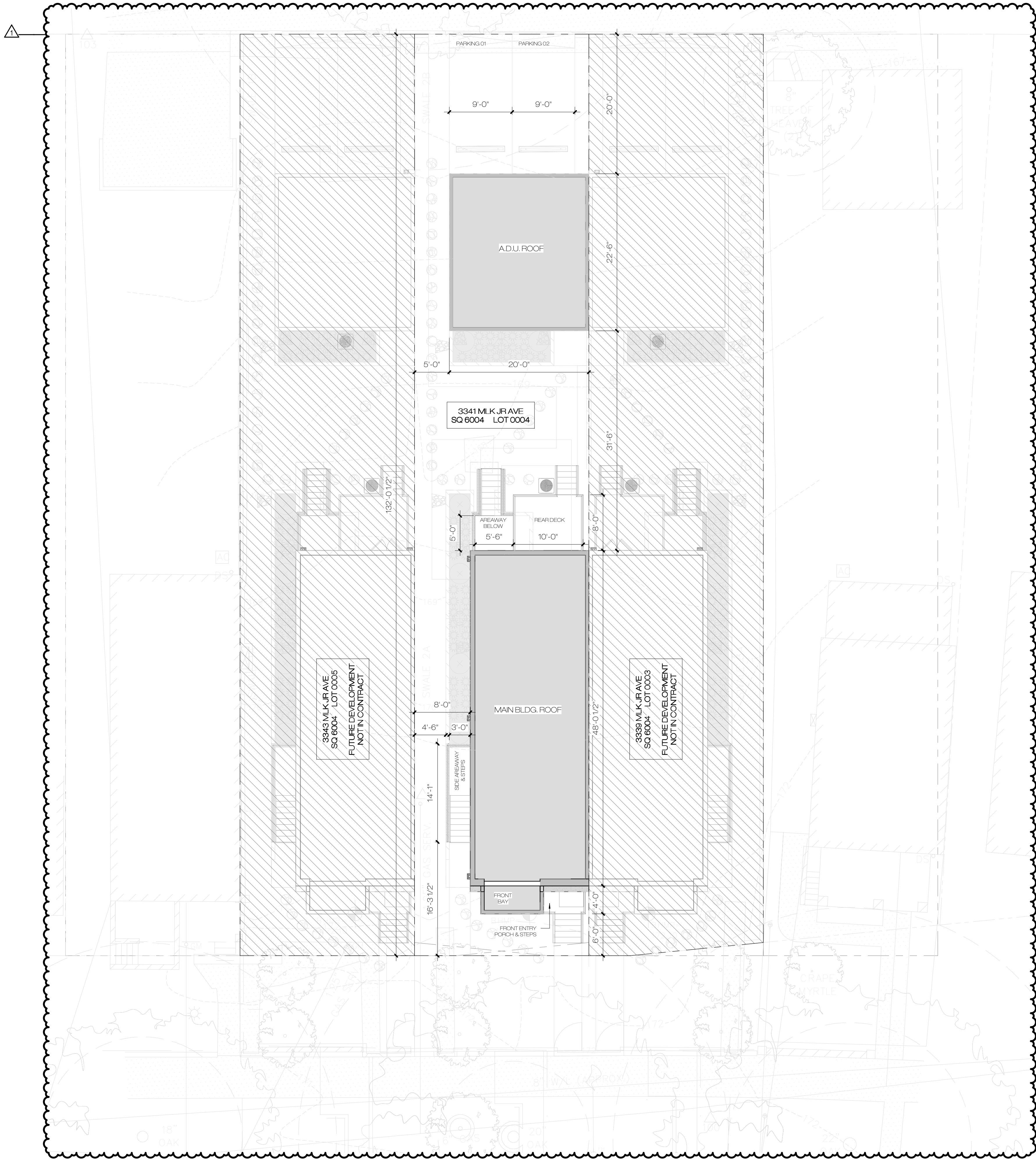




1 EXISTING SITE PLAN  
1/8" = 1'-0"

| LOT OCCUPANCY                                                                                         |                      |
|-------------------------------------------------------------------------------------------------------|----------------------|
| ADDRESS:                                                                                              | 3341 MLK JR AVE S.E. |
| SQ: 6004                                                                                              | LOT: 0004            |
| ZONE:                                                                                                 | R-2                  |
| LOT AREA:                                                                                             | 3,283.00 SF          |
| MAX OCCUPANCY ALLOWED:                                                                                | 40% (1,313.20 SF)    |
| MIN. PEROUS SURFACE:                                                                                  | 30% (984.90 SF)      |
| PROPOSED AREAS                                                                                        |                      |
| MAIN BLDG:                                                                                            | 852.68 SF            |
| A.D.U. BLDG:                                                                                          | 450.00 SF            |
| ENTRY CANOPY:                                                                                         | 10.50 SF             |
| *DECKS:                                                                                               | 104.00 SF            |
| *PARKING/WALK:                                                                                        | 695.99 SF            |
| (* BELOW 4'-0" FROM ADJ. GRADE, NOT INCLUDED IN TOTAL LOT OCCUPANCY)                                  |                      |
| LOT OCCUPANCY:                                                                                        |                      |
| MAIN BLDG + ENTRY CANOPY + ADU / LOT AREA<br>(852.68 + 10.50 + 450.00) / 3,283.00 = <b>0.40 (40%)</b> |                      |
| PERVIOUS AREA:                                                                                        |                      |
| <b>1,180.33 SF (35.96%)</b>                                                                           |                      |

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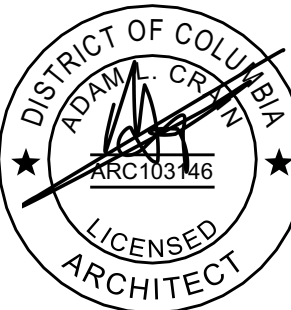


