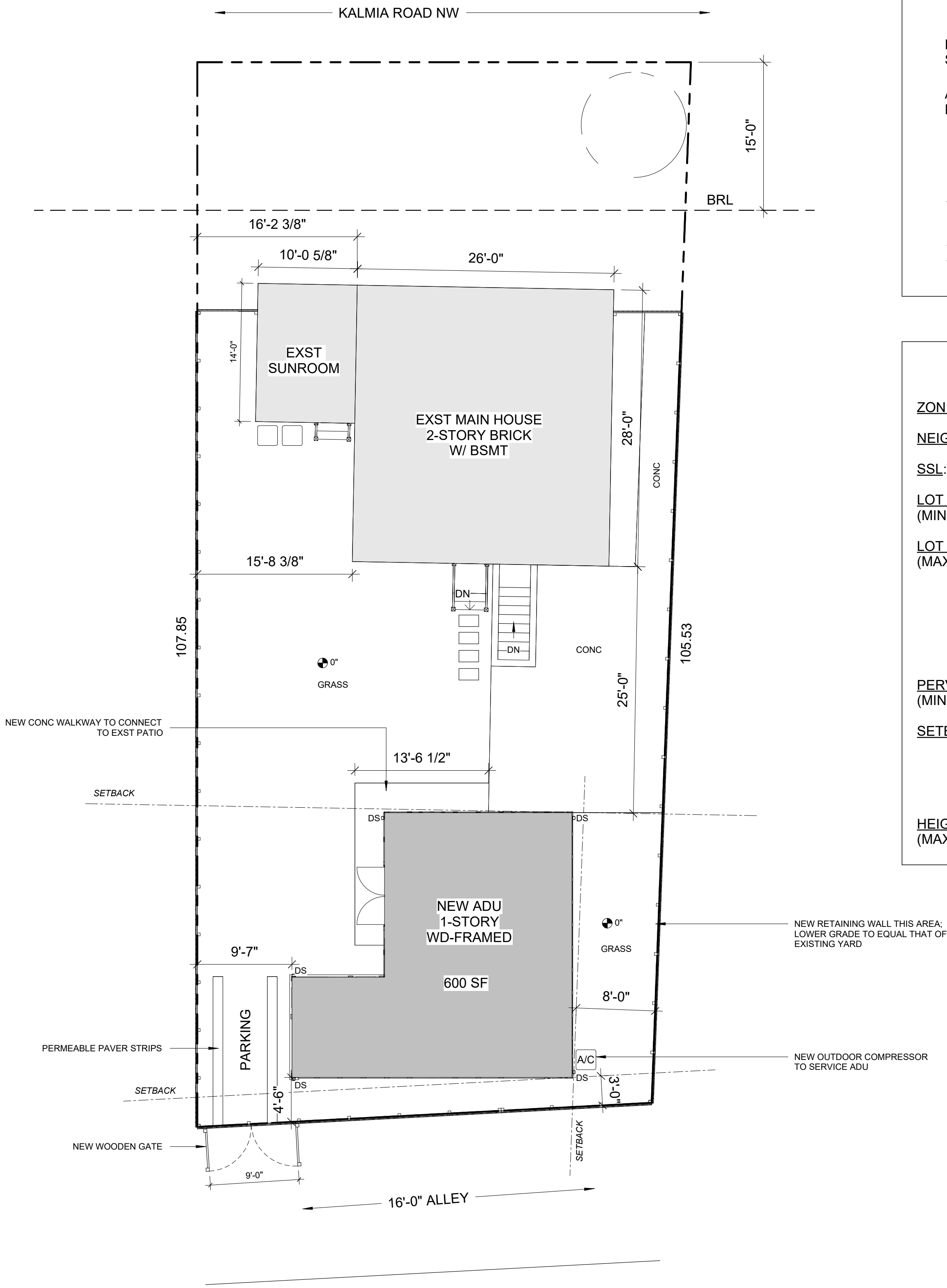
Drawing Set
Date

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11/22/2024

0101



1 SITE PLAN - EXISITNG
1/8" = 1'-0"



2 SITE PLAN - PROPOSED
1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

Window Schedule									
WT	Model	Manufacturer	Width	Height	U-Value	SHGC	Comments	Tempered	Count
A1	400-Series Casement	Andersen Corporation	2'-0"	3'-10"	0.28	0.29			3
A2	400-Series Casement	Andersen Corporation	2'-0"	3'-10"	0.28	0.29		Yes	1
B1	400-Series Casement	Andersen Corporation	2'-6"	4'-6"	0.27	0.30			2
C1	FCM2246	Velux	2'-0"	4'-0"	0.51	0.29			4

