

**BEFORE THE DISTRICT OF COLUMBIA  
BOARD OF ZONING ADJUSTMENT**

**APPLICATION OF  
D.C. DEPARTMENT OF GENERAL SERVICES**

**ANC 3F**

**STATEMENT OF THE APPLICANT**

**I. NATURE OF RELIEF SOUGHT**

This statement is submitted on behalf of the Applicant, District of Columbia Department of General Services (the “Applicant”), the operator<sup>1</sup> of the property known as “Hearst Park” located at 3950 37<sup>th</sup> Street NW (Square 1905, Lot 802) (the “Property”), in support of its application for special exception relief, pursuant to 11 DCMR Subtitle X § 901.2, from the requirements for vehicular parking (Subtitle C § 701.5) for new public parks and recreation facilities.

**II. JURISDICTION OF THE BOARD**

The Board of Zoning Adjustment (the “Board”) has jurisdiction to grant the special exception relief requested herein pursuant to Subtitle X § 901.2 of the Zoning Regulations.

**III. BACKGROUND**

**A. The Property and the Surrounding Neighborhood**

The Property is in the R-1-B Zone District and is a large lot of 191,668 sq. ft. A copy of the zoning map is attached at **Tab A**. The Property is a public park known as “Hearst Park” that is operated by the Applicant. The Property is improved with tennis courts and a soccer field. There is no curb cut at the Property. The Property is not located in a historic district.

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<sup>1</sup> The Property is owned by the federal government, but is operated by the District of Columbia and the Department of General Services.

The Property is well-buffered by trees and vegetation from the surrounding Cleveland Park neighborhood. There is also a significant grade change at the Property particularly along 37<sup>th</sup> Street NW, Quebec Street NW, and the shared lot line with Hearst Elementary School. Thus, the park area of the Property is approximately 15-20' lower than the street level along the western, southern, and northern sides of the Property.

The Property is bound by 37<sup>th</sup> Street NW to the west, Quebec Street NW to the south, Idaho Avenue NW to the east, and the Hearst Elementary School to the north. There is a basketball court, a playground, and a recreation center located on the Hearst Elementary School lot, which is owned by the District of Columbia. The surrounding neighborhood is generally single-family, detached homes. The Sidwell Friends School is directly across 37<sup>th</sup> Street and Wisconsin Avenue is one block to the west of the Property.

#### **B. Traffic Conditions and Mass Transit**

The Property is well-serviced by public transportation. There are several bus stops within one to two blocks of the Property, including lines 30N, 30S, 31, 33, 37, 96, H3, H4, D32 and W47.<sup>2</sup> The Van Ness Metrorail Station is approximately ½ of a mile from the Property and the Cleveland Park Metrorail Station is less than ¾ of a mile from the Property. There is a Capital Bikeshare station at Wisconsin and Newark Street NW, which is three blocks from the Property. A second Capital Bikeshare station is located approximately 0.3 miles away at Wisconsin Avenue and Veazy Street NW.

In terms of on-street parking, there is time-restricted parking along both sides of 37<sup>th</sup> Street NW. On the north-bound side, parking is limited to four hours, and on the south-bound side

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<sup>2</sup> Bus routes 31 and 37 are “priority” bus routes, although the Property is not entitled to the 50% exemption from parking under Subtitle C § 702.1(c) because it is in the R-1-B zone.

parking is limited to two hours. Likewise, there is two-hour restricted parking on Quebec Street NW.

### **C. The Project**

The Applicant proposes to improve and enhance the facilities at Hearst Park, including the addition of an outdoor swimming pool and adjacent pool house (the “Project”). A copy of the architectural plan set is attached at **Tab B**. The pool house is the only structure that is part of the Project and will be located at and replace the existing tennis courts. The pool house is a two-story building that will front on 37<sup>th</sup> Street NW and will have approximately 5,749 square feet of gross floor area. *See **Tab B***.

As part of the Project, the Applicant will renovate the two tennis courts, add a tennis practice wall, and a new grass soccer field. The Applicant will also replace the existing concrete park pathways with raised wood paths. The existing heritage Willow Oak trees will be fully preserved.

The Project will meet all the development standards in the R-1-B zone with the exception of parking, as described below.

### **IV. NATURE OF SPECIAL EXCEPTION RELIEF SOUGHT AND STANDARD OF REVIEW**

The Applicant requests special exception relief from the requirements for vehicular parking. Under Subtitle C § 701.5, a parks and recreation facility requires 0.5 parking spaces per 1,000 sq. ft. of gross floor area. The Project proposes approximately 5,749 square feet of gross floor area, which would require three parking spaces. The Project does not propose to provide any parking.

Under D.C. Code § 6-641.07(g)(2) and 11 DCMR X § 901.2, the Board is authorized to grant a special exception where it finds the special exception:

- (1) Will be in harmony with the general purpose and intent of the Zoning Regulations and Zoning Maps;
- (2) Will not tend to affect adversely, the use of neighboring property in accordance with the Zoning Regulations and Zoning Maps; and
- (3) Subject in specific cases to special conditions specified in the Zoning Regulations. 11 DCMR Subtitle X § 901.2.

Relief granted through a special exception is presumed appropriate, reasonable, and compatible with other uses in the same zoning classification, provided the specific requirements for the relief are met. In reviewing an application for special exception relief, “[t]he Board’s discretion . . . is limited to a determination of whether the exception sought meets the requirements of the regulation.” *First Baptist Church of Wash. v. District of Columbia Bd. of Zoning Adjustment*, 432 A.2d 695, 701 (D.C. 1981) (quoting *Stewart v. District of Columbia Bd. of Zoning Adjustment*, 305 A.2d 516, 518 (D.C. 1973)). If the applicant meets its burden, the Board must ordinarily grant the application. *Id.*

## **V. APPLICANT MEETS BURDEN FOR SPECIAL EXCEPTION RELIEF**

### **A. The Relief is Harmonious with the General Purpose and Intent of the Zoning Regulations and Maps**

The Project will be in harmony with the purpose and intent of the Zoning Regulations and related maps. The Project will further the purpose of the R-1-B zone to promote stable residential areas and a suitable environment for family life. Subtitle D § 300.1(b). The improvements to Hearst Park are intended to benefit the community by upgrading the facilities and adding a public outdoor swimming pool. To that end, Ward 3 is the only ward in DC that does not have an outdoor public swimming pool.

The park will better meet its purpose to serve the community without parking. If the Applicant were required to set aside space for three parking spaces, plus a curb cut, it would remove valuable wooded and/or recreation space from the park. As the park is intended to

primarily serve the nearby community, it is expected that many people will access the park by walking or public transportation. Accordingly, the parking relief is harmonious with the purpose and intent of the Zoning Regulations.

**B. The Relief will not tend to Adversely Affect the Use of Neighboring Property**

The existing Hearst Park facilities do not have parking, so the Project will maintain existing conditions. Nonetheless, it is expected that many community members will walk to the park. There is ample on-street parking in the vicinity. In particular, there is public parking on 37<sup>th</sup> Street NW that does not require a residential parking permit. Further, there are several public transportation options to access the Property, including Metrobus and Metrorail. Accordingly, the parking relief will not adversely affect neighboring property.

**C. The Project Satisfies the Special Conditions of Subtitle C § 703**

In addition to the general special exception standard, the Project satisfies the special conditions for parking relief pursuant to Subtitle C § 703, as follows:

**i. The Applicant meets several of the conditions for parking relief under Subtitle C § 703.2.**

*(a) Due to the physical constraints of the property, the required parking spaces cannot be provided either on the lot or within six hundred feet (600 ft.) of the lot in accordance with Subtitle C § 701.8;*

Due to the characteristics of the park, the required parking spaces cannot be provided at the Property. There are no existing curb cuts at the Property and, therefore, no means for vehicular ingress/egress. Providing a curb cut would require breaking up the existing sidewalk.

To compound the lack of curb cuts, the Property is ringed by trees and other natural vegetation. On 37<sup>th</sup> Street NW and Quebec Street NW there is a thick and uninterrupted line of vegetation along the Property's western and southern lot lines. The adjacent public space on 37<sup>th</sup> Street is also dotted with large, mature trees. The Property's eastern lot line on Idaho Avenue NW

is not as heavily planted, but still features a row of large, existing trees that will be preserved. Many of the Property's existing trees are heritage Willow Oak trees that will be preserved. The Property's northern lot line is landlocked by the Hearst Elementary School lot.

There is also a significant change in grade, particularly along 37<sup>th</sup> Street and Quebec Street. This change in grade creates a condition where the park is approximately 15-20' below street level along the western and southern lot lines. The change in grade creates constraints in providing any vehicular access to the Property.

In addition to the physical constraints, to locate parking on the Property would substantially disrupt the intended programming for the park. The pool house, pool, and tennis courts are located on the southern end of the Property and the soccer field takes up much of the remainder of the lot. There is a walking path that rings the Property that would be disrupted by parking.

Accordingly, due to the physical constraints of the Property, the required parking spaces cannot be provided.

*(b) The use or structure is particularly well served by mass transit, shared vehicle, or bicycle facilities;*

The Property is well-served by public transportation, including numerous bus lines, metro stations, and bike share facilities. There is a bus stop for lines H3 and H4 one block from the Property at the corner of Porter Street and Idaho Avenue NW. There are also bus stops approximately two blocks from the Property on Wisconsin Avenue that provide access to bus lines 30N, 30S, 31, 33, 37, 96, H3, and H4.<sup>3</sup> The Van Ness Metrorail Station is approximately ½ of a mile from the Property and the Cleveland Park Metrorail Station is less than ¾ of a mile from the Property. There are two Capital Bikeshare stations within 0.3 miles of the Property.

