

# LIVINGSTON HOUSE

## APARTMENT BUILDINGS BZA PACKAGE



4184 LIVINGSTON ROAD  
SE,  
WASHINGTON DC 20032

LOT: 0024

SQUARE: 6219

22 UNITS APARTMENT  
BIULDING

4190 LIVINGSTON ROAD  
SE,  
WASHINGTON DC 20032

LOT: 0023

SQUARE: 6219

22 UNITS APARTMENT  
BIULDING

4196 LIVINGSTON ROAD  
SE,  
WASHINGTON DC 20032

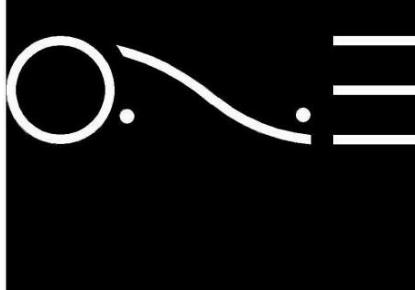
LOT: 0022

SQUARE: 6219

22 UNITS APARTMENT  
BIULDING

4184/4190/4196  
LIVINGSTON RD SE

DISTRICT OF COLUMBIA  
20032



ONE DESIGN SERVICES  
onedesignservices.net  
Tel. 571.225.7211

REVISION #  
SCALE  
ISSUE DATE  
APRIL 2023

COVER SHEET

000

Board of Zoning Adjustment  
Case No. 21273  
Exhibit No. 7

# 4184/ 4190 AND 4196 LIVINGSTON ROAD SE, WASHINGTON DC 20032

LOT: 0022, 0023, 0024

SQUARE: 6219

22 UNITS APARTMENT  
BIULDING PER LOT

PROJECT CODE -

**OWNER**  
LIVINGSTON DEVELOPERS  
GROUP LLC

**OWNER ADDRESS**  
3535 S BALL ST APT 10110  
ARLINGTON VA  
22202-4438

**PROPERTY ADDRESS**  
4184 LIVINGSTON RD SE  
WASHINGTON DC 20032

**Square, Suffix, Lot**  
6219 0022/23/24

## FRONT PHOTO



## ARIAL PHOTO



**SCOPE OF WORKS**  
REAR ADDITION ON AN  
EXISTING APARTMENT BUILDINGS ON  
LOTS 22, 23, AND 24. TO CONVERT  
EACH LOT FROM 13 TO 22 UNITS.

- TO ADD 8 UNITS ON EACH LOT -  
CELLAR THROUGH THIRD FLOORS.  
- TO RELOCATE COMMON LAUNDRY  
ROOM FROM EXISTING CELLAR TO THE  
PROPOSED REAR ADDITION. TO  
CONVERT THE EXISTING LAUNDRY  
SPACE TO A TWO BEDROOM UNIT.

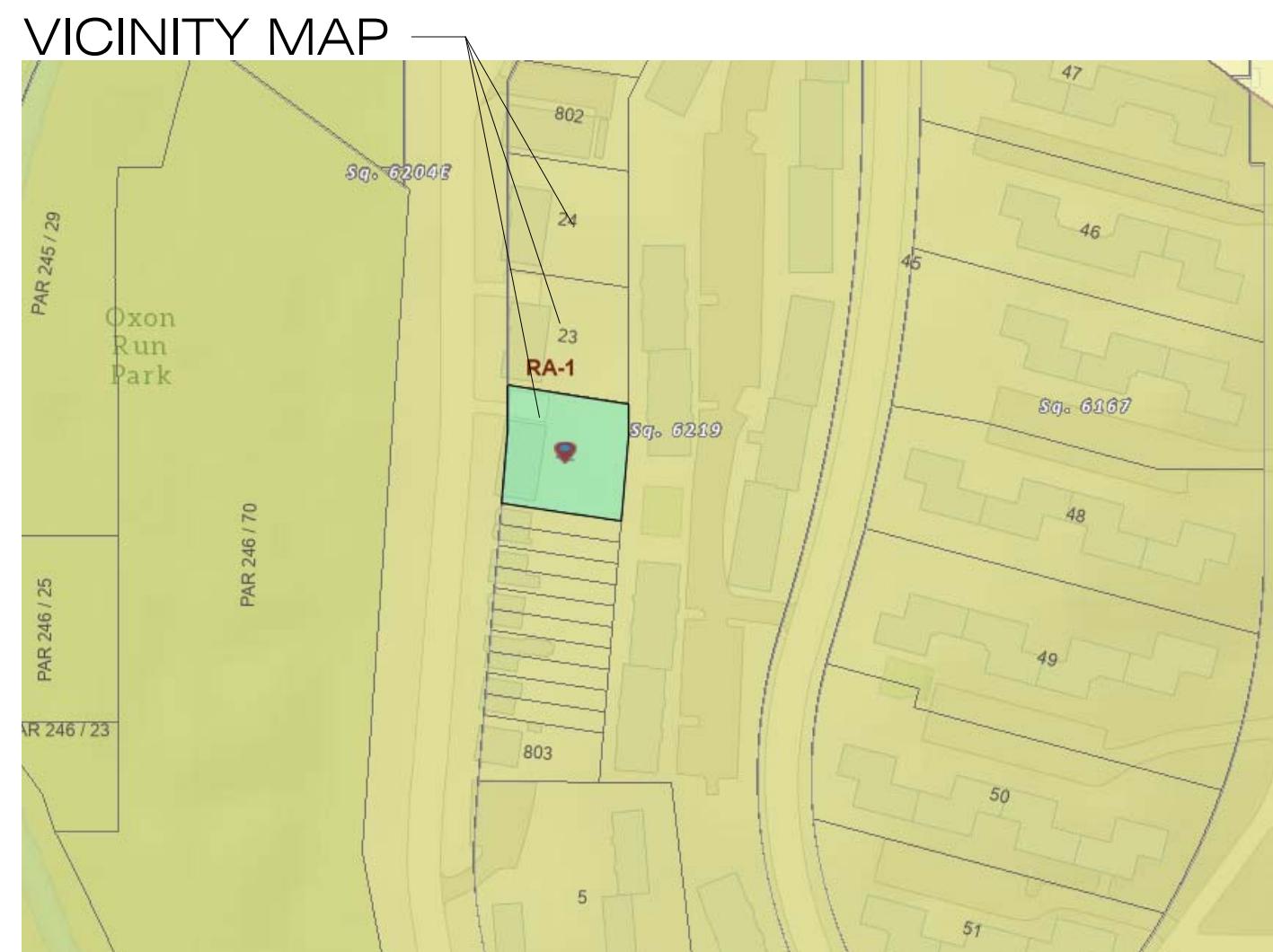
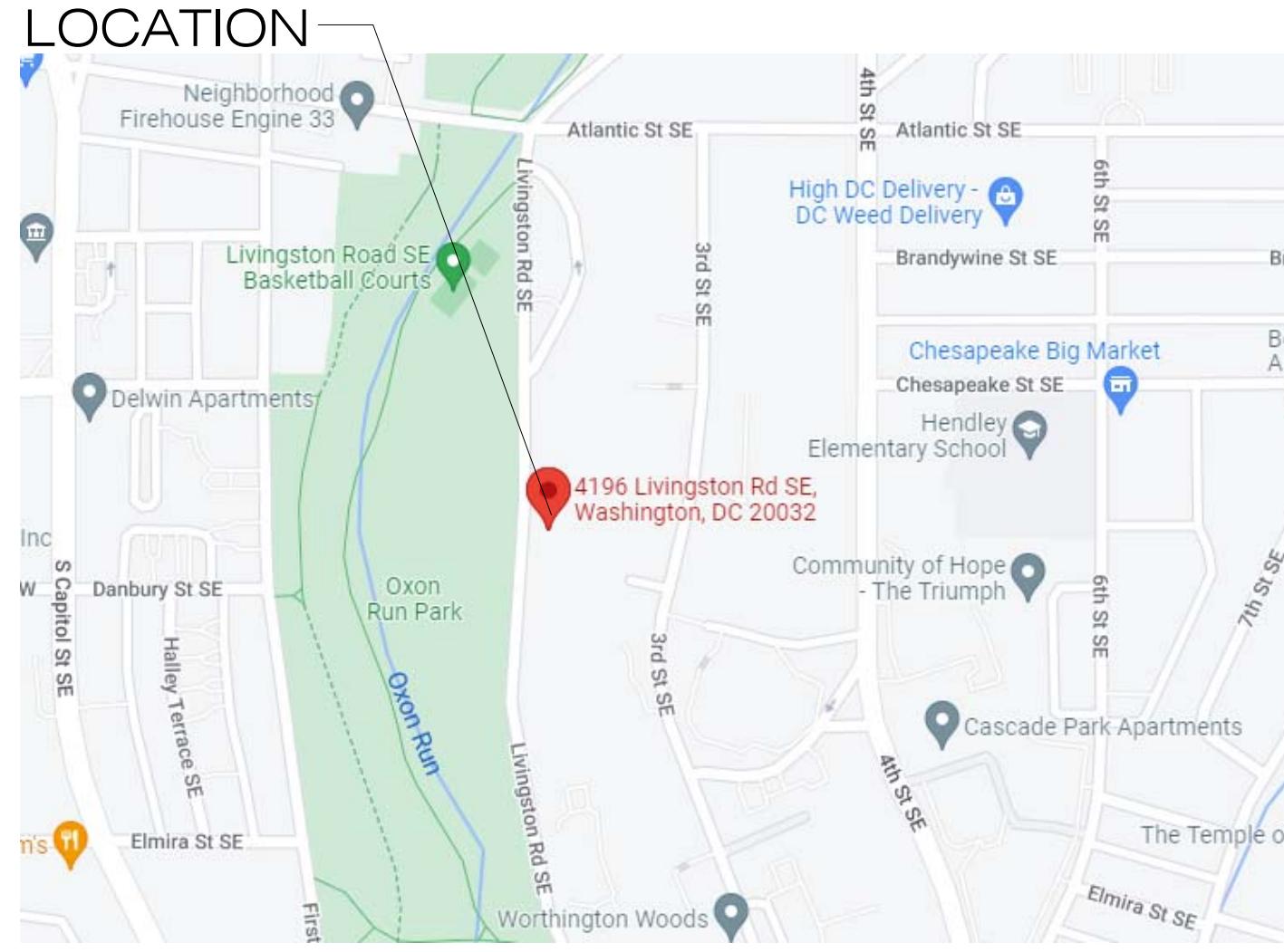
NO ALTERATION ON 2ND AND 3RD  
LEVELS OF THE EXISTING BLOCKS.

## PROJECT DESIGN TEAM

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512-621-2406



SYMBOLS	ABBREVIATIONS
PLAN DETAIL REFERENCE	DOOR DESIGNATION
DETAIL REFERENCE SHEET NUMBER	WINDOW DESIGNATION
ELEVATION REFERENCE SHEET NUMBER	PARTITION TYPE
SECTION REFERENCE SHEET NUMBER	KEY NOTE
EXISTING WALL TO BE REMOVED	ROOM NUMBER
EXISTING WALL TO REMAIN	FIXTURE TYPE
NEW BRICK WALL	ELEVATION MARKER
NEW CMU WALL	INTERIOR ELEVATION DESIGNATION
NEW STUD WALL	ROOF SLOPE DIRECTION

