

5113 2ND ST NW
WASHINGTON, DC 20011

6 UNITS APARTMENT BUILDING
CONCEPT DESIGN



RESIDENTIAL APARTMENT RA-1 ZONE

The purpose of the RA-1 zone are to:

Permit flexibility of design by permitting all types of urban residential development if they conform to the height, density, and area requirements established for these district; an permit the construction of those institutional and semi-public buildings that would be compatible with adjoining residential uses and that area excluded from the more restrictive residential zones.

The RA-1 zone provides for areas predominantly developed with low-to moderate-density development, including detached dwellings, rowhouse, and low-rise apartments.

USE PERMISSION	COURTS	PARKING	INCLUSIONARY ZONING
Subtitle U, Chapter 3	Subtitle F 204	Subtitle C, Chapter 7/8	Subtitle C, Chapter 10

	DEVELOPMENT STANDARDS							ZONING REGULATION REFERENCE
	FLOOR AREA RATIO	HEIGHT	STORIES	LOT OCCUPANCY (PERCENTAGE)	REAR YARD (FT.)	SIDE YARD (FT.)	GREEN AREA RATIO	
RA-1	0.9	40	3	40%	20(min.)	One 8 ft. side setback shall be provided for all structures	0.40	Subtitle F, Chapter 3

SCOPE OF WORK:

INTERIOR RENOVATION AND REPAIR ON A 4 UNIT APARTMENT BUILDING.

-TO ADD 2 UNITS IN THE EXISTING CELLAR.
-TO CONSTRUCT WINDOW WELLS ON FRONT AND SIDEYARD.

NO ALTERATION IS SOUGHT IN FIRST AND SECOND FLOORS IN THIS PERMIT SCOPE.

DRAWING INDEX	
SHEET NUMBER	SHEET NAME
A00	COVER SHEET
A01	VICINITY AND ARIAL VIEW
A02	SITE PLANS
A03	EXISTING DEMO FLOOR PLAN
A04	PROPOSED FLOOR PLANS
A05	EXISTING ELEVATIONS
A06	PROPOSED ELEVATION
A07	BUILDING SECTION
A08	LANDSCAPE SITE PLAN

5113 2ND ST NW

DISTRICT OF COLUMBIA

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REVISION #

SCALE

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JUNE 2020

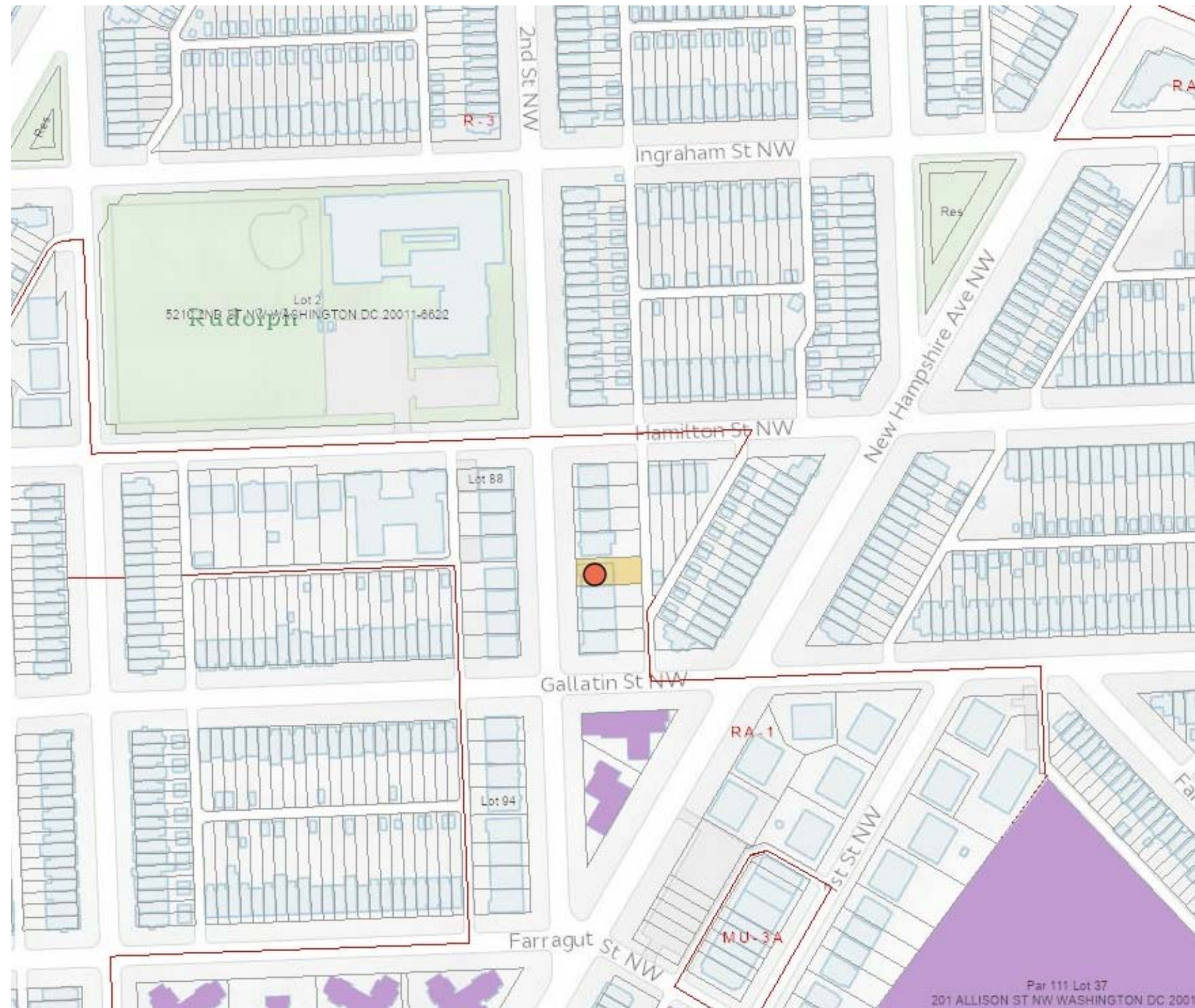
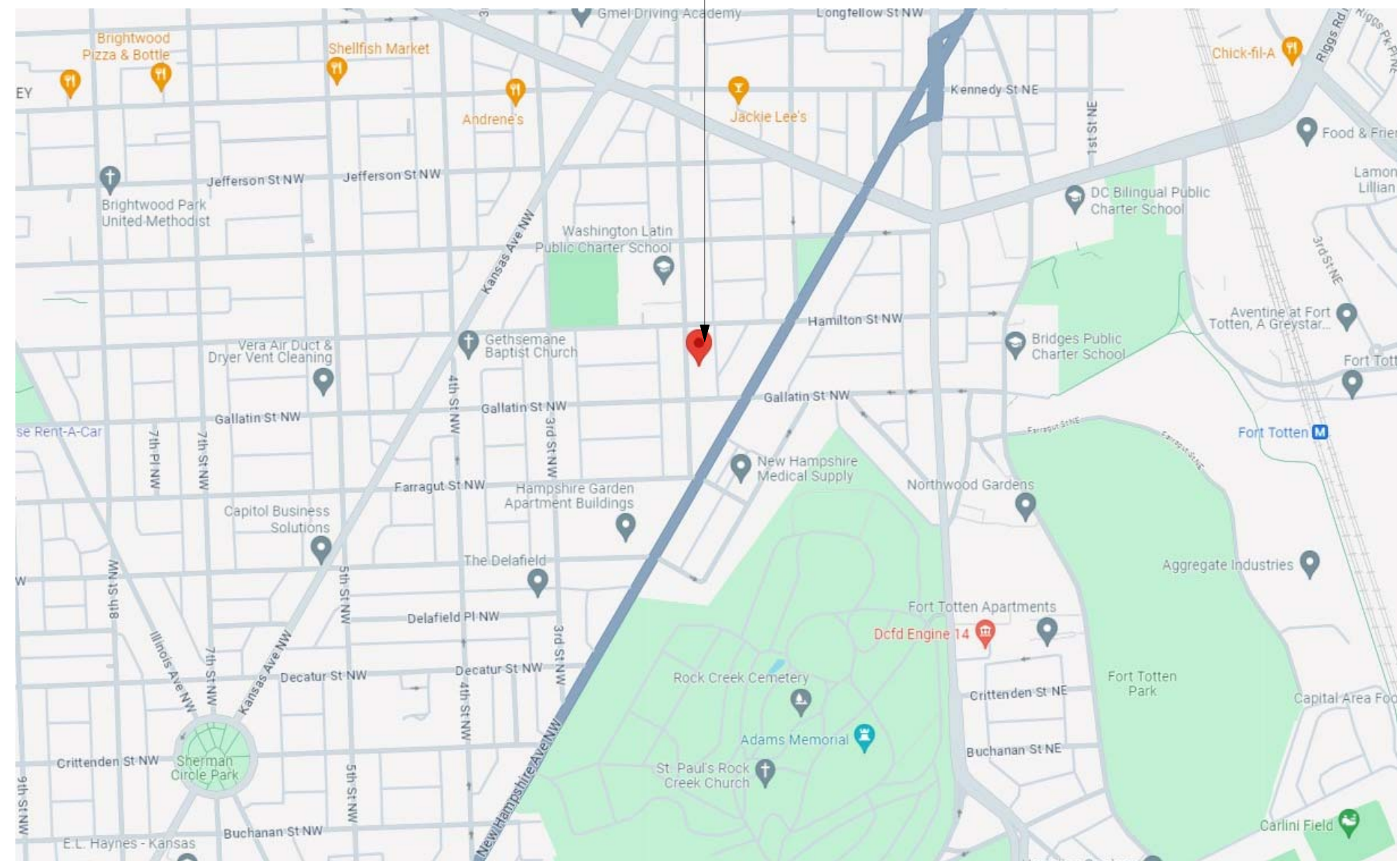
COVER SHEET