Door Schedule				
Mark	Type	Width	Height	Comments
101x	French Outswing	6'-0"	7'-0"	

NOTE: FINAL WINDOW PLACEMENT WILL BE DETERMINED AT THE TIME OF BUILDING PERMIT AND WILL NOT EXCEED **15%** OF OPENINGS ALONG ANY GIVEN FACADE.

WALL LEGEND

NEW

EXST

GENERAL NOTES

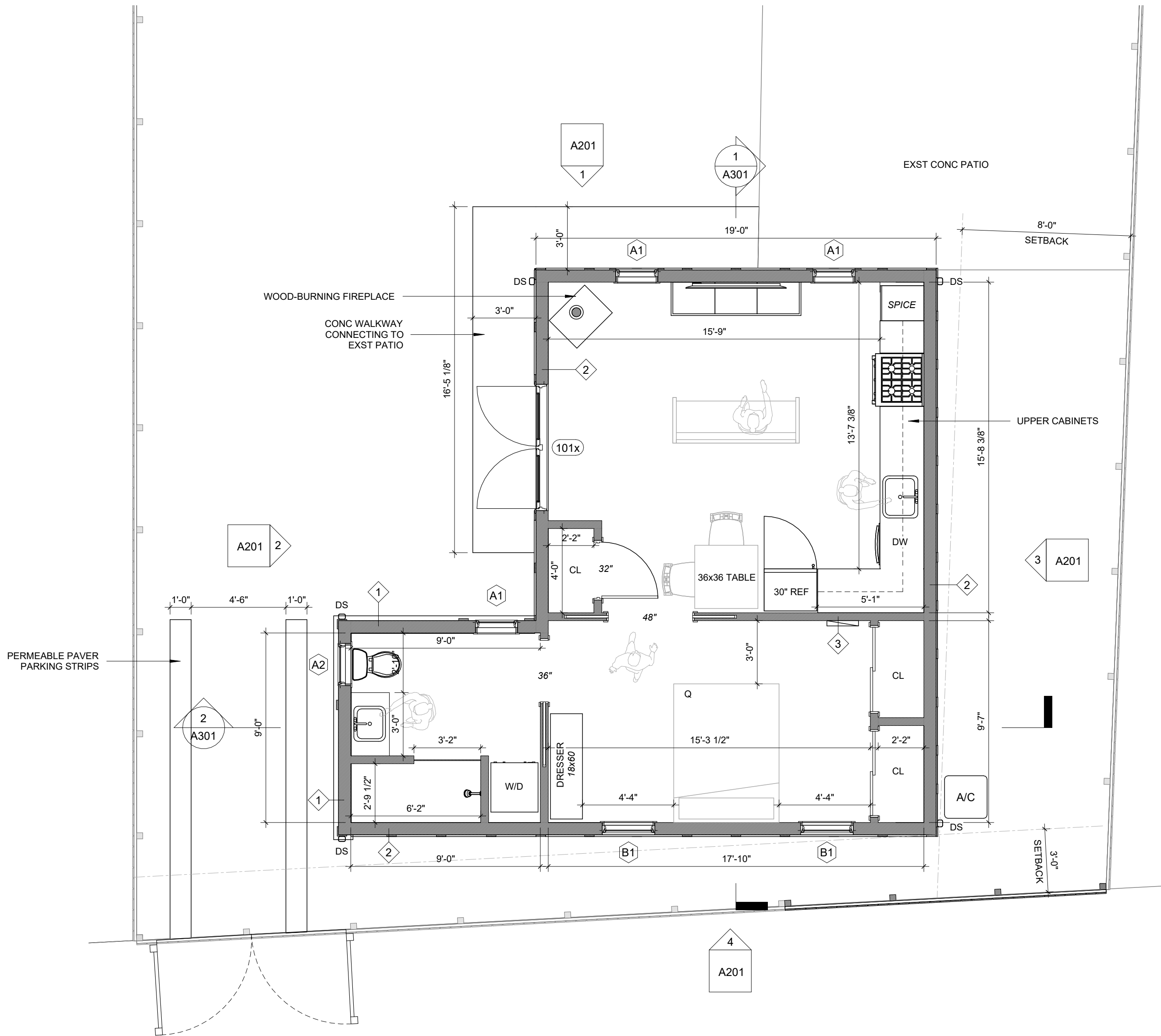
- ARCHITECTURAL DRAWINGS MUST ALWAYS BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT SERVICES DRAWINGS AND CONTRACT DOCUMENTS. ANY DISCREPANCY BETWEEN THESE DRAWINGS AND DOCUMENTS SHOULD BE REPORTED TO THE ARCHITECT AND/OR ENGINEER FOR CLARIFICATION AND VERIFICATION.
- THE SUPERINTENDENT SHALL COORDINATE ALL MECHANICAL FLOOR/WALL SLEEVES AND SHAFTS IN CONCRETE SLABS/WALLS WITH MECHANICAL, PLUMBING, FIRE PROTECTION, ELECTRICAL, STRUCTURAL AND ARCHITECTURAL DRAWINGS AND DISCREPANCIES, IF ANY, ARE TO BE BROUGHT TO NOTICE OF THE ENGINEER PRIOR TO EXECUTION OF WORK.