## GENERAL NOTES

### DIVISION 1- GENERAL REQUIREMENTS

1. THE SUB-CONTRACTOR SHALL READ ALL GENERAL AND SPECIFIC NOTES AND BE BOUND TO THEIR REQUIREMENTS. SUB-CONTRACTOR SHALL VISIT SITE AND EXAMINE EXISTING CONDITIONS PRIOR TO BID.
2. THE SUB-CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.
3. THE BID SHALL BE BASED ON THE USE OF ALL EQUIPMENT, MATERIALS, MANUFACTURERS AND SYSTEMS DESCRIBED IN THIS SET OF CONSTRUCTION CONTACT DOCUMENTS UNLESS SPECIFICALLY INDICATED IN THE PRICE SUBMISSION. UNLESS AN ITEM IS SPECIFICALLY EXCLUDED OR A SUBSTITUTION IS LISTED ON THE SUBMISSION BY THE SUB-CONTRACTOR, HE SHALL BE RESPONSIBLE FOR THE FULL EXTENT OF ALL WORK CONTAINED IN THE CONTRACT DOCUMENTS.
4. ANY QUESTIONS OR CONFLICTS REGARDING ARCHITECTURAL DRAWINGS OR SPECIFICATIONS ARE TO BE IN WRITING AND DIRECTED TO ARCHITECTS.
5. IF CONFLICTS ARE DISCOVERED AT ANY TIME BETWEEN ENGINEERING AND ARCHITECTURAL DRAWINGS, ARCHITECT SHALL BE CONTACTED AT ONCE TO RESOLVE THE PROBLEM. IF A ARCHITECT IS NOT CONTACTED, SUB CONTRACTOR SHALL ACCEPTANT RESPONSIBILITY TO CORRECT ANY WORK INSTALLED. THAT IS NOT IN ACCORDANCE WITH THE DWGS.
6. IF CONFLICTS ARE DISCOVERED AT ANY TIME BETWEEN SITE CONDITIONS AND ARCHITECTURAL DWGS, ARCHITECT SHALL EXACT LOCATIONS OF ALL UTILITIES PRIOR TO CUTTING AND DIGGING. ALL SLAB PENETRATION SHALL BE CONTACTED AT ONCE TO RESOLVE ANY DISCREPANCIES. OTHERWISE CONTRACTOR TAKES FULL RESPONSIBILITY.
7. IN CONFLICTS BETWEEN ARCHITECTURAL AND ENGINEERING SPECIFICATIONS OF FINISHES, ARCHITECTURAL DWGS SHALL TAKE PRECEDENCE AND CONFLICTS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
8. SUB-CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND QUANTITIES IN THE FIELD
9. WHERE SLAB CUTTING IS REQUIRED, IT SHALL BE SUB-CONTRACTOR'S RESPONSIBILITY TO VERIFY EXACT LOCATIONS OF ALL UTILITIES PRIOR TO CUTTING AND DIGGING. ALL SLAB PENETRATION SHALL BE DONE BY EITHER CORE DRILLING OR SAW CUTTING AND DIGGING. ALL SLAB ON GRADE, SUB-CONTRACTOR SHALL BACKFILL IN LIFTS NOT TO EXCEED 8" AND TAMPER USING A MECHANICAL COMPACTOR. NEW PATCHING SHALL BE THE SAME THICKNESS AS EXISTING SLAB AND, SHALL ALIGN AND MAINTAIN THE LEVEL OF EXISTING SLAB.
10. SUB-CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH NATIONAL, STATE AND LOCAL CODES.
11. ALL PERMITS, INSPECTIONS AND FEES ARE TO BE OBTAINED, SECURED AND PAID FOR BY THE SUB-CONTRACTOR.
12. SUB-CONTRACTOR MAY SUBSTITUTE MATERIALS AND/OR CONSTRUCTION ITEMS AND METHODS UPON SUBMITTAL OF A SUBSTITUTION IN WRITING OR BY SAMPLE TO ARCHITECT. ANY COST CHANGES MUST ALSO BE SUBMITTED. THE ARCHITECT WILL COMMUNICATE THE DECISION TO THE SUB-CONTRACTOR BY LETTER IF THE SUBMISSION IS ACCEPTED. SUBSTITUTION FOR LONG LEAD ITEMS MUST BE PROPOSED EARLY ENOUGH IN THE CONSTRUCTION PROCESSES THAT NO DELAY IS CREATED IN COMPLETION IF THE PROJECT DUE TO THE SUBSTITUTION, OTHERWISE THE SUB CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY COST TO THE OWNER ARISING OUT OF SUCH WORK.
13. WARRANTIES, GUARANTEES AND MANUFACTURER'S INSTRUCTIONS ON EQUIPMENT FURNISHED AND INSTALLED BY THE SUB-CONTRACTOR SHALL BE ASSEMBLED BY NOTEBOOK GIVEN TO THE OWNER AT THE TIME OF OCCUPANCY.
14. AT COMPLETION OF THE WORK, THE SUB-CONTRACTOR SHALL ENSURE ALL SURFACES ARE CLEAN AND UNMARKED, AND THAT ALL SYSTEMS ARE OPERATING PROPERLY.
15. SUB-CONTRACTOR SHALL REPAIR ALL DAMAGE CAUSED BY HIM OR HIS PERSONNEL.
16. SUB-CONTRACTOR SHALL CLEAN ALL WINDOWS AT THE COMPLETION OF CONSTRUCTION.
17. SUB-CONTRACTOR SHALL ENSURE THAT ALL PAINT HAS BEEN MOVED FROM ALL SURFACES, ALL MISCELLANEOUS NAILS, HANGERS, STAPLES, WIRES AND WIRE CONDUITS SHALL BE REMOVED FROM WALLS AND CEILINGS.
18. HVAC SUB CONTRACTOR TO CLEAN AND CHECK EXISTING HVAC SYSTEM AND REPORT TO ARCHITECT IF ANY PROBLEMS OR REPAIRS NEEDED.
19. SUB-CONTRACTOR SHALL EXAMINE ALL DRAWINGS RELATED TO HIS AND OTHERS TRADES, AND SHALL BEFULY INFORMED AS TO THE EXTENT OF THIS CONTRACT AND ALL INCLUDING WORK ON PLANS.
20. ALL SYSTEMS AND EQUIPMENT TO BE GUARANTEED FOR ONE YEAR FREE LABOR AND MATERIALS.

### ADDITIONAL NOTE

SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN CONFORMANCE WITH THE DESIGN OF THE BUILDING AND THE CODES. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND APPROVED BY THE BUILDING OFFICIAL.

## CODE ANALYSIS

### COVERING CODES:

BUILDING	2015 IBC AND 2017 DCMR12A SUPPLEMENT 2015 IEBC
MECHANICAL	2017 DISTRICT OF COLUMBIA BUILDING CODE
ELECTRICAL	2017 DISTRICT OF COLUMBIA MECHANICAL CODE
PLUMBING	2014 INTERNATIONAL NFPA-70
FIRE	2017 DISTRICT OF COLUMBIA PLUMBING CODE
GREEN	2017 DISTRICT OF COLUMBIA FIRE CODE
ENERGY	2017 DISTRICT OF COLUMBIA GREEN CONSTRUCTION CODE
FIRE RATINGS	2017 DISTRICT OF COLUMBIA ENERGY CONSERVATION CODE

### FIRE RATINGS

FIRE SEPARATION WALLS (PROPERTY LINE WALLS)	2 HR: (UL U301 - above grade / U 905 - below grade)
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EXTERIOR BEARING WALLS:	1 HR: (UL U301 - above grade / U 905 - below grade)
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STAIR ENCLOSURES COLUMNS AND GIRDERS	1 HR: (none provided)
FLOOR / CEILING CONSTRUCTION	1 HR: (UL L 501)
ROOF CONSTRUCTION	1 HR: (UL L 501)

## GENERAL NOTES

GENERAL INFORMATION	EXISTING LOT	PROPOSED BUILDING
USE GROUP	R2	R2
TYPE OF CONSTRUCTION	VB	VB
FULLY SUPPRESSED (SPRINKLED)	NONE	NONE
LOT AREA		
BUILDING FOOTPRINT	3090 PER BLDG	4806 PER BLDG
<b>TOTAL SITE SF</b>	3090	<b>TOTAL BUILDING SF</b>
BUILDING FOOTPRINT	3090	ABOVE GRADE: 4806 SF (1st, 2nd AND 3rd)
PROPOSED GREEN AREA	NA	SEE CALCS ON SHEET A001
PROPOSED PERMEABLE PAVEMENT	NA	

BUILDING HEIGHT	3 story	3 story
NUMBER OF EXITS	2	3
SOUND TRANSMISSION	STC50	STC50
FIRE ALARM:	HARDWIRED	HARDWIRED
SMOKE DETECTORS	YES HARDWIRED	YES HARDWIRED
CO DETECTORS	YES HARDWIRED	YES HARDWIRED
SPRINKLER	NONE	YES
INSULATION	YES; EXTERIOR WALLS @ R19; ROOF @ R-49	YES; EXTERIOR WALLS @ R19; ROOF @ R-49

## GENERAL NOTES / ZONING CODE ANALYSIS

ZONING DISTRICT	RA-1
USE GROUP	R2
LOT	0022/0023/0024
SQUARE	6219

REQUIREMENT	EXISTING	ALLOWABLE / REQUIRED	PROPOSED
LOT OCCUPANCY		40%	
HEIGHT		40 FT	
F.A.R.		N.A.	
SIDEYARD WIDTH		N.A.	
REAR YARD SETBACK		20 FT MIN	
PARKING		N.A.	
FRONT YARD		NO REQUIREMENT	
DWELLING UNITS		NO REQUIREMENT	

## 4184/4190/4196

## LIVINGSTON RD SE

DISTRICT OF COLUMBIA  
20032

COVER SHEET  
CONTD

001

REVISION #  
SCALE  
ISSUE DATE

AS INDICATED  
APRIL 2023

ONE DESIGN SERVICES  
onedesignservices.net  
Tel. 571.225.7211

**ZONING AND FAR CALCULATIONS**

ZONING DISTRICT	RA-1
ADDRESS	4184 LIVINGSTON RD SE
EXISTING	PROPOSED
NUMBER OF DWELLING UNITS	13 22
LOT AREA	14921 14921
TOTAL FOOTPRINT	3090 4608
LOT OCCUPANCY %	20.71 30.88
REAR SETBACK	75.5 24
FRONT SETBACK	0 0
RIGHT SIDE SETBACK (FACING BLDG)	9 9
LEFT SIDE SETBACK (FACING BLDG)	31.75 31.75
NUMBER OF STORIES	3 3
BUILDING HEIGHT	34 34
PARKING	0 6
PERVIOUS SURFACE %	79.29 69.12

**FAR CALCULATION**

EXISTING SF	PROPOSED SF	SPACES <6'2" SHAFT	PROJECTIONS	FAR APPLICABLE AREA
		RM HT		
LEVEL				
CELLAR	1385	2785	0	0
FIRST	2965	4365	0	0
SECOND	2965	4365	0	0
THIRD	2965	4635	0	0
TOTAL (GFA)	10280	16150	0	0
FAR	0.8957174			

**ADA REQUIREMENTS**

LEVELS	NO. OF UNITS	TYPE A (15%)	TYPE B(85%)
CELLAR	4	0.6	3.4
FIRST	6	0.9	5.1
SECOND	6	0.9	5.1
THIRD	6	0.9	5.1
<b>TOTAL</b>	<b>22</b>	<b>3.3</b>	<b>18.7</b>

**VEHICLE PARKING REQRMTS**

LEVELS	NO. OF UNITS	TYPE A (15%)	TYPE B(85%)
CELLAR	1 PER 3 UNITS	1.33	
FIRST	1 PER 3 UNITS	2	
SECOND	1 PER 3 UNITS	2	
THIRD	1 PER 3 UNITS	2	
<b>TOTAL</b>	<b>22</b>	<b>3.3</b>	<b>18.7</b>
MR EXCEMF	50%		
RQRD	3.67		

**OCCUPANT LOAD CALCULATION**

LEVELS	GSF	RESIDENTIAL OCCUPANCY	AREA PER OCCUPANT	RESIDENTIAL OCCUPANCY	AREA PER OCCUPANT	OCCUPANT
CELLAR	2785 R-2	200	14	2785 R-2	200	14
FIRST	4365 R-2	200	22	4365 R-2	200	22
SECOND	4365 R-2	200	22	4365 R-2	200	22
THIRD	4365 R-2	200	22	4365 R-2	200	22
<b>TOTAL</b>	<b>79</b>			<b>TOTAL</b>	<b>79</b>	

**EXIT REQUIREMENTS**

LEVELS	OCCUPANTS	AREA PER OCCUPANT	EGRESS WIDTH PER OCCUPANT	REQUIRED	WIDTH PROVIDED
CELLAR	14	200	0.2	0.15	2.785 2.09 72 72
FIRST	22	200	0.2	0.15	4.37 3.27 72 72
SECOND	22	200	0.2	0.15	4.37 3.27 72 72
THIRD	22	200	0.2	0.15	4.37 3.27 72 72
<b>TOTAL</b>				<b>15.88</b>	<b>11.91</b> 72 72

**NUMBER OF EXITS**

LEVELS	ALLOWABLE TRAVEL DISTANCE (FT)	ACTUAL TRAVEL DISTANCE (FT)
CELLAR	2	2 250 102.3
FIRST	2	2 250 49.5
SECOND	2	2 250 102.5
THIRD	2	2 250 121

**ZONING AND FAR CALCULATIONS**

ZONING DISTRICT	RA-1
ADDRESS	4190 LIVINGSTON RD SE
EXISTING	PROPOSED
NUMBER OF DWELLING UNITS	13 22
LOT AREA	14921 14921
TOTAL FOOTPRINT	3090 4608
LOT OCCUPANCY %	20.71 30.88
REAR SETBACK	75 23.5
FRONT SETBACK	0 0
RIGHT SIDE SETBACK (FACING BLDG)	9 7.6
LEFT SIDE SETBACK (FACING BLDG)	31.75 31.75
NUMBER OF STORIES	3 3
BUILDING HEIGHT	34 34
PARKING	0 6
PERVIOUS SURFACE %	79.29 69.12

**FAR CALCULATION**

EXISTING SF	PROPOSED SF	SPACES <6'2" SHAFT	PROJECTIONS	FAR APPLICABLE AREA
		RM HT		
LEVEL				
CELLAR	1385	2785	0	0
FIRST	2965	4365	0	0
SECOND	2965	4365	0	0
THIRD	2965	4635	0	0
TOTAL (GFA)	10280	16150	0	0
FAR	0.8957174			

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CELLAR	2785 R-2	200	14	2785 R-2	200	14
FIRST	4365 R-2	200	22	4365 R-2	200	22
SECOND	4365 R-2	200	22	4365 R-2	200	22
THIRD	4365 R-2	200	22	4365 R-2	200	22
<b>TOTAL</b>	<b>79</b>			<b>TOTAL</b>	<b>79</b>	

**EXIT REQUIREMENTS**

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CELLAR	2	2 250 102.3
FIRST	2	2 250 49.5
SECOND	2	2 250 102.5
THIRD	2	2 250 121

**ZONING AND FAR CALCULATIONS**

ZONING DISTRICT	RA-1
ADDRESS	4196 LIVINGSTON RD SE
EXISTING	PROPOSED
NUMBER OF DWELLING UNITS	13 22
LOT AREA	15205 15205
TOTAL FOOTPRINT	3090 4608
LOT OCCUPANCY %	20.32 30.31
REAR SETBACK	81.5 29.5
FRONT SETBACK	0 0
RIGHT SIDE SETBACK (FACING BLDG)	8.2 8.2
LEFT SIDE SETBACK (FACING BLDG)	34.2 34.2
NUMBER OF STORIES	3 3
BUILDING HEIGHT	34 34
PARKING	0 6
PERVIOUS SURFACE %	79.68 69.69

**FAR CALCULATION**

EXISTING SF	PROPOSED SF	SPACES <6'2" SHAFT	PROJECTIONS	FAR APPLICABLE AREA
		RM HT		
LEVEL				
CELLAR	1385	2785	0	0
FIRST	2965	4365	0	0
SECOND	2965	4365	0	0
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**OCCUPANT LOAD CALCULATION**