A00

Board of Zoning Adjustment
District of Columbia
CASE NO.21271
EXHIBIT NO.6

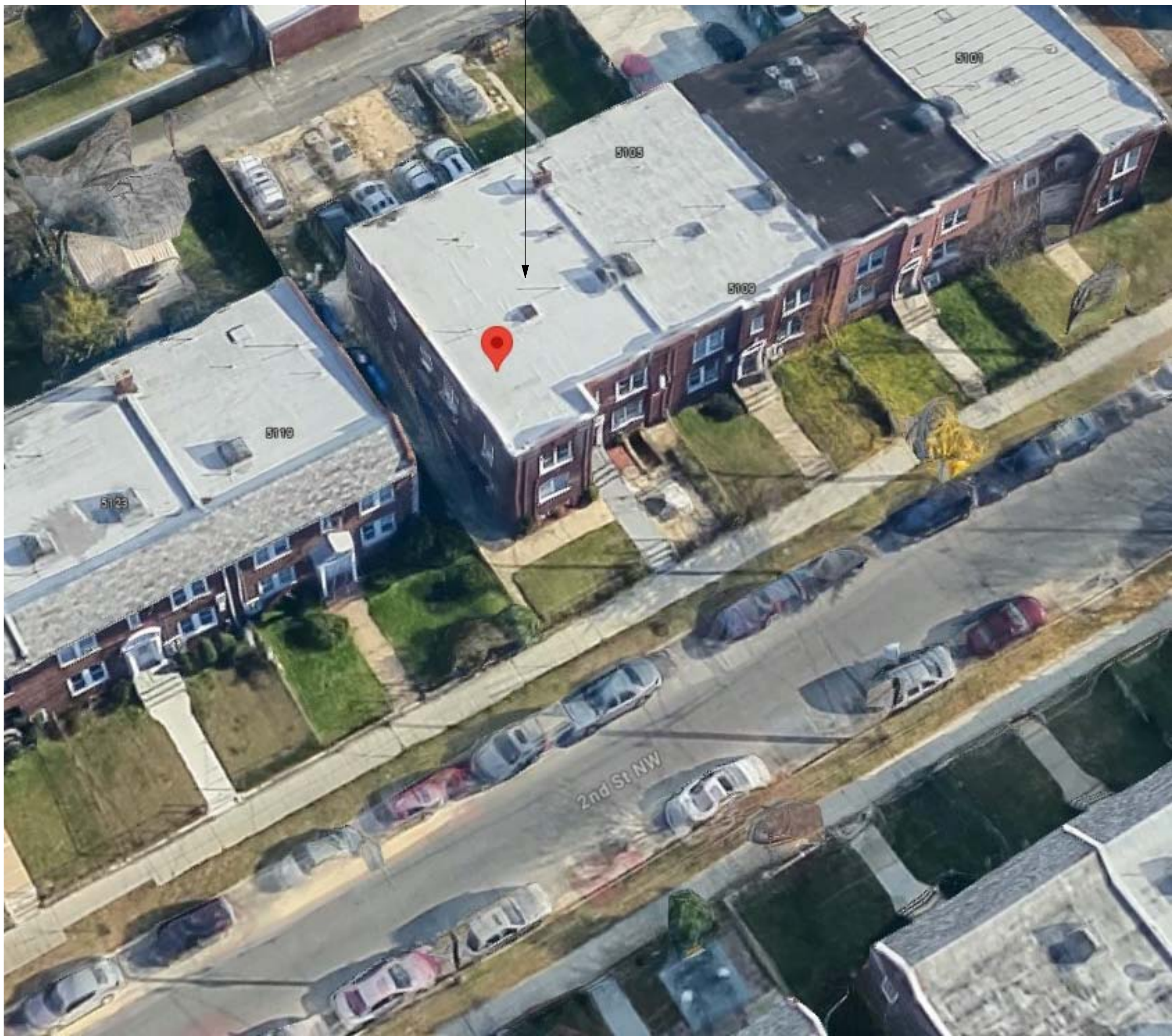
SUBJECT PROPERTY : RECORD LOT

SQUARE: 3399
LOT: 0025

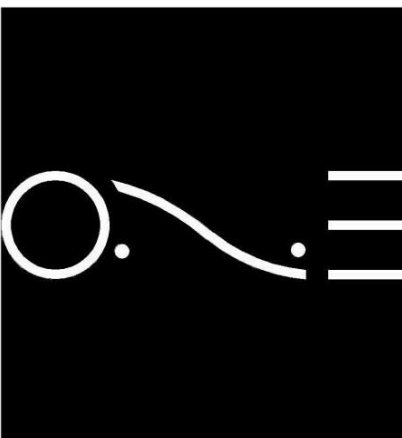


SUBJECT PROPERTY : RECORD LOT

SQUARE: 3399