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<sup>3</sup> Bus routes 31 and 37 are "priority" bus routes, although the Property is not entitled to the 50% exemption from parking under Subtitle C § 702.1(c) because it is in the R-1-B zone.

*(e) The nature of the use or structure or the number of residents, employees, guests, customers, or clients who would reasonably be expected to use the proposed building or structure at one time would generate demand for less parking than the minimum parking standards;*

The Project is intended to serve the nearby community. As with most parks in the District, it is expected that neighbors will walk to the park and would not require vehicular parking. The proposed pool house is devoted to servicing the pool, and no other uses will be located within the pool house. Thus, with the exception of a limited number of staff, the structure will not attract more guests or visitors than the pool itself.

*(i) The presence of healthy and mature canopy trees on or directly adjacent to the property;*

The Property is ringed by healthy and mature canopy trees along each street lot line. *See **Tab C.*** Hearst Park is densely planted with trees and vegetation, particularly along 37<sup>th</sup> Street, Quebec Street and Idaho Avenue. The Applicant would have to remove mature canopy trees in order to provide access to on-site parking. Given the nature of the park use, this should be avoided.

**ii. The reduction in parking is for the amount Applicant is physically unable to provide and is proportionate to the reduction in parking demand.**

As outlined above, the configuration of the Property, which lacks curb cuts, is surrounded by thick vegetation and heritage trees, and has a substantial change in elevation, means the Applicant is physically unable to provide three parking spaces at the Property. Further, the Project's parking demand is greatly reduced as a result of the nature of the park use and the abundant access to public transportation options. Accordingly, the Applicant meets the requirements of Subtitle C § 703.3.

**iii. The Applicant Will Contact DDOT to Discuss a Transportation Demand Management Plan**

As required by Subtitle C § 703.4, the Applicant will contact the District Department of Transportation to discuss the parameters of a transportation demand management plan for the Property.

**VI. COMMUNITY OUTREACH**

Pursuant to Advisory Neighborhood Commission (ANC) 3F's procedures and guidelines, the Applicant will contact ANC 1A shortly after the application is filed. The Applicant will present to ANC 3F at the next available public meeting.

**VI. CONCLUSION**

For the reasons stated above, the Project meets the applicable standards for special exception relief under the Zoning Regulations. Accordingly, the Applicant respectfully requests the Board grant the application.

Respectfully Submitted,

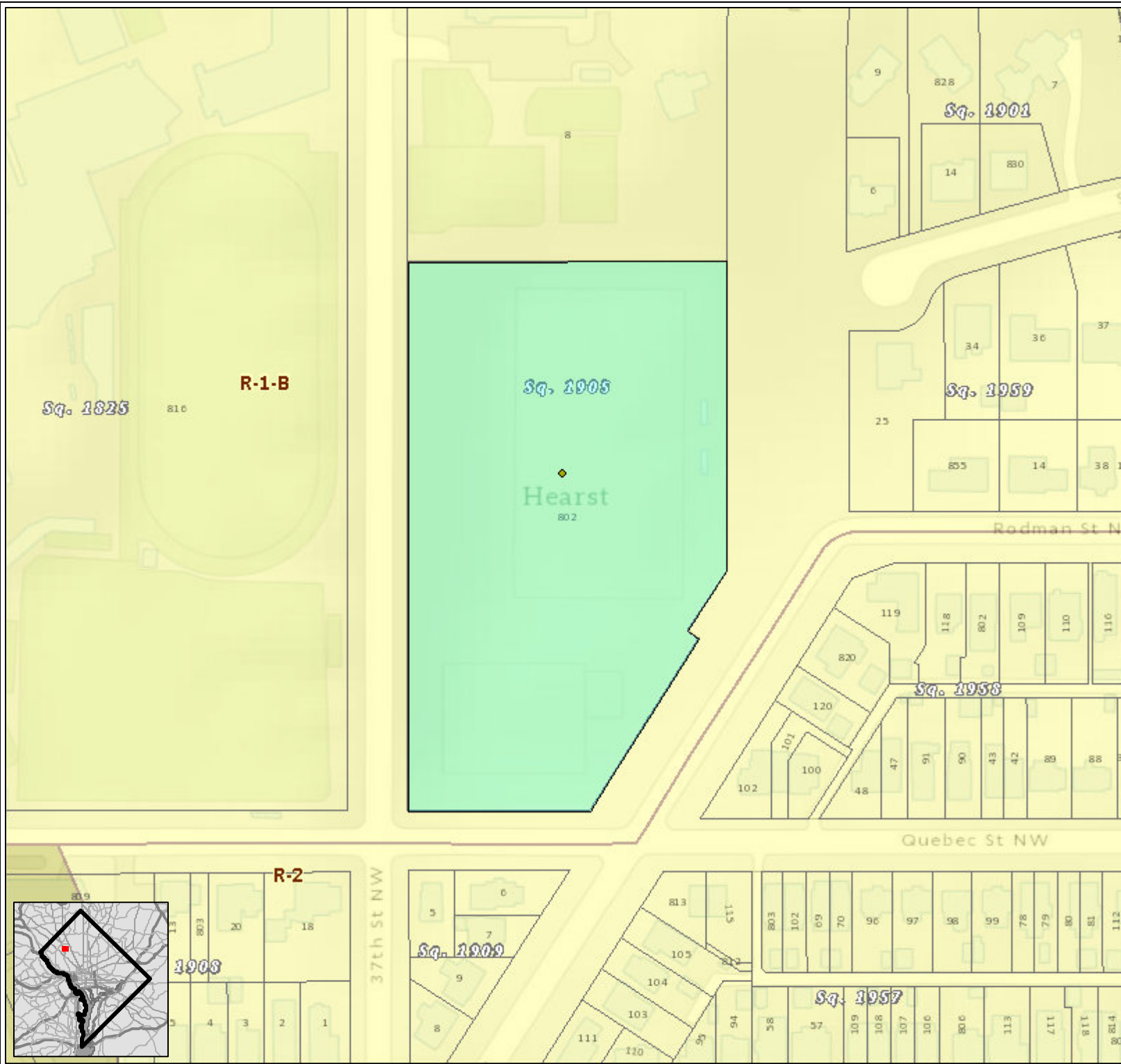
COZEN O'CONNOR

A handwritten signature in blue ink, appearing to read 'Samantha Mazo', written over a horizontal line.

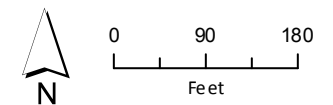
Samantha Mazo  
Eric J. DeBear  
1200 19<sup>th</sup> Street NW  
Washington, DC 20036



Tab A



## Zoning Map of the District of Columbia



Extracted from Online Zoning Information published by the District of Columbia Office of Zoning, DCGIS, and Office of the Chief Technology Officer (OCTO). Exported on: 3/26/2019

To certify zoning on any property in order to satisfy a legal requirement, contact the office of Zoning at the address listed below.

District of Columbia Office of Zoning,  
441 4th St NW, Suite 200 South, Washington, DC 20001  
202-727-6311 | dcoz@d.c.gov

Tab B

APPLICABLE CODES:

Building: 12 DCMR A, Building Code Supplement, International Building Code – 2012 Edition (IBC)
Electrical: 12 DCMR C, Electrical Code Supplement, National Electric Code (NFPA 70) – 2011 Edition
Mechanical: 12 DCMR E, Mechanical Code Supplement, International Mechanical Code – 2012 Edition
Plumbing: 12 DCMR F, Plumbing Code Supplement, International Plumbing Code – 2012 Edition
Fire Prevention: 12 DCMR H, Fire Code Supplement, International Fire Code – 2012 Edition (IFC)
Accessibility: 2010 Americans with Disabilities Act Standards for Accessible Design (ADA); ICC A117.1, Accessible and Usable Buildings and Facilities – 2009 Edition
Other: National Fire Protection Association (NFPA) standards, as referenced by the 2012 IBC, including NFPA 10, NFPA 13, NFPA 72, etc.
12 DCMR D, Fuel Gas Code Supplement, International Fuel Gas Code – 2012 Edition
12 DCMR I, Energy Code Supplement, International Energy Conservation Code – 2012 Edition
12 DCMR K, Green Construction Code Supplement, International Green Construction Code – 2012 Edition
12 DCMR L, Swimming Pool and Spa Code Supplement, International Swimming Pool and Spa Code – 2012 Edition
DC Law 8-36 District of Columbia Environmental Policy Act of 1989
DCMR Title 11- Zoning Requirements

PROJECT SUMMARY:

Scope of work: The Department of General Services and Department of Parks & Recreation project involves improvements to the existing park. Hearst Park currently serves Ward 3 as a multi-purpose public open space suitable for passive and active recreation. Park improvements/ upgrades are to include a new outdoor pool with accompanying pool house for Hearst Park. The intent of the design is to maintain the passive character of the park, while providing enhanced facilities for structured/ organized sports including soccer and tennis.

