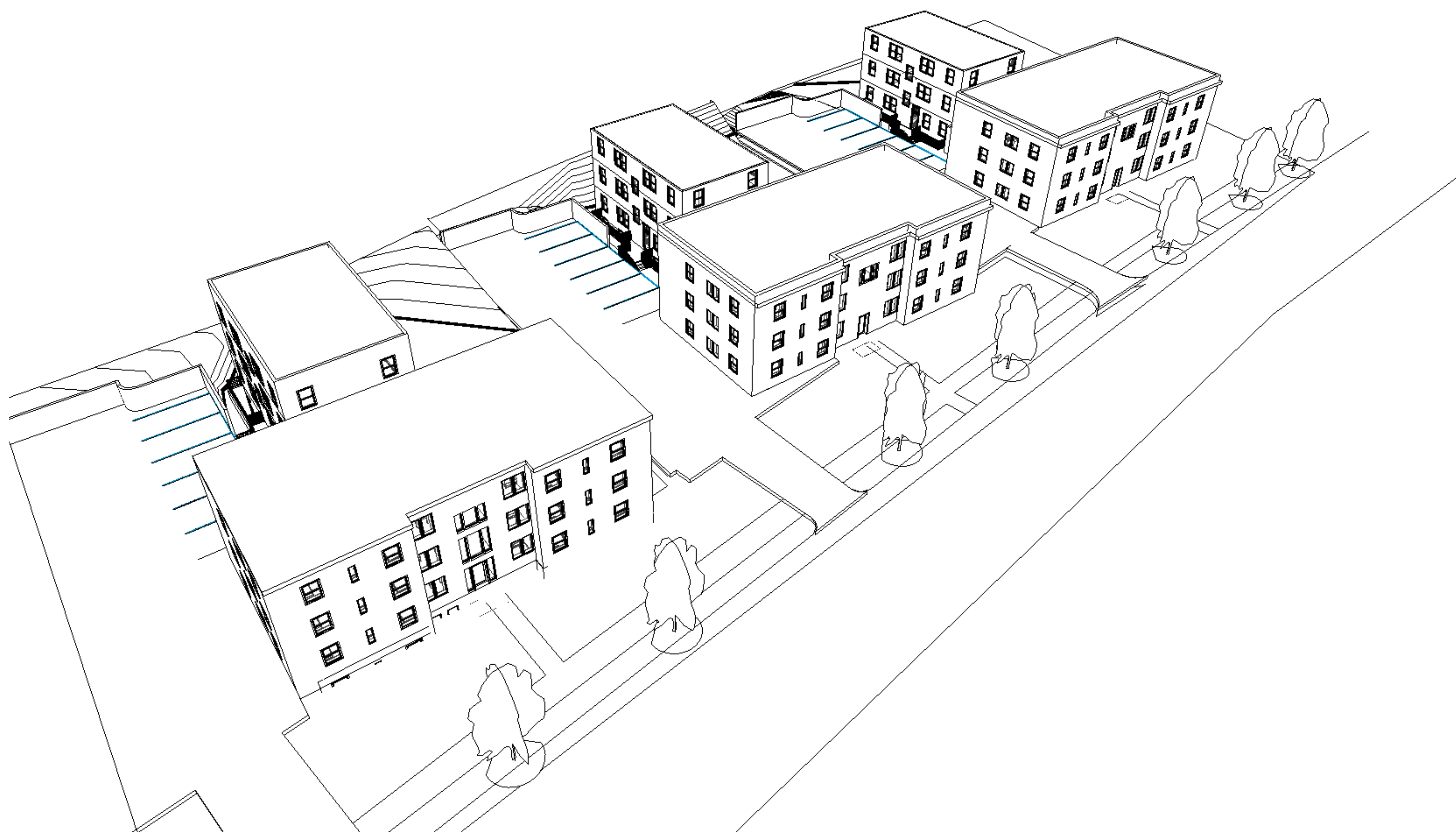


# LIVINGSTON HOUSE

## APARTMENT BUILDINGS BZA PACKAGE



4184 LIVINGSTON ROAD  
SE,  
WASHINGTON DC 20032

LOT: 0024      SQUARE: 6219

22 UNITS APARTMENT  
BIULDING

4190 LIVINGSTON ROAD  
SE,  
WASHINGTON DC 20032

LOT:0023      SQUARE: 6219

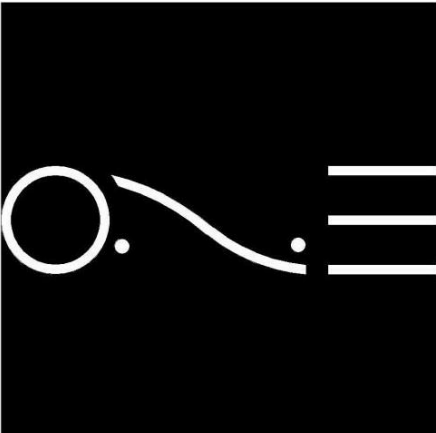
22 UNITS APARTMENT  
BIULDING

4196 LIVINGSTON ROAD  
SE,  
WASHINGTON DC 20032

LOT: 0022      SQUARE: 6219

22 UNITS APARTMENT  
BIULDING

4184/4190/4196  
LIVINGSTON RD SE  
DISTRICT OF COLUMBIA  
20032



ONE DESIGN SERVICES  
onedesignservices.net  
Tel. 571.225.7211

REVISION #  
SCALE  
ISSUE DATE

AS INDICATED  
APRIL 2023

COVER SHEET

000

4184/ 4190 AND 4196  
LIVINGSTON ROAD SE,  
WASHINGTON DC 20032

LOT: 0022, 0023, 0024                      SQUARE: 6219

22 UNITS APARTMENT  
BIULDING PER LOT

PROJECT CODE -

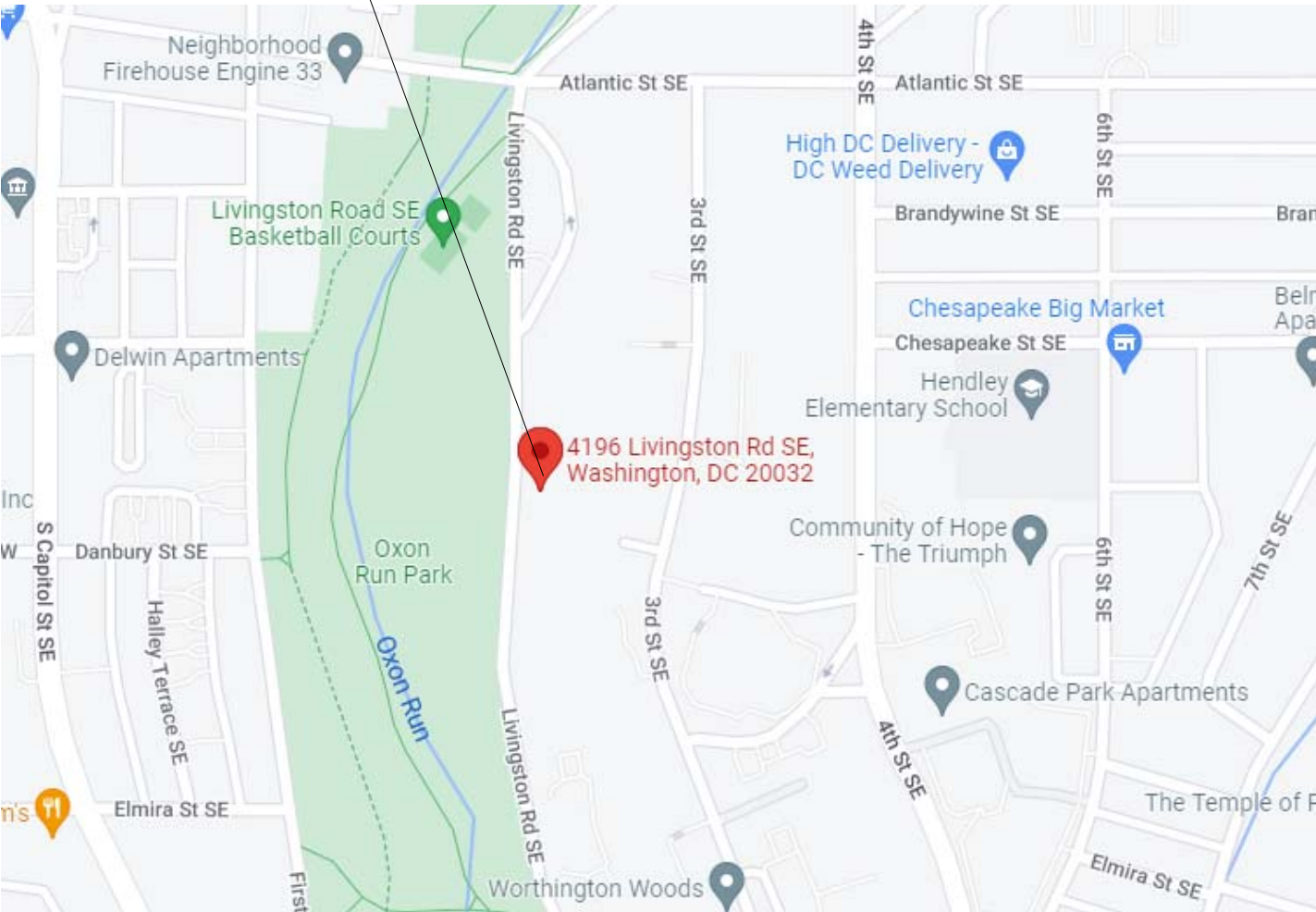
OWNER  
LIVINGSTON DEVELOPERS  
GROUP LLC

OWNER ADDRESS  
3535 S BALL ST APT 10110  
ARLINGTON VA  
22202-4438

PROPERTY ADDRESS  
4184 LIVINGSTON RD SE  
WASHINGTON DC 20032

Square, Suffix, Lot  
6219 0022/23/24

LOCATION



VICINITY MAP



FRONT PHOTO



ARIAL PHOTO



SCOPE OF WORKS  
REAR ADDITION ON AN  
EXISTING APARTMENT BUILDINGS ON  
LOTS 22, 23, AND 24. TO CONVERT  
EACH LOT FROM 13 TO 22 UNITS.

- TO ADD 8 UNITS ON EACH LOT -  
CELLR THROUGH THIRD FLOORS.  
- TO RELOCATE COMMON LAUNDRY  
ROOM FROM EXITING CELLAR TO THE  
PROPOSED REAR ADDITION. TO  
CONVERT THE EXISTING LAUNDRY  
SPACE TO A TWO BEDROOM UNIT.

NO ALTERATION ON 2ND AND 3RD  
LEVELS OF THE EXISTING BLOCKS.

PROJECT DESIGN TEAM  
-ANTHONY UDOKA  
tony711971@gmail.com

-DAGMAWI GEBREKIDAN  
dagi.abebe@gmail.com  
571-225-7211

-KHALID LAMA AFI  
allatmep@gmail.com  
512-621-2406

GENERAL NOTES

- DIVISION 1- GENERAL REQUIREMENTS
1. THE SUB-CONTRACTOR SHALL READ ALL GENERAL AND SPECIFIC NOTES AND BE BOUND TO THEIR REQUIREMENTS SUB-CONTRACTOR SHALL VISIT SITE AND EXAMINE EXISTING CONDITIONS PRIOR TO BID.
  2. THE SUB-CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PREFORMED.
  3. THE BID SHALL BE BASED ON THE USE OF ALL EQUIPMENT, MATERIALS, MANUFACTURERS AND SYSTEMS DESCRIBED IN THIS SET OF CONSTRUCTION CONTACT DOCUMENTS UNLESS SPECIFICALLY INDICATED IN THE PRICE SUBMISSION. UNLESS AN ITEM IS SPECIFICALLY EXCLUDED OR A SUBSTITUTION IS LISTED ON THE SUBMISSION BY THE SUB-CONTRACTOR, HE SHALL BE RESPONSIBLE FOR THE FULL EXTENT OF ALL WORK CONTAINED IN THE CONTRACT DOCUMENTS.
  4. ANY QUESTIONS OR CONFLICTS REGARDING ARCHITECTURAL DRAWINGS OR SPECIFICATIONS ARE TO BE IN WRITING AND DIRECTED TO ARCHITECTS.
  5. IF CONFLICTS ARE DISCOVERED AT ANY TIME BETWEEN ENGINEERING AND ARCHITECTURAL DRAWINGS, ARCHITECT SHALL BE CONTACTED AT ONCE TO RESOLVE THE PROBLEM. IF A ARCHITECT IS NOT CONTACTED, SUB CONTRACTOR SHALL ACCEPTANT RESPONSIBILITY TO CORRECT ANY WORK INSTALLED THAT IS NOT IN ACCORDANCE WITH THE DWGS.
  6. IF CONFLICTS ARE DISCOVERED AT ANY TIME BETWEEN SITE CONDITIONS AND ARCHITECTURAL DWGS, ARCHITECT SHALL EXACT LOCATIONS OF ALL UTILITIES PRIOR TO CUTTING AND DIGGING. ALL SLAB PENETRATION SHALL BE CONTACTED AT ONCE TO RESOLVE ANY DISCREPANCIES, OTHERWISE CONTRACTOR TAKES FULL RESPONSIBILITY.
  7. IN CONFLICTS BETWEEN ARCHITECTURAL AND ENGINEERING SPECIFICATIONS OF FINISHES, ARCHITECTURAL DWGS SHALL TAKE PRECEDENCE AND CONFLICTS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
  8. SUB- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND QUANTITIES IN THE FIELD WHERE SLAB CUTTING IS REQUIRED, IT SHALL BE SUB-CONTRACTOR'S RESPONSIBILITY TO VERIFY EXACT LOCATIONS OF ALL UTILITIES PRIOR TO CUTTING AND DIGGING. ALL SLAB PENETRATION SHALL BE DONE BY EITHER CORE DRILLING OR SAW CUTTING AND DIGGING. ALL SLAB ON GRADE, SUB-CONTRACTOR SHALL BACKFILL IN LIFTS NOT TO EXCEED 8" AND TAMPER USING A MECHANICAL COMPACTOR. NEW PATCHING SHALL BE THE SAME THICKNESS AS EXISTING SLAB AND, SHALL ALIGN AND MAINTAIN THE LEVEL OF EXISTING SLAB.
  9. SUB-CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH NATIONAL, STATE AND LOCAL CODES.
  10. SUB-CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH NATIONAL, STATE AND LOCAL CODES.
  11. ALL PERMITS, INSPECTIONS AND FEES ARE TO BE OBTAINED, SECURED AND PAID FOR BY THE SUB-CONTRACTOR
  12. SUB-CONTRACTOR MAY SUBSTITUTE MATERIALS AND/OR CONSTRUCTION ITEMS AND METHODS UPON SUBMITTAL OF A SUBSTITUTION IN WRITING OR BY SAMPLE TO ARCHITECT. ANY COST CHANGES MUST ALSO BE SUBMITTED. THE ARCHITECT WILL COMMUNICATE THE DECISION TO THE SUB-CONTRACTOR BY LETTER IF THE SUBMISSION IS ACCEPTED. SUBSTITUTION FOR LONG LEAD ITEMS MUST BE PROPOSED EARLY ENOUGH IN THE CONSTRUCTION PROCESSES THAT NO DELAY IS CREATED IN COMPLETION IF THE PROJECT DUE TO THE SUBSTITUTION, OTHERWISE THE SUB CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY COST TO THE OWNER ARISING OUT OF SUCH WORK.
  13. WARRANTIES, GUARANTEES AND MANUFACTURER'S INSTRUCTIONS ON EQUIPMENT FURNISHED AND INSTALLED BY THE SUB-CONTRACTOR SHALL BE ASSEMBLED BY NOTEBOOK GIVEN TO THE OWNER AT THE TIME OF OCCUPANCY.
  14. AT COMPLETION OF THE WORK, THE SUB-CONTRACTOR SHALL ENSURE ALL SURFACES ARE CLEAN AND UNMARKED, AND THAT ALL SYSTEMS ARE OPERATING PROPERLY.
  15. SUB-CONTRACTOR SHALL REPAIR ALL DAMAGE CAUSED BY HIM OR HIS PERSONNEL
  16. SUB-CONTRACTOR SHALL CLEAN ALL WINDOWS AT THE COMPLETION OF CONSTRUCTION.
  17. SUB-CONTRACTOR SHALL ENSURE THAT ALL PAINT HAS BEEN MOVED FROM ALL SURFACES.
  18. ALL MISCELLANEOUS NAILS, HANGERS, STAPLES, WIRES AND WIRE CONDUITS SHALL BE REMOVED FROM WALLS AND CEILINGS.
  19. HVAC SUB CONTRACTOR TO CLEAN AND CHECK EXISTING HVAC SYSTEM AND REPORT TO ARCHITECT IF ANY PROBLEMS OR REPAIRS NEEDED.
  20. SUB-CONTRACTOR SHALL EXAMINE ALL DRAWINGS RELATED TO HIS AND OTHERS TRADES, AND SHALL BE FULLY INFORMED AS TO THE EXTENT OF THIS CONTRACT AND ALL INCLUDING WORK ON PLANS.
  21. ALL SYSTEMS AND EQUIPMENT TO BE GUARANTEED FOR ONE YEAR FREE LABOR AND MATERIALS.