- DRAWINGS AND DIMENSIONS:
 - VERIFY ALL FIELD DIMENSIONS PRIOR TO FRAMING.
 - ONLY WRITTEN DIMENSIONS IN ALL CASES SHALL BE FOLLOWED.
 - EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE AND CENTERLINE OF WINDOWS UNO; INTERIOR DIMENSIONS ARE TO FINISHED FACE UNLESS NOTED OTHERWISE.
 - ALL DIMENSIONS ARE IN FEET OR INCHES AND ANGLES IN DEGREES UNLESS NOTED OTHERWISE.
 - SPOT ELEVATIONS ARE MEASURED FROM FIRST FLOOR (FIRST FLOOR = 0'-0").
 - SEE STRUCTURAL SHEETS FOR MEMBER TYPES AND TEMPORARY SUPPORTS. VERIFY ALL LOCATIONS OF NEW POST-DN CONDITIONS ON SITE.
 - SEE MECHANICAL PLANS FOR REALLOCATED EQUIPMENT LOCATIONS AND REFRIGERANT LINE PATHS.
 - SEE PLUMBING & ELECTRICAL PLANS PRIOR TO FRAMING FLOORS.
 - SEE ELECTRICAL PLANS FOR SMOKE/CARBON-MONOXIDE DETECTORS.