Site Work

- 1. Grading and grass restoration at disturbed areas
2. Grading and drainage installation at sports field
3. Site utilities and storm water piping
4. Concrete paving and stairs
5. Permeable paving
6. Raised wooden walkways, landings and platforms
7. Fencing
8. Site accessories

Demolition

- 1. Selective removal of existing site features
2. Removal of existing plantings and trees
3. Removal of existing storm water infrastructure

Pool House

- 1. Construction of a new steel frame, bearing concrete masonry unit wall, concrete deck and steel deck structure clad in metal panel and aluminum siding.
2. Membrane roofing, extensive and intensive green roofs.
3. Storage, equipment, office, lobby and locker/bathing/toilet facilities.
4. Sheeting and shoring
5. Ground reinforcement under footings
6. Fencing
7. Mechanical, plumbing and electrical systems
8. Sump systems
9. Generator
10. Machineromless passenger elevator
11. Exterior electric lift

Tennis Courts

- 1. New tennis court and practice area.
2. Fencing

Swimming Pool & Deck

- 1. In ground six-lane pool with zero-entry area
2. Chair lift.
3. Pool equipment
4. Concrete pool deck and drainage system

Table with 2 columns: PROJECT AREA, and sq.ft. values for 1st Floor, 2nd Floor, Total Conditioned Space, Attached Exterior Yard, Total Building, Building Footprint, Pool, Deep End, Shallow End, Subtotal, Pool Deck.

ZONING NOTES:

Zoning has been reviewed by Matthew Le Grant, DCRA Zoning Administrator in Zoning Determination letter dated 1-29-2018

Project Name: Hearst Park and Pool
Project Address: 3950 37th Street, NW Washington, DC 20008
Square: 1905
Lot: 802
Zoning Classification: R-1-B
Lot Area: 191,688 Square Feet (4.4 Acres)
Flood Zone: FEMA Flood Zone Map Area 1100010004C Zone X - Minimal Flood Hazard

Existing Use: Department of Parks and Recreation Park bounded by 3 1/2 St to the west, Quebec St. to the south, Idaho Ave to the south east, Idaho Ave. District Department of Transportation (DDOT) right-of-way and Hearst DCPS Elementary School to the north. The site is an open, partially wooded field with a natural grass soccer field and 3 tennis courts, located in the southwest corner.

Proposed Use: Open, partially wooded field with, natural grass soccer field in the northern portion of the site, outdoor pool and pool house, pool staff office, storage and pool equipment and storage rooms) and 2 tennis courts. No on-site parking is planned.

FAR: Section C-1604.2: Public education buildings and structures, public recreation and community centers, and public libraries shall be permitted a maximum floor area ratio as set forth in table Table C § Section 1604.2: 0.9 Max FAR (172,519 SF allowed). The proposed building is a two-story structure with a total of 5,749 sq.ft

FAR will be based on the Use Category of Parks and Recreation for the site as defined under Section B, 200.2 (2). Building area = 5,749 gsf which is below the maximum permitted gross floor area and complies with the FAR requirement for the R-1-B Zoning District.

Allowable Height: Section C-1602.2: A public recreation and community center may be erected to a height as follows: In an R, RF, or RA Zoning District, a public recreation and community center may be erected to a height not to exceed forty-five feet (45 ft.)

In accordance with Section B-307.1, the height of the project will be measured from the curb, projected from the center of the front property line along 37th St. NW, to the top of the main parapet. The Project height at this Building Height Measuring Point is 16 '6 ". The proposed Project complies with the height requirement for the R-1-B zone.

Number of Stories: In accordance to Section D-303.1, the building is limited to three stories. The proposed (2) story project complies with the R-1-B zoning height restrictions

Lot Width: In accordance to Section C-1605, no lot width is prescribed for public recreation and community center uses.

Yard Designations: Front Yard Section B-315.3, If a lot has more than one (1) street lot line, the owner of the lot may choose the street lot line that shall determine the application of any front setback requirement.

The front yard setback is to be considered along 37th Street NW.

The side yards are the Hearst Elementary School to the north and Quebec St. NW and Idaho Ave. NW to the south. Side yard setback = 8' minimum. Page 16 of Appendix 'A' illustrates a 12' side yard setback at Quebec St. NW.

The rear yard is the DDOT Idaho Ave. Right-of-Way to the east. The soccer field may extend into the rear yard.

ZONING NOTES (Continued):

GAR: The project is exempt from Green Area Ratio because it is located within the R-1-B Zoning District (Section B-601.2).

Vehicle Parking: Section C-701.5: Parks and Recreation -0.5 spaces per 1,000 SF. Parking will be required for the proposed structure. Two (2) off-street parking spaces are required.

Section C-703: Special exceptions from minimum parking number requirements: Section C-703.1 - This section provides flexibility from the minimum required number of parking spaces when the provision of the required number of spaces would be contrary to other District of Columbia regulations; or impractical or unnecessary due to the shape or configuration of the site, a lack of demand for parking, or proximity to transit.

Approval of a special exception by the Board of Zoning Adjustment will be required pursuant to Section C-703.2

FAR will be based on the Use Category of Parks and Recreation for the site as defined under Section B, 200.2 (2). Building area = 5,208 gsf which is below the maximum permitted gross floor area and complies with the FAR requirement for the R-1-B Zoning District.

Approval of a special exception by the Board of Zoning Adjustment will be required pursuant to Section C-703.2

FAR: Section C-802.1: Parks and Recreation Use Long Term Bicycle Parking: None required Short Term Bicycle Parking: 1 space for each 10,000 SF but not less than 6 spaces

Bicycle Parking: Six (6) short-term bicycle spaces are required, and will be provided (14) are to be provided in excess of base requirements by Section C, 804.

Deliver Space: Section C-801.1: Parks and Recreation- More than 30,000 SF GFA, 1 required. The building area is less than 30,000 GF A, therefore a delivery space is not required.

Retaining Walls: The western and southern edges of the site will require retaining walls. The retaining walls will extend above grade at the western and southern edges of the site by no more than 4'.

Section C-1401.3: A retaining wall shall not exceed four feet (4 ft.) in height in the following locations, unless a lower height is required by Section C-1401.5 and 1401.6: (a) Along a street frontage or property line; (b) Within any required side setback; (c) In the R-1-A, R-1-B, R-6, R-7, R-8, R-9, R-11, R-12, R-14, R-15, R-16, R- 19, and R-21 zones, within twenty-five feet (25 ft.) of the rear property line, as measured from the rear property line inward; and (d) In the R-2, R-3, R-10, R-13, R-17, R-20, and RF zones, within twenty feet (20 ft.) of the rear property line, as measured from the rear property line inward.

BUILDING ANALYSIS:

Use Classification: The IBC requires the occupancy of each space to be individually classified. The mixed uses in the Pool House will include office and lobby space, locker rooms, and associated storage and support spaces. Per IBC §303.1.1, a building or tenant space used for assembly purposes with an occupant load of less than 50 persons is classified as a Group B occupancy. An occupant load calculation was performed for the building and it was determined that the Pool House, which serves an assembly function (pool) has a current occupant load of 49 persons. Therefore, the occupancy classifications for the uses in accordance with the IBC include Group B and Group S-1 occupancies.

The building is a non-separated occupancy per IBC §508.3. This approach does not require fire separations between occupancies, and the requirements for fire protection systems are based on the most restrictive occupancy [IBC §508.3].

Building Height: Based on a Group S-1 occupancy, the most restrictive occupancy in the building for height and area limitations, and Type IIB construction, the allowable building height is 3 stories and 55 feet and the allowable area is 17,500 square feet.

Construction Type: The required fire resistance ratings of the walls, structural elements, floors, ceilings and roofs are based on the construction type of the building as specified in IBC Table 601. Table 6 summarizes the fire resistance requirements of structural elements for Type IIB building construction. The use of combustible materials is required to comply with IBC §603.

Table 6 – Fire-Resistance Ratings for Building Elements [IBC Table 601]

Table with 2 columns: BUILDING ELEMENT, HOURS. Rows include Primary Structural Frame (0), Interior and Exterior Load-bearing walls (0), Exterior Non-load-bearing walls (See following), Interior Non-loadbearing walls (0), Floor construction and secondary members (0), Roof construction and secondary members (0).

TABLE 602 - Fire-resistance rating requirements for exterior walls based on fire separation distance. Fire Separation Distance X Group S-1 & Type IIB X < 5' 2 HOUR 5' < X < 10' 1 HOUR 10' < X < 30' 0 HOUR X > 30' 0 HOUR

BUILDINGS (Continued):

Interior Finishes: Interior wall and ceiling finishes and trim are classified in accordance with ASTM E 84, Standard Test Method for Surface Burning Characteristics of Building Materials. Interior finish materials are grouped in the following classes, based on their flame spread and smoke developed indexes [IBC §803.1]: Class A – Flame spread index 0-25, smoke developed index 0-450 Class B – Flame spread index 26-75, smoke developed index 0-450 Class C – Flame spread index 76-200, smoke developed index 0-450

Table 8 summarizes the interior finish requirements for the building depending [IBC Table 803.9].

Table with 4 columns: OCCUPANCY, EXITS, CORRIDORS, OPEN AREA. Rows include Group B (not sprink'd) Class A, Class B, Class C; Group S (not sprink'd) Class B, Class B, Class C.

In addition to interior wall and ceiling finishes, requirements are also specified for interior floor finish and floor covering materials. Interior floor finish materials are classified in accordance with NFPA 253, Standard Method of Test for Critical Radiant Flux for Floor Covering Systems Using a Radiant Heat Energy Source as follows [IBC §804.2]: Class I – Critical radiant heat flux ≥ 0.45 W/cm2 Class II – Critical radiant heat flux ≥ 0.22 W/cm2

Floor finish must be a minimum of Class II or must comply with the DOC FF-1 "pill test" (CPSD 16 CFR Part 1630) or ASTM D 2859 in all occupancies [IBC §804.4.1].