NEW SINGLE-FAMILY  
RESIDENCE

3341 MLK JR. AVE. SE WASHINGTON, D.C. 20032

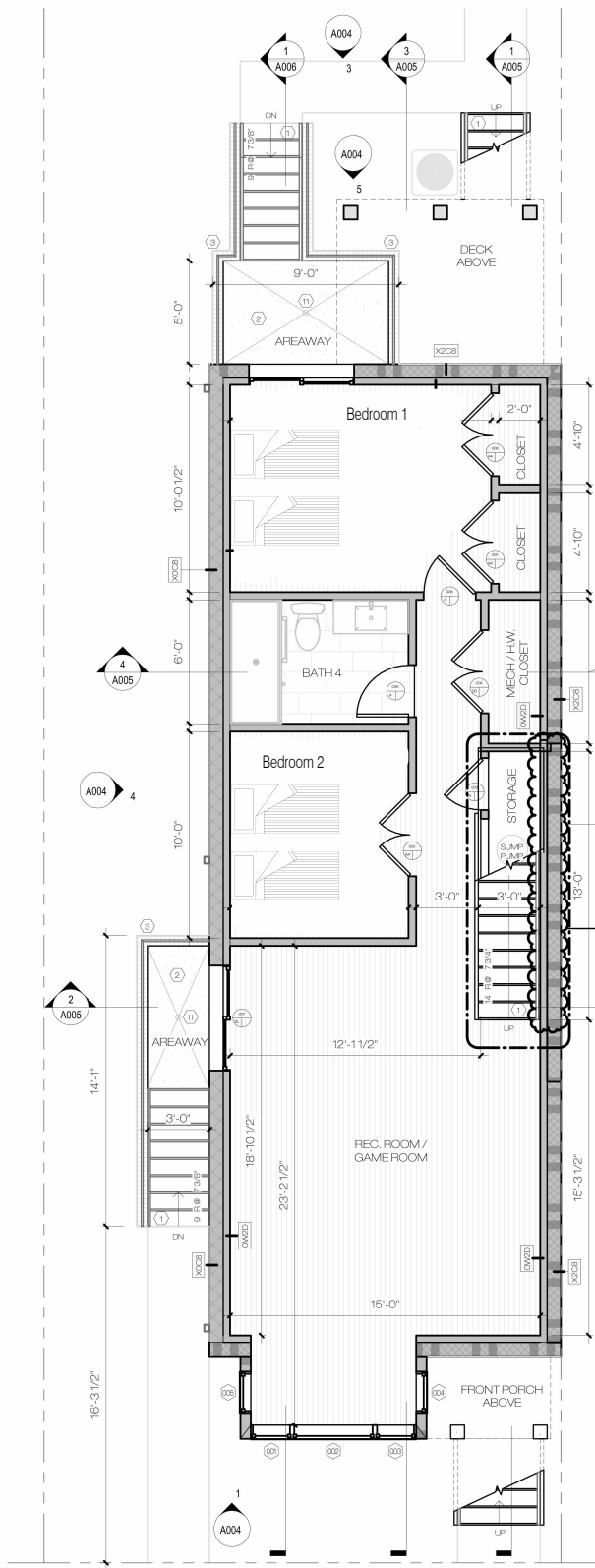
2P-A-524

|            |             |            |  |
|------------|-------------|------------|--|
| 2020-12-14 |             | PERMIT SET |  |
| No.        | Description | Date       |  |
| 1          | PERMIT SET  | 2020-12-14 |  |
| 1          | REV 01      | 2021-04-07 |  |