**ADDITIONAL NOTE**  
SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN CONFORMANCE WITH THE DESIGN OF THE BUILDING AND THE CODES. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND APPROVED BY THE BUILDING OFFICIAL.

CODE ANALYSIS

COVERING CODES:		
BUILDING	2015 IBC AND 2017 DCMR12A SUPPLEMENT	
	2015 IBC	
	2017 DISTRICT OF COLOMBIA BUILDING CODE	
MECHANICAL	2017 DISTRICT OF COLUMBIA MECHANICAL CODE	
ELECTRICAL	2014 INTERNATIONAL NFPA-70	
PLUMBING	2017 DISTRICT OF COLUMBIA PLUMBING CODE	
FIRE	2017 DISTRICT OF COLUMBIA FIRE CODE	
GREEN	2017 DISTRICT OF COLUMBIA GREEN CONSTRUCTION CODE	
ENERGY	2017 DISTRICT OF COLUMBIA ENERGY CONSERVATION CODE	
<b>FIRE RATINGS</b>		
FIRE SEPARATION WALLS (PROPERTY LINE WALLS)	2 HR:	(UL U301 - above grade / U 905 - below grade)
EXTERIOR BEARING WALLS:	1 HR:	(UL U301 - above grade / U 905 - below grade)
STAIR ENCLOSURES	1 HR:	(UL U305)
COLUMNS AND GIRDS	(none provided)	-
FLOOR / CEILING CONSTRUCTION	1 HR:	(UL L 501)
ROOF CONSTRUCTION	1 HR:	(UL L 501)

GENERAL NOTES

GENERAL INFORMATION	EXISTING LOT	PROPOSED BUILDING
USE GROUP	R2	R2
TYPE OF CONSTRUCTION	VB	VB
FULLY SUPPRESSED (SPRINKLED)	NONE	NONE
LOT AREA		
BUILDING FOOTPRINT	3090 PER BLDG	4806 PER BLDG
<b>TOTAL SITE SF</b>		<b>TOTAL BUILDING SF</b>
BUILDING FOOTPRINT	3090	ABOVE GRADE:
PROPOSED GREEN AREA	NA	4806 SF (1st, 2nd AND 3rd)
PROPOSED PERMEABLE PAVEMENT	NA	SEE CALCS ON SHEET A001
BUILDING HEIGHT	3 story	3 story
NUMBER OF EXITS	2	3
SOUND TRANSMISSION	STC50	STC50
FIRE ALARM:	HARDWIRED	HARDWIRED
SMOKE DETECTORS	YES HARDWIRED	YES HARDWIRED
CO DETECTORS	YES HARDWIRED	YES HARDWIRED
SPRINKLER	NONE	YES
INSULATION	YES; EXTERIOR WALLS @ R19; ROOF @ R-49	YES; EXTERIOR WALLS @ R19; ROOF @ R-49

GENERAL NOTES / ZONING CODE ANALYSIS

ZONING DISTRICT	RA-1		
USE GROUP	R2		
LOT	0022/0023/0024		
SQUARE	6219		
REQUIREMENT	EXISTING	ALLOWABLE / REQUIRED	PROPOSED
LOT OCCUPANCY	SEE SHEET A001	40%	SEE SHEET A001
HEIGHT		40 FT	
F.A.R.		N.A.	
SIDEYARD WIDTH		N.A.	
REAR YARD SETBACK		20 FT MIN	
PARKING		N.A.	
FRONT YARD		NO REQUIREMENT	
DWELLING UNITS		NO REQUIREMENT	

Sheet List	
Sheet Number	Sheet Name
000	COVER SHEET
001	COVER SHEET CONTD
A001	ZONING CALCS AND 3DS
A002	EXISTING SITE PLAN
A003	PROPOSED SITE PLAN
A100	EXISTING FLOOR PLANS
A101	EXISTING FLOOR PLANS
A102	PROPOSED FLOOR PLAN
A103	PROPOSED FLOOR PLAN
A104	PROPOSED FLOOR PLAN
A105	PROPOSED FLOOR PLAN
A200	SECTION
A201	EXISTING ELEVATIONS
A202	PROPOSED ELEVATIONS
A203	PROPOSED ELEVATIONS
A401	GRADING PLANS

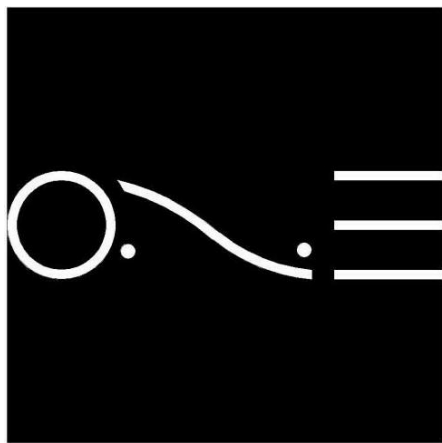
SYMBOLS

PLAN DETAIL REFERENCE DETAIL REFERENCE SHEET NUMBER X XX	DOOR DESIGNATION WINDOW DESIGNATION PARTITION TYPE KEY NOTE ROOM NUMBER FIXTURE TYPE ELEVATION MARKER INTERIOR ELEVATION DESIGNATION ROOF SLOPE DIRECTION
ELEVATION REFERENCE DETAIL REFERENCE SHEET NUMBER X XX	
SECTION REFERENCE DETAIL REFERENCE SHEET NUMBER X XX	
EXISTING WALL TO BE REMOVED EXISTING WALL TO REMAIN NEW BRICK WALL NEW CMU WALL NEW STUD WALL	

ABBREVIATIONS

AFF AA ACOUS ACT ADJ ALUM ANOD BD BLKG BS C CLG CMU CONT DIA DIM DN DOUG DR DTL DWG ELEC ELEV EQ EQUIP EXST FF FIXT FLR FLUOR GFI GC GL GYP GWB HDWR HM	ABOVE FINISH FLOOR ALL AROUND ACOUSTICAL ACOUSTICAL CEILING TILE ADJUSTABLE ALUMINUM ANODIZED BOARD BLOCKING BOTH SIDES CENTER LINE CEILING CONCRETE MASONRY UNIT CONTINUOUS DIAMETER DIMENSION DOWN DOUGLAS DOOR DETAIL DRAWING ELECTRICAL ELEVATION EQUAL EQUIPMENT EXISTING FINISH FLOOR FIXTURE FLOOR FLUORESCENT GROUND FAULT INTERRUPTER GENERAL CONTRACTOR GLAZING GYPSUM GYPSUM WALL BOARD HARDWARE HOLLOW METAL	MAT MAX MC MDF MDO MECH MIN MISC MOLDING MO MTD MTL OC OPP PLYWD PL POL PTD ROP RND RO SC SIM SHT STND STL STOR TEL TYP TYP TO MATCH EXISTING UNLESS OTHERWISE NOTED VINYL COMPOSITION TILE VERTICAL VENEER VERIFY IN FIELD VINYL WALL COVERING WITH
---	--	---

4184/4190/4196  
LIVINGSTON RD SE  
DISTRICT OF COLUMBIA  
20032



ONE DESIGN SERVICES

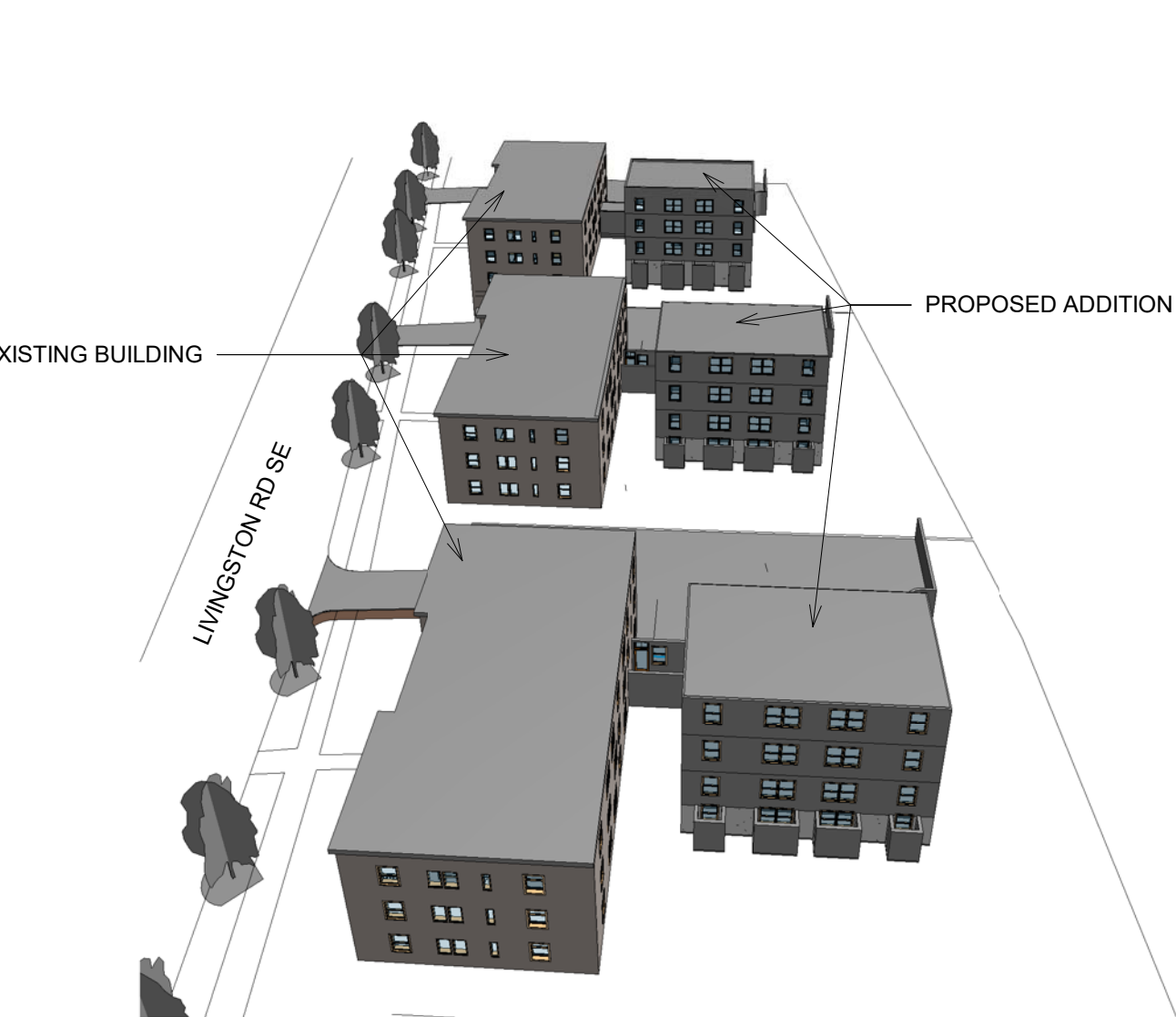
onedesignservices.net  
Tel. 571.225.7211