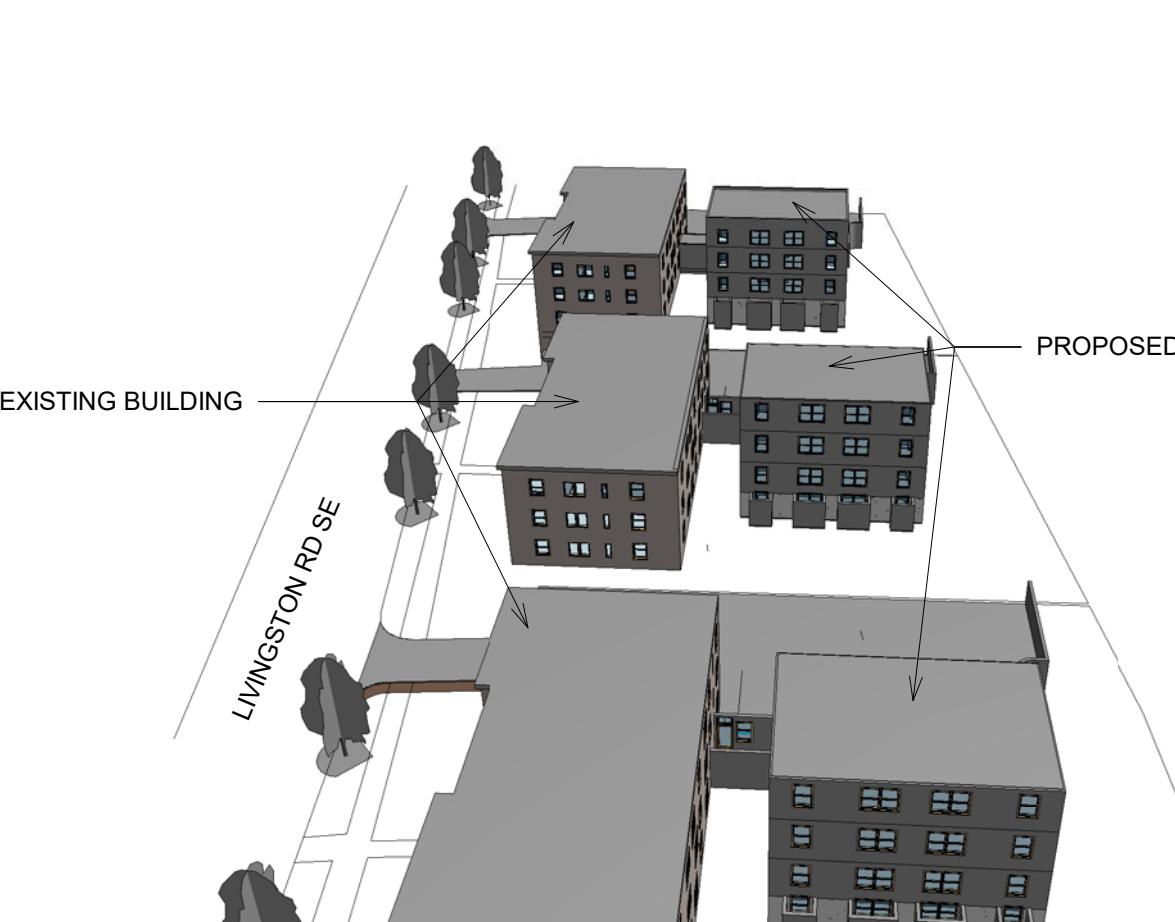
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**EXIT REQUIREMENTS**

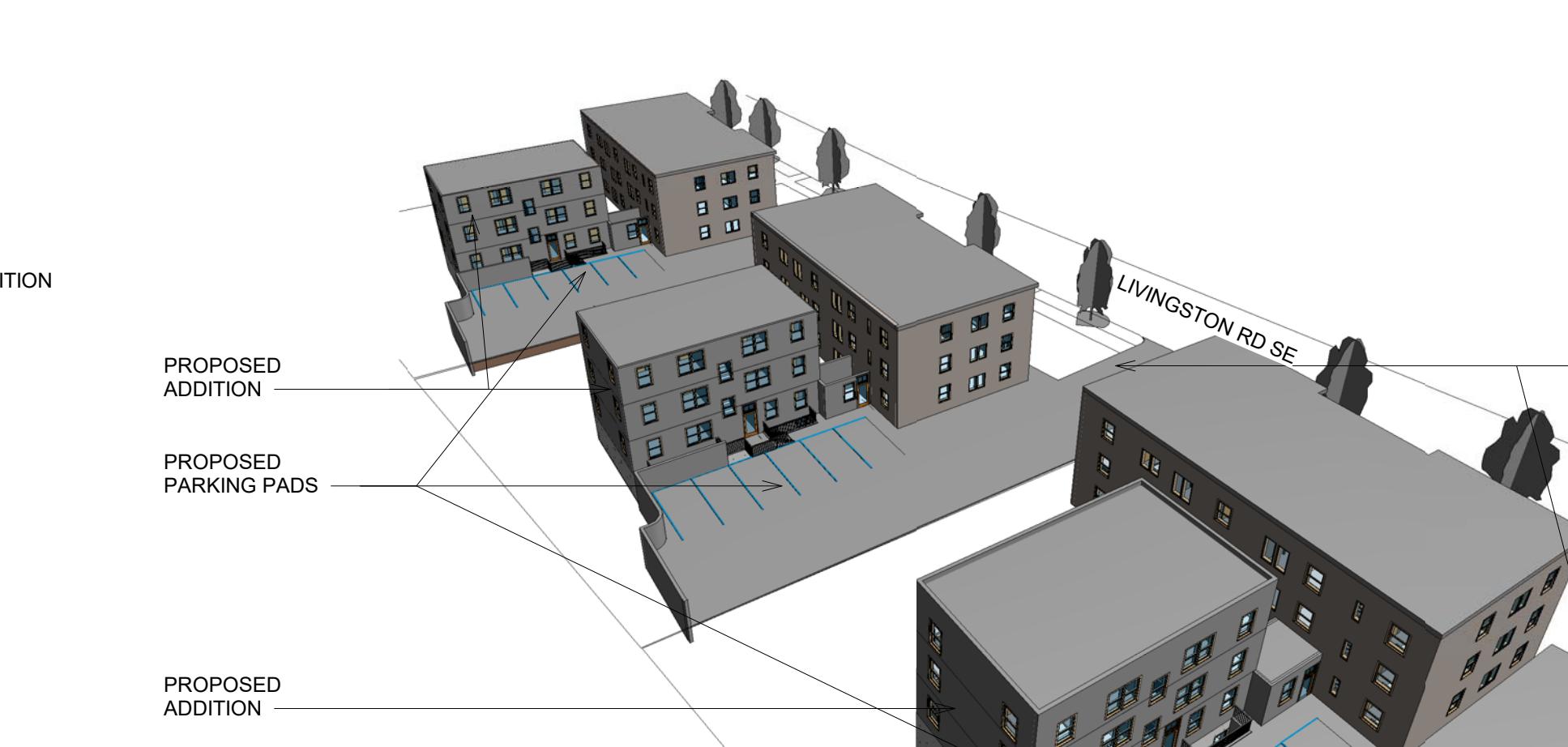
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3D View 1