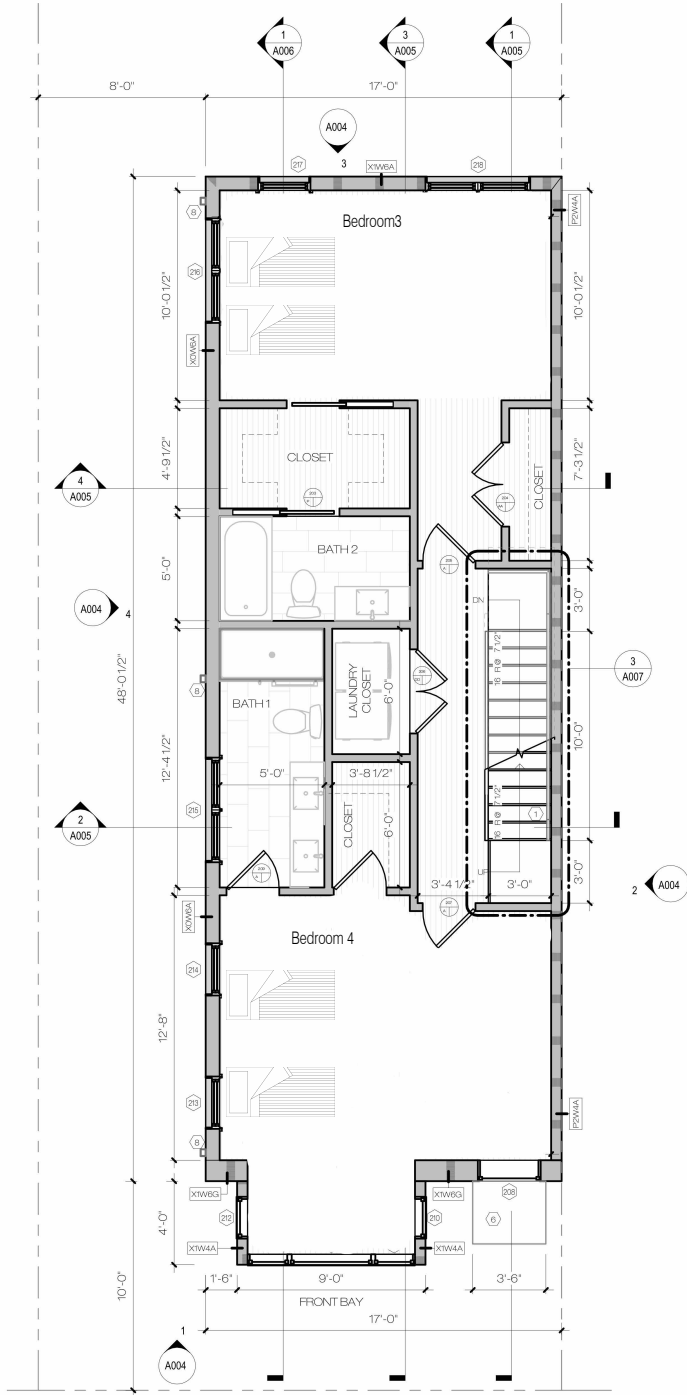


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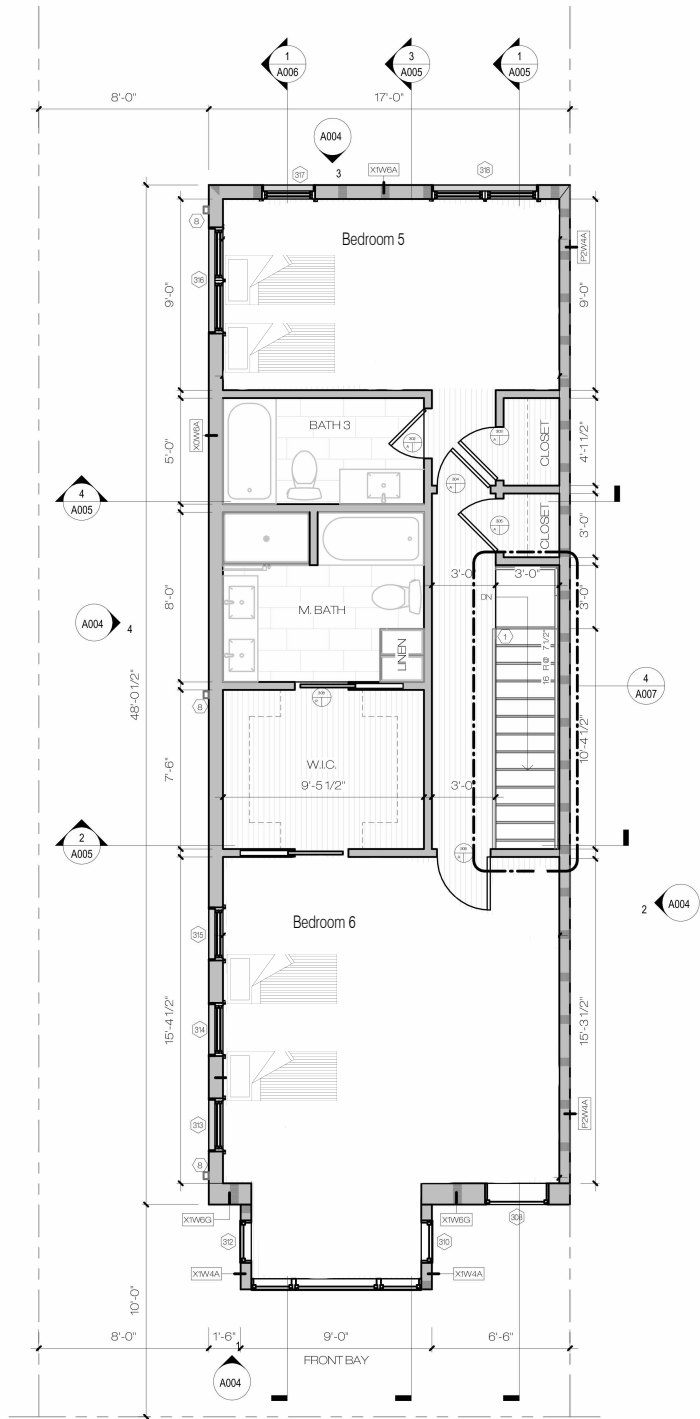
SITE PLAN



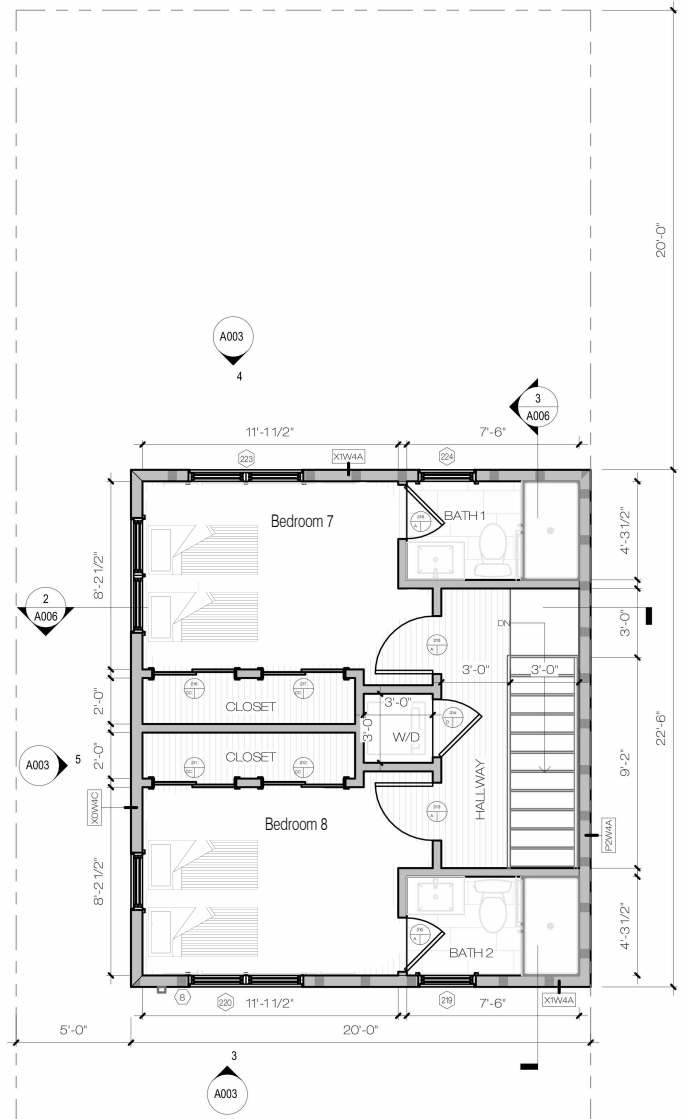
1 CELLAR PLAN  
1/4" = 1'-0"