REVISION #	
SCALE	AS INDICATED
ISSUE DATE	APRIL 2023

COVER SHEET  
CONTD

001

ZONING AND FAR CALCULATIONS								
ZONING DISTRICT	RA-1							
ADDRESS	4184 LIVINGSTON RD SE							
	EXISTING	PROPOSED						
NUMBER OF DWELLING UNITS	13	22						
LOT AREA	14921	14921						
TOTAL FOOTPRINT	3090	4608						
LOT OCCUPANCY %	20.71	30.88						
REAR SETBACK	75.5	24						
FRONT SETBACK	0	0						
RIGHT SIDE SETBACK (FACING BLDG)	9	9						
LEFT SIDE SETBACK (FACING BLDG)	31.75	31.75						
NUMBER OF STORIES	3	3						
BUILDING HEIGHT	34	34						
PARKING	0	6						
PERVIOUS SURFACE %	79.29	69.12						
FAR CALCULATION								
	EXISTING SF	PROPOSED SF	SPACES <6'2" RM HT	SHAFT	PROJECTIONS	FAR APPLICABLE AREA		
LEVEL								
CELLAR	1385	2785	0	0				
FIRST	2965	4365	0	0	0	4365		
SECOND	2965	4365	0	0	0	4365		
THIRD	2965	4635	0	0	0	4635		
TOTAL (GFA)	10280	16150	0	0		13365		
					FAR	0.8957174		
ADA REQUIREMENTS								
LEVELS	NO. OF UNITS	TYPE A (15%)	TYPE B(85%)	VEHICLE PARKING REQMTS				
CELLAR	4	0.6	3.4	1 PER 3 UNITS 1.33				
FIRST	6	0.9	5.1	1 PER 3 UNITS 2				
SECOND	6	0.9	5.1	1 PER 3 UNITS 2				
THIRD	6	0.9	5.1	1 PER 3 UNITS 2				
TOTAL	22	3.3	18.7	TOTAL 7.33				
				MR EXCEMF 50%				
				RQRD 3.67				
OCCUPANT LOAD CALCULATION								
LEVELS	GSF	AREA PER OCCUPANT		OCCUPANT				
CELLAR	2785 R-2	200		14				
FIRST	4365 R-2	200		22				
SECOND	4365 R-2	200		22				
THIRD	4365 R-2	200		22				
		TOTAL		79				
EXIT REQUIREMENTS								
LEVELS	OCCUPANTS	AREA PER OCCUPANT	EGRESS WIDTH PER OCCUPANT		REQUIRED		WIDTH PROVIDED	
			STAIR(IN)	DOOR(IN)	STAIR(IN)	DOOR(IN)	STAIR(IN)	DOOR(IN)
CELLAR	14	200	0.2	0.15	2.785	2.09	72	72
FIRST	22	200	0.2	0.15	4.37	3.27	72	72
SECOND	22	200	0.2	0.15	4.37	3.27	72	72
THIRD	22	200	0.2	0.15	4.37	3.27	72	72
					TOTAL	15.88 11.91	72	72
NUMBER OF EXITS								
LEVELS	REQUIRED	PROVIDED	ALLOWABLE TRAVEL DISTANCE (FT)	ACTUAL TRAVEL DISTANCE (FT)				
CELLAR	2	2	250	102.3				
FIRST	2	2	250	49.5				
SECOND	2	2	250	102.5				
THIRD	2	2	250	121				



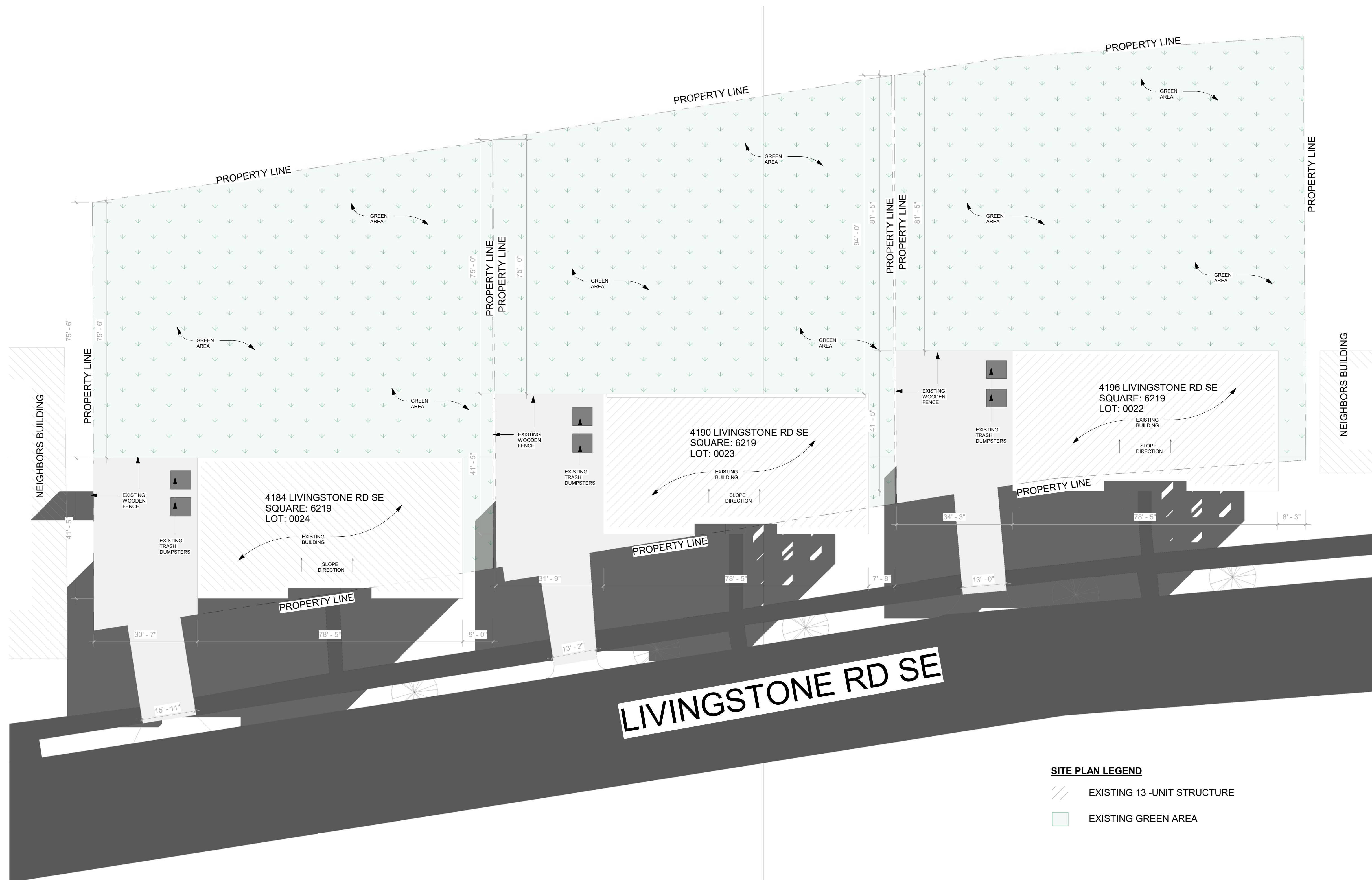
① 3D View 14



④ 3D View 10

ZONING AND FAR CALCULATIONS						
ZONING DISTRICT	RA-1					
ADDRESS	4190 LIVINGSTON RD SE					
	EXISTING	PROPOSED				
NUMBER OF DWELLING UNITS	13	22				
LOT AREA	14921	14921				
TOTAL FOOTPRINT	3090	4608				
LOT OCCUPANCY %	20.71	30.88				
REAR SETBACK	75	23.5				
FRONT SETBACK	0	0				
RIGHT SIDE SETBACK (FACING BLDG)	7.6	7.6				
LEFT SIDE SETBACK (FACING BLDG)	31.75	31.75				
NUMBER OF STORIES	3	3				
BUILDING HEIGHT	34	34				
PARKING	0	6				
PERVIOUS SURFACE %	79.29	69.12				
FAR CALCULATION						
	EXISTING SF	PROPOSED SF	SPACES <6'2" RM HT	SHAFT	PROJECTIONS	FAR APPLICABLE AREA
LEVEL						
CELLAR	1385	2785	0	0		
FIRST	2965	4365	0	0	0	4365
SECOND	2965	4365	0	0	0	4365
THIRD	2965	4635	0	0	0	4635
TOTAL (GFA)	10280	16150	0	0		13365
					FAR	0.8957174
ADA REQUIREMENTS						
LEVELS	NO. OF UNITS	TYPE A (15%)	TYPE B(85%)	VEHICLE PARKING REQMTS		
CELLAR	4	0.6	3.4	1 PER 3 UNITS	1.33	
FIRST	6	0.9	5.1	1 PER 3 UNITS	2	
SECOND	6	0.9	5.1	1 PER 3 UNITS	2	
THIRD	6	0.9	5.1	1 PER 3 UNITS	2	
TOTAL	22	3.3	18.7	TOTAL	7.33	
				MR EXCEMF	50%	
				RQRD	3.67	
OCCUPANT LOAD CALCULATION						
LEVELS	GSF	AREA PER RESIDENTIAL	OCCUPANCY	AREA PER OCCUPANT	OCCUPANT	
CELLAR	2785 R-2			200	14	
FIRST	4365 R-2			200	22	
SECOND	4365 R-2			200	22	
THIRD	4365 R-2			200	22	
				TOTAL	79	
EXIT REQUIREMENTS						
LEVELS	OCCUPANTS	AREA PER OCCUPANT	EGRESS WIDTH PER OCCUPANT		REQUIRED	WIDTH PROVIDED
			STAIR(IN)	DOOR(IN)	STAIR(IN)	DOOR(IN)
CELLAR	14	200	0.2	0.15	2.785	2.09
FIRST	22	200	0.2	0.15	4.37	3.27
SECOND	22	200	0.2	0.15	4.37	3.27
THIRD	22	200	0.2	0.15	4.37	3.27
				TOTAL	15.88	11.91
					72	72
NUMBER OF EXITS						
LEVELS	REQUIRED	PROVIDED	ALLOWABLE TRAVEL DISTANCE (FT)	ACTUAL TRAVEL DISTANCE (FT)		
CELLAR	2	2	250	102.3		
FIRST	2	2	250	49.5		
SECOND	2	2	250	102.5		
THIRD	2	2	250	121		

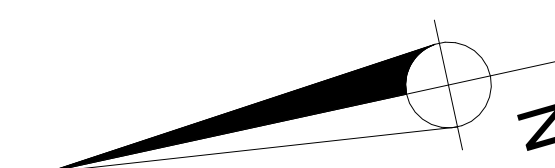
ZONING AND FAR CALCULATIONS						
ZONING DISTRICT	RA-1					
ADDRESS	4196 LIVINGSTON RD SE					
	EXISTING	PROPOSED				
NUMBER OF DWELLING UNITS	13	22				
LOT AREA	15205	15205				
TOTAL FOOTPRINT	3090	4608				
LOT OCCUPANCY %	20.32	30.31				
REAR SETBACK	81.5	29.5				
FRONT SETBACK	0	0				
RIGHT SIDE SETBACK (FACING BLDG)	8.2	8.2				
LEFT SIDE SETBACK (FACING BLDG)	34.2	34.2				
NUMBER OF STORIES	3	3				
BUILDING HEIGHT	34	34				
PARKING	0	6				
PERVIOUS SURFACE %	79.68	69.69				
FAR CALCULATION						
	EXISTING SF	PROPOSED SF	SPACES <6'2" SHAFT		PROJECTIONS	FAR APPLICABLE AREA
LEVEL			RM HT			
CELLAR	1385	2785	0	0		
FIRST	2965	4365	0	0	0	4365
SECOND	2965	4365	0	0	0	4365
THIRD	2965	4635	0	0	0	4635
TOTAL (GFA)	10280	16150	0	0		13365
					FAR	0.8789872
ADA REQUIREMENTS						
LEVELS	NO. OF UNITS	TYPE A (15%)	TYPE B(85%)			
CELLAR	4	0.6	3.4			
FIRST	6	0.9	5.1			
SECOND	6	0.9	5.1			
THIRD	6	0.9	5.1			
TOTAL	22	3.3	18.7			
VEHICLE PARKING REQRMTS						



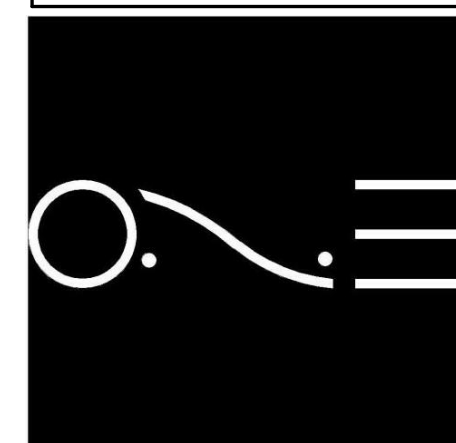
1 SITE PLAN EXISTING  
A002 1/16" = 1'-0"