3D View 10



3D View 12

REVISION #

SCALE

ISSUE DATE

AS INDICATED

APRIL 2023

**ZONING CALCS AND 3DS**

**A001**

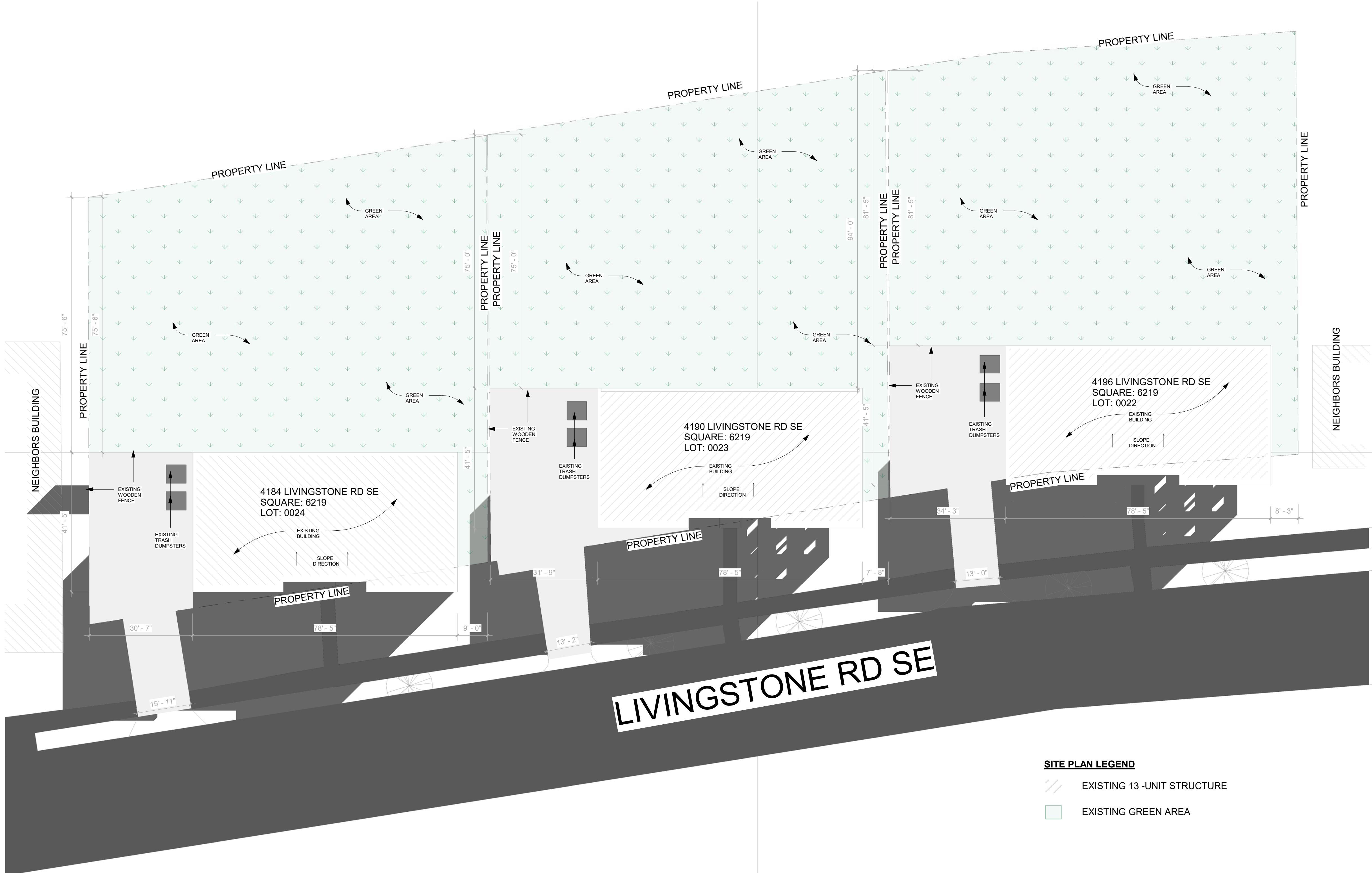
**4184/4190/4196 LIVINGSTON RD SE**

DISTRICT OF COLUMBIA 20032

ONE DESIGN SERVICES

onedesignservices.net

Tel. 571.225.7211



1  
A002 SITE PLAN EXISTING  
1/16" = 1'-0"

**SITE PLAN LEGEND**

- EXISTING 13 -UNIT STRUCTURE
- EXISTING GREEN AREA

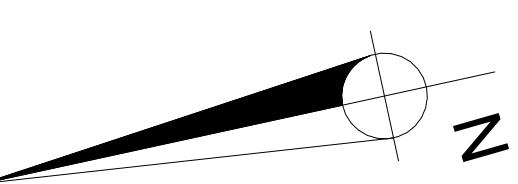
REVISION #  
SCALE  
ISSUE DATE

EXISTING SITE  
PLAN

A002

**4184/4190/4196**  
**LIVINGSTON RD SE**  
DISTRICT OF COLUMBIA  
20032

ONE DESIGN SERVICES  
onedesignservices.net  
Tel. 571.225.7211





1  
A003 SITE PLAN PROPOSED  
1/16" = 1'-0"

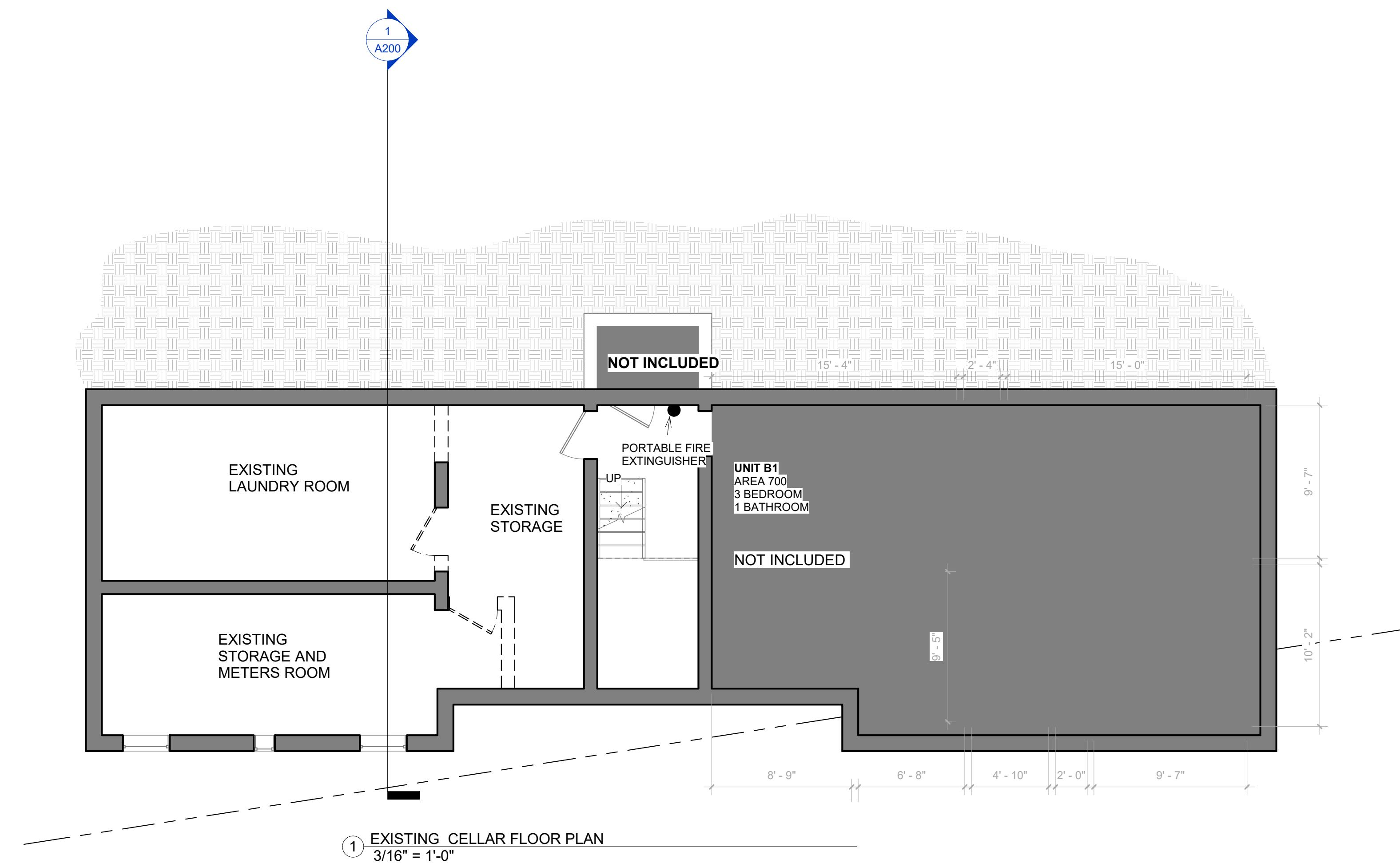
## SITE PLAN LEGEND

- PROPOSED 8 -UNIT STRUCTURE
- EXISTING 13 - UNIT STRUCTURE
- PROPOSED NEW PARKING
- GREEN AREA

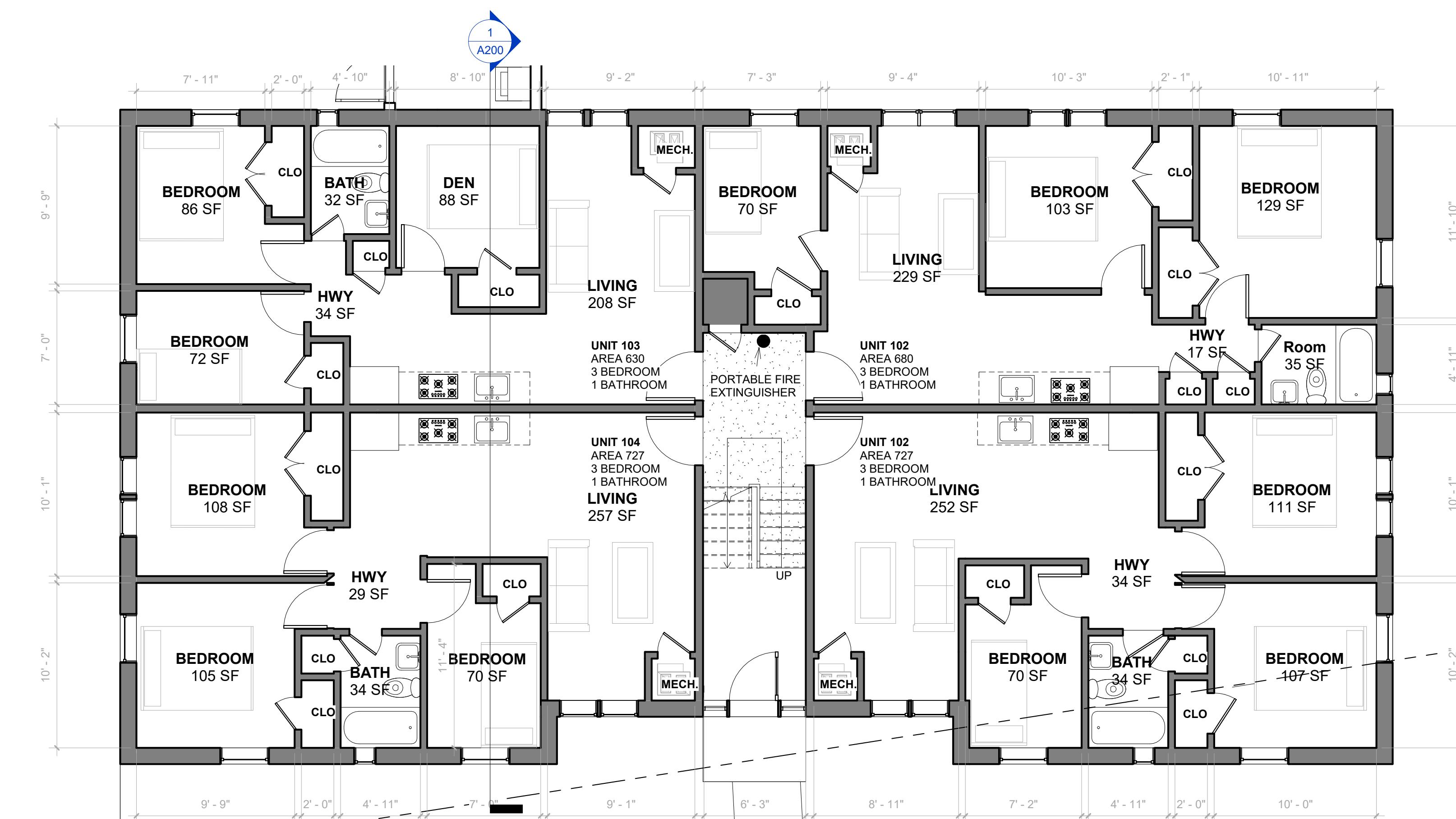
REVISION #	
SCALE	AS INDICATED
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# PROPOSED SITE PLAN

**A003**



1 EXISTING CELLAR FLOOR PLAN  
3/16" = 1'-0"



2 EXISTING FIRST FLOOR PLAN  
3/16" = 1'-0"

$$\bigcirc \quad 3/16 = 1.0$$

## LEGEND

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- EXISTING WALL
- DEMO WALL
- NEW WALL

N

REVISION #	
SCALE	AS INDICATED
ISSUE DATE	APRIL 2023

## EXISTING FLOOR PLANS

# A100

# DISTRICT OF COLUMBIA

DISTRITO DE COLUMBIA  
20032

IN SERVICES  
services.net  
205.764.4

services.net  
225 7211

225.7211

# 4184/4190/4196

LIVINGSTON RD SE

DISTRICT OF COLUMBIA

20032

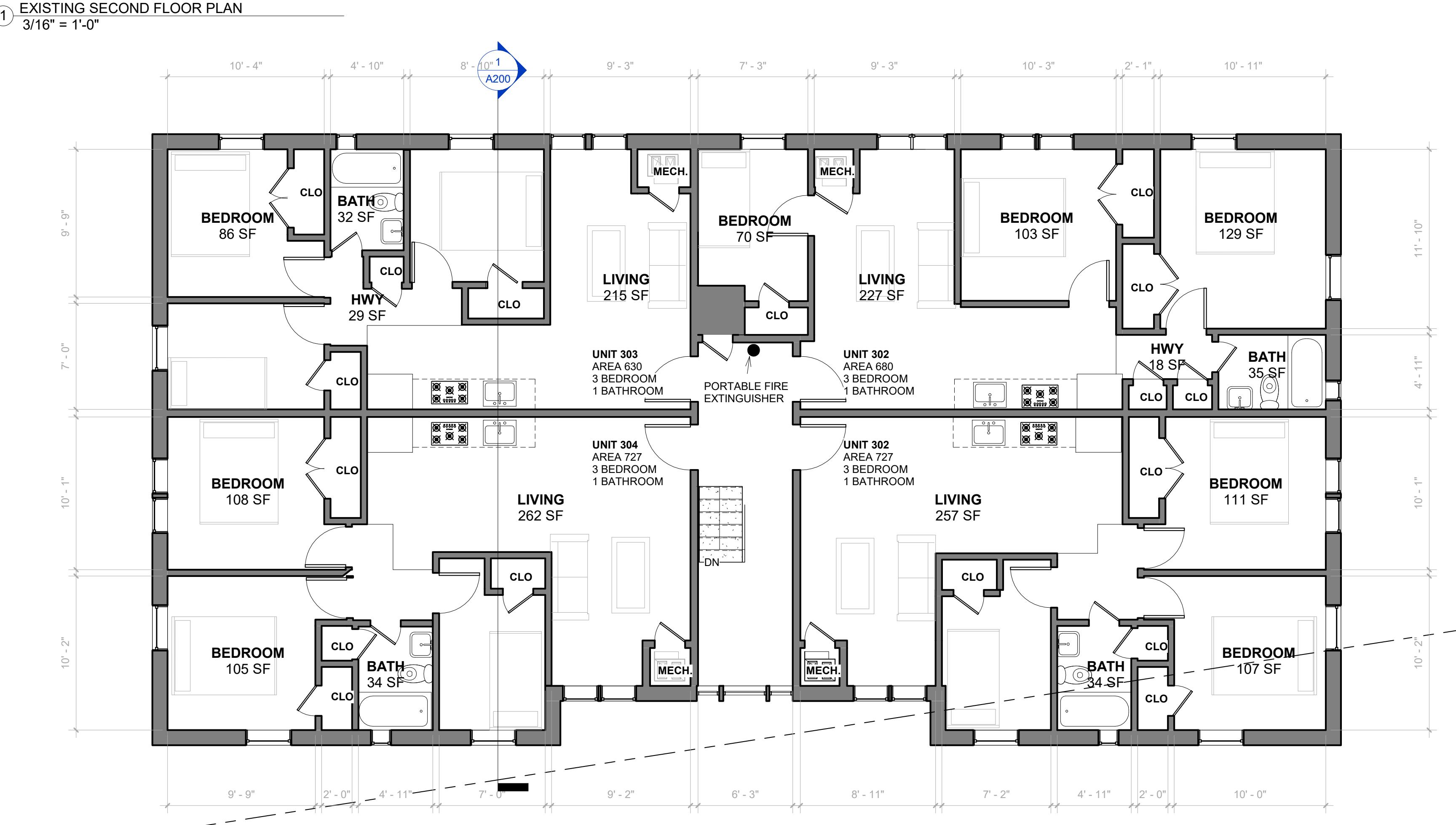
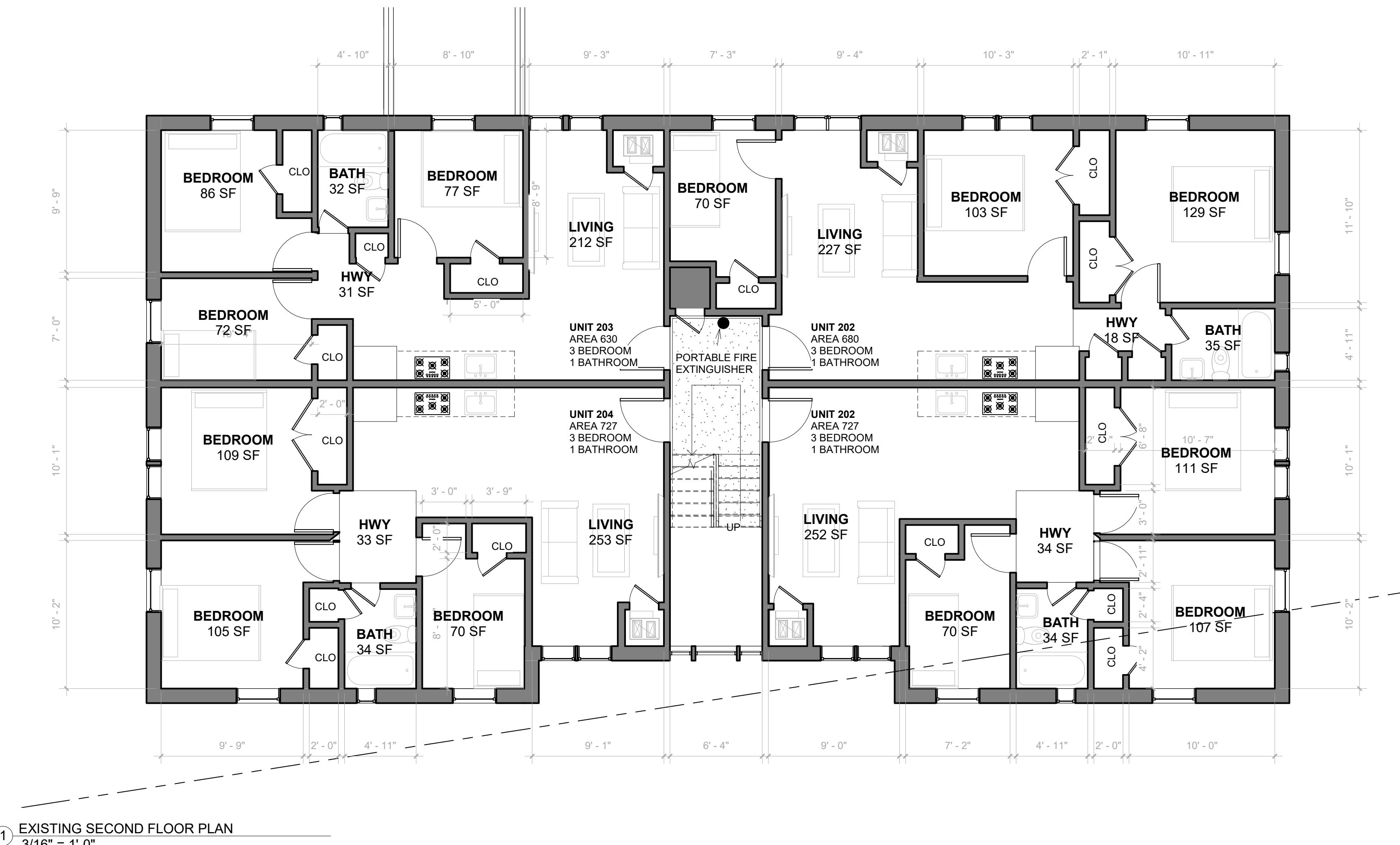
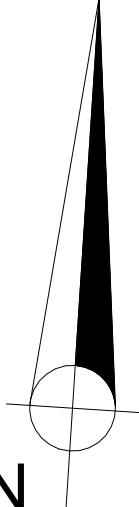
EXISTING  
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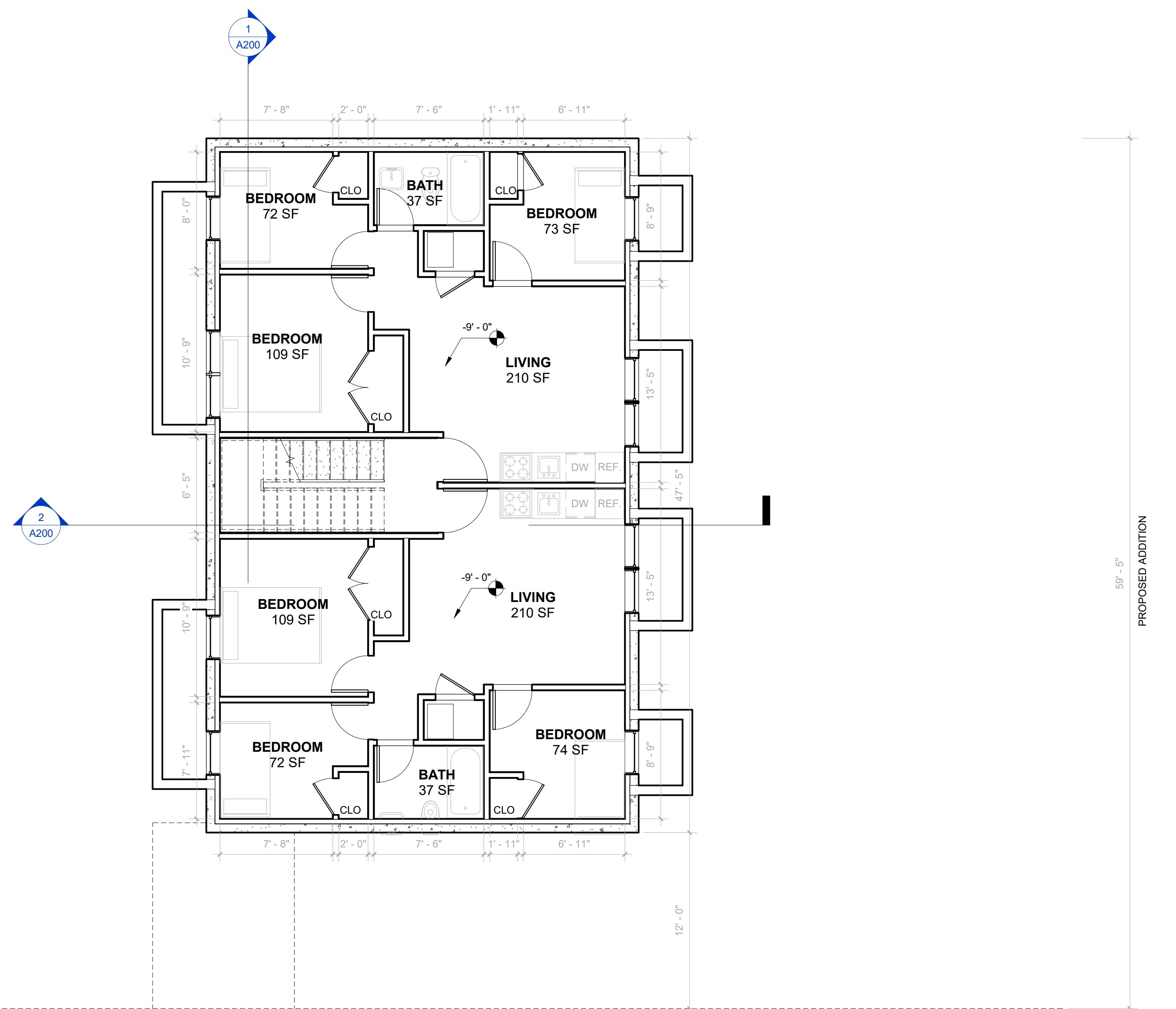
A101