1 2ND FLOOR  
1/4" = 1'-0"



2 3RD FLOOR  
1/4" = 1'-0"

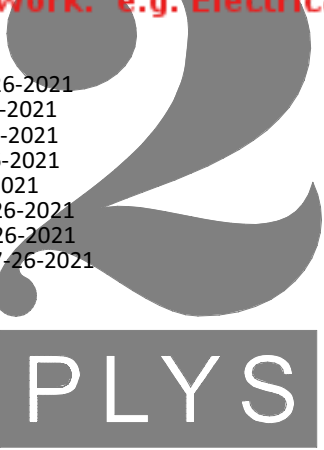


2 2ND FLOOR  
1/4" = 1'-0"



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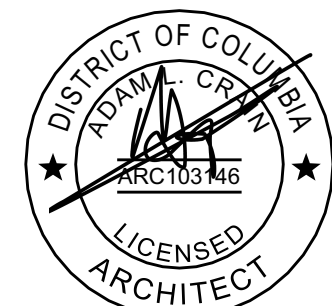
NEW SINGLE-FAMILY  
RESIDENCE

3341 MLK, JR. AVE. SE WASHINGTON, D.C. 20032

2P-A-524

2020-12-14  
PERMIT SET

| No. | Description | Date       |
|-----|-------------|------------|
| 1   | PERMIT SET  | 2020-12-14 |
| 1   | REV 01      | 2021-04-07 |



A001

EXISTING  
FLOOR PLANS

GENERAL NOTES

- GENERAL CONTRACTOR TO PERFORM SITE VISIT PRIOR TO BID. QUESTIONS AND ISSUES TO BE REPORTED TO 2PLYS PRIOR TO SUBMITTAL OF BID TO TENANT.
- ALL NEW NON-FIRE RATED INTERIOR WALLS SHALL BE TYPE OW1A UNLESS OTHERWISE NOTED.
- DIMENSIONS ARE FROM FINISH TO FINISH.
- ALL WOOD USED FOR BLOCKING IN NON-RATED WALLS SHALL BE FIRE TREATED. ALL MATERIAL IN RATED WALLS SHALL MATCH RATED UL ASSEMBLY TYPE.
- ALL CONFLICTS WITH THESE DOCUMENTS OCCURRING DURING CONSTRUCTION TO BE REPORTED TO 2PLYS.
- CONSTRUCTION CHANGES TO THESE DOCUMENTS ARE TO BE PROVIDED TO THE OWNER AND ARCHITECT AFTER COMPLETION OF CONSTRUCTION IN THE FORM OF A RED-LINED AS-BUILT SET OF DRAWINGS. NO MORE THAN 30 DAYS AFTER THE COMPLETION DATE.
- FIRE TAPE & CAULK ALL PENETRATIONS IN RATED PARTITIONS, INCLUDING THOSE AROUND EXTRUDED ELEMENTS.
- ALL GLAZING IN HAZARDOUS LOCATIONS AS DEFINED BY BC2406.3 SHALL BE SAFETY GLAZING.
- ALL GLAZING TO HAVE A MAX U-FACTOR OF 0.30