**SITE PLAN LEGEND**

- EXISTING 13-UNIT STRUCTURE
- EXISTING GREEN AREA



**4184/4190/4196  
LIVINGSTONE RD SE**  
DISTRICT OF COLUMBIA  
20032



ONE DESIGN SERVICES  
onedesignservices.net  
Tel. 571.225.7211

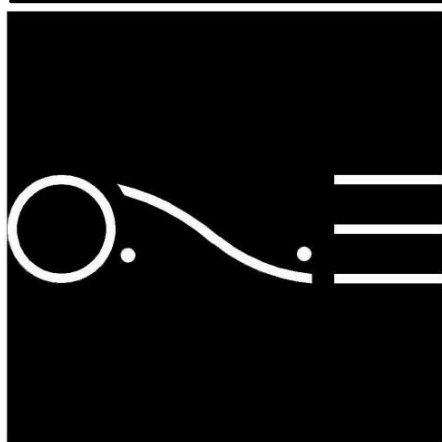
REVISION #  
SCALE  
ISSUE DATE

AS INDICATED  
APRIL 2023

**EXISTING SITE  
PLAN**

**A002**

4184/4190/4196  
LIVINGSTONE RD SE  
DISTRICT OF COLUMBIA  
20032

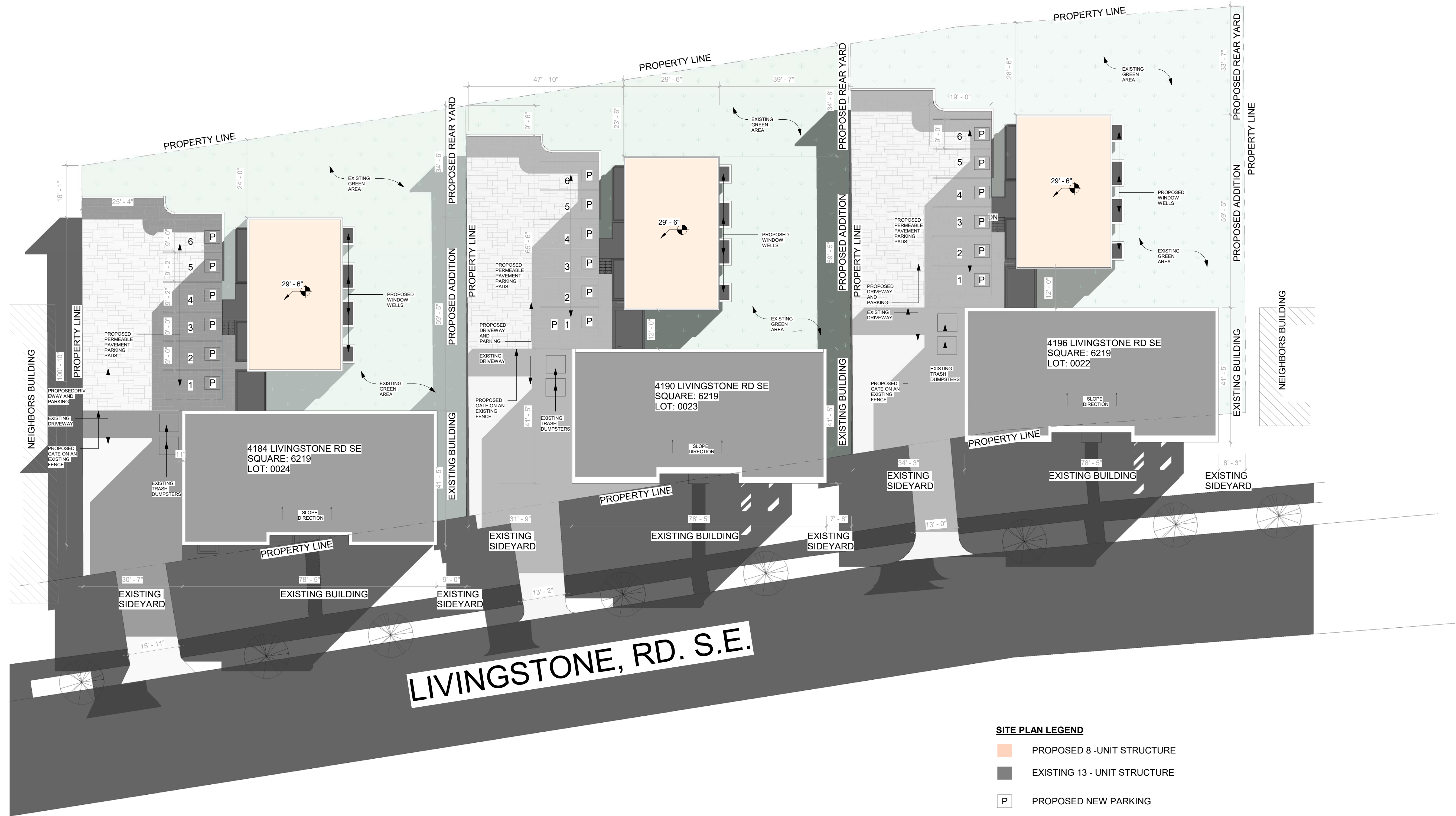


ONE DESIGN SERVICES  
onedesignservices.net  
Tel. 571.225.7211

REVISION #  
SCALE AS INDICATED  
ISSUE DATE APRIL 2023

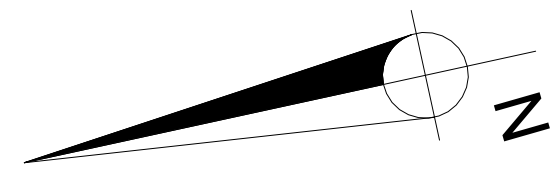
PROPOSED  
SITE PLAN

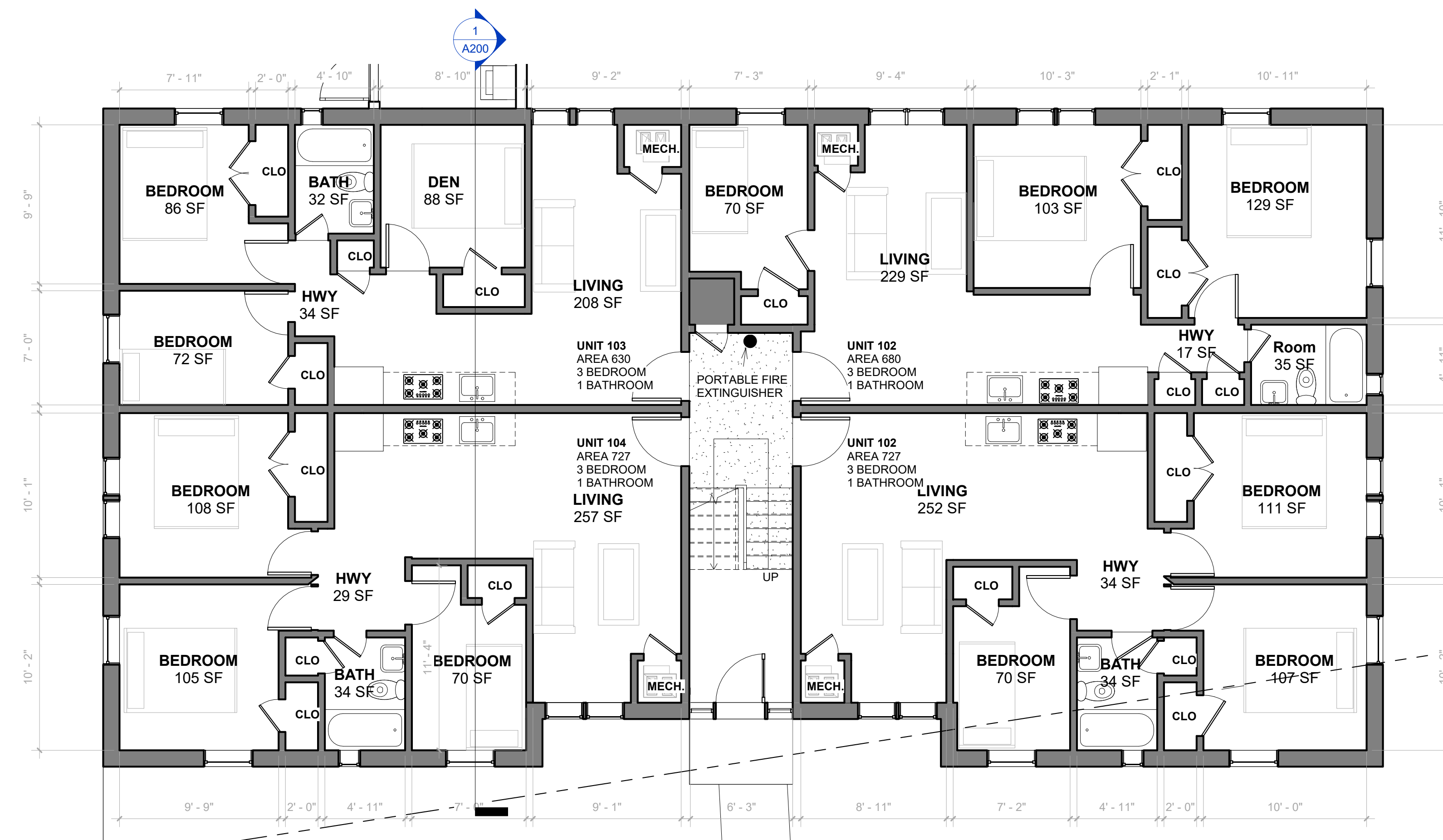
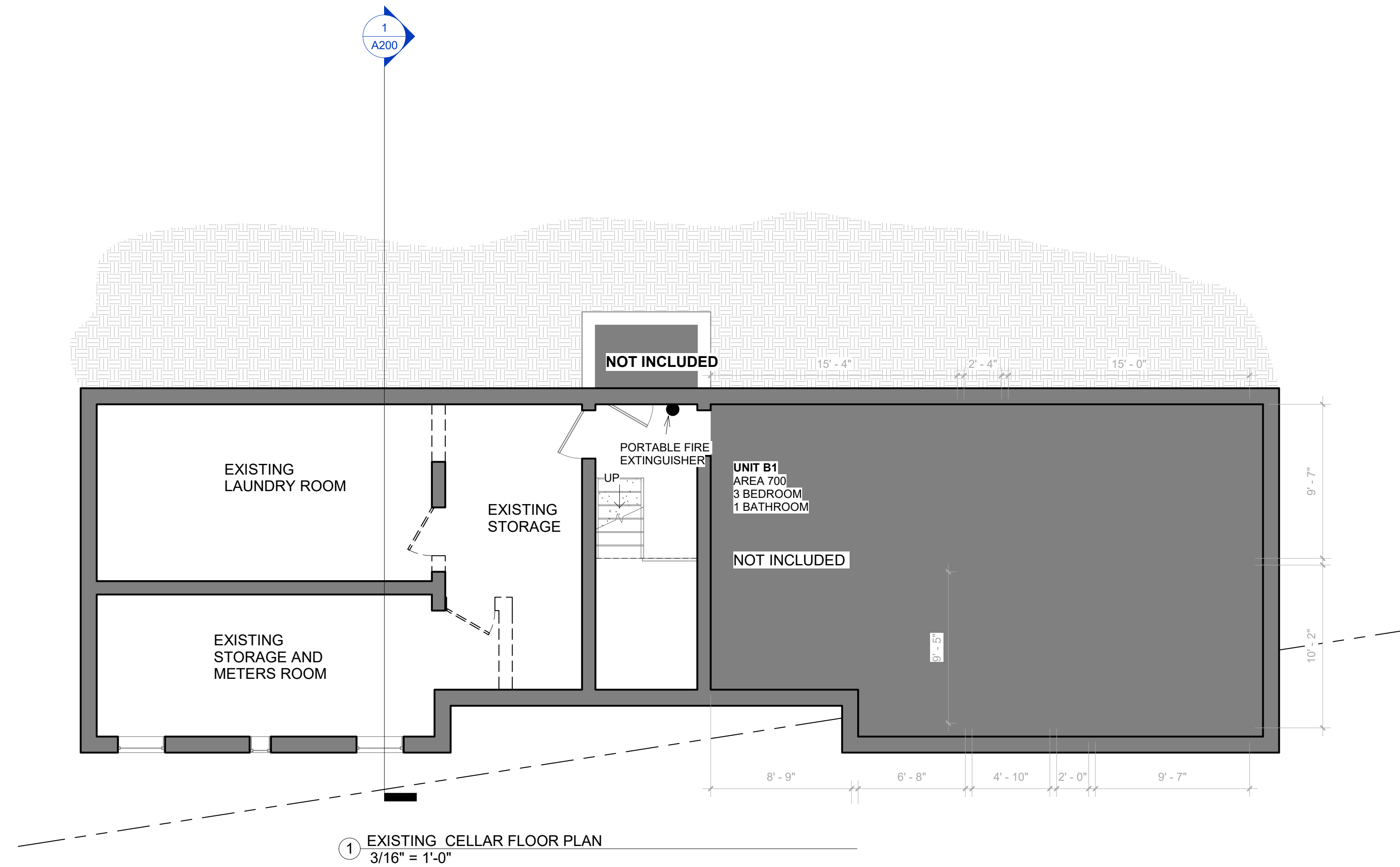
A003



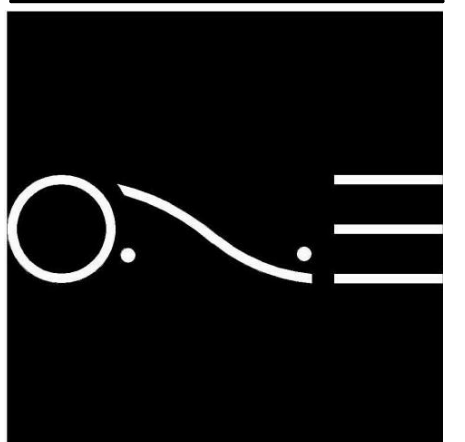
1 SITE PLAN PROPOSED  
A003 1/16" = 1'-0"

- SITE PLAN LEGEND**
- PROPOSED 8 - UNIT STRUCTURE
  - EXISTING 13 - UNIT STRUCTURE
  - P PROPOSED NEW PARKING
  - GREEN AREA