LOT: 0025



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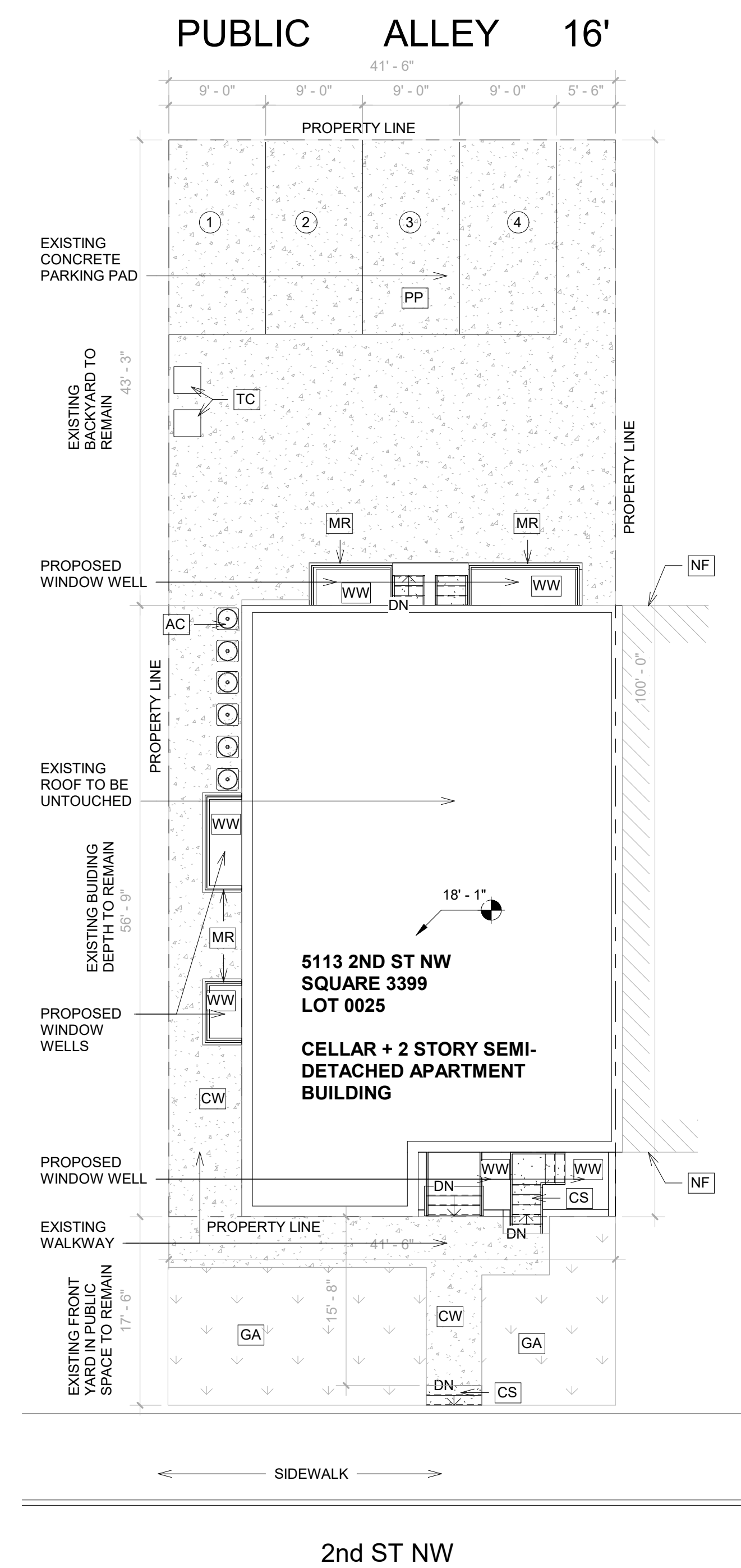
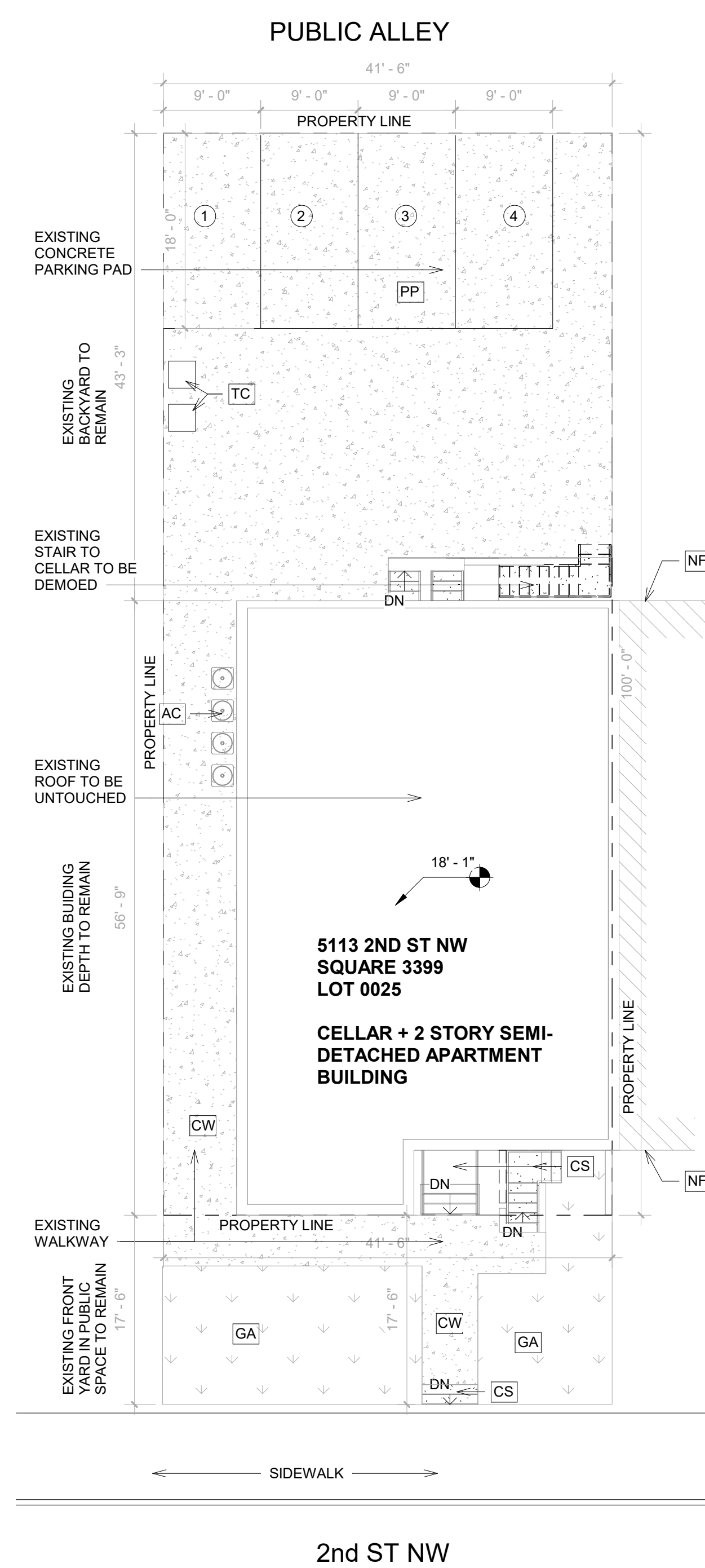
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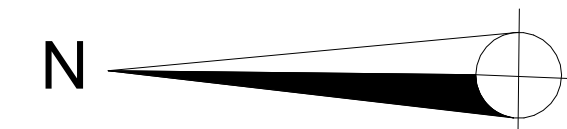
VICINITY AND
AERIAL VIEW