GREEN BUILDING NOTES

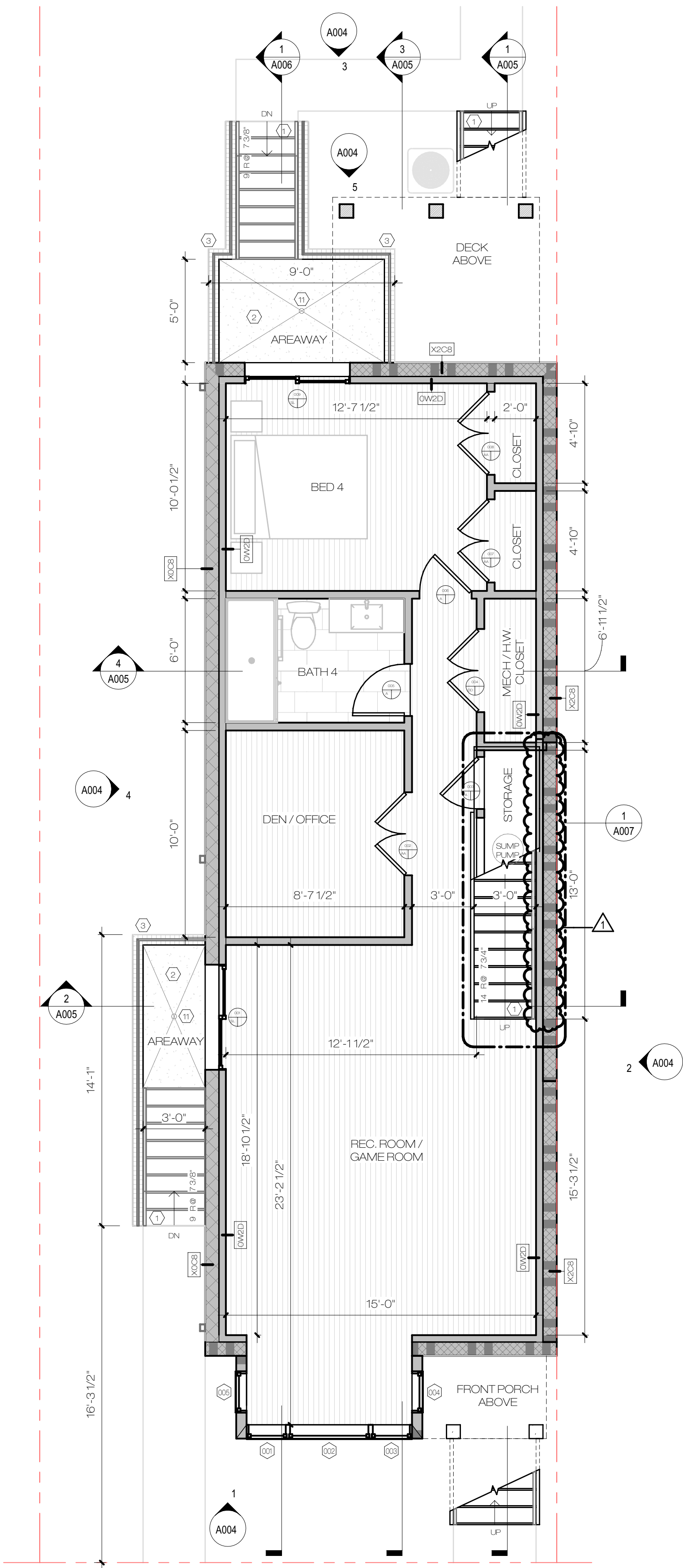
- ALL PENETRATION TO HAVE MAX U-FACTOR OF 0.30, MAX SHGC OF 0.40
- ALL EXTERIOR DOORS TO HAVE MAX U-FACTOR OF 0.30
- U-FACTORS AND SHGC OF PENETRATION DETERMINED IN ACCORDANCE WITH N.F.R.C. 200
- EXTERIOR INSULATION AT ENTIRE THERMAL ENVELOPE TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS
- R-VALUES - MINIMUM INSULATION R-VALUES SHALL BE AS FOLLOWS:  
ROOFS - ATTIC / CEILING ASSEMBLIES: R-49, EXTERIOR WALLS ABOVE GRADE & RM JOISTS: R-19 IN CAVITY + R-5 CONTINUOUS ON EXTERIOR, SLAB ON GRADE: R-10 PERIMETER INSULATION FOR A DEPTH OF 2 FT.  
F. PENETRATION TO MEET AAMA/WDMA/CSA 101/S2/A440 OR DOES NOT EXCEED CODE LIMITS PER N.F.R.C. 400.

PARTITION - LEGEND

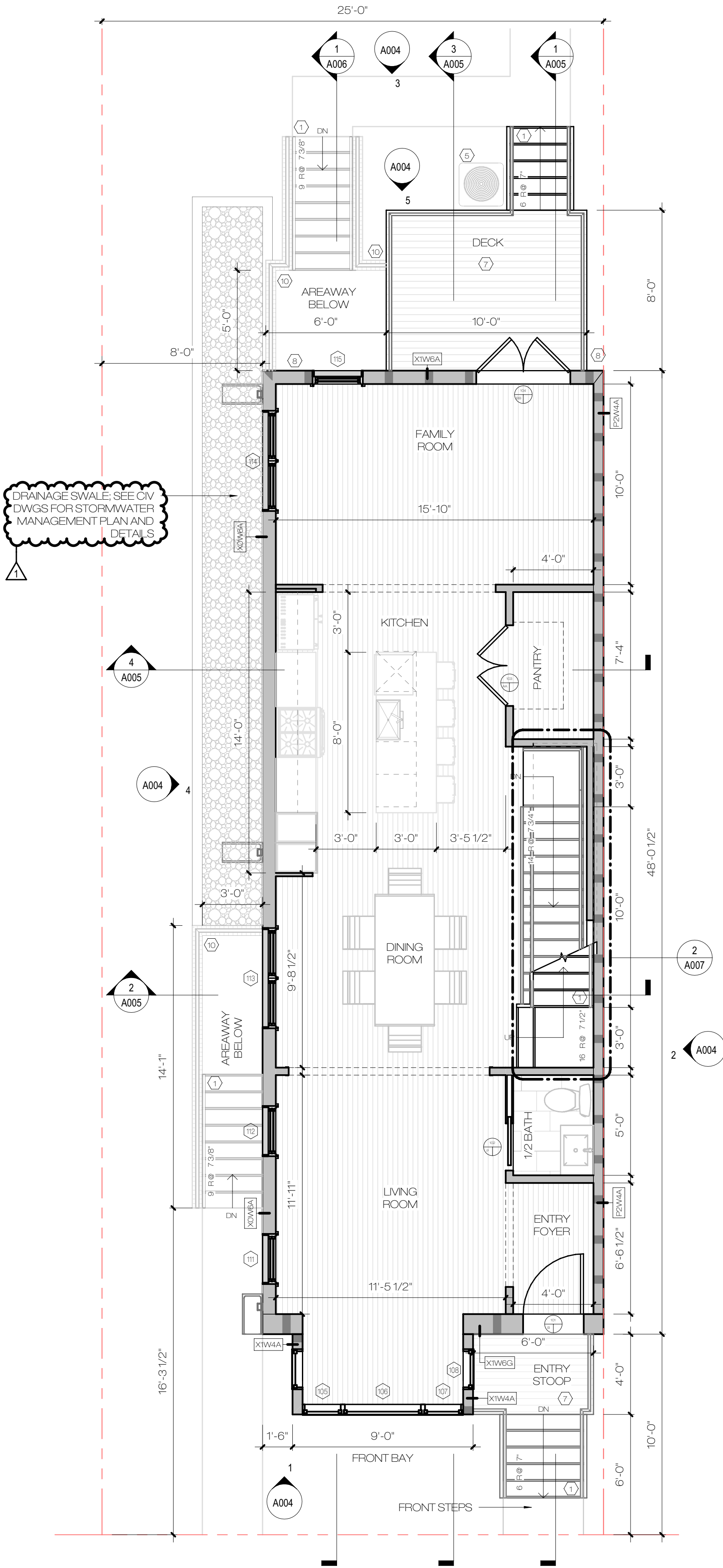
- NEW PARTITION
- NEW 2-HR RATED MASONRY PARTITION
- NEW 1-HR FIRE RATED PARTITION
- MILLWORK
- NEW DOOR: SEE DOOR / HARDWARE SCHEDULES FOR MORE INFO
- DOOR #
- HARDWARE TYPE
- DOOR TYPE