**4184/4190/4196**  
**LIVINGSTON RD SE**  
DISTRICT OF COLUMBIA  
20032



REVISION #	
SCALE	AS INDICATED
ISSUE DATE	APRIL 2023

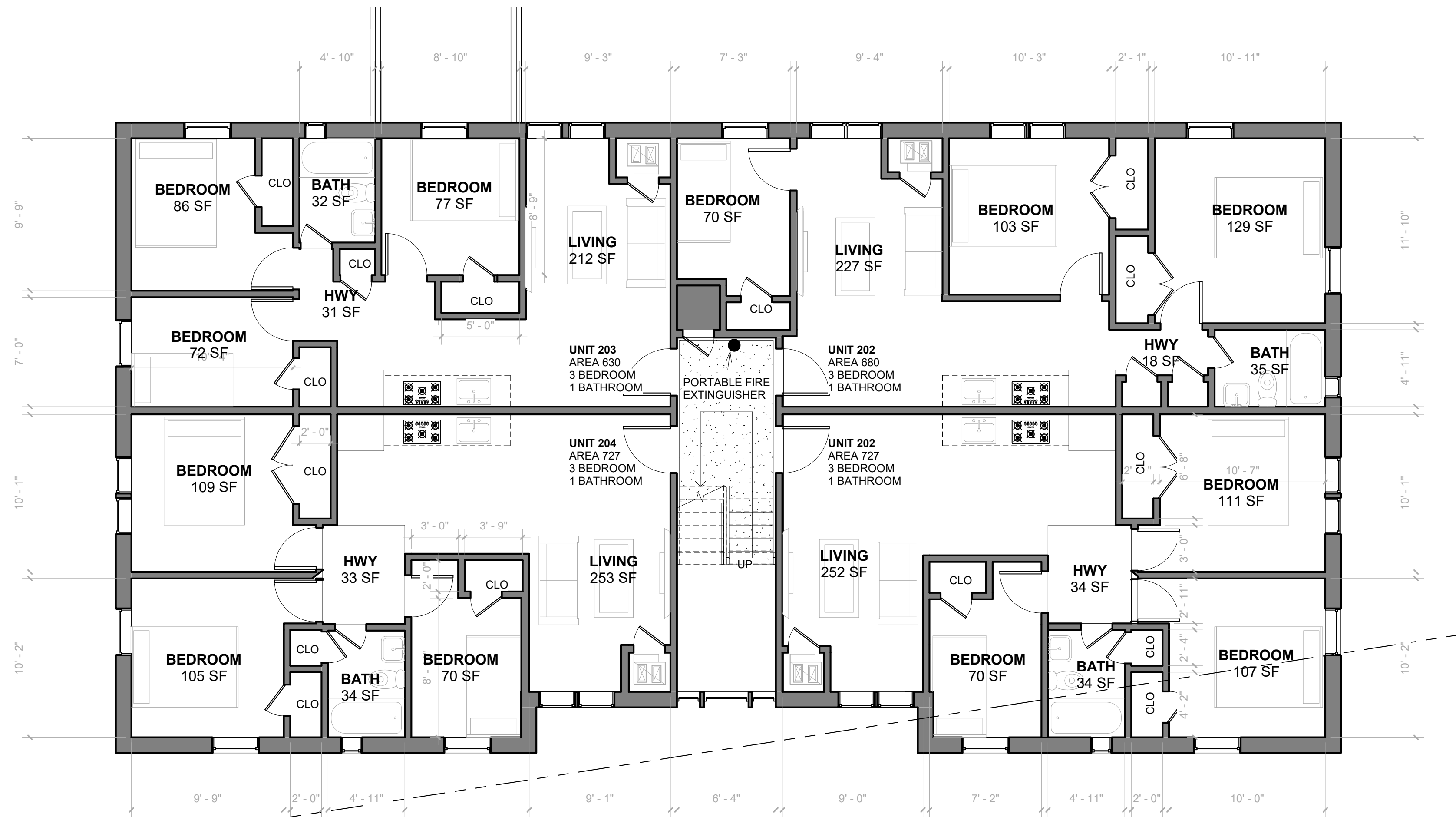
## EXISTING FLOOR PLANS

# A100

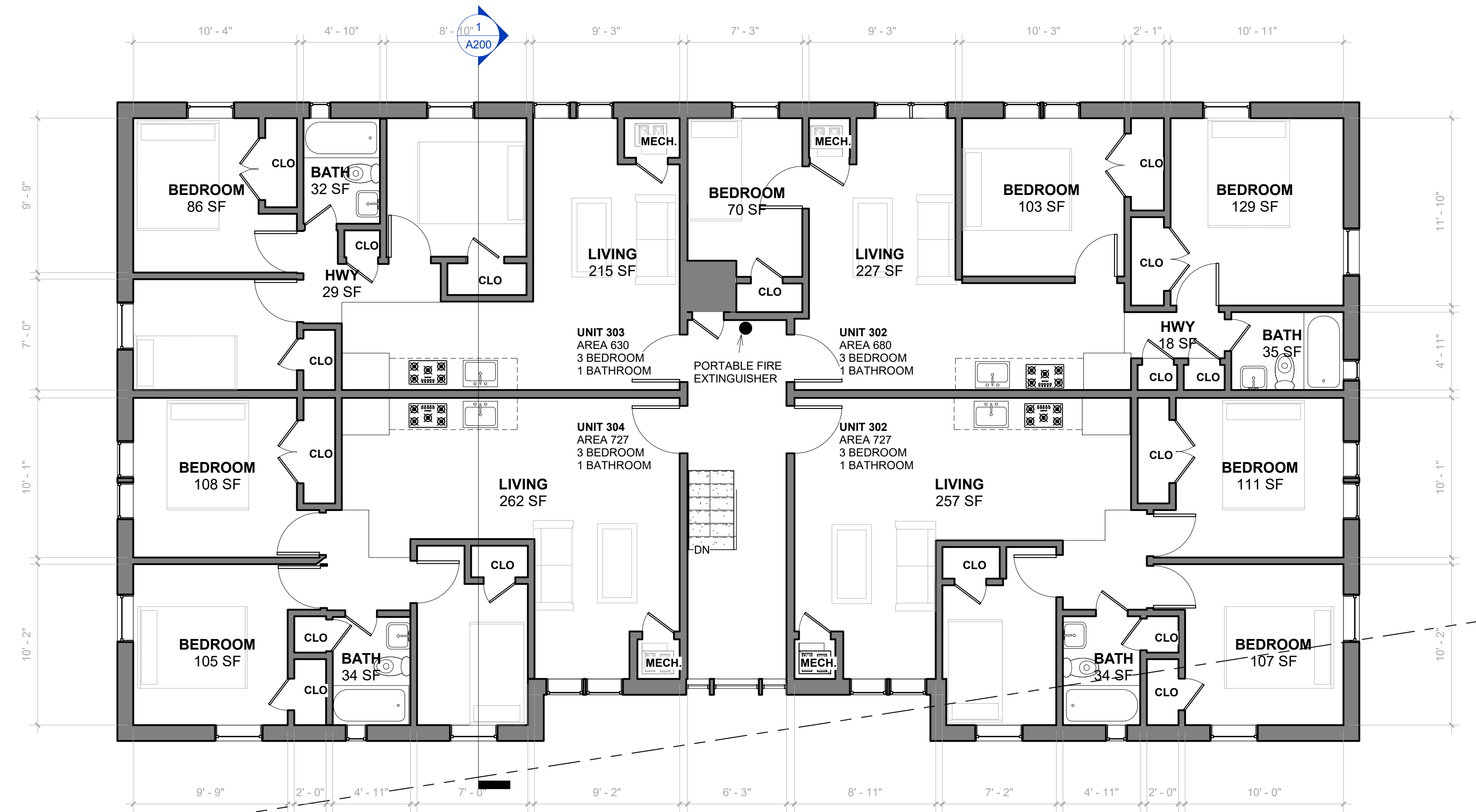
### LEGEND

EXISTING WALL  
DEMO WALL  
NEW WALL



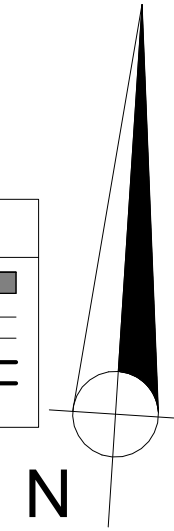


1 EXISTING SECOND FLOOR PLAN  
3/16" = 1'-0"

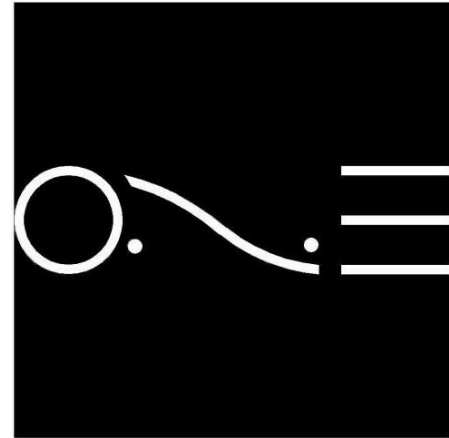


2 EXISTING 3RD FLOOR PLAN  
3/16" = 1'-0"

LEGEND	
EXISTING WALL	
DEMO WALL	
NEW WALL	



4184/4190/4196  
LIVINGSTON RD SE  
DISTRICT OF COLUMBIA  
20032

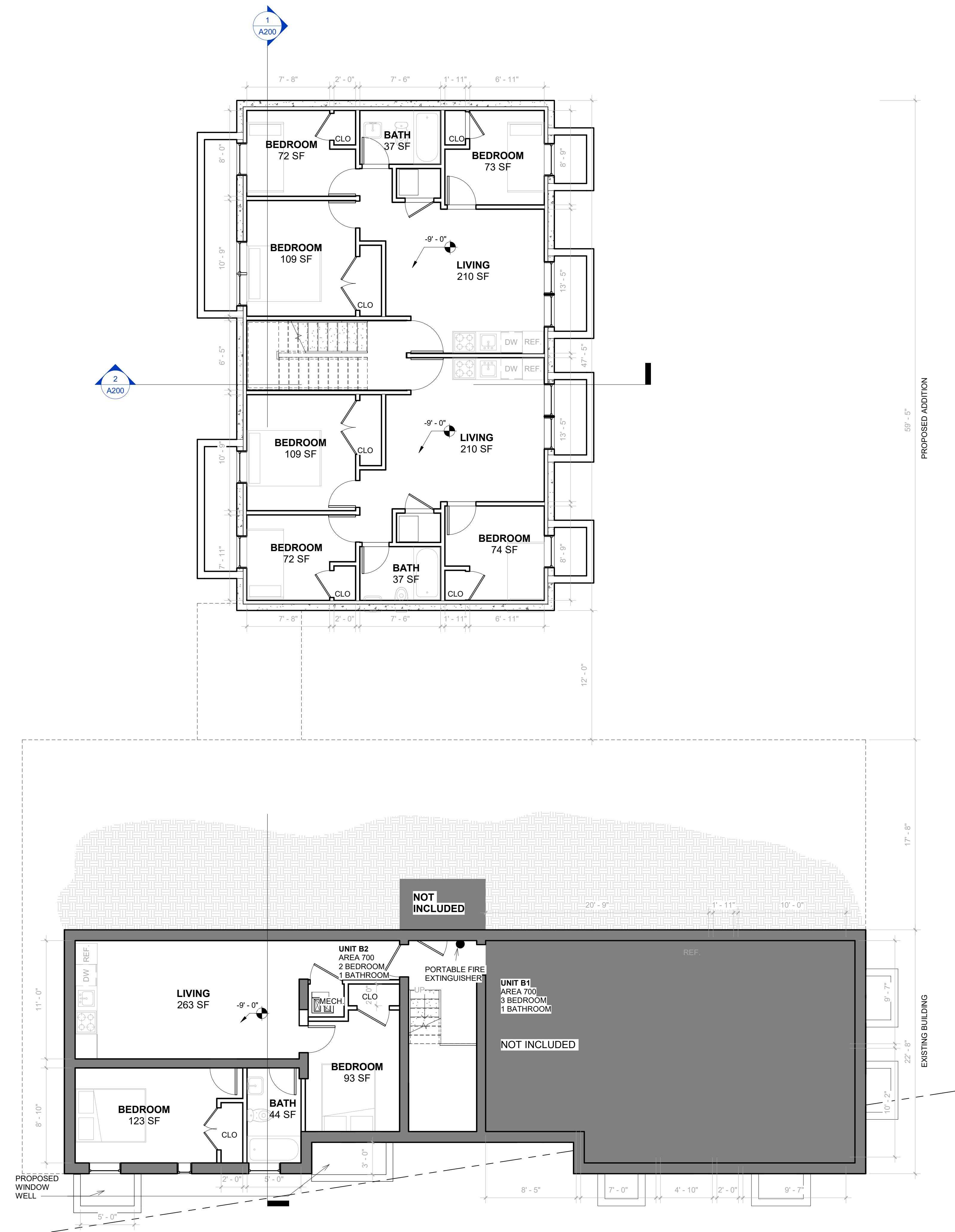


ONE DESIGN SERVICES  
onedesignservices.net  
Tel. 571.225.7211

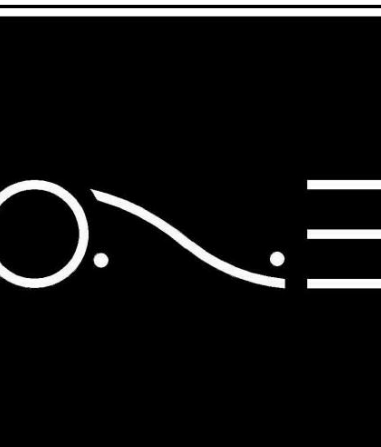
REVISION #	
SCALE	AS INDICATED
ISSUE DATE	APRIL 2023