A01

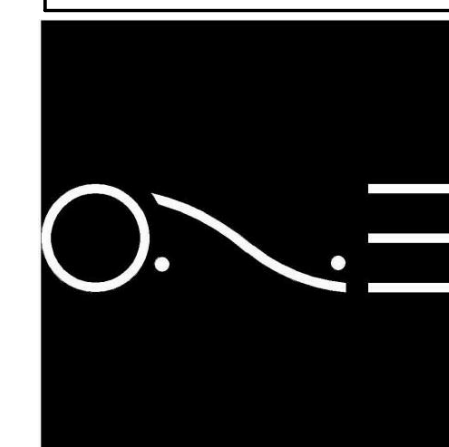


KEY NOTES

AC	AC CONDENSORS ON GRADE	WW	WINDOW WELL
PL	PROPERTY LINE	NR	NEIGHBORING REAR WALL
PP	PARKING PAD	ME	MAIN ENTRANCE
GA	GREEN AREA	CS	CONCRETE STAIRS
MR	METAL RAILING	NF	NEIGHBORING FRONT WALL
TC	TRASH CANS	CW	CONCRETE WALKWAY



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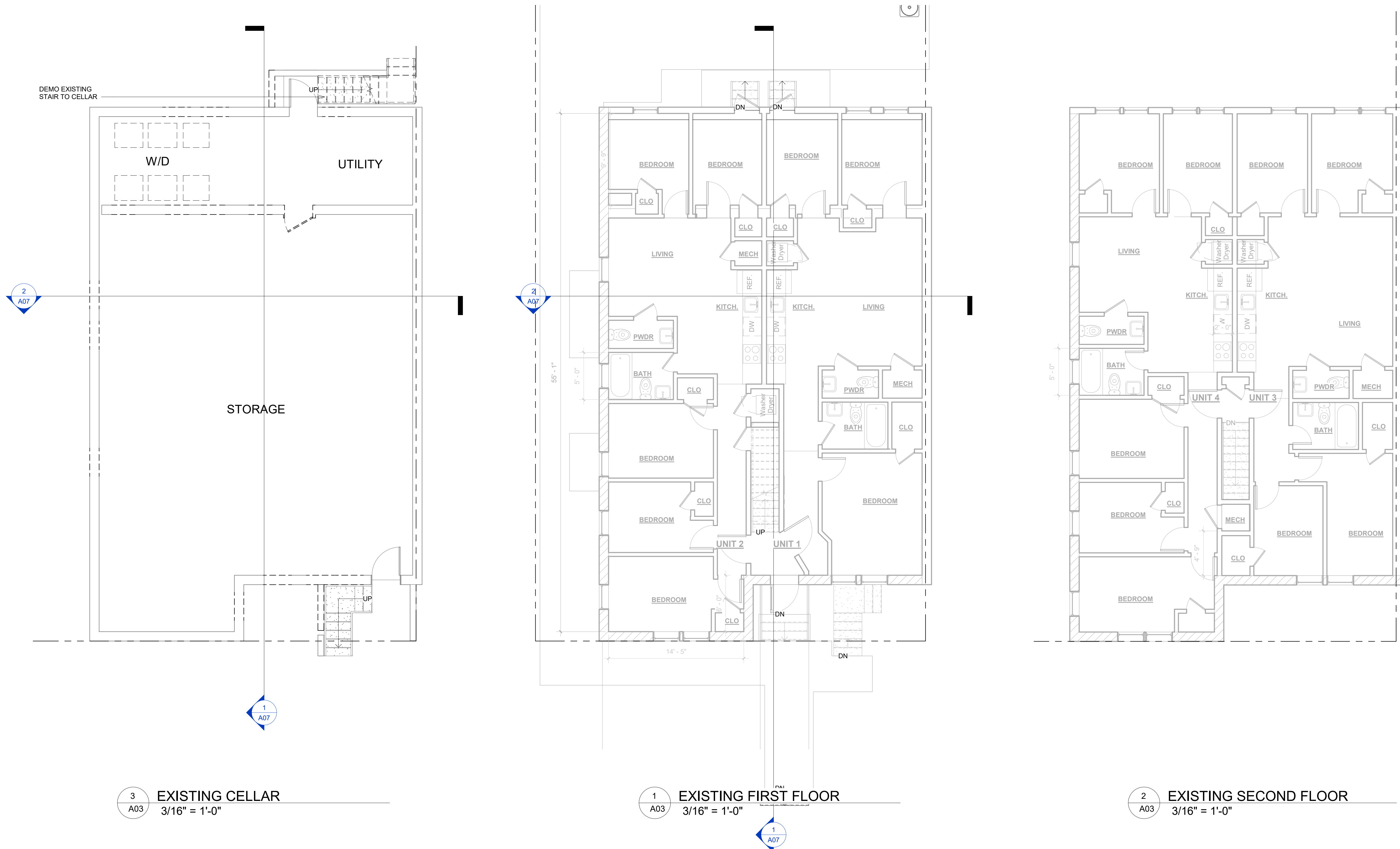


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SITE PLANS

A02



3
A03
EXISTING CELLAR
3/16" = 1'-0"

1
A03
EXISTING FIRST FLOOR
3/16" = 1'-0"

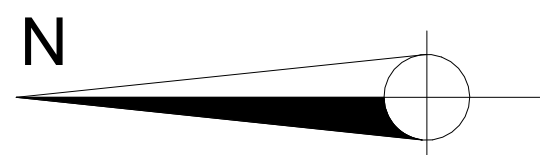
2
A03
EXISTING SECOND FLOOR
3/16" = 1'-0"

SCOPE OF WORKS

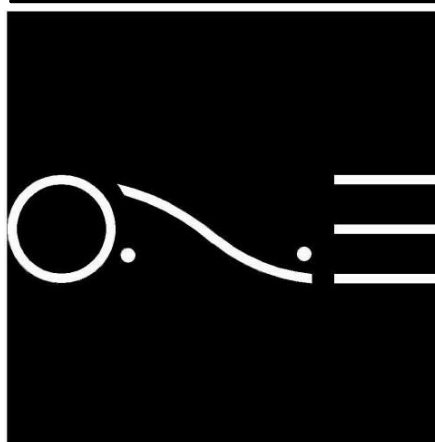
- DEMO EXISTING STAIR TO CELLAR IN THE BACKYARD
- NO WORK TO BE DONE ON FIRST AND SECOND FLOORS IN THIS SCOPE

LEGEND

DEMO WALL	
PROPOSED MASONARY WALL	
EXISTING BRICK WALL TO REMAIN	
NEW WALL	
EXISTING WALL TO REMAIN	
SECTION/DRAWING REFERENCE	
PROPERTY LINE	