Traditional type floors and floor coverings such as wood, vinyl, linoleum, or terrazzo, and resilient floor covering materials that are not comprised of fibers are permitted [IBC §804.1].

Automated Sprinklers System: The Pool House building is not required to be equipped with an automatic sprinkler system per IBC §903.

Standpipe & Hose: The Pool House building is not required to be equipped with a standpipe and hose system per IBC §904 as the floor level of the highest story does not exceed 30 feet above the lowest level of fire department access.

Fire extinguishers: Fire extinguishers are required for Group B and Group S occupancies [2 DCMR A §906.1]: - At generator - At chemical storage

Fire Alarm & Detection: The Pool House building is not required to be equipped with a fire alarm system per IBC §907.

Automated External Defibrillator: Per DC Reg 44-232.01, DC Recreational Facilities are required to have a minimum of (1) automated external defibrillator

OCCUPANT LOAD FACTORS:

The required number and capacity of exits are based on the design occupant load. The occupant load represents the maximum number of persons anticipated to occupy any floor area, and is used to determine the minimum number of persons for which means of egress must be provided. Table 10.1 summarizes the applicable occupant load factors for the project based on the anticipated uses.

Table with 2 columns: USE, OCCUPANT LOAD FACTOR (sf / Person). Rows include Locker rooms (50 Gross), Business (office areas) (100 Gross), Storage / mechanical equipment areas (300 Gross), Pool Deck (15 Gross), Swimming Pool (50 Gross).

Posted batter load as indicated on pool deck signage is calculated by ISPSC occupant loads as defined by table 403.1 Maximum Bather Load. Pool's allowable occupancy to be capped at the maximum bather load.

Pool Class: B PUBLIC POOL. A pool intended for public recreational use. Excerpt from Table 403.1 for Pool Decks with Deck area at least equal to water surface area (but less than twice the water surface area).

Table with 2 columns: USE, OCCUPANT LOAD FACTOR (sf / Person). Rows include Deep Instructional / Wading Pools (12 sf / user), Deep Area (Not including Diving) (15 sf / user), Diving Area (Per each Diving Board) (Not applicable to project).

PROJECT

Hearst Park & Pool
3950 37th Street, NW
Washington, DC 20008

OWNER'S REPRESENTATIVE

Department of General Services
2000 14th Street NW, 8th Floor
Washington DC, 20009

ARCHITECT

cox graae + spack architects
2909 M Street NW
Washington DC 20007
T: 202.965.7070
F: 202.965.7144



CIVIL ENGINEER

Wiles Mensch Corporation
Address: 510 8th Street SE
Washington DC 20003
T: 202.436.9384

STRUCTURAL ENGINEER

Simpson Gumpertz & Heger Inc.
1625 Eye Street NW, Suite 900
Washington, DC 20006
T: 202.239.4199

MPE ENGINEER

Setty & Associates International, PLLC
Address: 5185 MacArthur Blvd., Suite 220
Washington, DC 20016
T: 202.393.1523

LANDSCAPE ARCHITECT

CGLA
1025 Connecticut Avenue NW., Suite 1000
Washington, DC 20036
T: 202.857.9720

POOL CONSULTANT

Councilman-Hunsaker
10733 Sunset Office Dr., Suite 400
St. Louis, MO 63127
T: 314.894.1245

AV/ IT/ ACOUSTICS CONSULTANT

Polysonics
405 Belle Air Lane
Warrenton, VA 20186
T: 540.341.4988



Table with 3 columns: Mark, Date, Description. Rows include 01 6/11/18 Design Development Set, 02 11/20/18 FTG Permit Submission, 03 02/06/19 Permit Submission, 04 03/20/19 Building Permit.

Drawing Title:

ZONING AND CODE INFORMATION

Graphic Scale:

Project No:

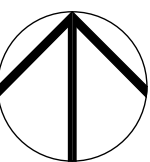
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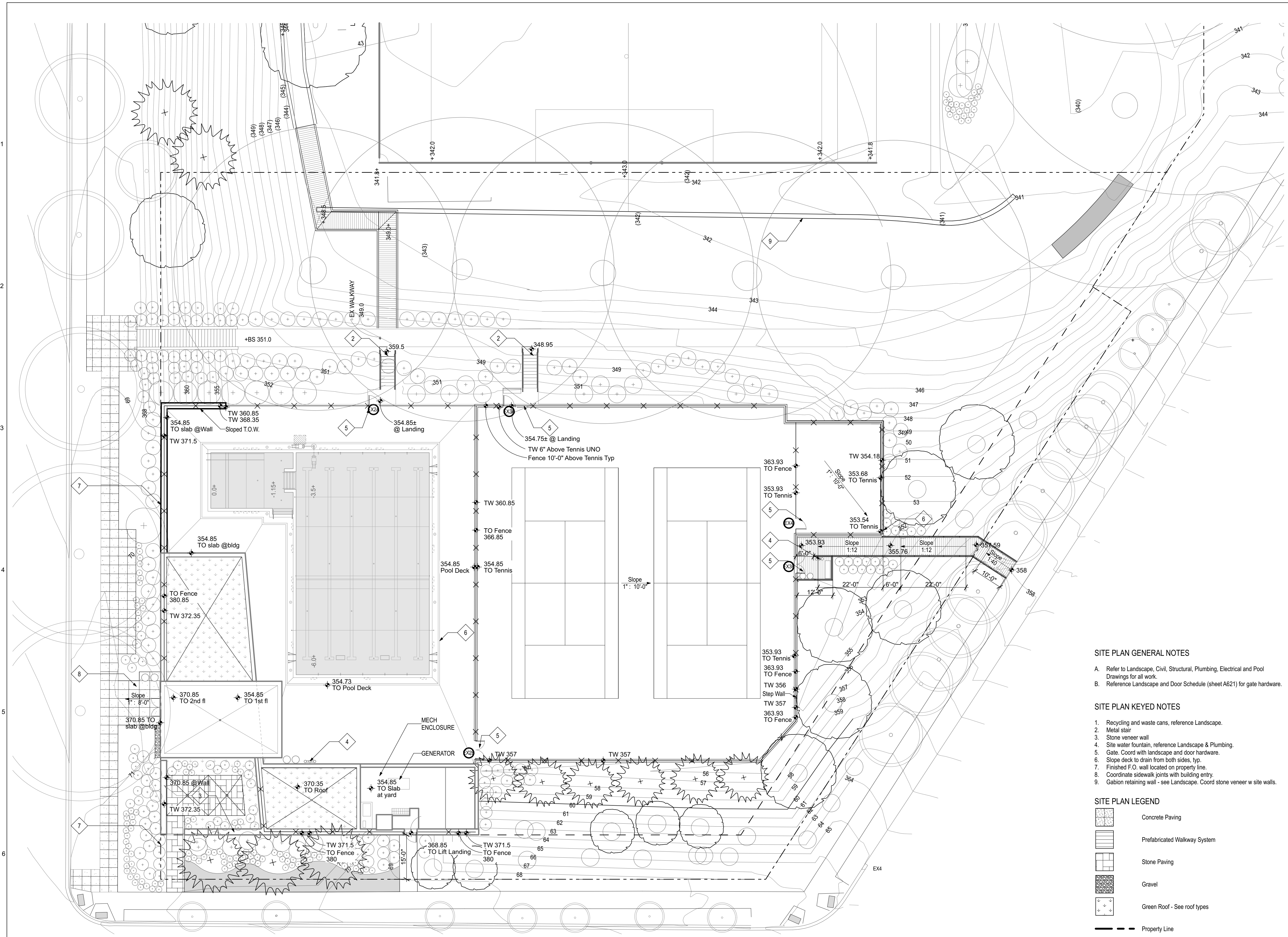
Date:

03/20/2019

Drawing No:

G002





**SITE PLAN GENERAL NOTES**

A. Refer to Landscape, Civil, Structural, Plumbing, Electrical and Pool Drawings for all work.  
 B. Reference Landscape and Door Schedule (sheet A621) for gate hardware.

**SITE PLAN KEYED NOTES**

1. Recycling and waste cans, reference Landscape.
2. Metal stair
3. Stone veneer wall
4. Site water fountain, reference Landscape & Plumbing.
5. Gate. Coord with landscape and door hardware.
6. Slope deck to drain from both sides, typ.
7. Finished F.O. wall located on property line.
8. Coordinate sidewalk joints with building entry.
9. Gabion retaining wall - see Landscape. Coord stone veneer w site walls.