EXISTING  
FLOOR PLANS

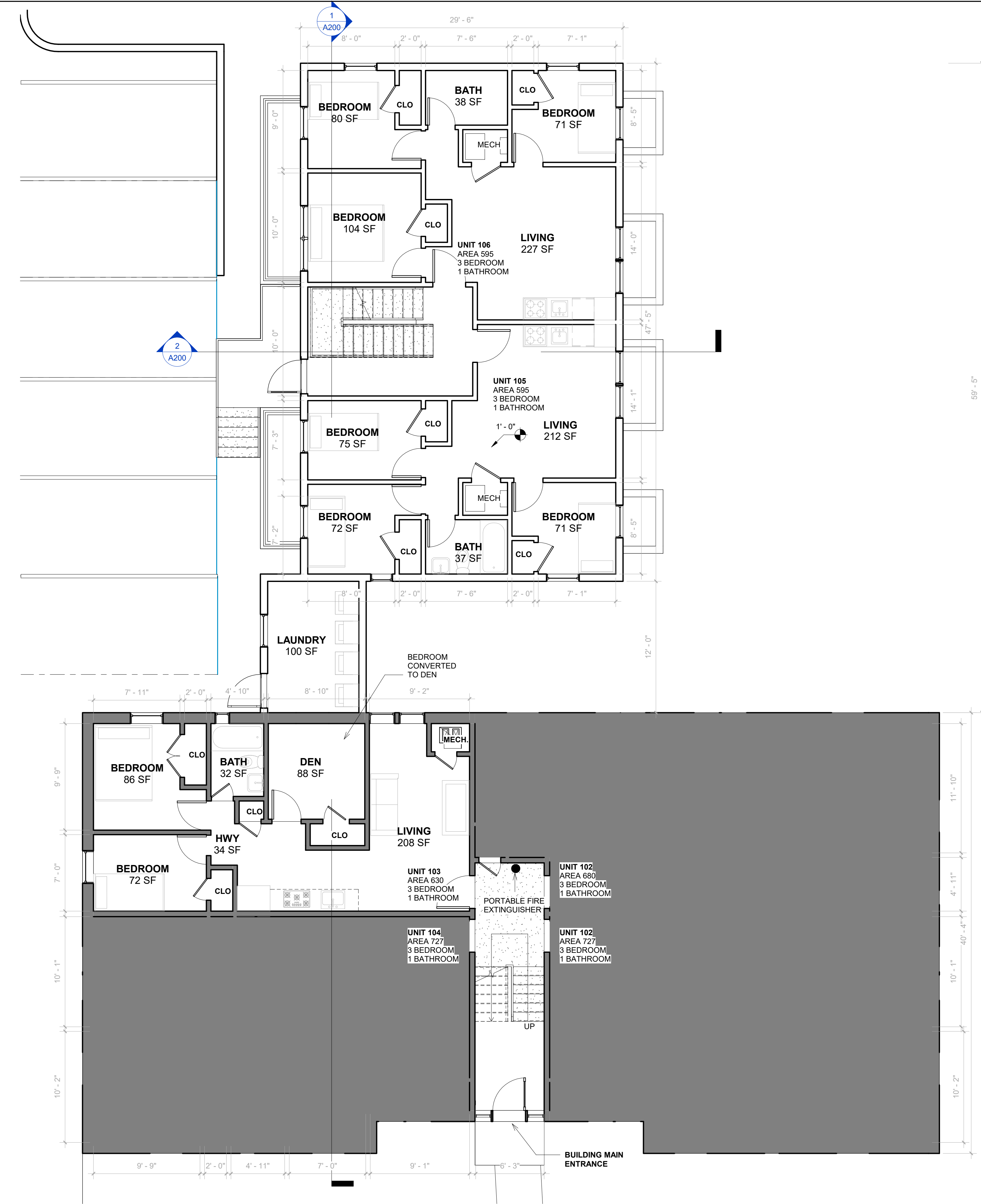
A101



4184/4190/4196  
LIVINGSTON RD SE  
DISTRICT OF COLUMBIA  
20032

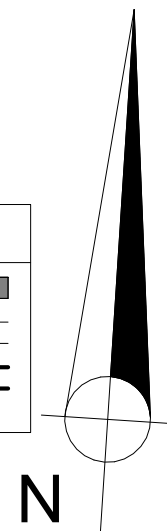


ONE DESIGN SERVICES  
onedesignservices.net  
Tel. 571.225.7211

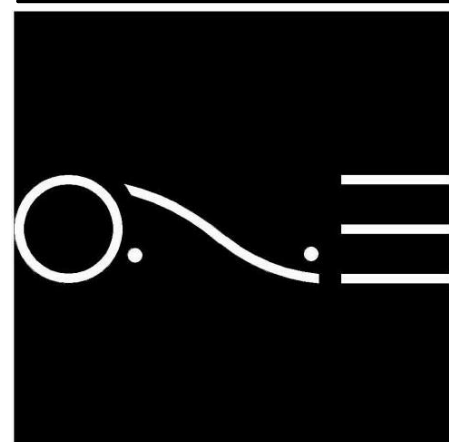


1 PROPOSED FIRST FLOOR PLAN  
3/16" = 1'-0"

LEGEND	
EXISTING WALL	
DEMO WALL	
NEW WALL	



4184/4190/4196  
**LIVINGSTON RD SE**  
DISTRICT OF COLUMBIA  
20032



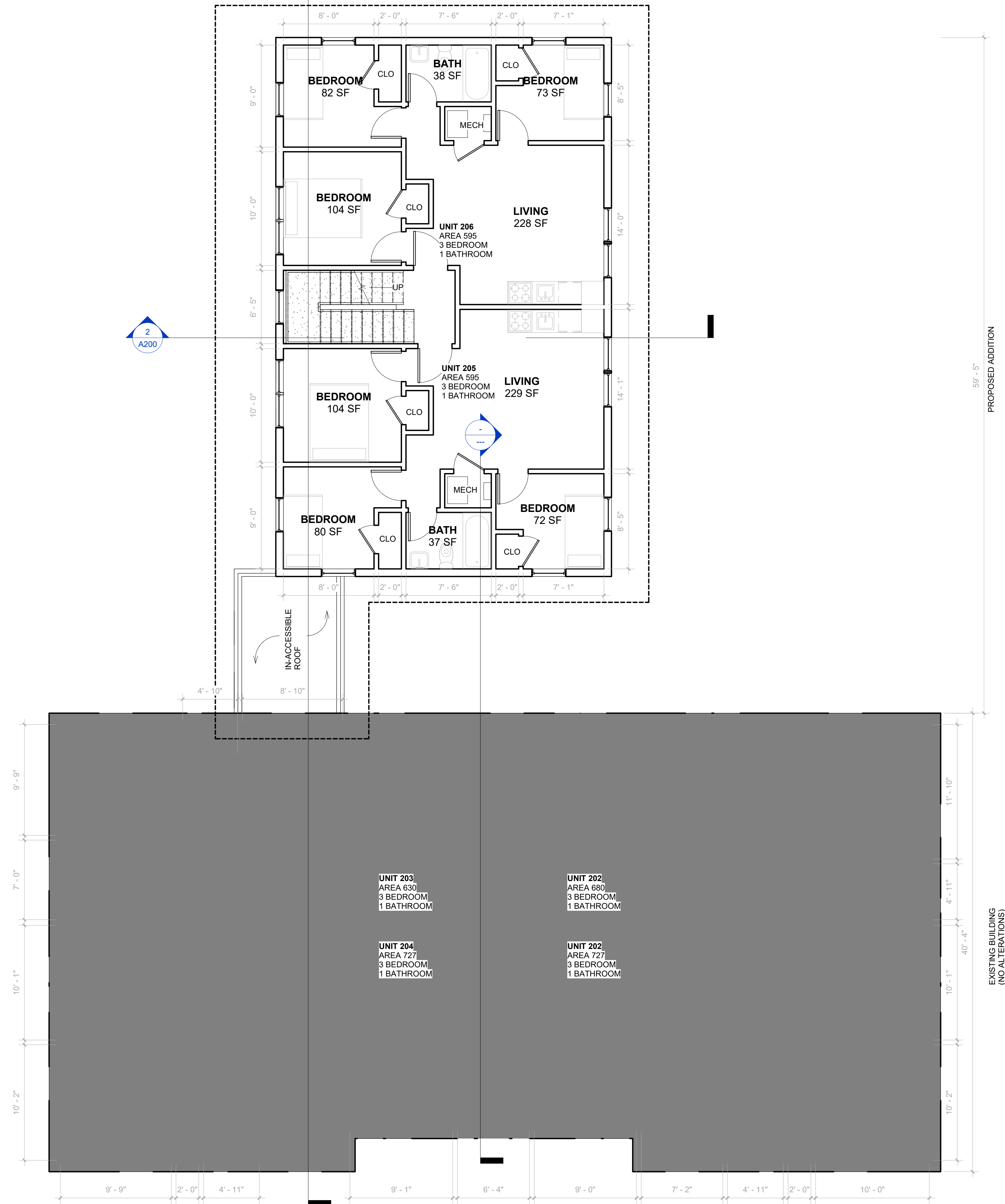
ONE DESIGN SERVICES

onedesignservices.net  
Tel. 571.225.7211

REVISION #	
SCALE	AS INDICATED
ISSUE DATE	APRIL 2023

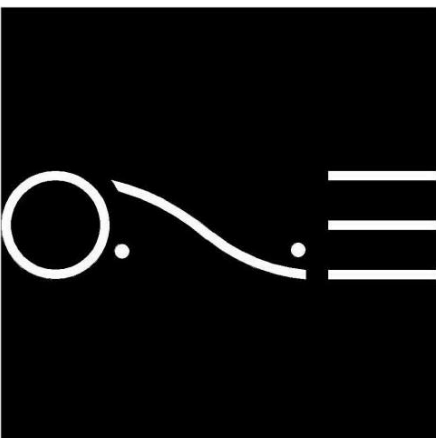
**PROPOSED  
FLOOR PLAN**

**A103**



1 PROPOSED SECOND FLOOR PLAN  
3/16" = 1'-0"

4184/4190/4196  
LIVINGSTON RD SE  
DISTRICT OF COLUMBIA  
20032

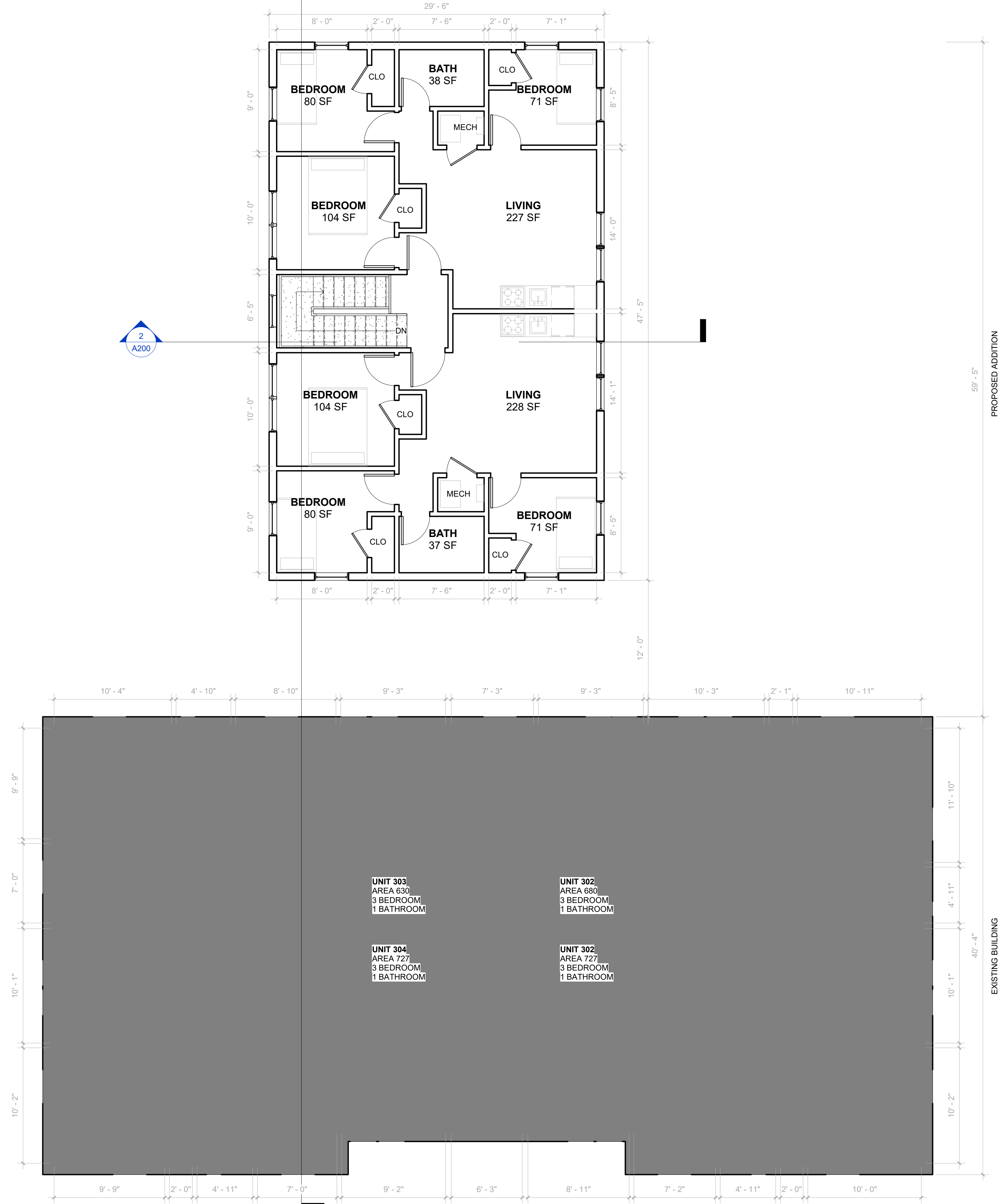


ONE DESIGN SERVICES  
onedesignservices.net  
Tel. 571.225.7211

REVISION #	
SCALE	AS INDICATED
ISSUE DATE	APRIL 2023

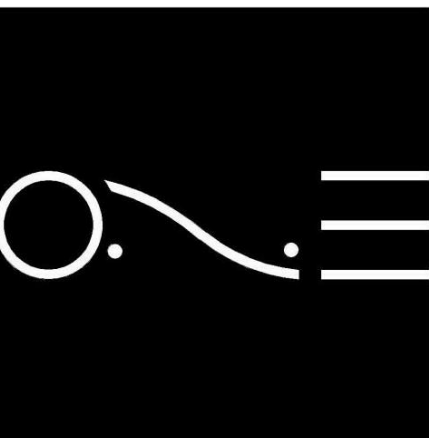
PROPOSED  
FLOOR PLAN

A104



1 PROPOSED THIRD FLOOR PLAN  
3/16" = 1'-0"

4184/4190/4196  
**LIVINGSTON RD SE**  
DISTRICT OF COLUMBIA  
20032



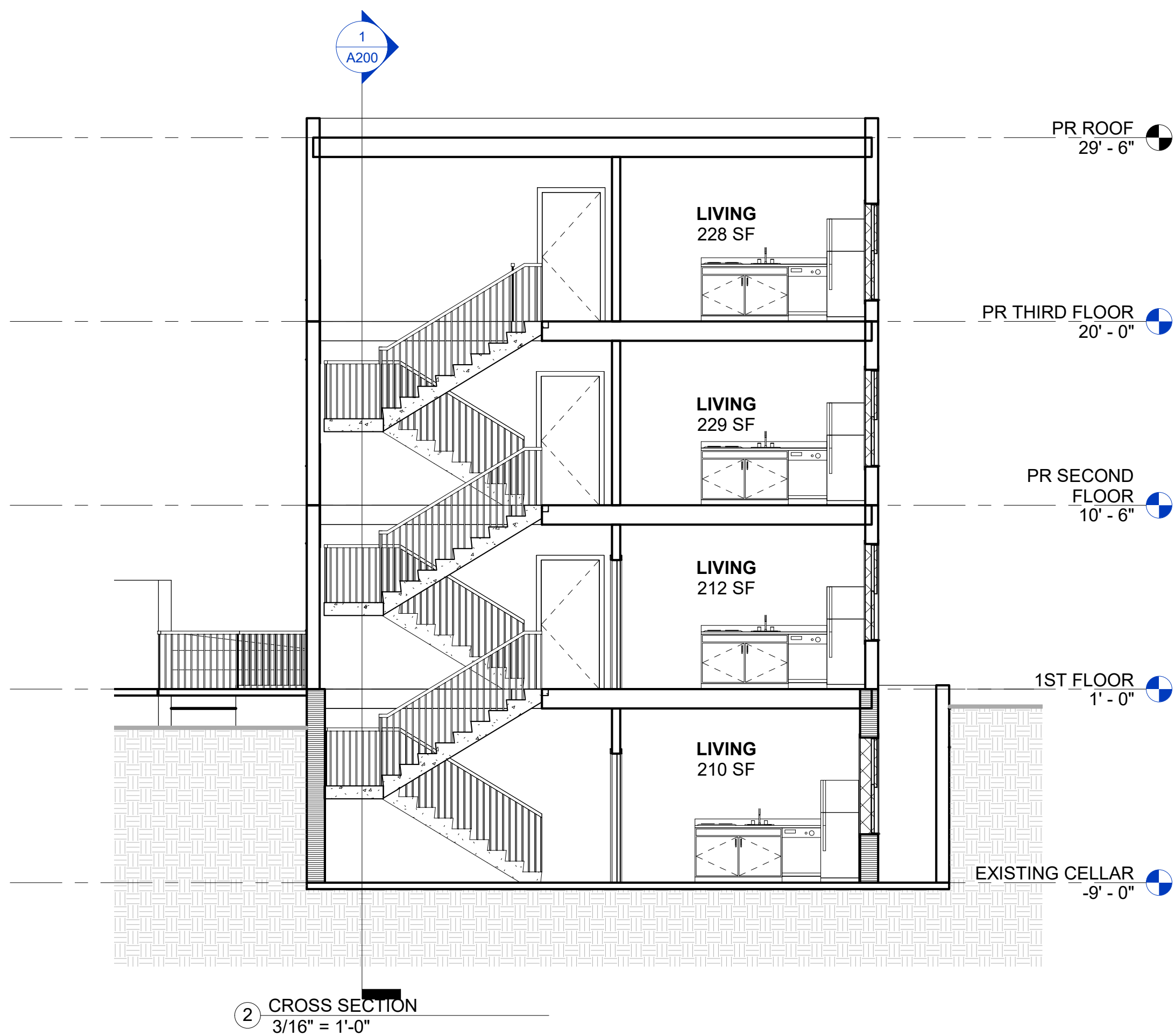
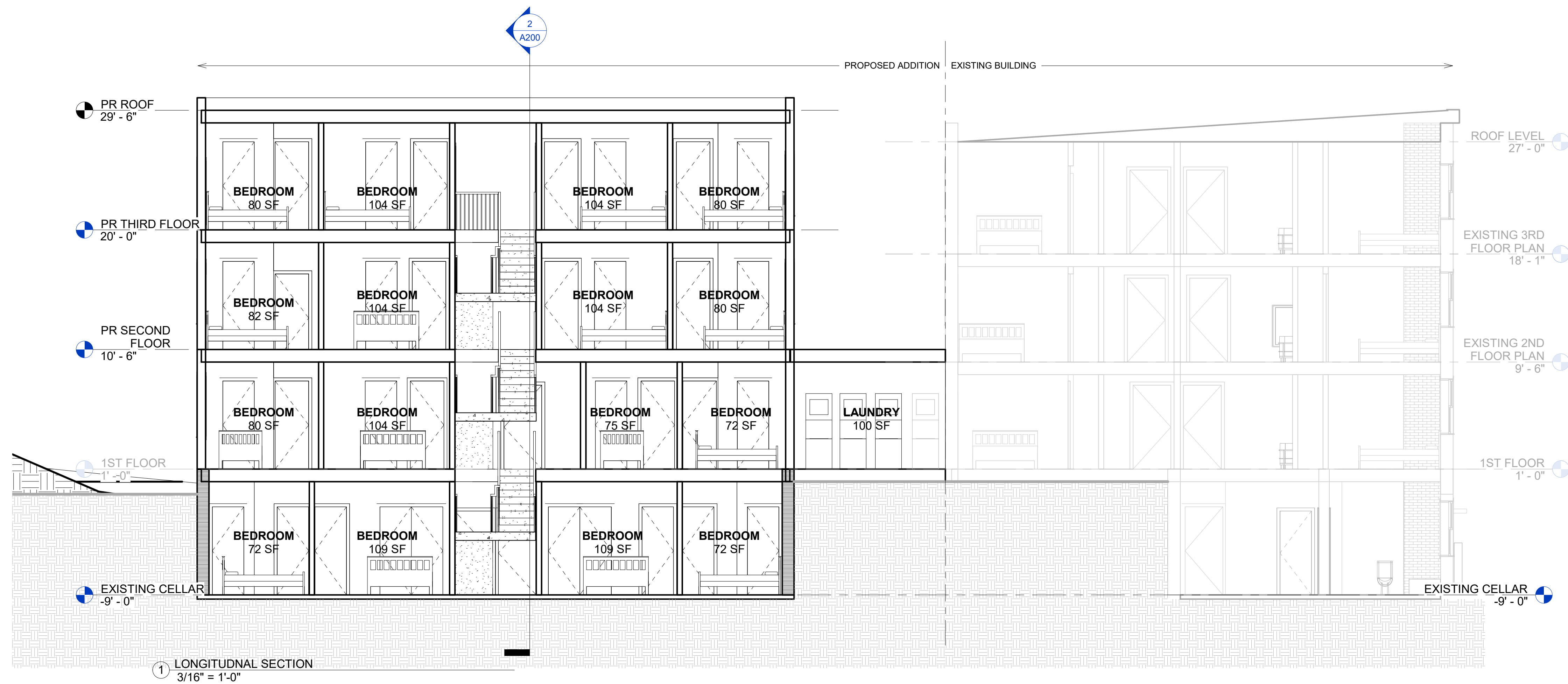
ONE DESIGN SERVICES