PARTITION - SHEET NOTES

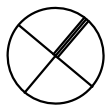
- HANDRAIL AT NEW STAIRS
- AREAWAY EGRESS AT CELLAR
- NEW MASONRY RETAINING WALLS. SEE STRUCT. DWGS FOR FOUNDATION/FOOTING DETAILS
- PTD. METAL COPING AT ROOF / PARAPET WALL
- AIR HANDLING UNIT. SEE MEP DWGS.
- ENTRY CANOPY ABOVE FRONT DOOR
- PORCH / DECK & PTD. MTL. RAILINGS
- PTD. ALUM. SCUPPER & DOWNSPOUT. SEE CIVIL DWGS FOR STORMWATER MANAGEMENT PLANS AND DETAILS
- PRECAST CORNICE AT FRONT PARAPET
- 3'-6" HT MTL. GUARDRAIL AT AREAWAY
- AREA DRAIN AT AREAWAY - TIE TO SUMP. SEE PLUMB PLANS & RISERS.



1 CELLAR PLAN  
1/4" = 1'-0"



2 1ST FLOOR  
1/4" = 1'-0"



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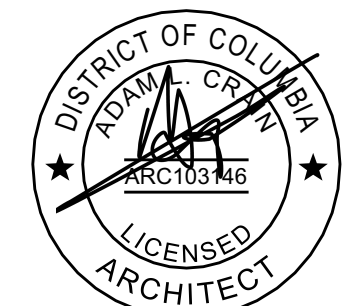
NEW SINGLE-FAMILY  
RESIDENCE

3341 MLK, JR. AVE. SE WASHINGTON, D.C. 20032

2P-A-524

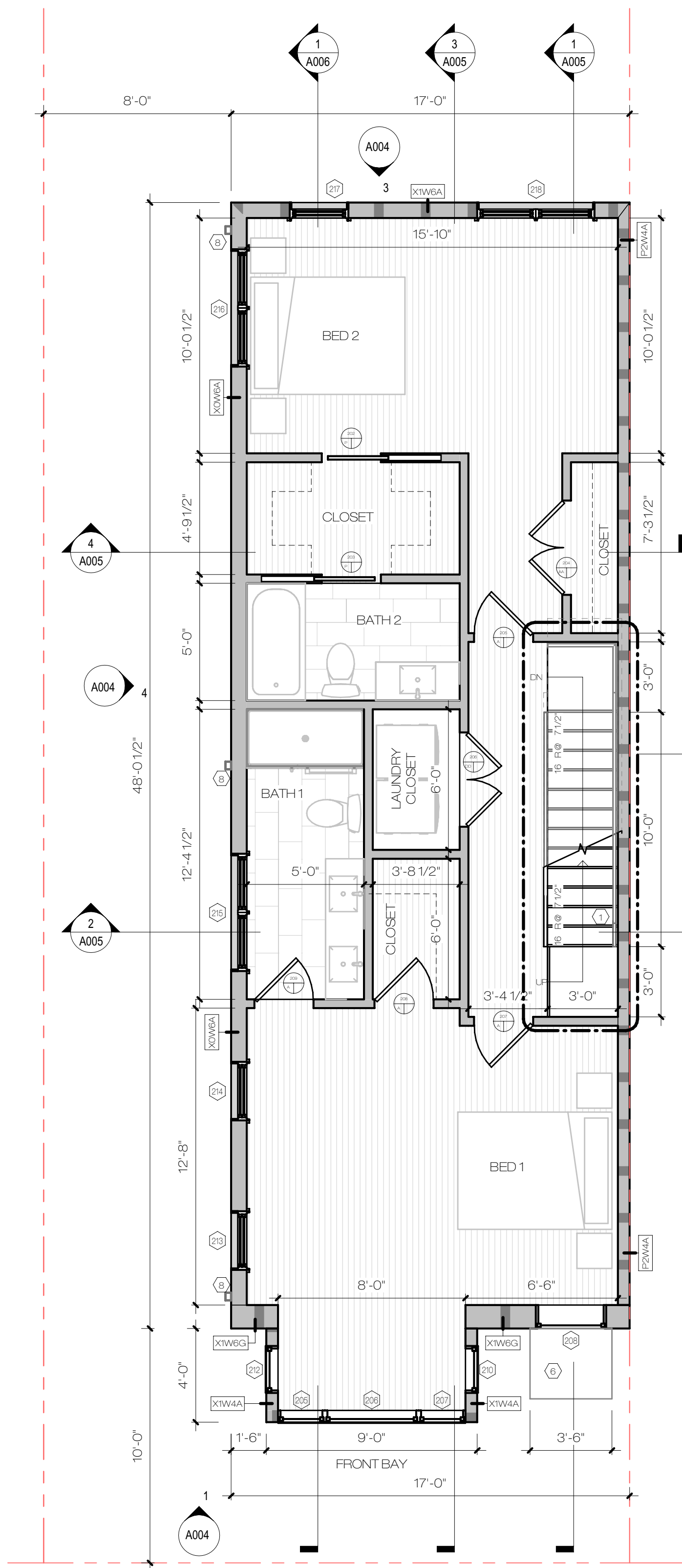
2020-12-14  
PERMIT SET

| No. | Description | Date       |
|-----|-------------|------------|
| 1   | REV 01      | 2021-04-07 |