FOUR BROTHERS
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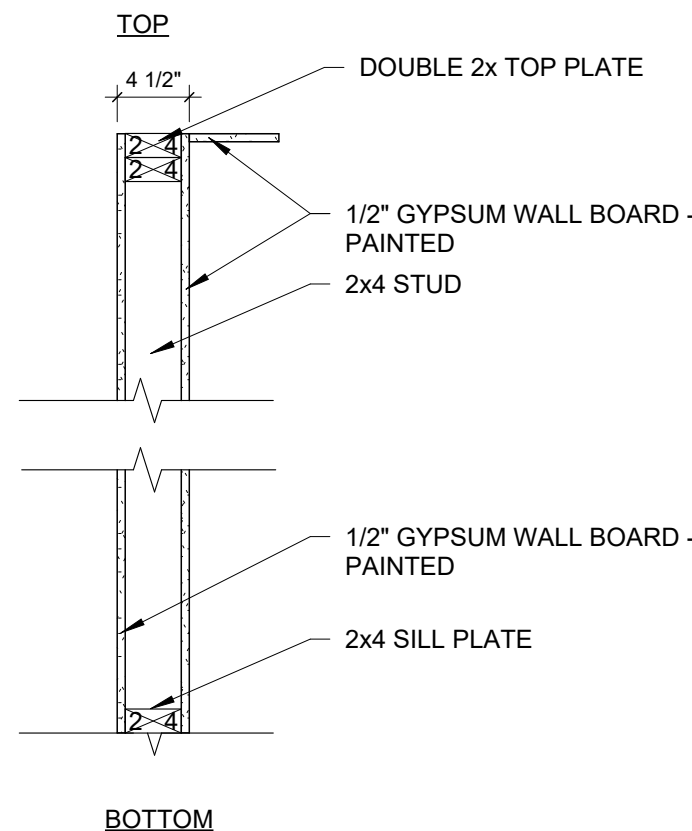
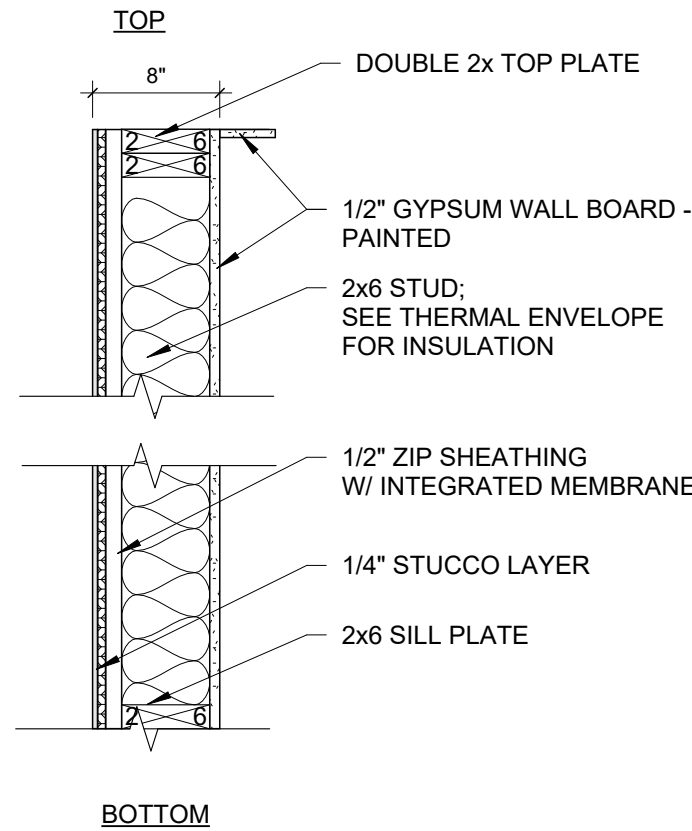
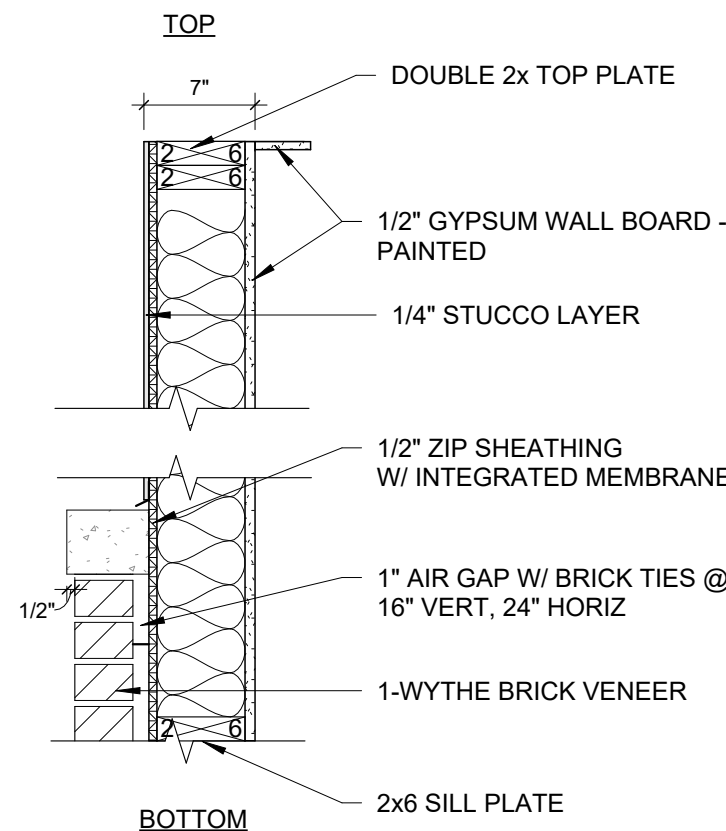
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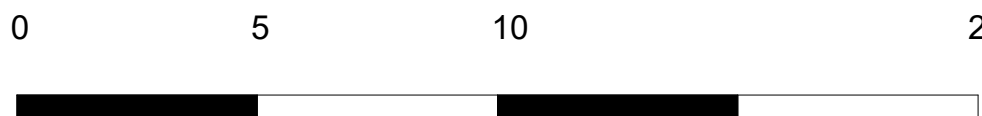
TYPICAL PARTITIONS:



1
2x6 VENEER STACKED WALL
EXTERIOR

2
2x6 WALLS W/ SIDING
EXTERIOR

3
2x4 PARTITION WALLS
INTERIOR



SCALE: 1/4" = 1'-0"

No.	Description	Date

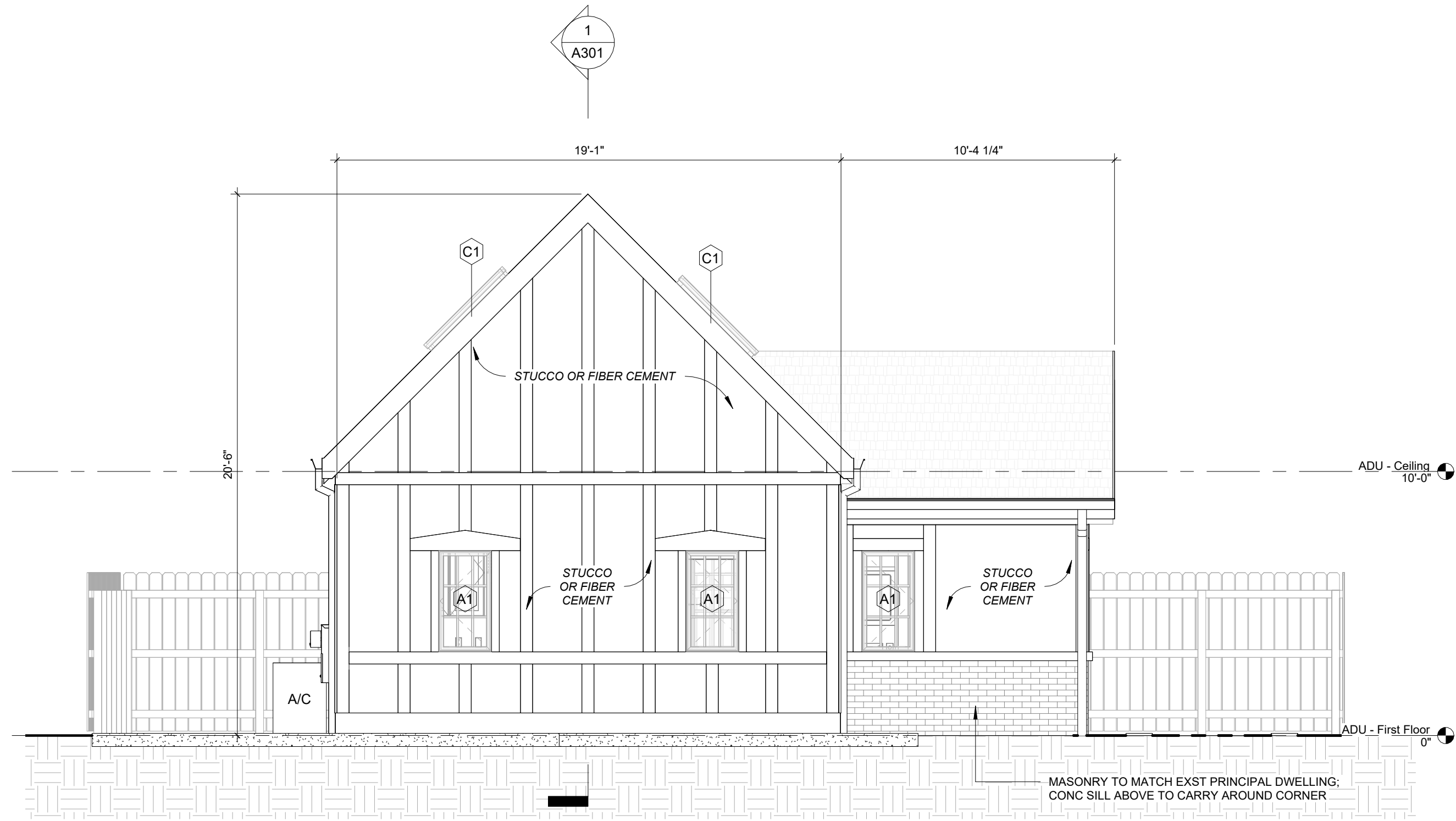
PROPOSED
PLANS

Drawing Set