**SITE PLAN LEGEND**

- Concrete Paving
- Prefabricated Walkway System
- Stone Paving
- Gravel
- Green Roof - See roof types
- Property Line
- Building Setback

**1 Site Plan**  
 SCALE: 1/16" = 1'-0"

**PROJECT**  
**Hearst Park & Pool**  
 3950 37th Street, NW  
 Washington, DC 20008

**OWNER'S REPRESENTATIVE**  
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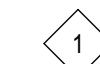

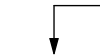
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**ARCHITECTURAL SITE PLAN**

Graphic Scale:

Project No: **1614** Date: **02/06/2019**

Drawing No: **A100**

FLOOR PLAN LEGEND

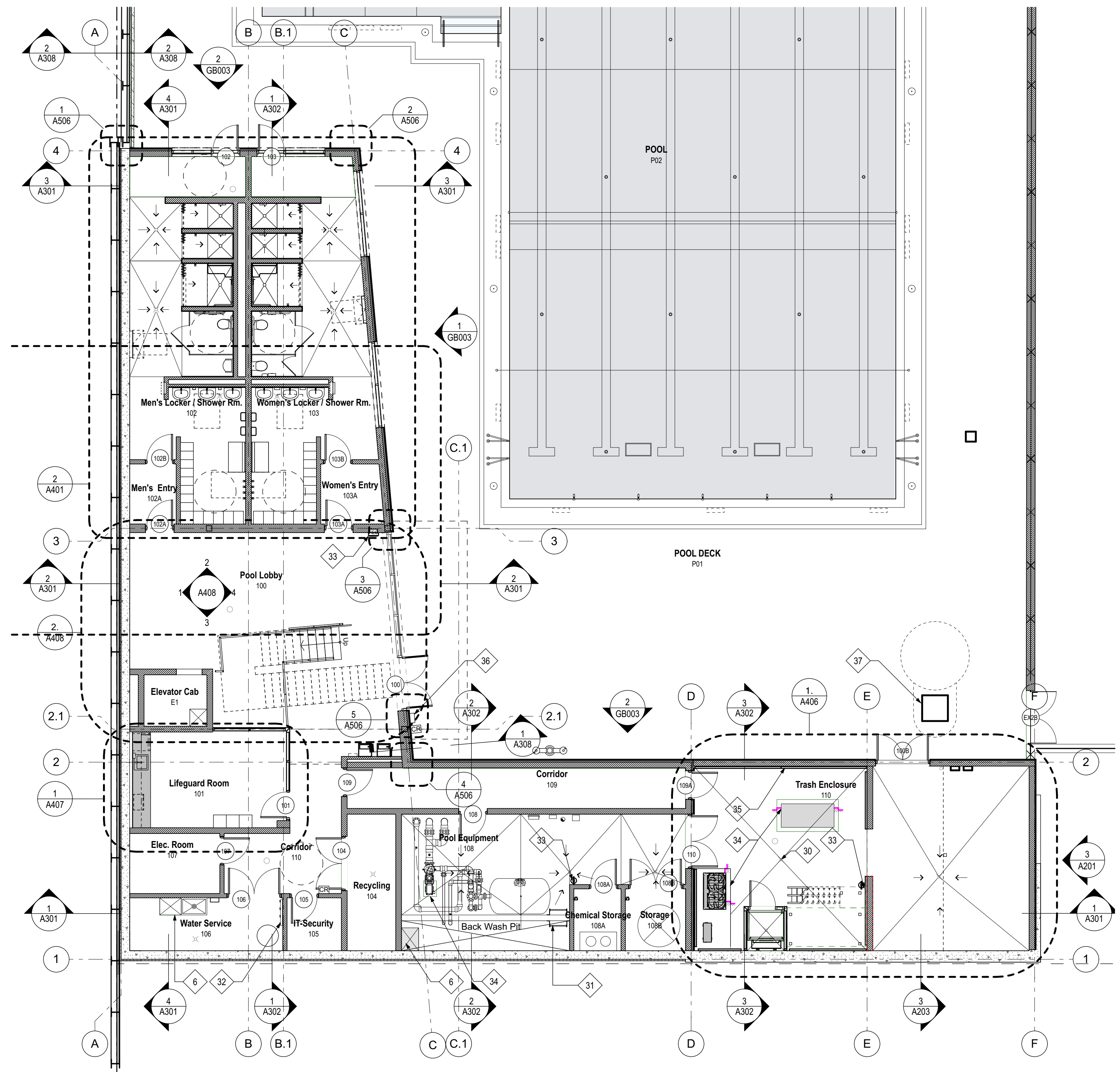
-  Keynote Tag
-  Partition Type Symbol
-  Align Symbol

FLOOR PLAN GENERAL NOTES

- A. SEE A601 FOR PARTITION TYPES.
- B. DIMENSIONS ARE AS FOLLOWS U.N.O. COORDINATE ALL W WALL SECTIONS
  - TO FINISHED FACE OF MASONRY WALL
  - TO FACE OF SHEATHING
  - INTERIOR TO FINISHED FACE OF WALL
- C. SEE 622 FOR WINDOW TYPES.
- D. PROVIDE FIRE STOPPING & DRAFT STOPPING AT ALL WALL, FLOOR, AND CEILING PENETRATIONS.
- E. ALL WOOD BLOCKING IS TO BE FIRE RETARDANT. PROVIDE WOOD BLOCKING FOR ALL WALL MOUNTED ITEMS IN GWB PARTITIONS.
- F. ALL HDPE TOILET PARTITIONS TO MEET NFPA AND ASTM 85 MINIMUM REQUIREMENTS FOR FIRE AND SMOKE SPREAD.

FLOOR PLAN / ROOF KEYED NOTES

1. PLAM BASE AND WALL CABINETS.
2. LINE OF OVERHANG ABOVE.
3. SHEETING AND SHORING, REFER STRUCTURAL DRAWINGS.
4. EXTERIOR RATED LIFT W/ ENCLOSURE BY LIFT MFR.
5. ALTERNATING TREAD STAIR, GALV., PTD.
6. SUMP PUMP PIT - SEE PLUMBING.
7. STEEL PAN STAIR WITH 21 X 12 HSS STRINGERS, BAR STOCK RAILING W PERFORATED METAL PANELS.
8. GRAVEL BORDER.
9. BENCHES.
10. PROPERTY LINE.
11. RECESSED WALK OFF GRILLE
12. WALK OFF MAT.
13. EXTENSIVE GREEN ROOF.
14. INTENSIVE GREEN ROOF, LAWN AND PLANTINGS, REF: LANDSCAPE.
15. METAL COPING.
16. ST-1 CAP AND ST-1 VENEER AT SITE OR PARAPET WALL. SEE WALL SECTIONS.
17. FENCING, REFER LANDSCAPE.
18. GREENWALL, REFER LANDSCAPE.
19. SCUPPER.
20. PLAM RECEPTION DESK WITH SOLID SURFACE COUNTER AND TRANSACTION LEDGE.
21. CONCRETE WALKWAY, REFER LANDSCAPE.
22. BIKE RACKS, REFERENCE LANDSCAPE.
23. SHEETING AND SHORING FOR RETAINING WALL WITH METAL PANEL FACING AND PRECAST CONCRETE CAP.
24. ROOF DRAIN.
25. WHITE PVC ROOFING.
26. SUNSHADE.
27. 1/2" ALUMINUM LETTERING ON SUPPORTS.
28. GRAVEL BORDER.
29. CANOPY.
30. DRAIN.
31. FRP LADDER
32. MOP RACK - SEE BATH ACCESSORIES & TYP MOUNTING HTS
33. FEC OR WALL MTD FIRE EXTINGUISHER. SEE PLANS
34. HOUSEKEEPING PAD - SEE MEP & STRUCT DWGS
35. WALL MTD METAL ACOUSTIC PANELS - SEE ELEV FOR MTG HT
36. DOOR ACTUATOR.
37. ACCESS HATCH FOR EJECTOR PUMP - SEE PLUMB & POOL
38. BOLLARD W ACTUATOR & CARD READER MTD.
39. PREFINISHED CORRUGATED ALUMN ROOF.
40. PAVER STONES SET FLUSH W GREEN ROOF. SEE LANDSCAPE & ROOF TYPES.



**1** FIRST FLOOR PLAN - NOTES  
 SCALE: 1/8" = 1'-0"  
 A101

PROJECT

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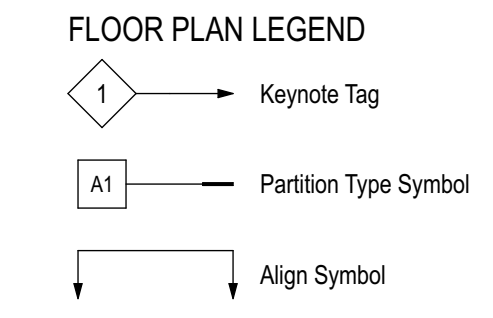
Mark	Date	Description
01	6/11/18	Design Development Set
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03	02/06/19	Permit Submission
04	02/20/19	Pool Gutter Revision

Drawing Title:  
**FIRST FLOOR PLAN**

Graphic Scale: 1/8" = 1'-0"  


Project No: **1614**      Date: **02/06/2019**

Drawing No: **A101**



- FLOOR PLAN GENERAL NOTES**
- SEE A601 FOR PARTITION TYPES.
  - DIMENSIONS ARE AS FOLLOWS U.N.O. COORDINATE ALL W WALL SECTIONS
    - TO FINISHED FACE OF MASONRY WALL
    - TO FACE OF SHEATHING
    - INTERIOR TO FINISHED FACE OF WALL
  - SEE 622 FOR WINDOW TYPES.
  - PROVIDE FIRE STOPPING & DRAFT STOPPING AT ALL WALL, FLOOR, AND CEILING PENETRATIONS.
  - ALL WOOD BLOCKING IS TO BE FIRE RETARDANT. PROVIDE WOOD BLOCKING FOR ALL WALL MOUNTED ITEMS IN GWB PARTITIONS.
  - ALL HDPE TOILET PARTITIONS TO MEET NFPA AND ASTM 85 MINIMUM REQUIREMENTS FOR FIRE AND SMOKE SPREAD.