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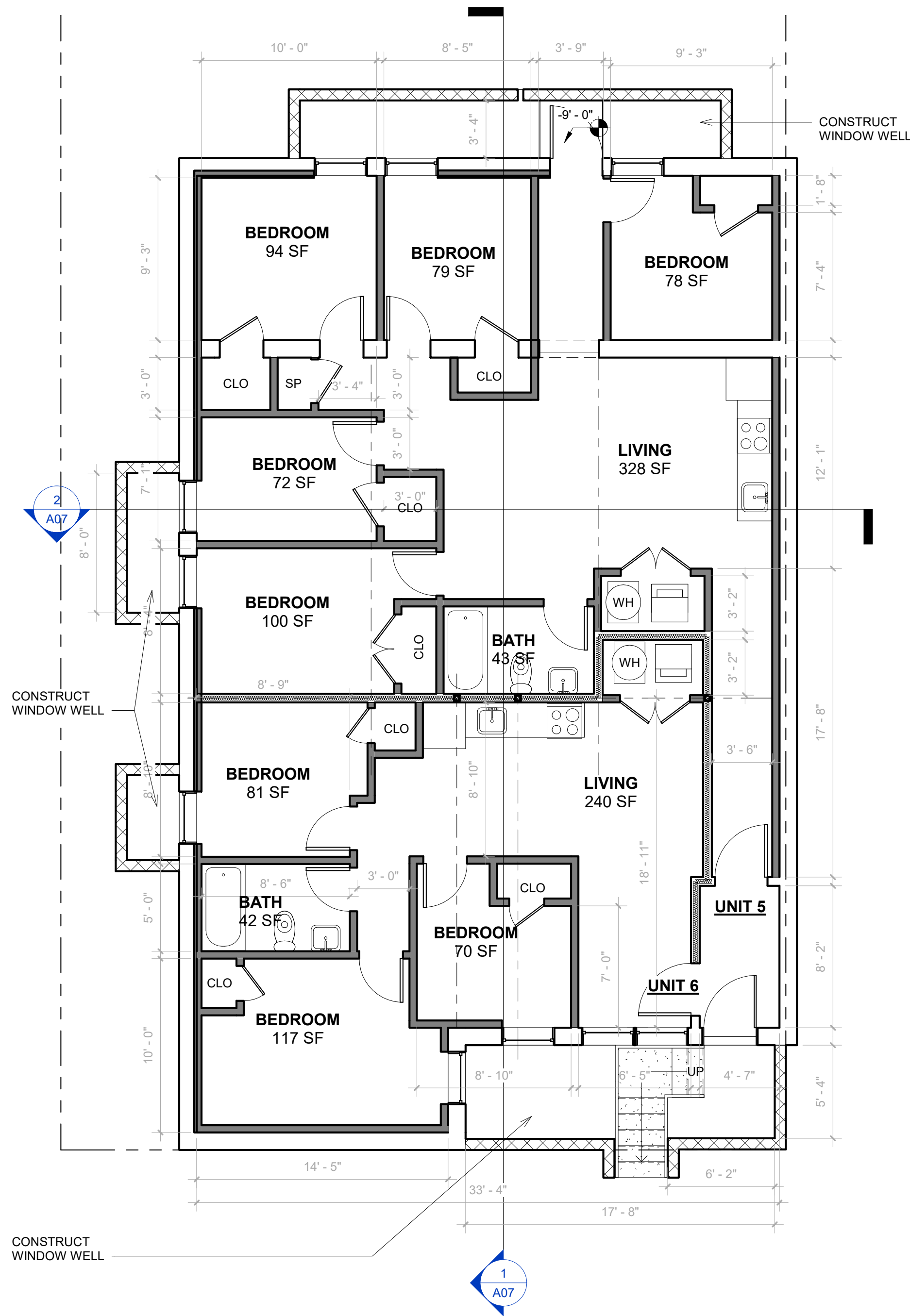


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**EXISTING
DEMO FLOOR
PLAN**

A03



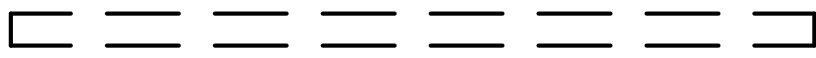
3 PROPOSED CELLAR
3/16" = 1'-0"

SCOPE OF WORKS

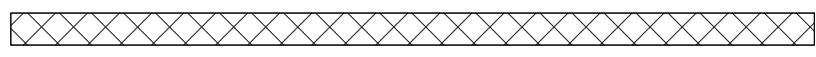
- ADD UNITS 5 AND 6 IN THE EXISTING CELLAR
- CONSTRUCT WINDOW WELLS ON THE FRONT AND SIDEYARD WITHIN PROPERTY LINES.
- NO WORK TO BE DONE ON FIRST AND SECOND FLOORS IN THIS SCOPE

LEGEND

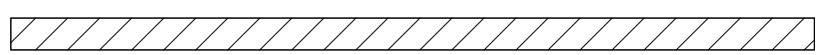
DEMO WALL



PROPOSED MASONARY WALL



EXISTING BRICK WALL TO REMAIN



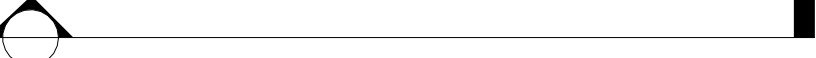
NEW WALL



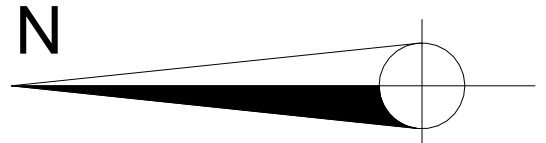
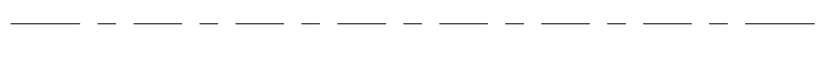
EXISTING WALL TO REMAIN