onedesignservices.net  
Tel. 571.225.7211

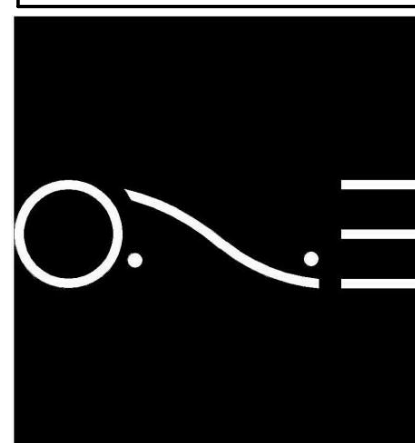
REVISION #	
SCALE	AS INDICATED
ISSUE DATE	APRIL 2023

**PROPOSED  
FLOOR PLAN**

**A105**



4184/4190/4196  
LIVINGSTON RD SE  
DISTRICT OF COLUMBIA  
20032

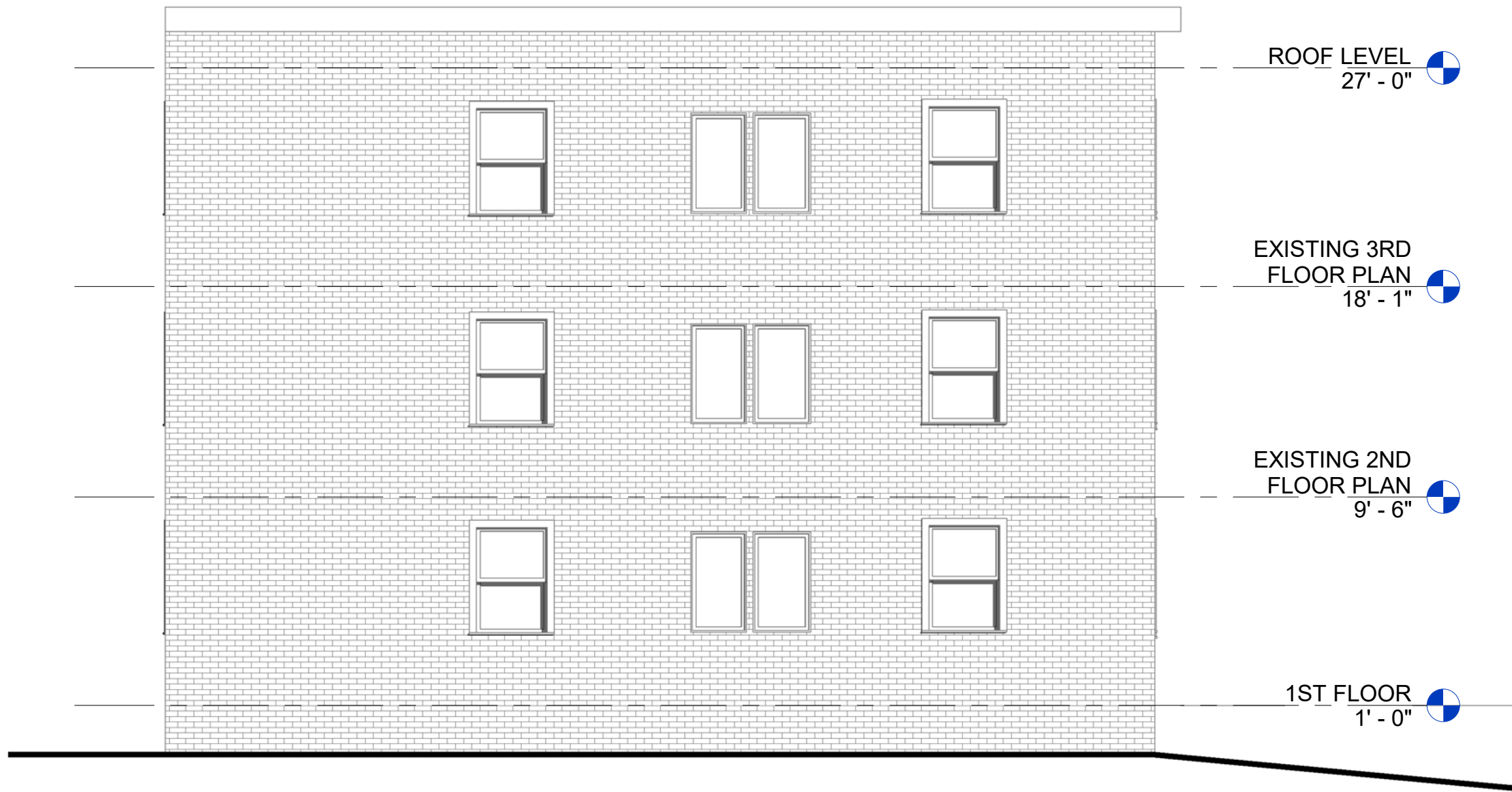


ONE DESIGN SERVICES  
onedesignservices.net  
Tel. 571.225.7211

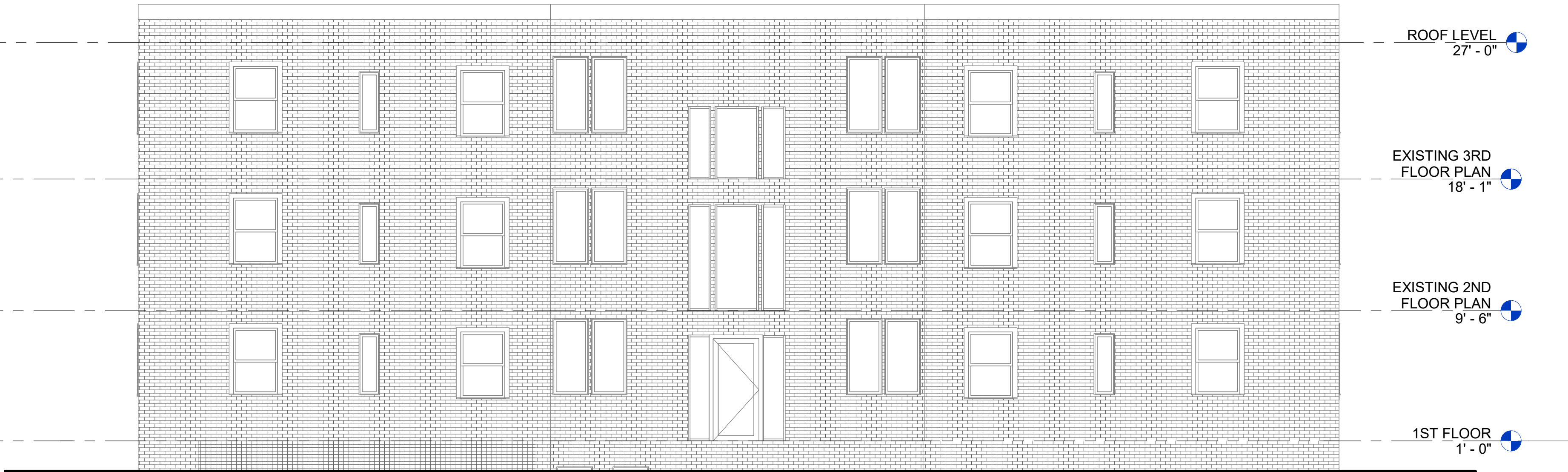
REVISION #  
SCALE AS INDICATED  
ISSUE DATE APRIL 2023

SECTION

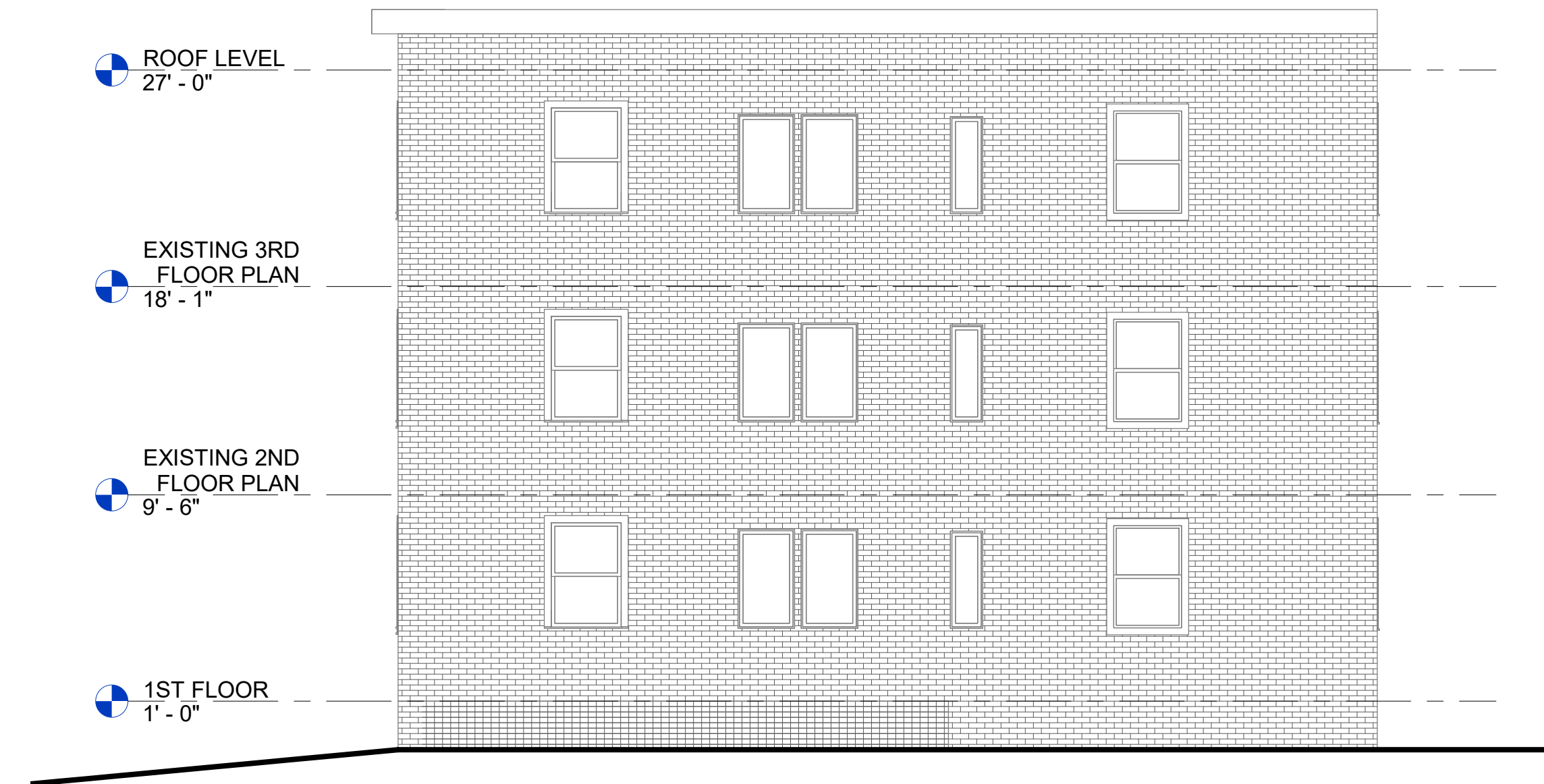
A200



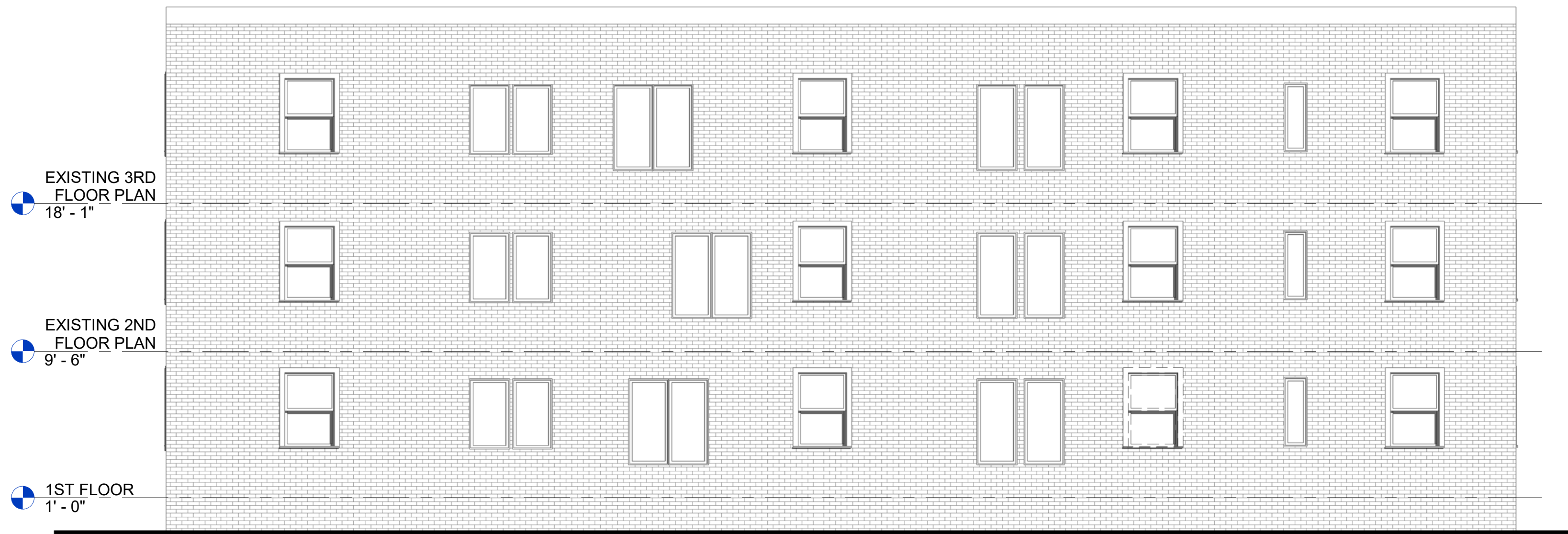
② EXISTING LEFT ELEVATION  
3/16" = 1'-0"



① EXISTING FRONT ELEVATION  
3/16" = 1'-0"

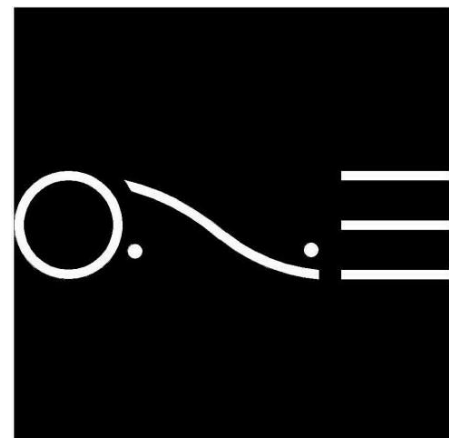


③ EXISTING RIGHT ELEVATION  
3/16" = 1'-0"



④ EXISTING REAR ELEVATION  
3/16" = 1'-0"

4184/4190/4196  
**LIVINGSTON RD SE**  
DISTRICT OF COLUMBIA  
20032

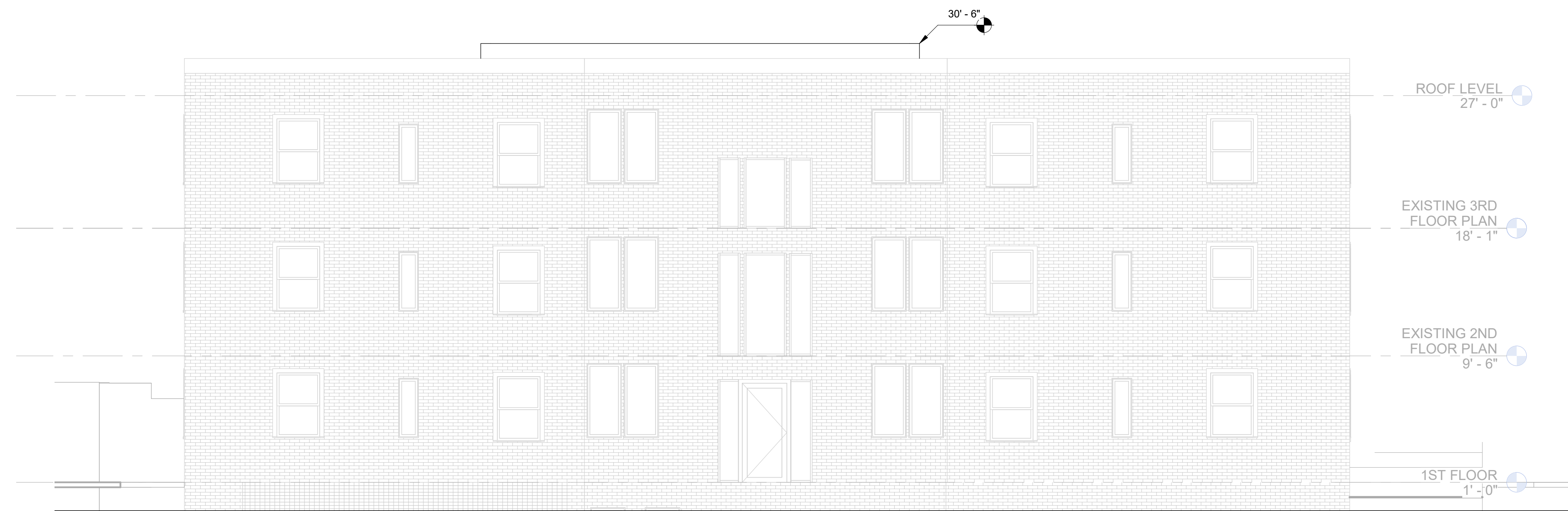


ONE DESIGN SERVICES  
onedesignservices.net  
Tel. 571.225.7211