Date

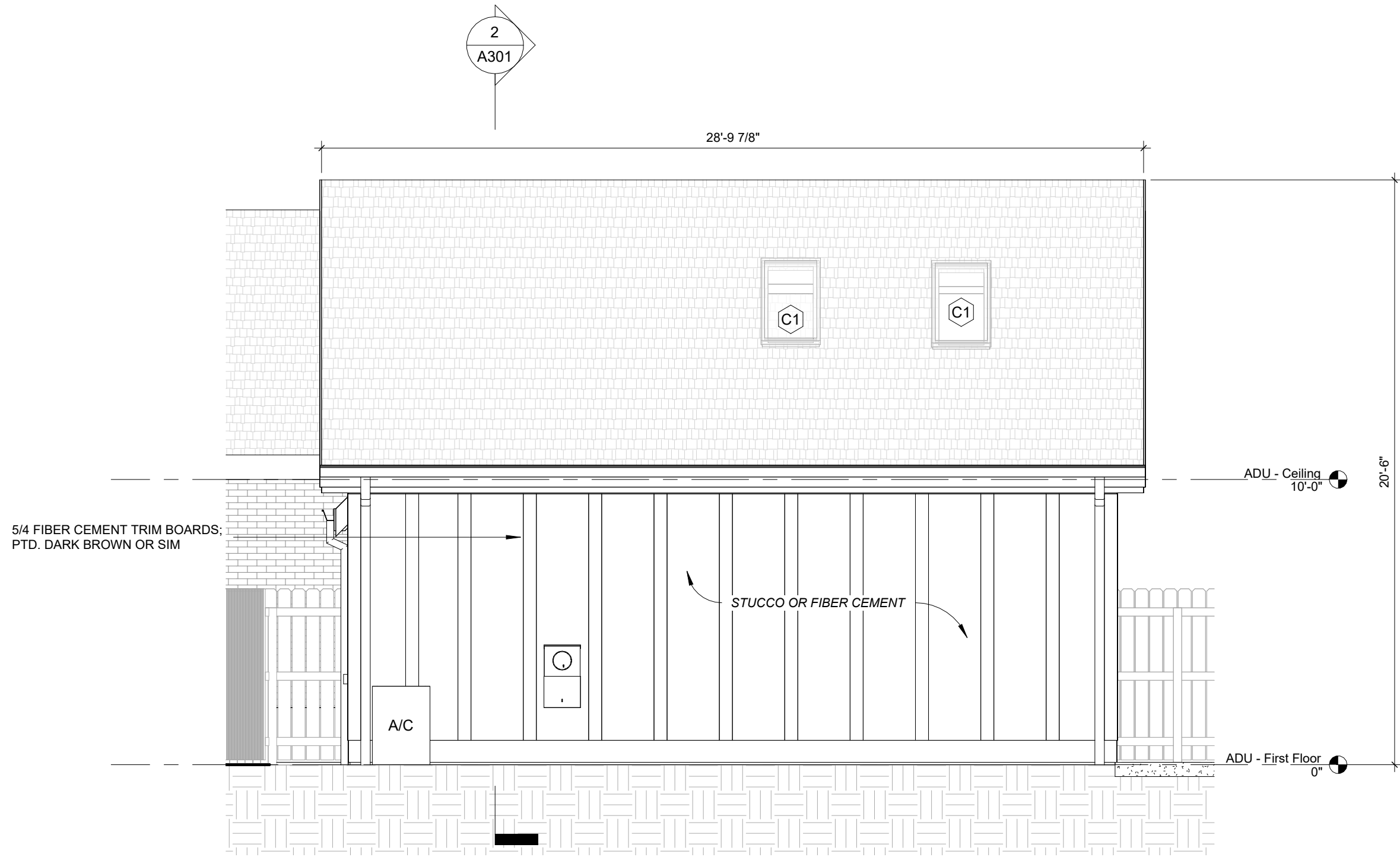
PERMIT
11/22/2024

A101

NOTE: FINAL WINDOW PLACEMENT WILL BE DETERMINED AT THE TIME OF BUILDING PERMIT AND WILL NOT EXCEED 15% OF OPENINGS ALONG ANY GIVEN FACADE.