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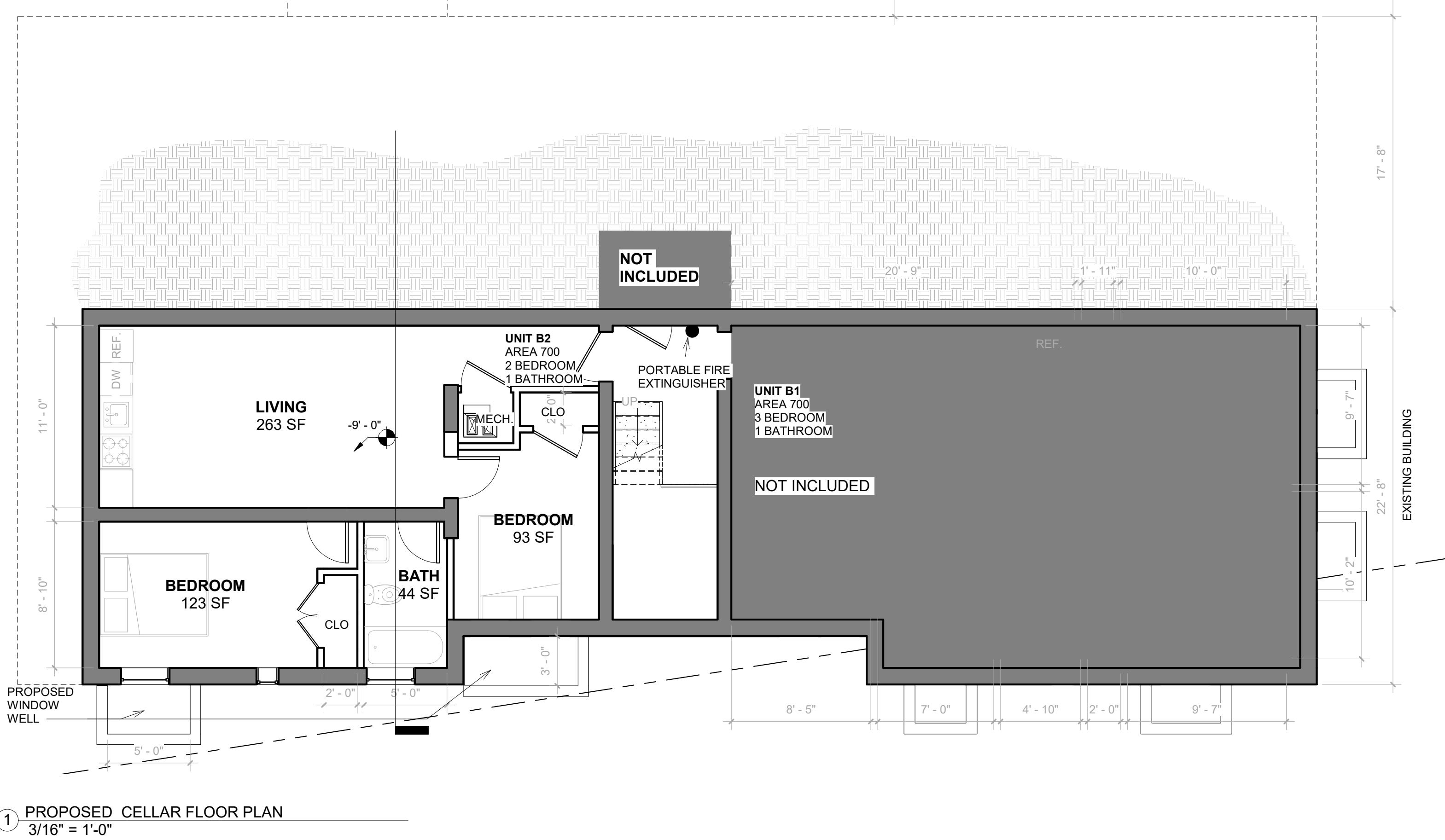
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SCALE  
ISSUE DATE  
APRIL 2023

LEGEND  
EXISTING WALL  
DEMO WALL  
NEW WALL





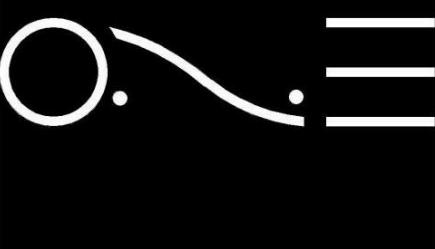
PROPOSED ADDITION



① PROPOSED CELLAR FLOOR PLAN  
3/16" = 1'-0"

**4184/4190/4196**  
**LIVINGSTON RD SE**

DISTRICT OF COLUMBIA  
20032



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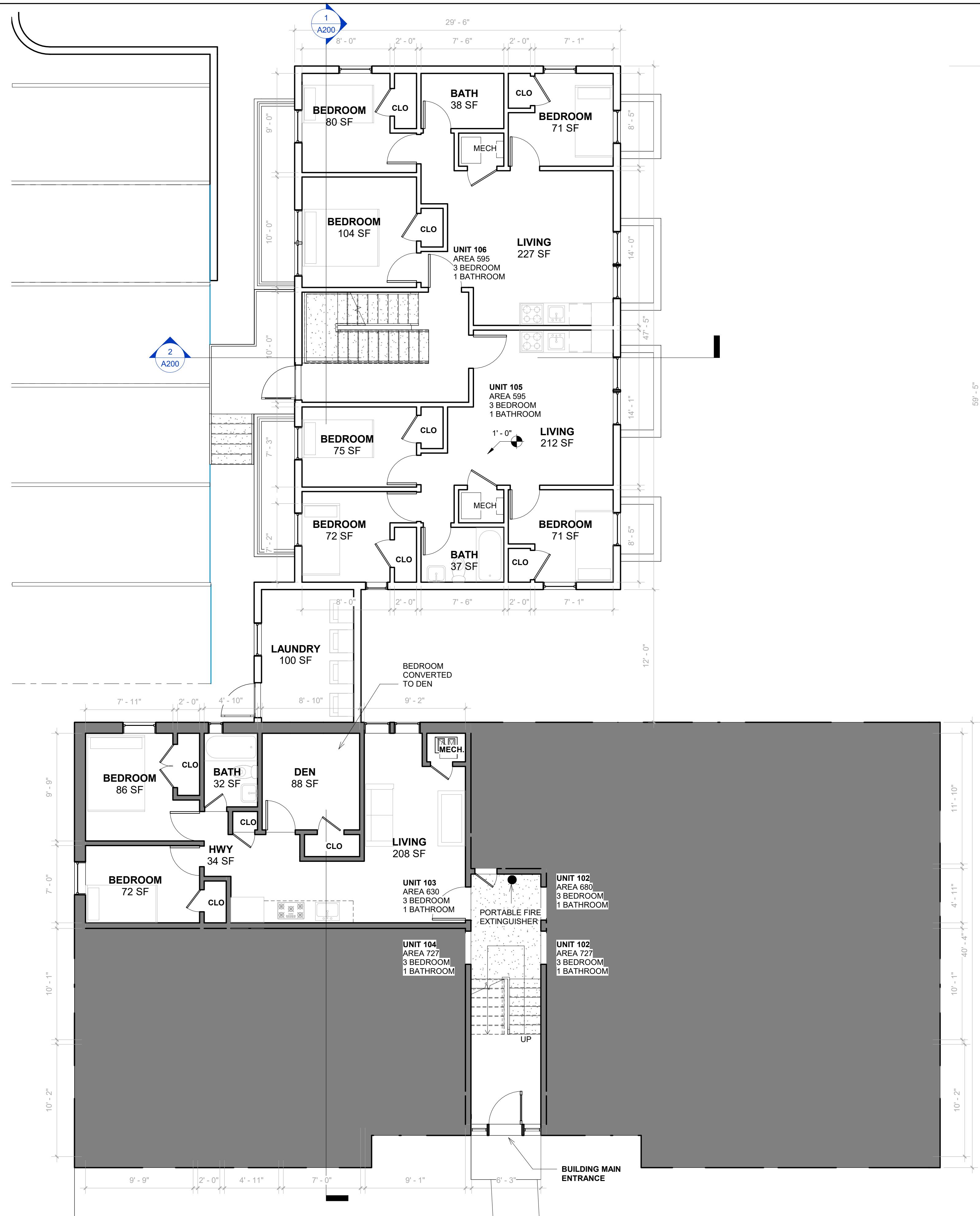
REVISION #  
SCALE  
ISSUE DATE  
APRIL 2023