SECTION/DRAWING REFERENCE

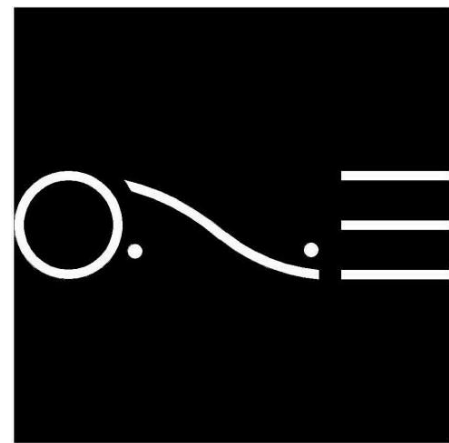


PROPERTY LINE



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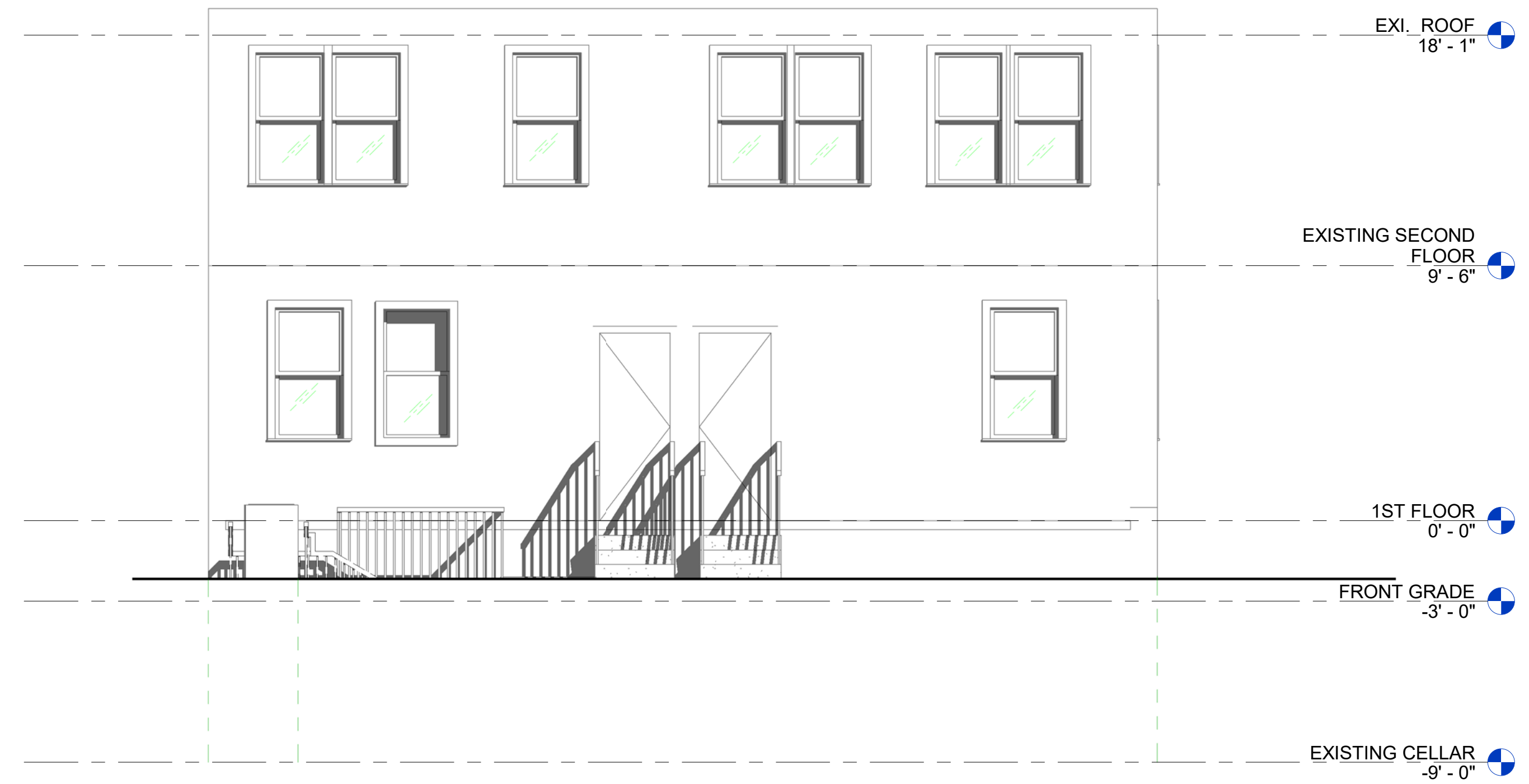
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**PROPOSED
FLOOR PLANS**

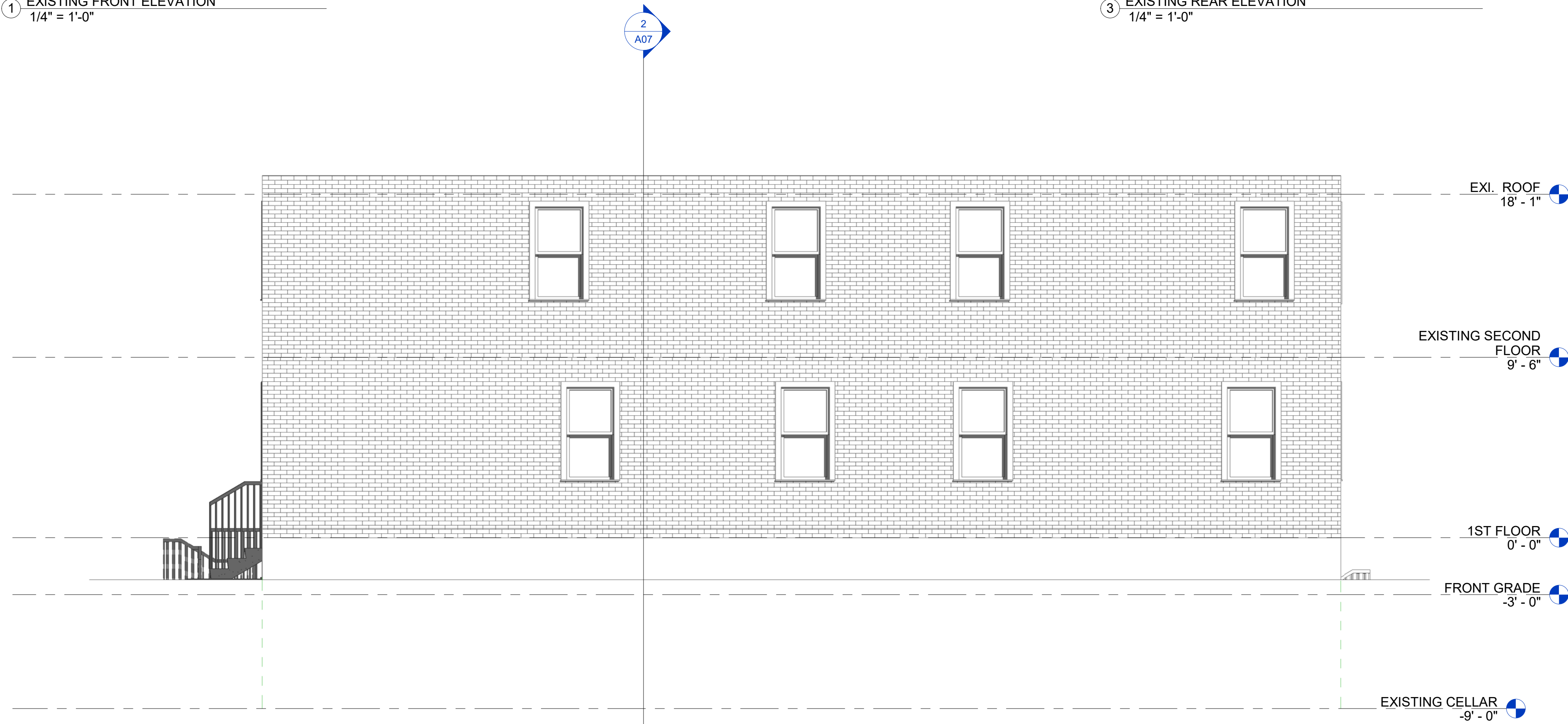
A04



① EXISTING FRONT ELEVATION
1/4" = 1'-0"



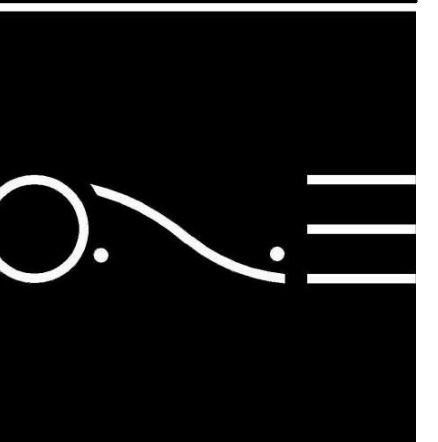
③ EXISTING REAR ELEVATION
1/4" = 1'-0"



② EXISTING SIDE ELEVATION
1/4" = 1'-0"