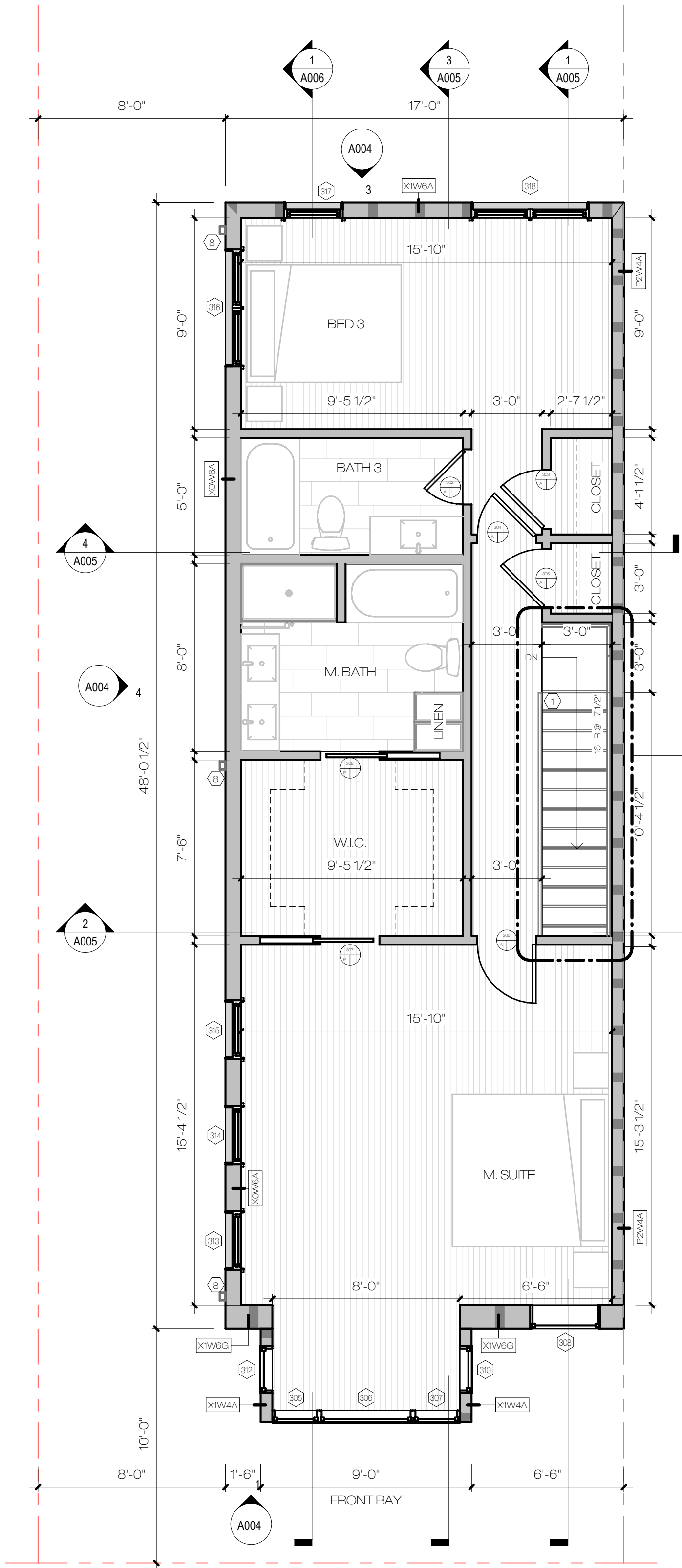


A002

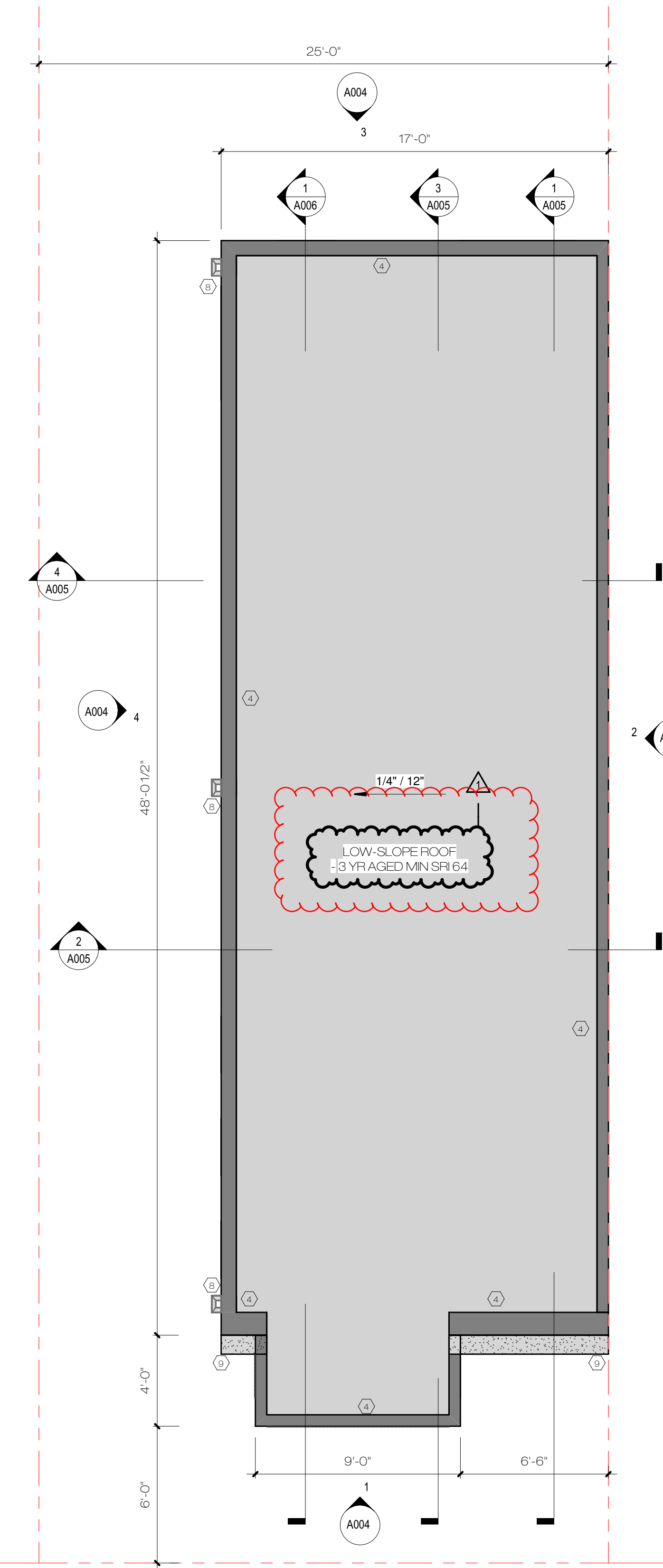
EXISTING  
FLOOR PLANS



1 2ND FLOOR  
1/4" = 1'-0"



2 3RD FLOOR  
1/4" = 1'-0"



3 ROOF PLAN  
1/4" = 1'-0"

GENERAL NOTES

- GENERAL CONTRACTOR TO PERFORM SITE VISIT PRIOR TO BD. QUESTIONS AND ISSUES TO BE REPORTED TO 2PLYS PRIOR TO SUBMITTAL OF BD TO TENANT.
- ALL NEW NON-FIRE RATED INTERIOR WALLS SHALL BE TYPE: 0W1A UNLESS OTHERWISE NOTED.
- DIMENSIONS ARE FROM FINISH TO FINISH.
- ALL WOOD USED FOR BLOCKING IN NON-RATED WALLS SHALL BE FIRE TREATED. ALL MATERIAL IN RATED WALLS SHALL MATCH RATED UL ASSEMBLY TYPE.
- ALL CONFLICTS WITH THESE DOCUMENTS OCCURRING DURING CONSTRUCTION TO BE REPORTED TO 2PLYS.
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- FIRE TAPE & CAULK ALL PENETRATIONS IN RATED PARTITIONS, INCLUDING THOSE AROUND EXTRUDED ELEMENTS.
- ALL GLAZING IN HAZARDOUS LOCATIONS AS DEFINED BY IBC 2406.3 SHALL BE SAFETY GLAZING.
- ALL GLAZING TO HAVE A MAX U-FACTOR OF 0.30.

GREEN BUILDING NOTES

- ALL FENESTRATION TO HAVE MAX U-FACTOR OF 0.30, MAX SHGC OF 0.40.
- ALL EXTERIOR DOORS TO HAVE MAX U-FACTOR OF 0.30.
- U-FACTORS AND SHGC OF FENESTRATION DETERMINED IN ACCORDANCE WITH NFRC 200.