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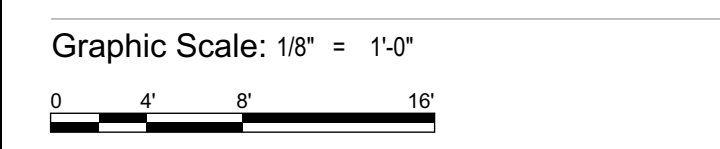
**POOL CONSULTANT**  
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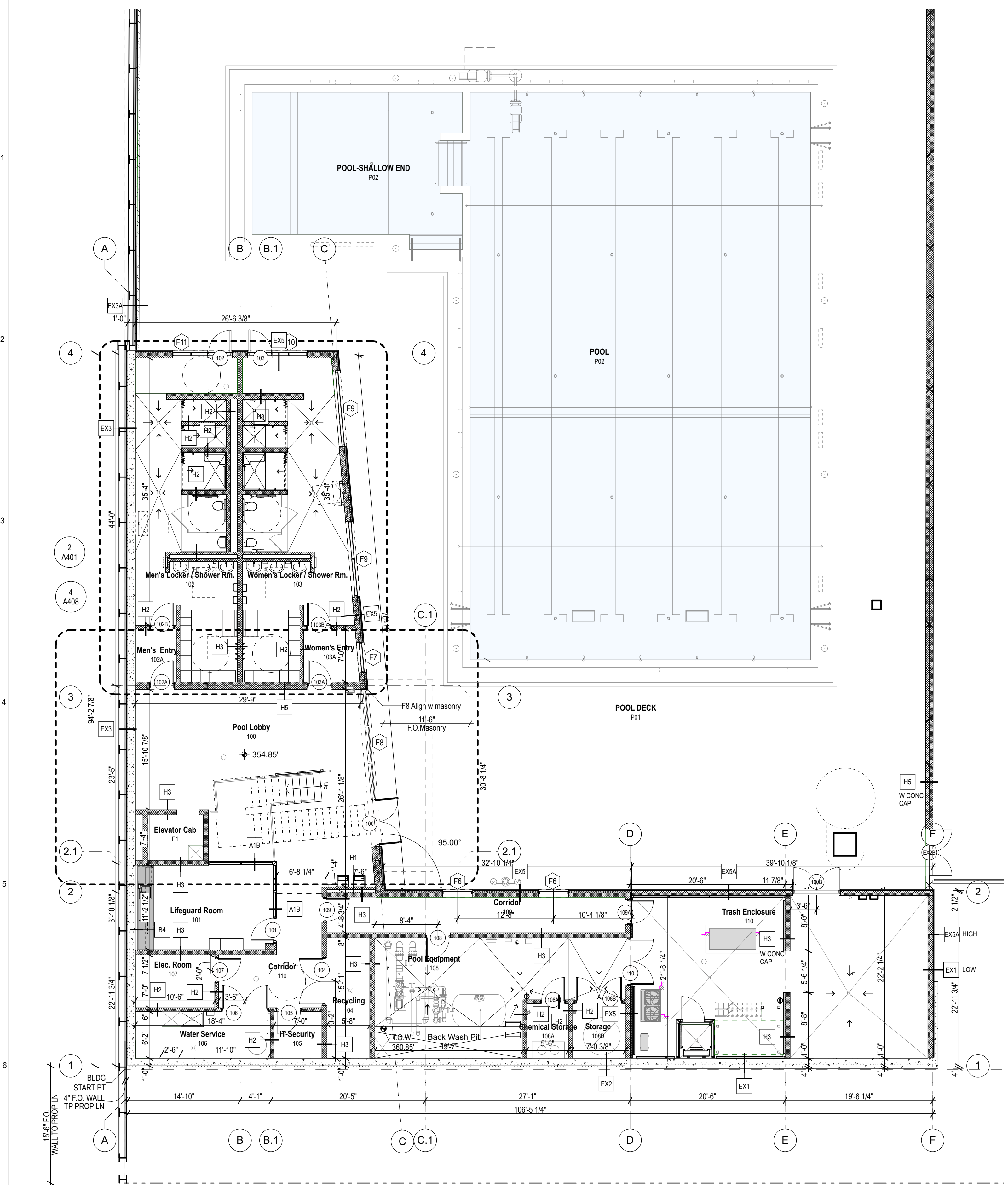
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04	02/20/19	Pool Gutter Revision

Drawing Title:  
**FIRST FLOOR DIMENSION PLAN**



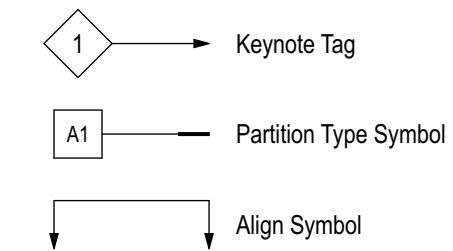
Project No: 1614  
 Date: 02/06/2019

Drawing No:  
**A102**



**1 FIRST FLOOR PLAN - DIM.**  
 SCALE: 1/8" = 1'-0"

FLOOR PLAN LEGEND

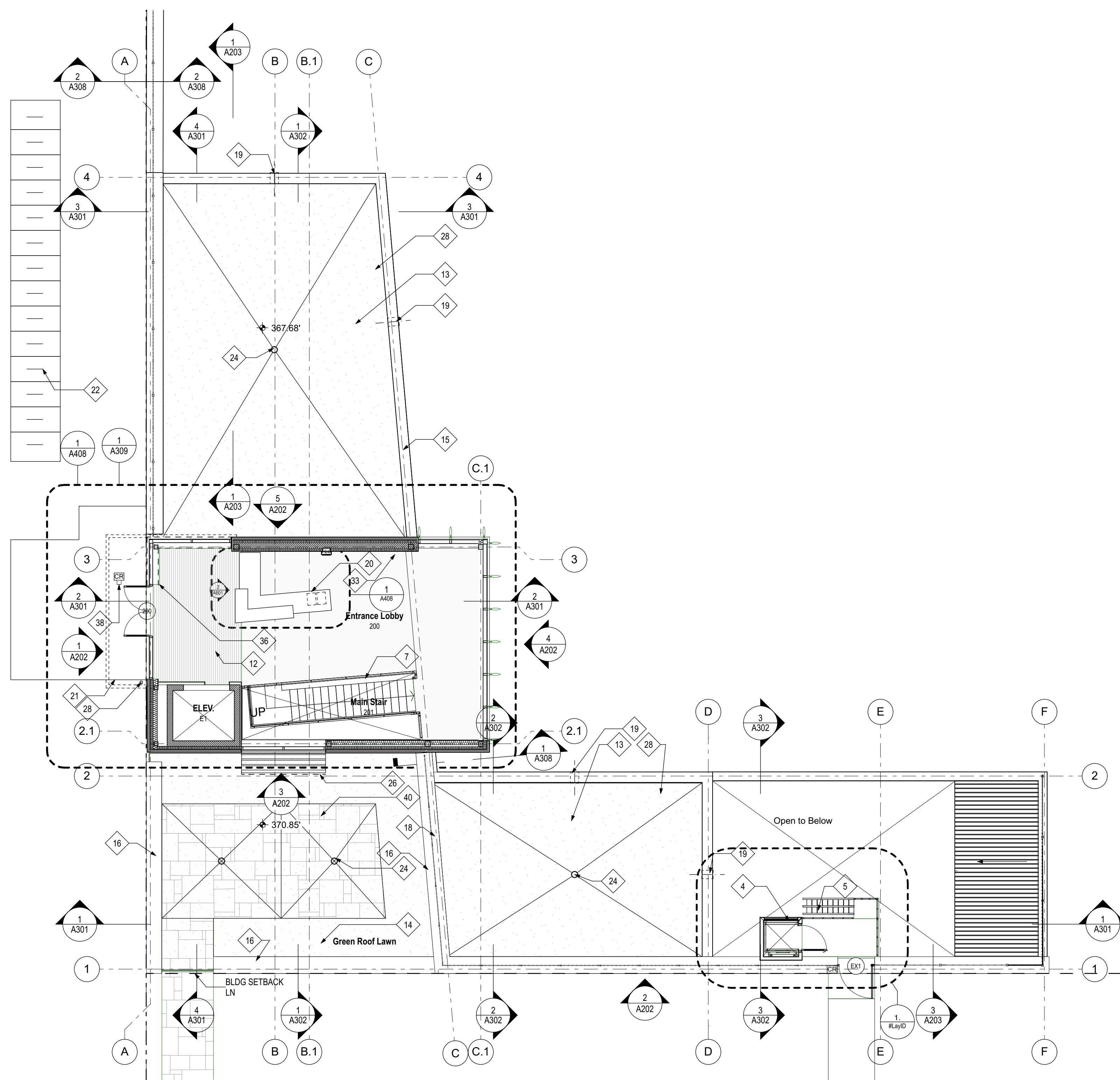


FLOOR PLAN GENERAL NOTES

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FLOOR PLAN / ROOF KEYED NOTES