**PROPOSED FLOOR PLAN**

LEGEND  
EXISTING WALL  
DEMO WALL  
NEW WALL

N

**A102**

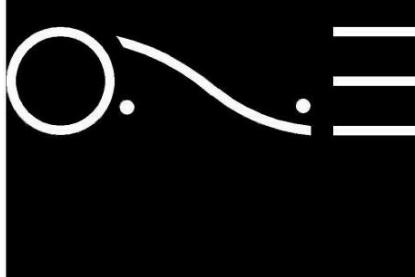


PROPOSED ADDITION

EXISTING BUILDING

**4184/4190/4196**  
**LIVINGSTON RD SE**

DISTRICT OF COLUMBIA  
20032

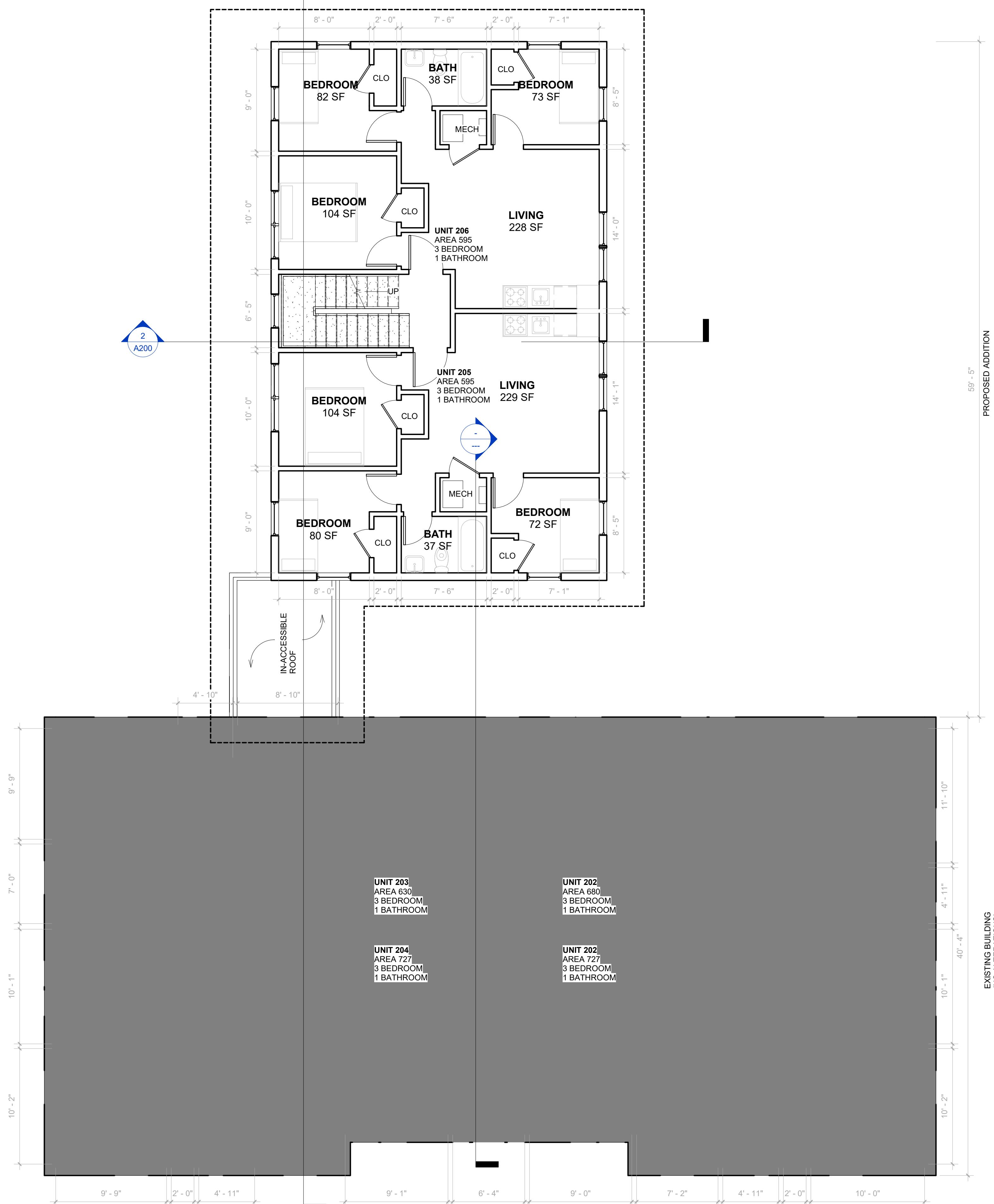


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**PROPOSED  
FLOOR PLAN**

**A103**

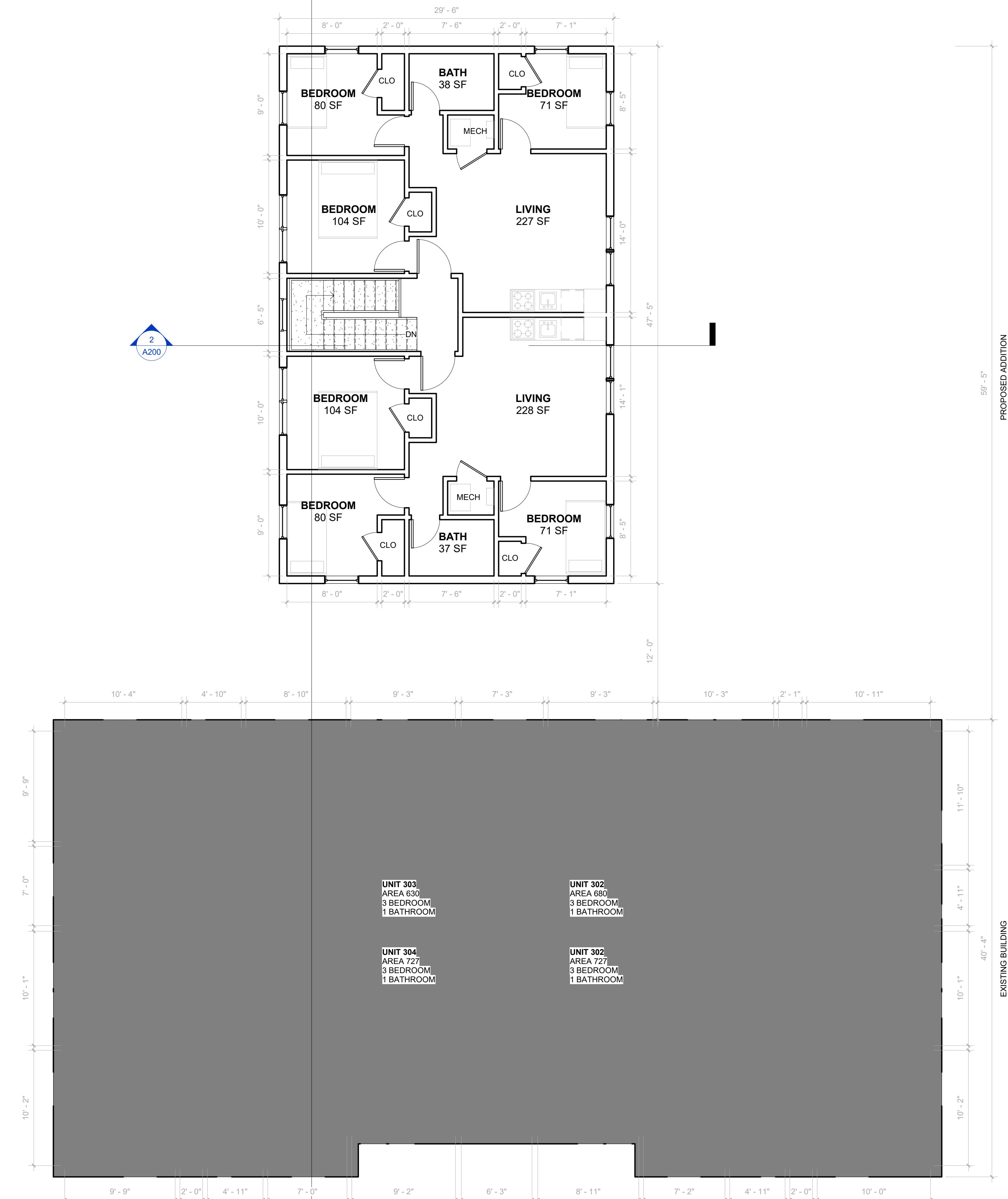


**4184/4190/4196**  
**LIVINGSTON RD SE**  
DISTRICT OF COLUMBIA  
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**PROPOSED  
FLOOR PLAN**

**A104**

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APRIL 2023



**1 PROPOSED THIRD FLOOR PLAN**  
3/16" = 1'-0"

# PROPOSED FLOOR PLAN

# A105

# LIVINGSTON RD SE

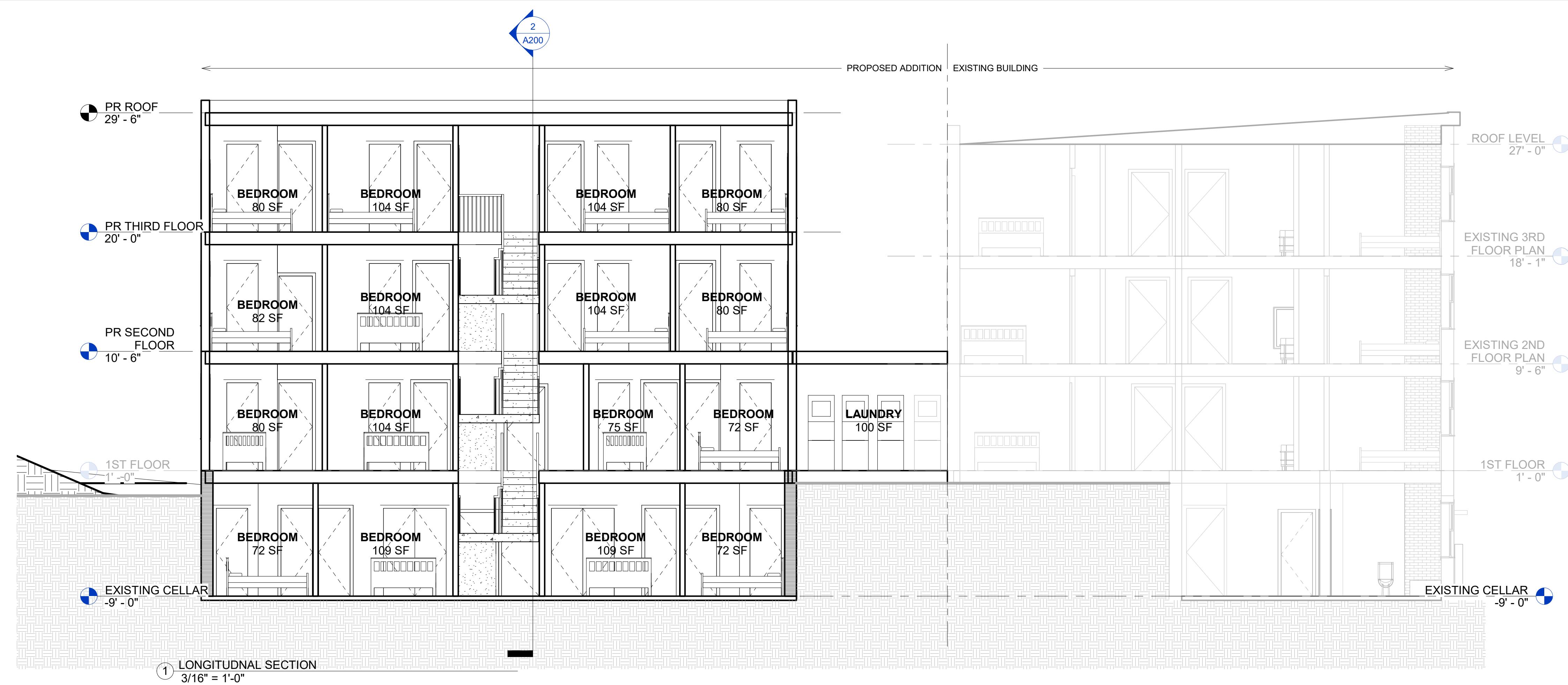
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DESIGN SERVICES  
[signservices.net](http://signservices.net)  
(774) 225-7244