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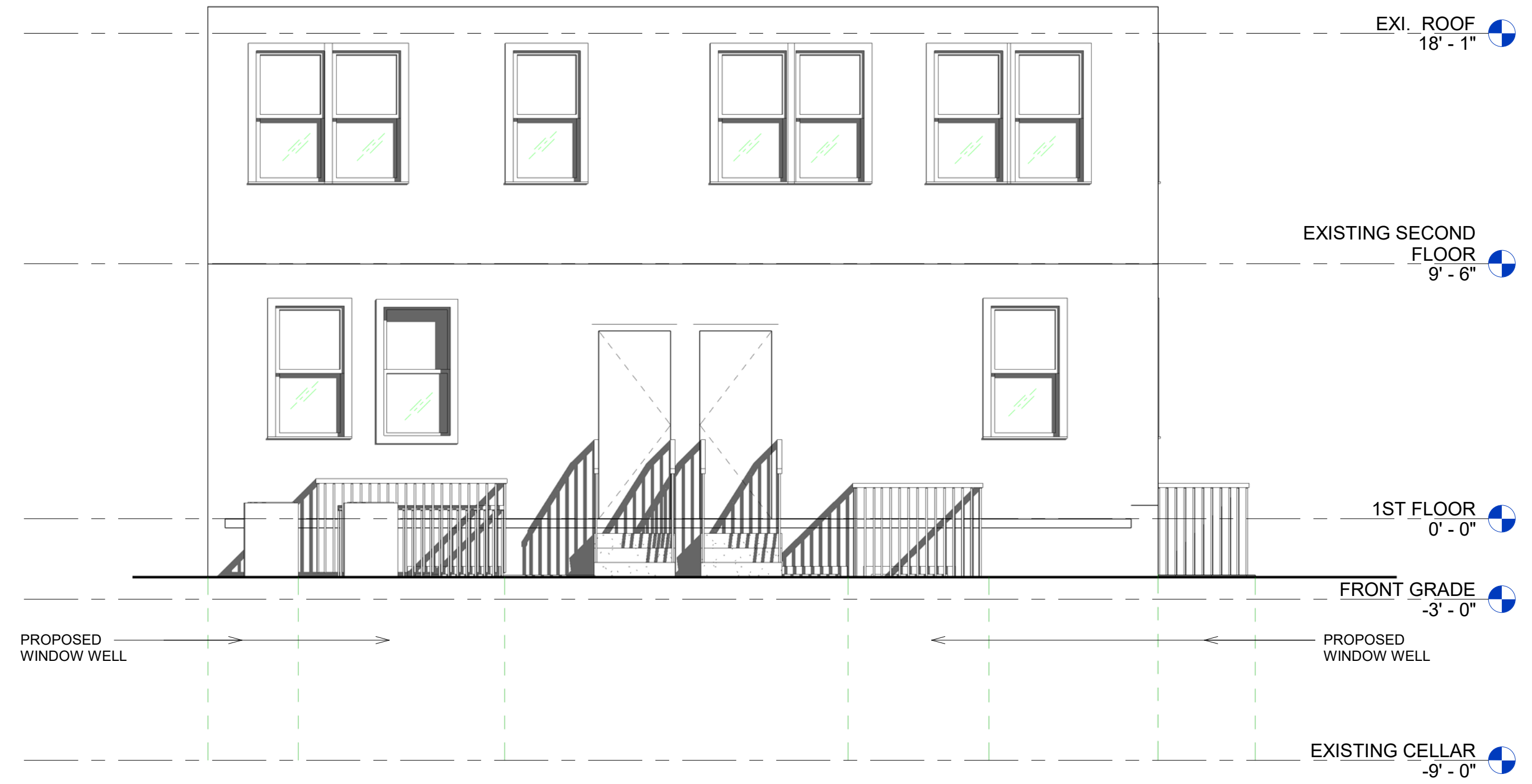
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**EXISTING
ELEVATIONS**

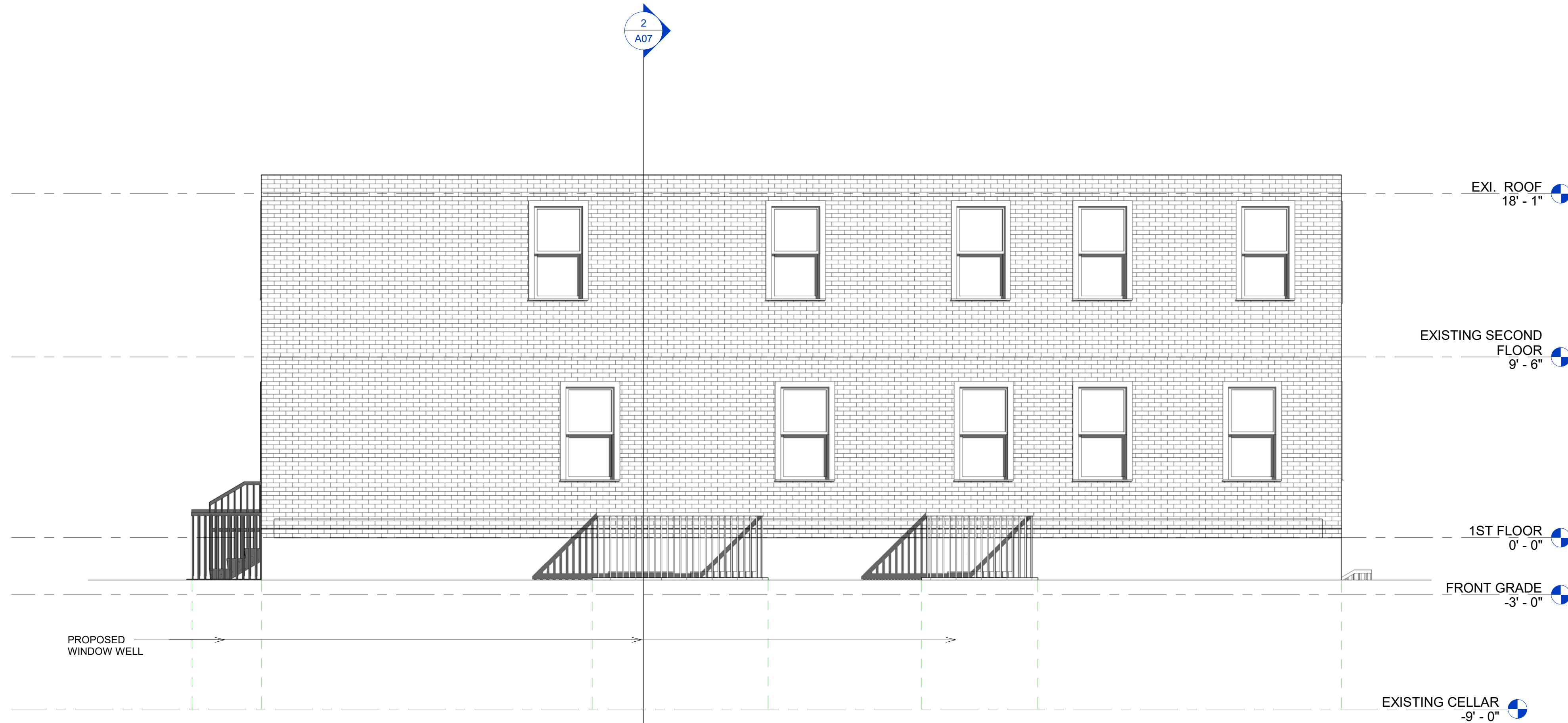
A05



① PROPOSED FRONT ELEVATION
1/4" = 1'-0"



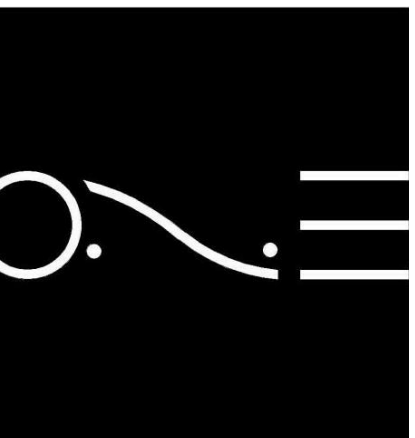
③ PROPOSED REAR ELEVATION
1/4" = 1'-0"



② PROPOSED SIDE ELEVATION
1/4" = 1'-0"