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2. LINE OF OVERHANG ABOVE.
3. SHEETING AND SHORING. REFER STRUCTURAL DRAWINGS.
4. EXTERIOR RATED LIFT W/ ENCLOSURE BY LIFT MFR.
5. ALTERNATING TREAD STAIR. GALV., PTD.
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7. STEEL PAN STAIR WITH 21 X 12 HSS STRINGERS, BAR STOCK RAILING W PERFORATED METAL PANELS.
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9. BENCHES.
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14. INTENSIVE GREEN ROOF; LAWN AND PLANTINGS, REF: LANDSCAPE.
15. METAL COPING.
16. ST-1 CAP AND ST-1 VENEER AT SITE OR PARAPET WALL. SEE WALL SECTIONS.
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18. GREENWALL, REFER LANDSCAPE.
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22. BIKE RACKS, REFER LANDSCAPE.
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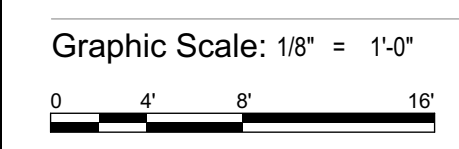
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Drawing Title:  
**SECOND FLOOR PLAN**

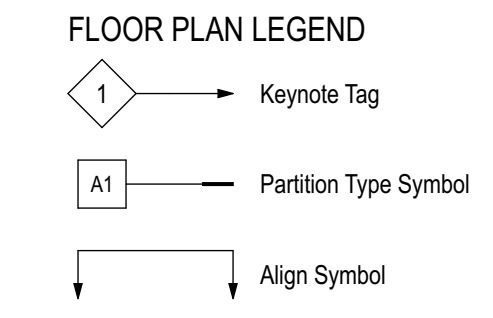


Project No: 1614 Date: 02/06/2019

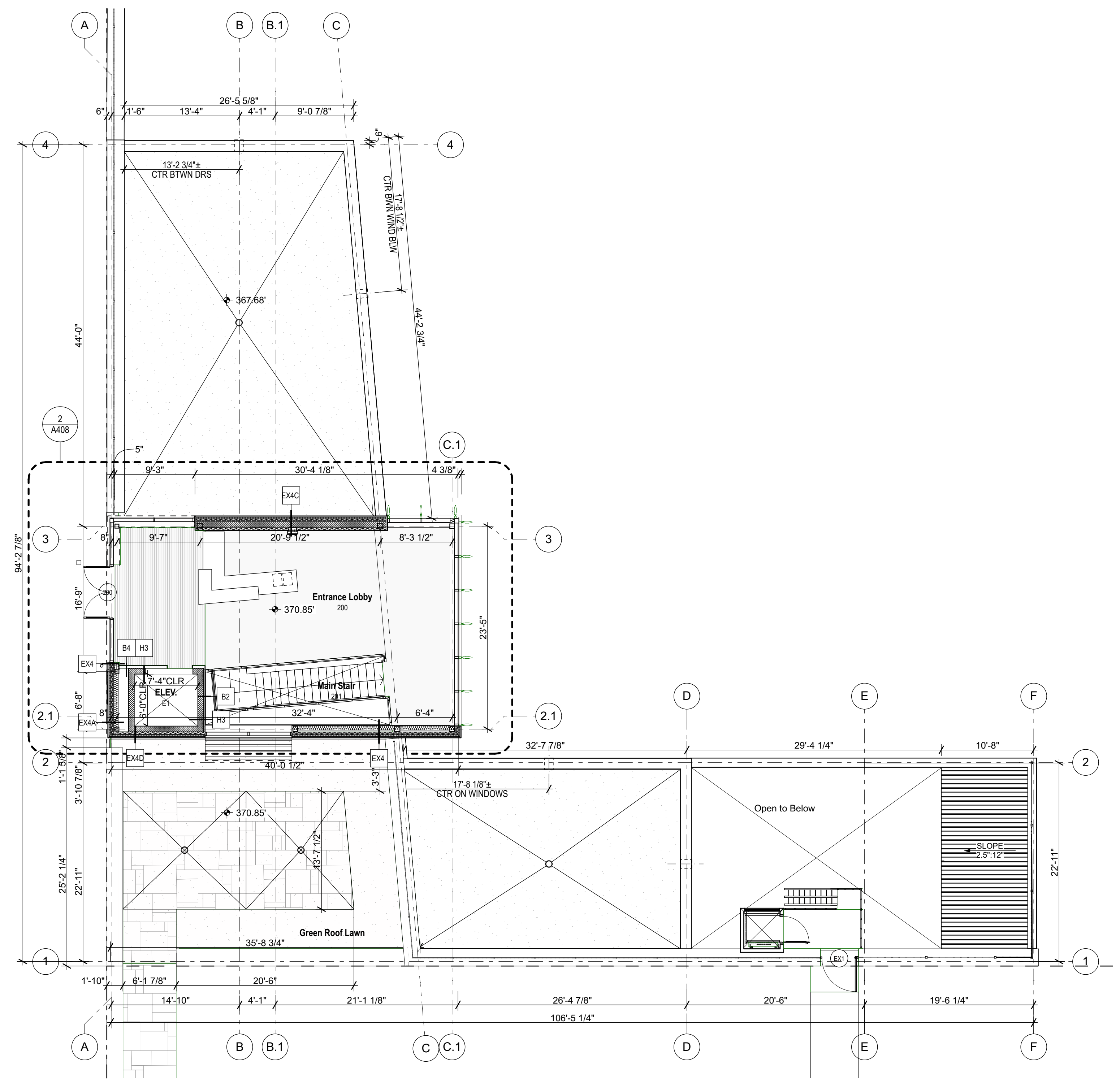
Drawing No: **A103**

**1 SECOND FLOOR PLAN - NOTES**  
SCALE: 1/8" = 1'-0"





- FLOOR PLAN GENERAL NOTES**
- SEE A601 FOR PARTITION TYPES.
  - DIMENSIONS ARE AS FOLLOWS U.N.O. COORDINATE ALL W WALL SECTIONS
    - TO FINISHED FACE OF MASONRY WALL
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**1 SECOND FLOOR PLAN - DIM.**  
 SCALE: 1/8" = 1'-0"  
 A104

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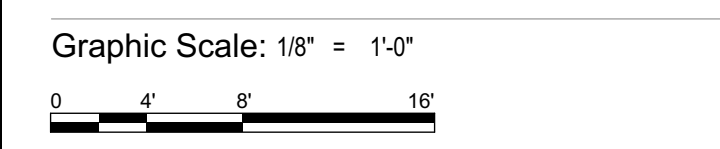
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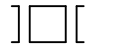