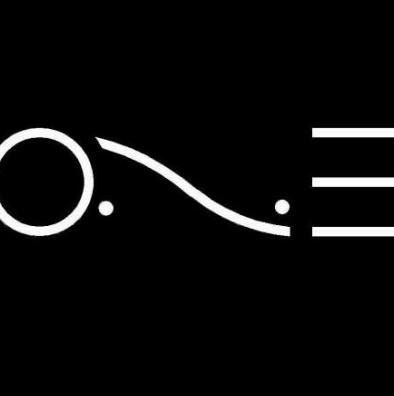
signservices.net  
571.225.7211

#  
AS INDICATED  
APRIL 2024

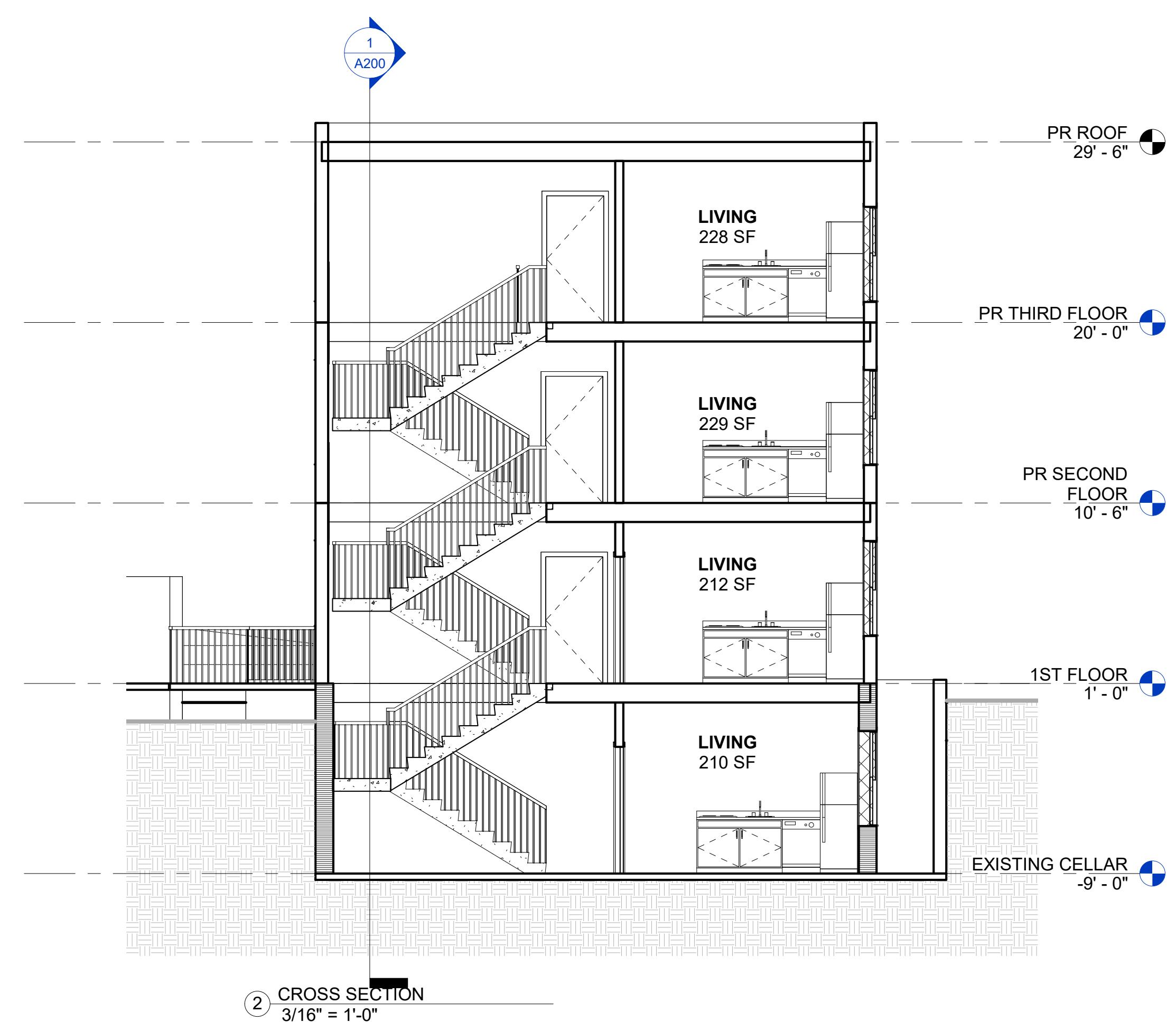


**LIVINGSTON RD SE**

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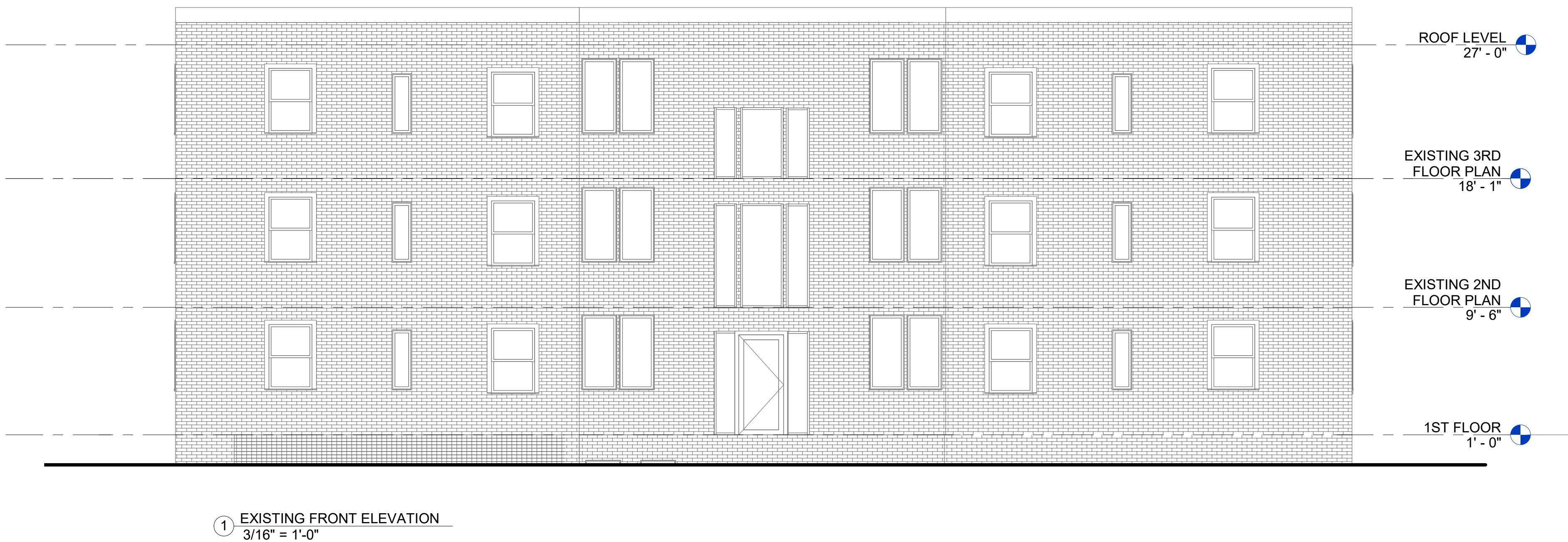
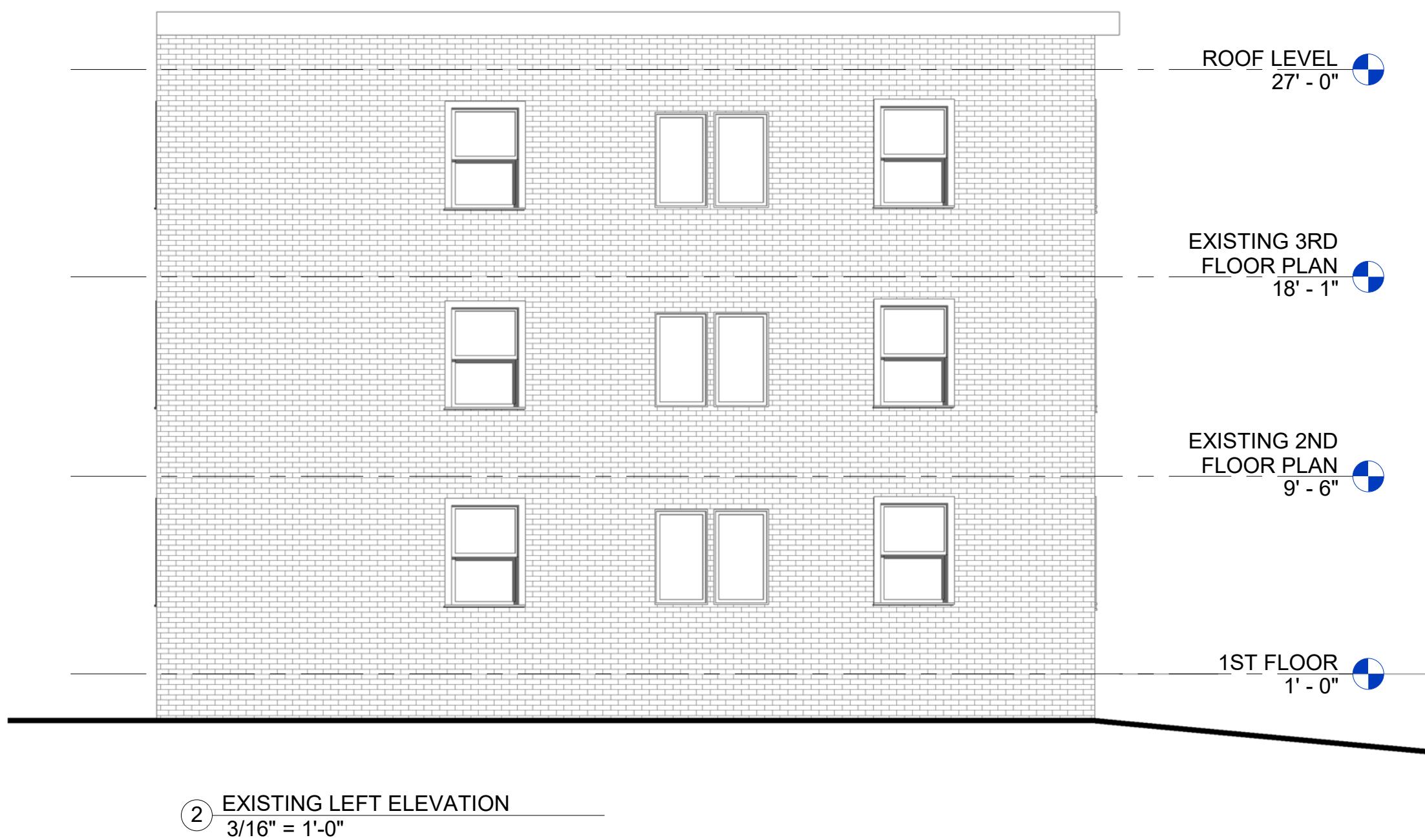
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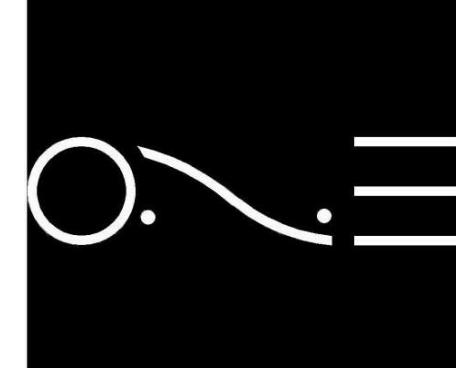
SECTION

**A200**

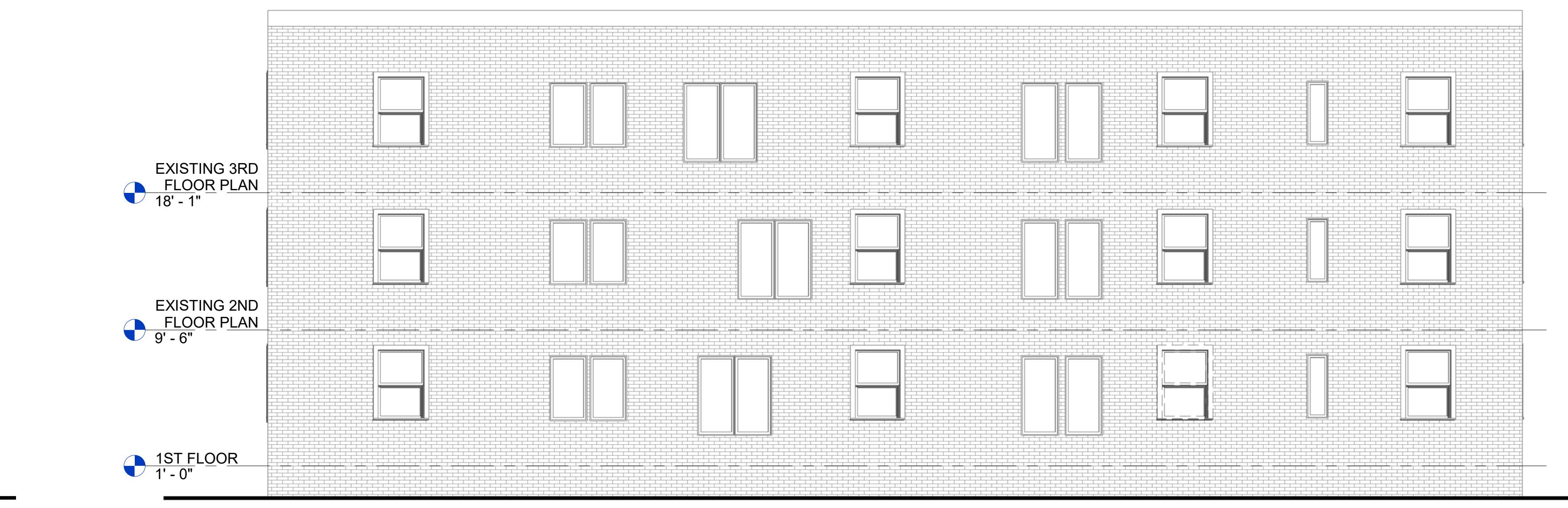
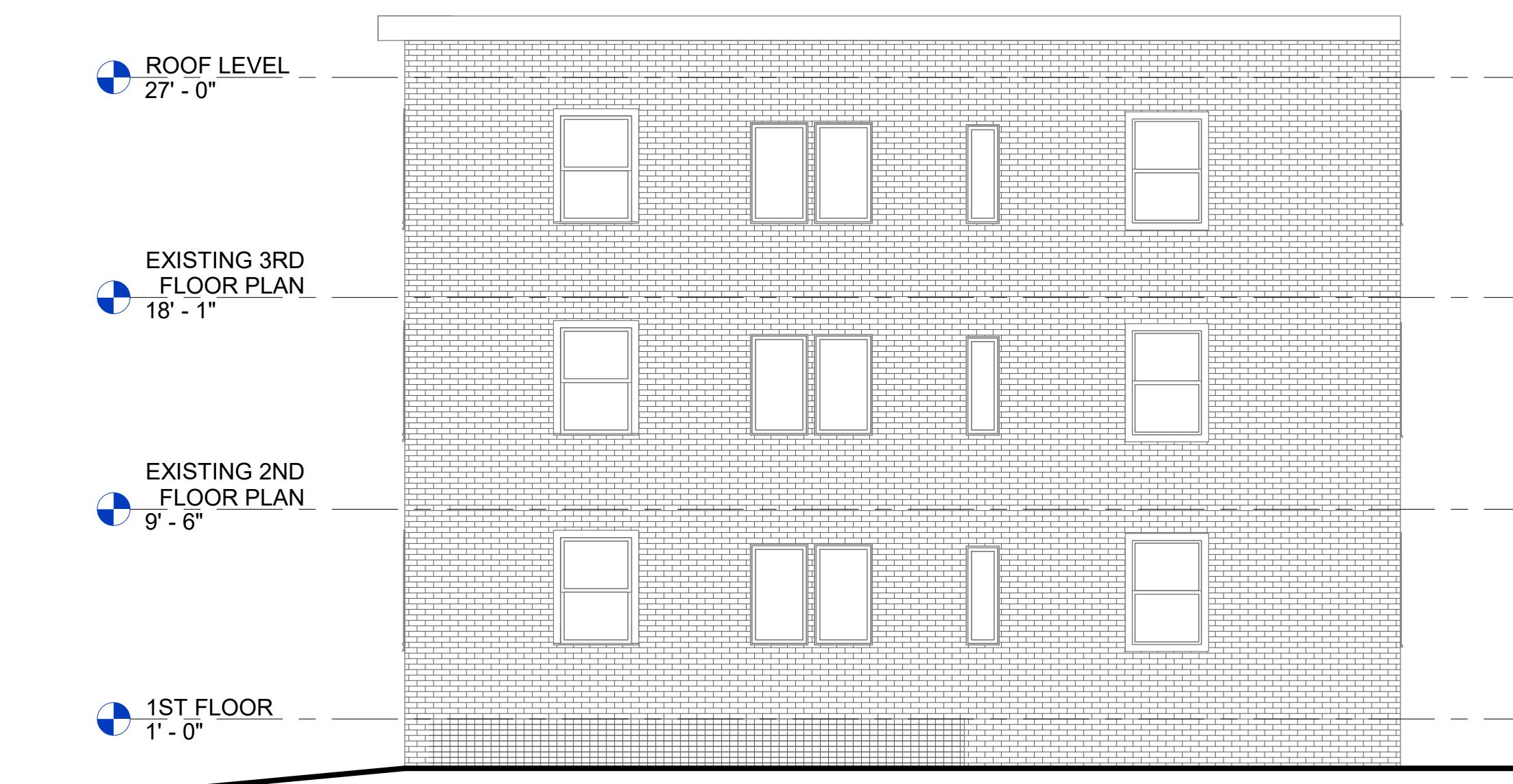
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ISSUE DATE APRIL 2023