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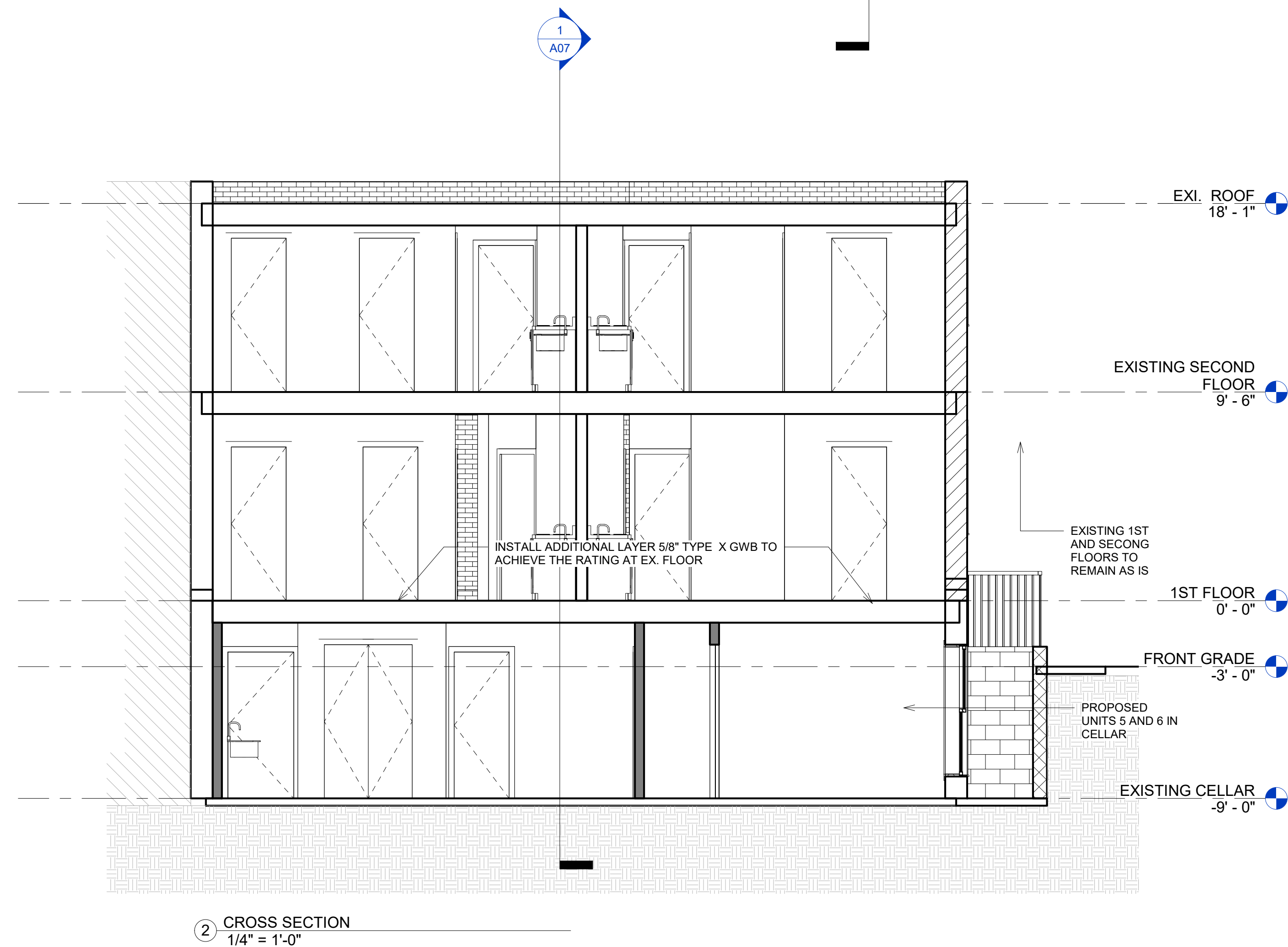
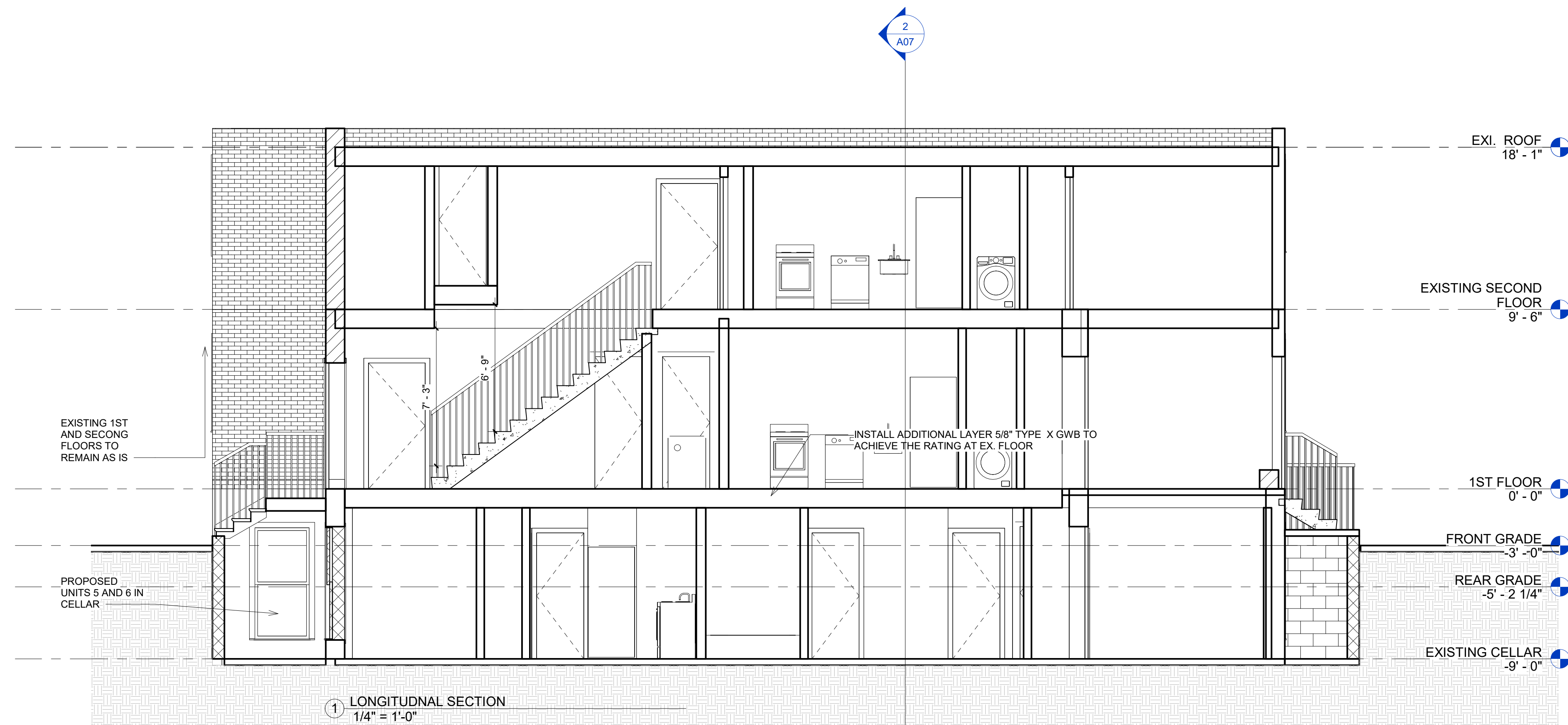
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**PROPOSED
ELEVATION**

A06



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**BUILDING
SECTION**

A07