REVISION #  
SCALE AS INDICATED  
ISSUE DATE APRIL 2023

EXISTING  
ELEVATIONS

**A201**

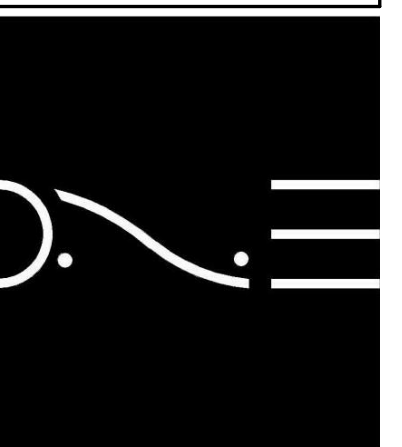


① PROPOSED FRONT ELEVATION  
3/16" = 1'-0"



② PROPOSED REAR ELEVATION  
3/16" = 1'-0"

4184/4190/4196  
LIVINGSTON RD SE  
DISTRICT OF COLUMBIA  
20032



ONE DESIGN SERVICES  
onedesignservices.net  
Tel. 571.225.7211

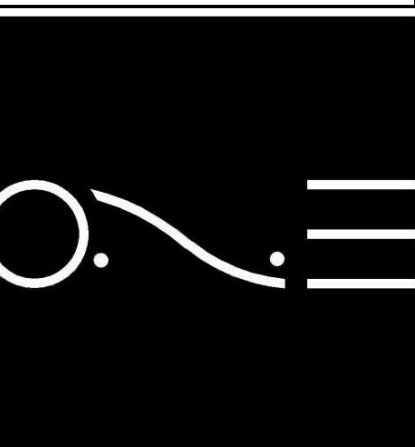
REVISION #	
SCALE	AS INDICATED
ISSUE DATE	APRIL 2023

PROPOSED  
ELEVATIONS

A202



4184/4190/4196  
LIVINGSTON RD SE  
DISTRICT OF COLUMBIA  
20032



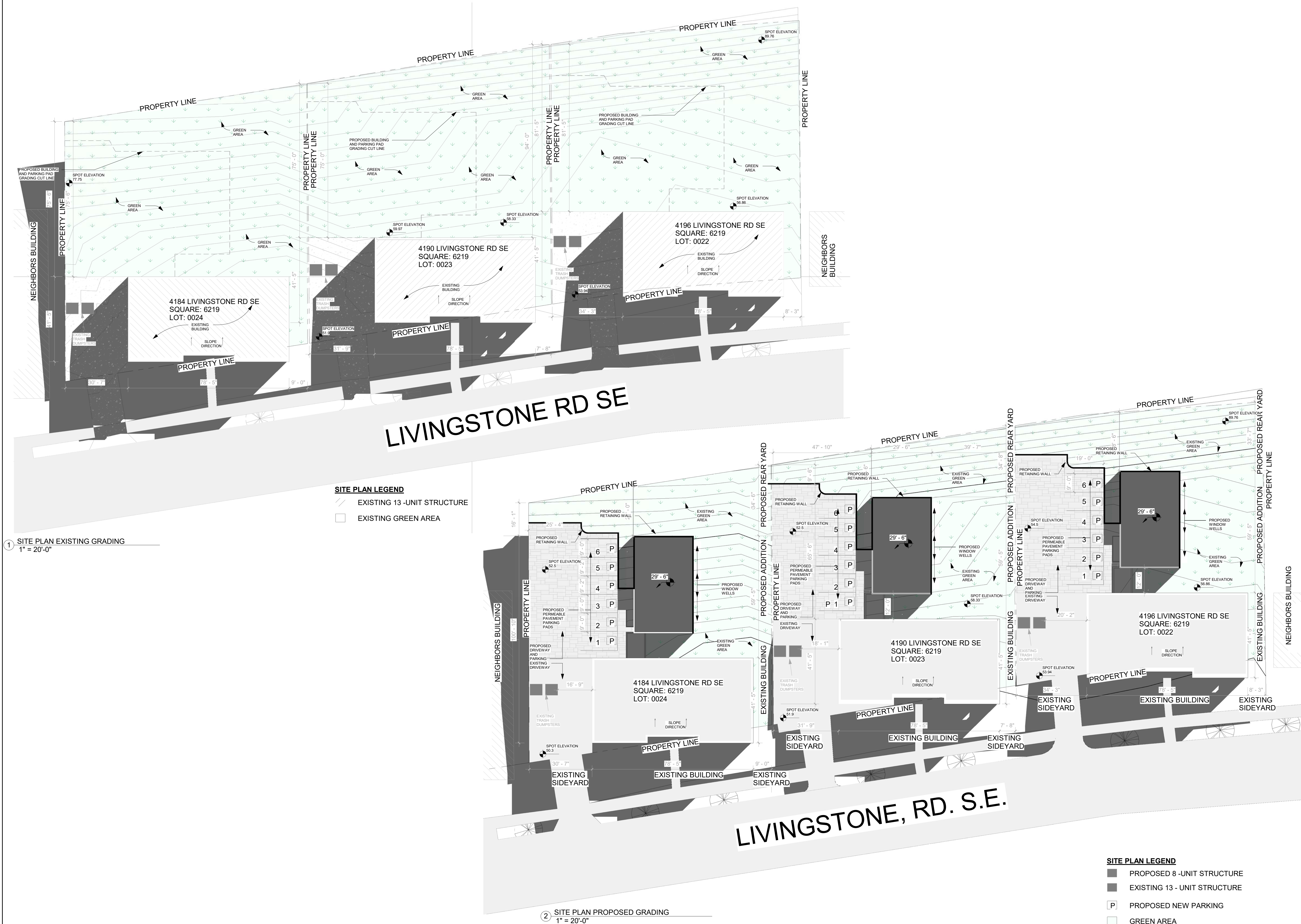
ONE DESIGN SERVICES  
onedesignservices.net  
Tel. 571.225.7211

REVISION #  
SCALE  
ISSUE DATE

AS INDICATED  
APRIL 2023

PROPOSED  
ELEVATIONS

A203



4184/4190/4196  
LIVINGSTONE RD SE  
DISTRICT OF COLUMBIA  
20032

ONE DESIGN SERVICES  
onedesignservices.net  
Tel. 571.225.7211

REVISION #	
SCALE	AS INDICATED
ISSUE DATE	APRIL 2023

GRADING  
PLANS

A401