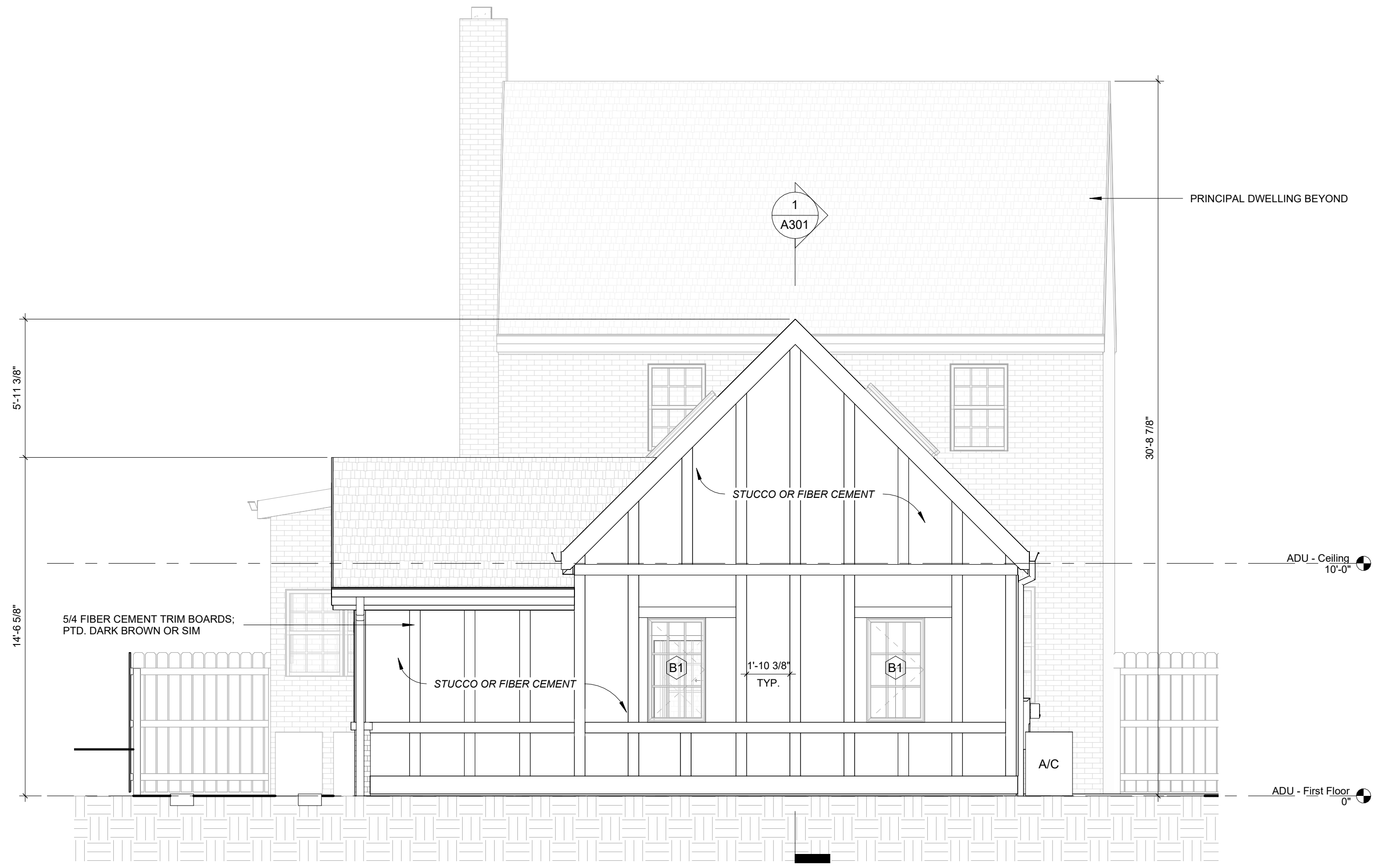
1 EXTERIOR ELEVATION
1/4" = 1'-0"



3 EXTERIOR ELEVATION
1/4" = 1'-0"



2 EXTERIOR ELEVATION
1/4" = 1'-0"



4 EXTERIOR ELEVATION
1/4" = 1'-0"

RILEY RESIDENCE

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No.	Description	Date

EXTERIOR ELEVATIONS

Drawing Set
Date

PERMIT
11/22/2024

A201