4184/4190/4196  
LIVINGSTON RD SE  
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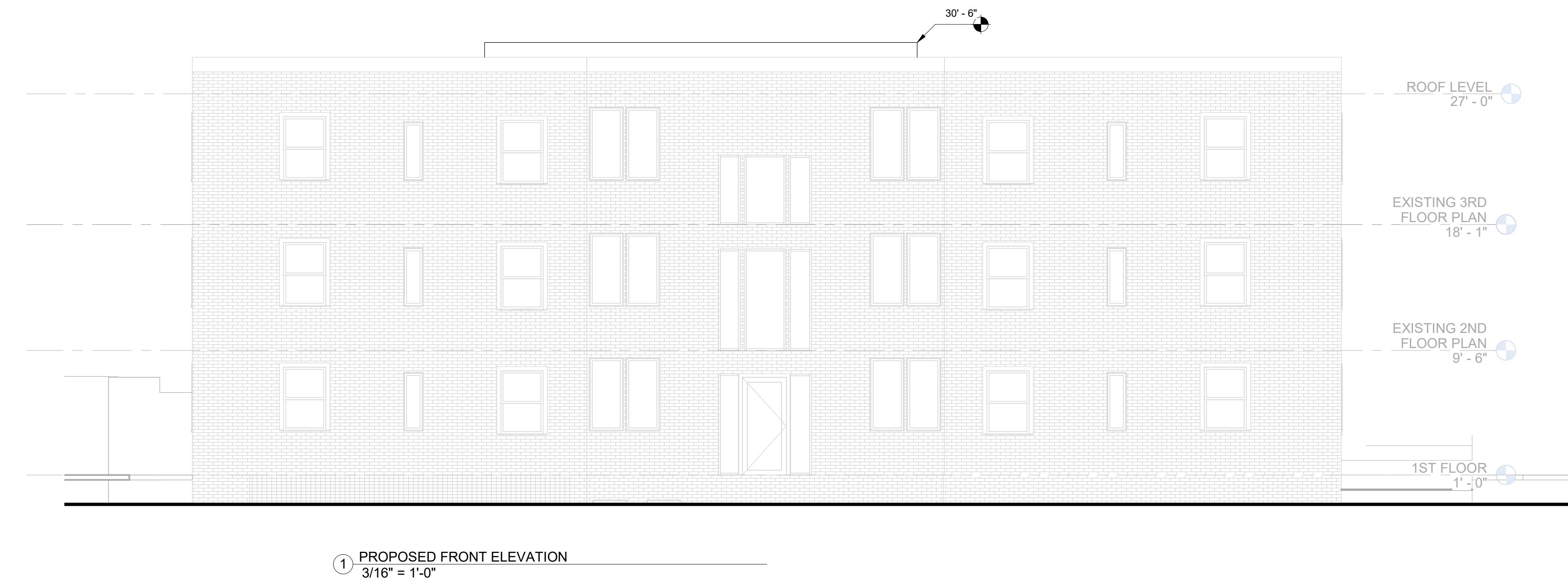
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EXISTING ELEVATIONS

A201



**4184/4190/4196**  
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ISSUE DATE  
AS INDICATED  
APRIL 2023

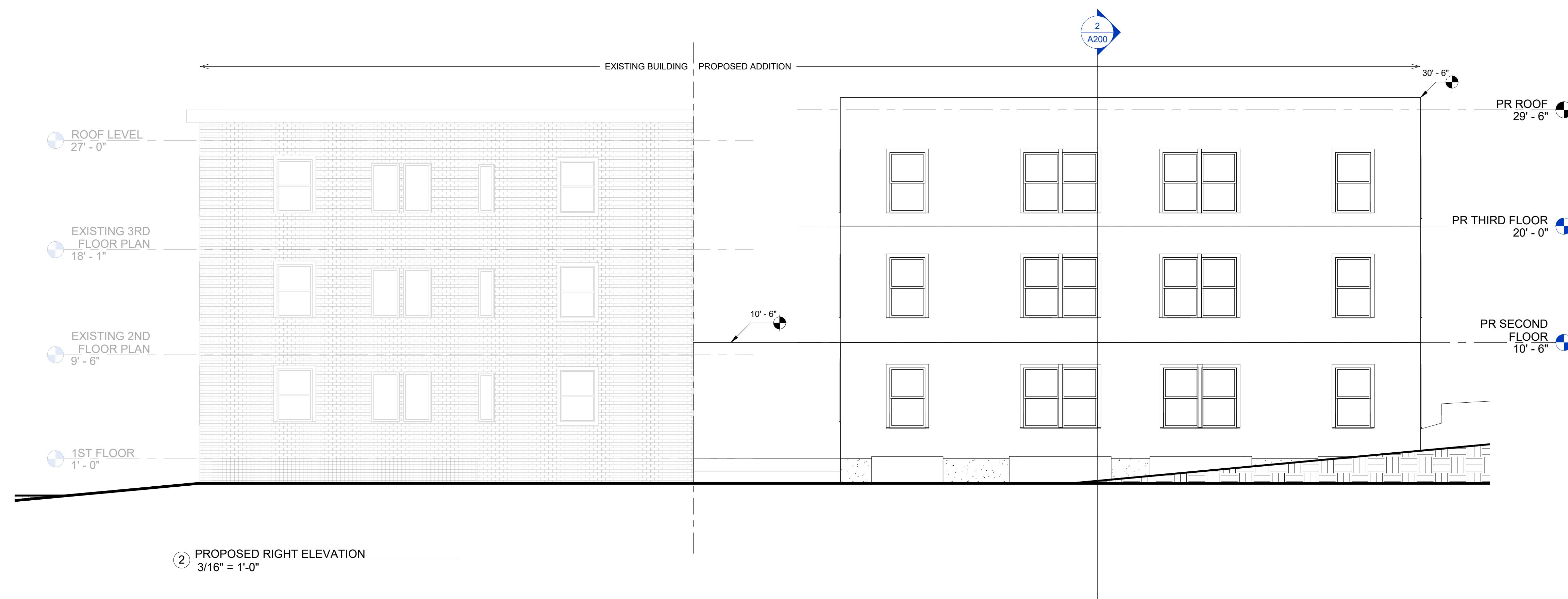
**PROPOSED  
ELEVATIONS**

**A202**



4184/4190/4196  
LIVINGSTON RD SE

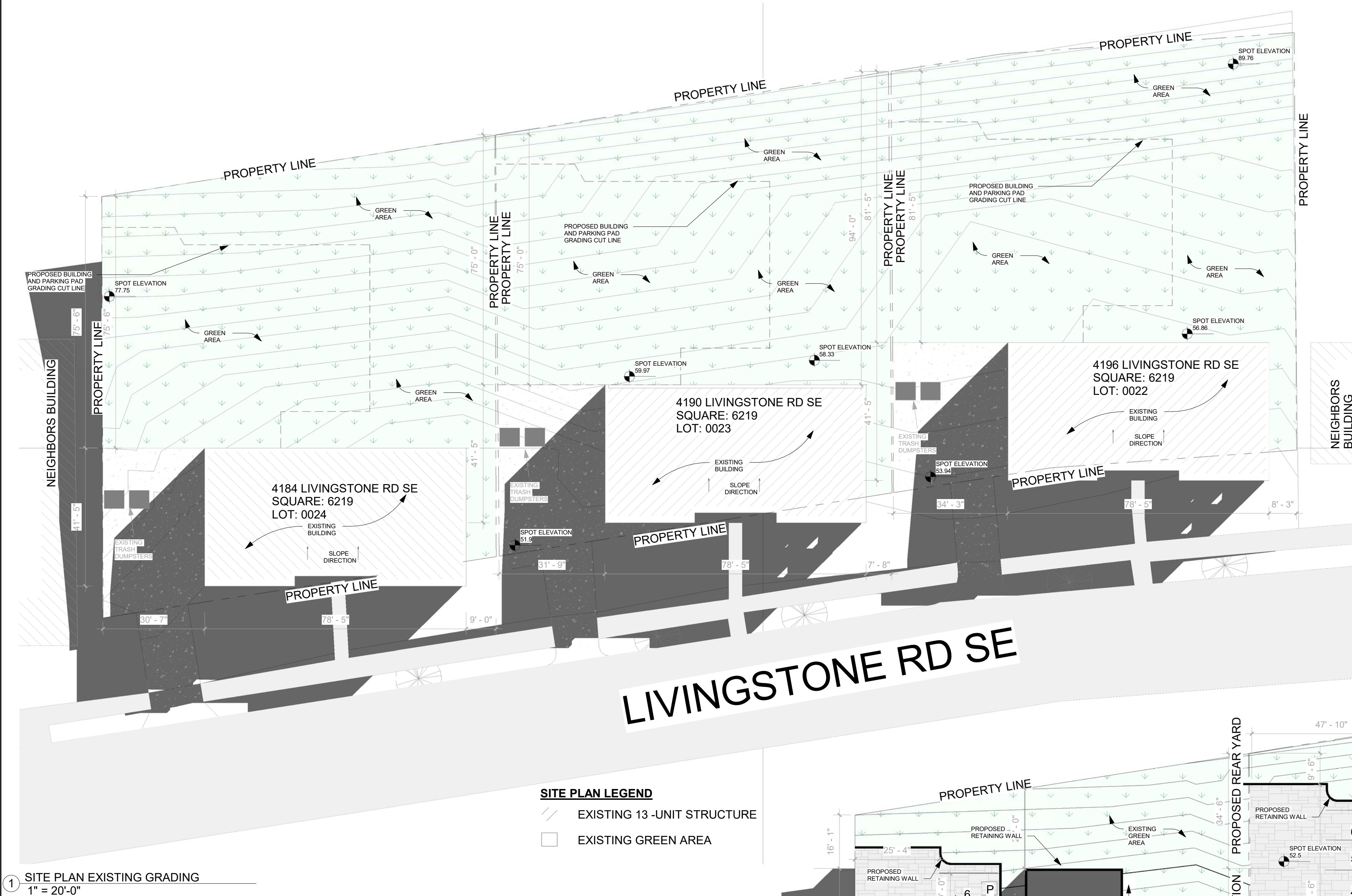
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ISSUE DATE	APRIL 2023

# PROPOSED ELEVATIONS

# A203

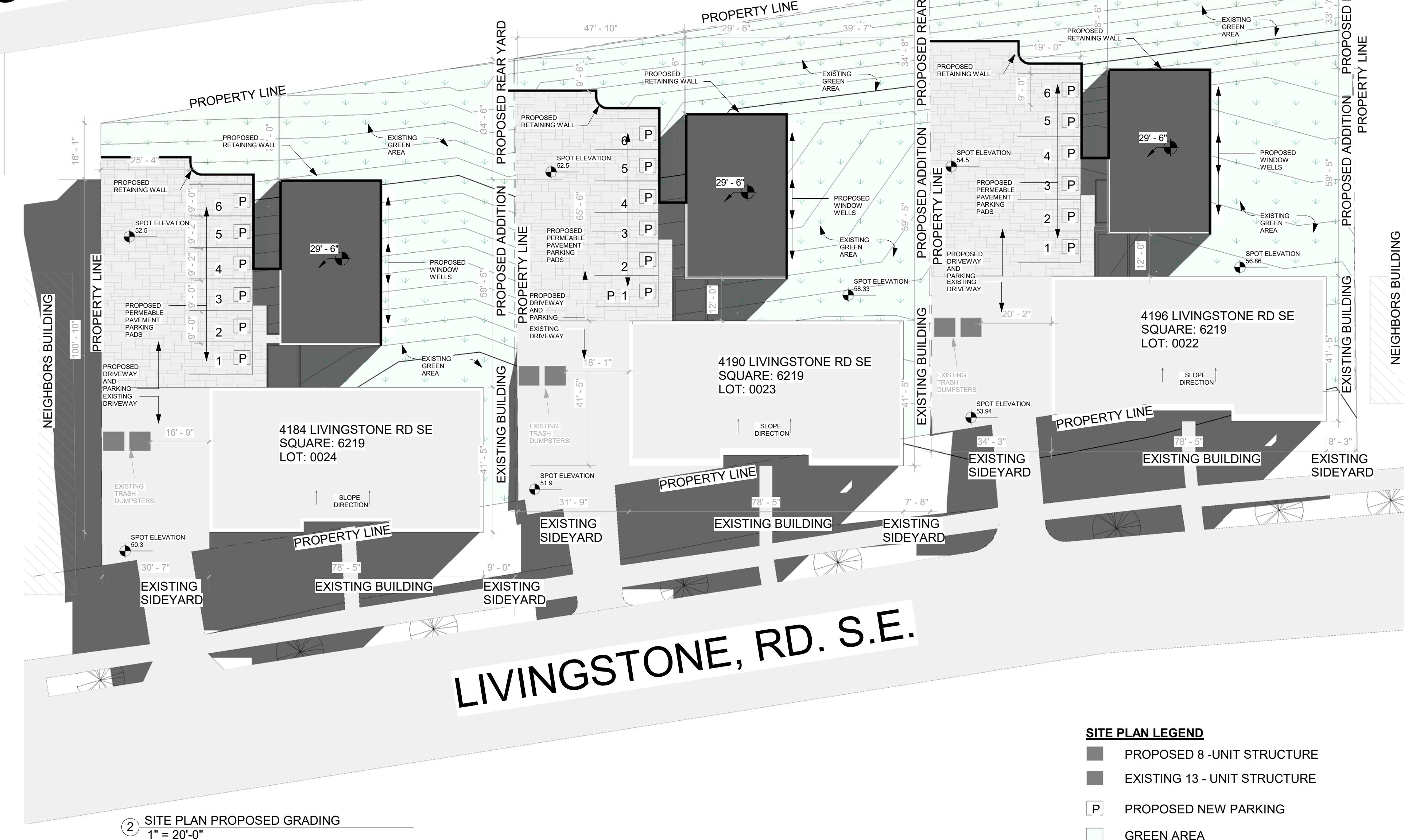


LIVINGSTONE RD SE

**SITE PLAN LEGEND**

- Existing 13-unit structure
- Existing green area

1 SITE PLAN EXISTING GRADING  
1" = 20'-0"



LIVINGSTONE, RD. S.E.

2 SITE PLAN PROPOSED GRADING  
1" = 20'-0"

**SITE PLAN LEGEND**

- Proposed 8-unit structure
- Existing 13-unit structure
- P Proposed new parking
- Green area

**GRADING PLANS**

**A401**

**4184/4190/4196**

**LIVINGSTON RD SE**

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