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- FENESTRATION TO MEET AAMA WDMA/CSA 101/1S.2/A440 OR DOES NOT EXCEED CODE LIMITS PER NFRC 400.

PARTITION - LEGEND

- NEW PARTITION
- NEW 2-HR RATED MASONRY PARTITION
- NEW 1-HR FIRE RATED PARTITION
- MILLWORK
- NEW DOOR, SEE DOOR / HARDWARE SCHEDULES FOR MORE INFO
- DOOR #
- HARDWARE TYPE
- DOOR TYPE

PARTITION - SHEET NOTES

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- AREAWAY EGRESS AT CELLAR.
- NEW MASONRY RETAINING WALLS. SEE STRUCT. DWGS FOR FOUNDATION/FOOTING DETAILS
- PTD. METAL CORPING AT ROOF / PARAPET WALL
- AIR HANDLING UNIT. SEE MEP DWGS.
- ENTRY CANOPY ABOVE FRONT DOOR.
- PORCH / DECK & PTD. MTL. RAILINGS
- PTD. ALUM. SCUPPER & DOWNSPOUT. SEE CIVIL DWGS FOR STORMWATER MANAGEMENT PLANS AND DETAILS
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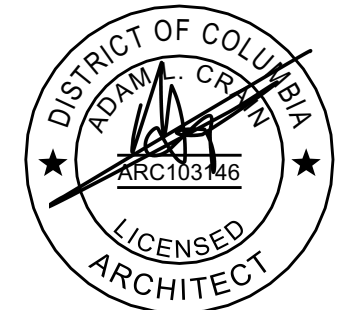
NEW SINGLE-FAMILY  
RESIDENCE

3341 MLK, JR. AVE. SE WASHINGTON, D.C. 20032

2P-A-524

| No. | Description | Date       |
|-----|-------------|------------|
| 1   | PERMIT SET  | 2020-12-14 |
| 1   | REV.01      | 2021-04-07 |

2020-12-14  
PERMIT SET



A003

EXISTNG  
A.D.U.