Drawing Title:  
**SECOND FLOOR DIMENSION PLAN**



Project No: **1614**      Date: **02/06/2019**

Drawing No: **A104**

ROOF PLAN LEGEND

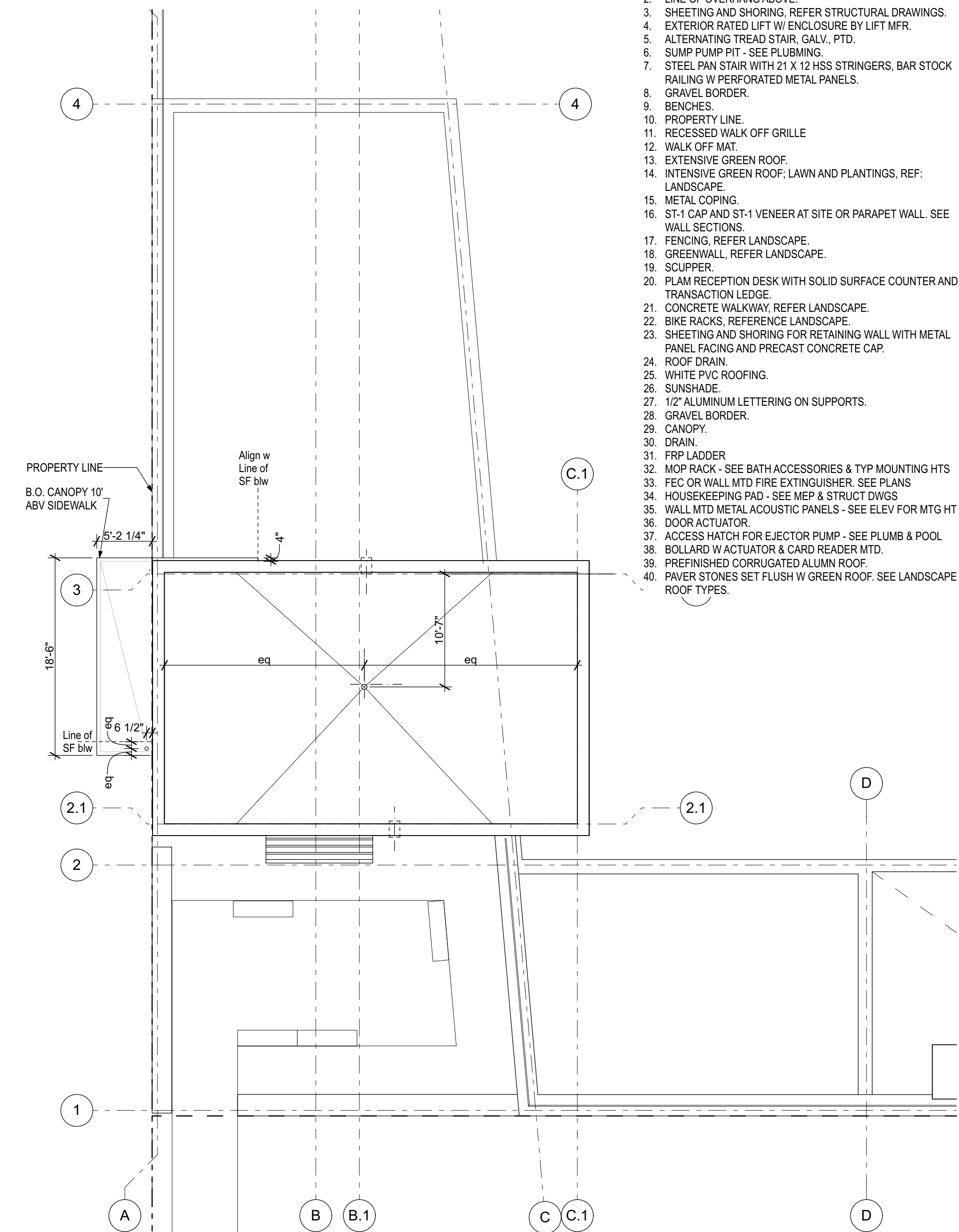
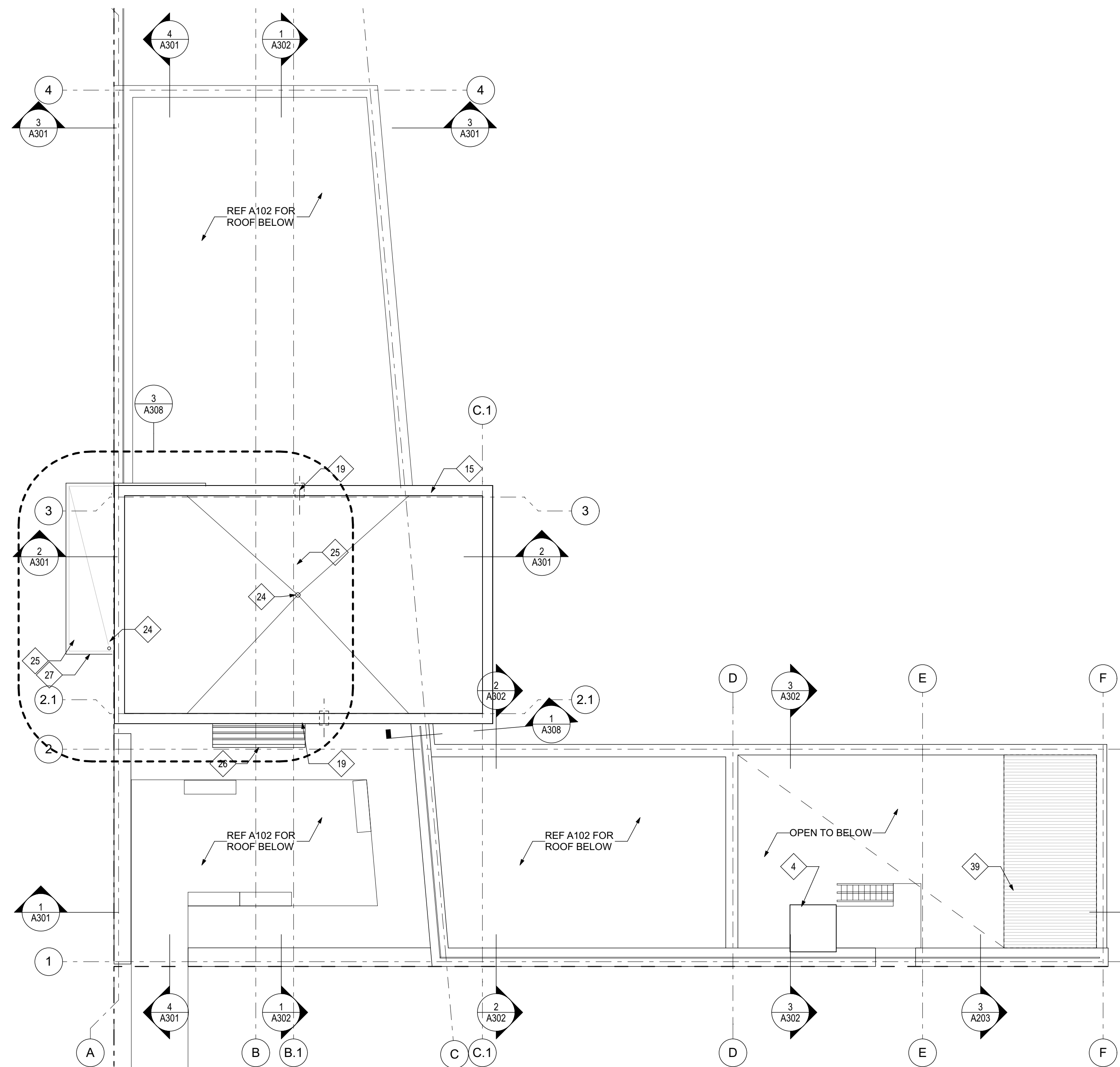
-  Walkway Pad
-  Membrane Roof
-  Gravel Border
-  Green Roof

FLOOR PLAN GENERAL NOTES

- A. SEE A601 FOR PARTITION TYPES.
- B. DIMENSIONS ARE AS FOLLOWS U.N.O. COORDINATE ALL W WALL SECTIONS
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FLOOR PLAN / ROOF KEYED NOTES

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40. PAVER STONES SET FLUSH W GREEN ROOF. SEE LANDSCAPE & ROOF TYPES.



**1** ROOF FLOOR PLAN - NOTES  
A111 SCALE: 1/8" = 1'-0"

**2** ROOF FLOOR PLAN - DIM.  
A111 SCALE: 1/8" = 1'-0"

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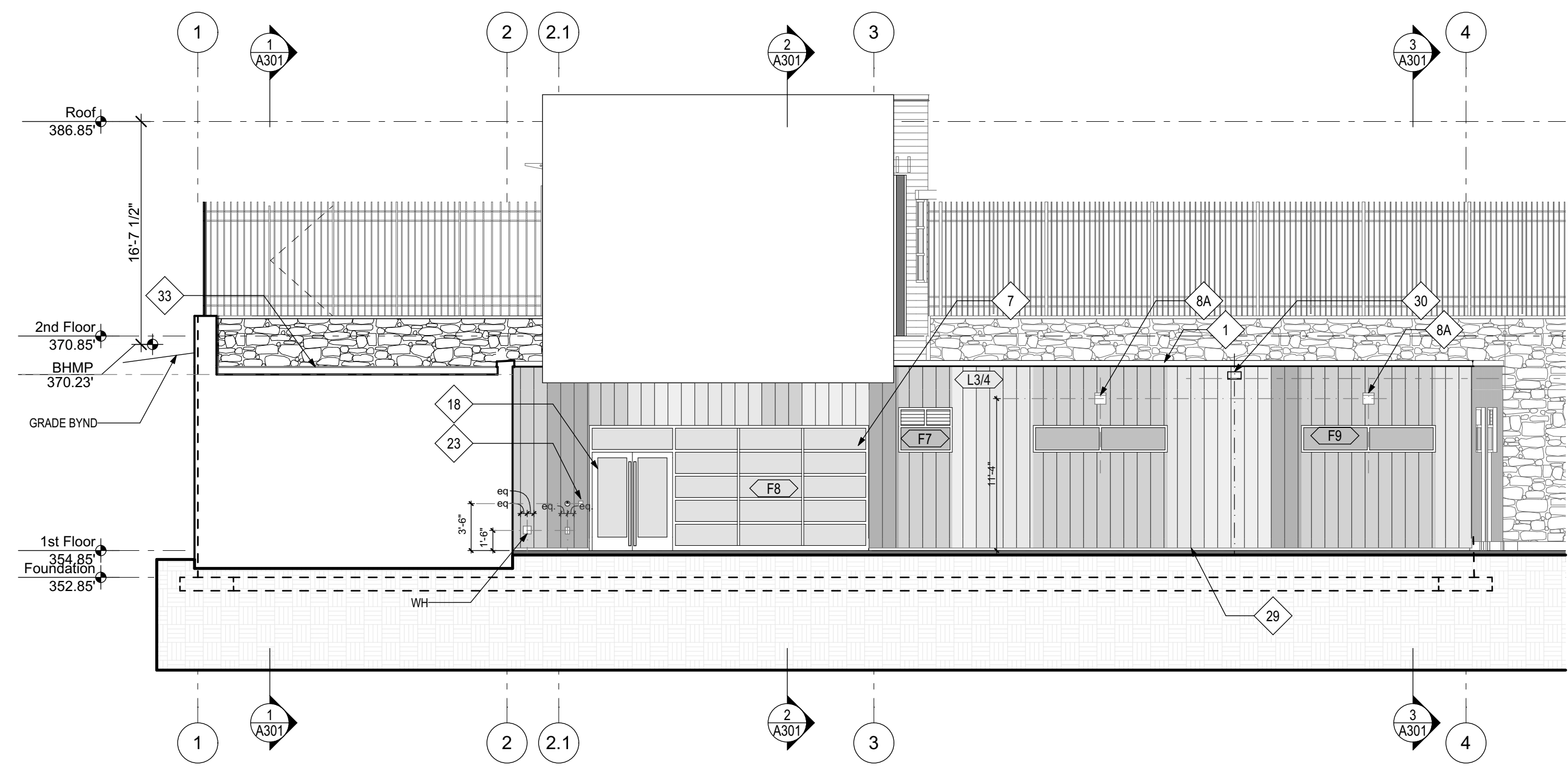
Mark	Date	Description
01	6/11/18	Design Development Set
02	11/20/18	FTG Permit Submission
03	02/06/19	Permit Submission
04	02/20/19	Pool Gutter Revision

Drawing Title:  
**ROOF PLANS**

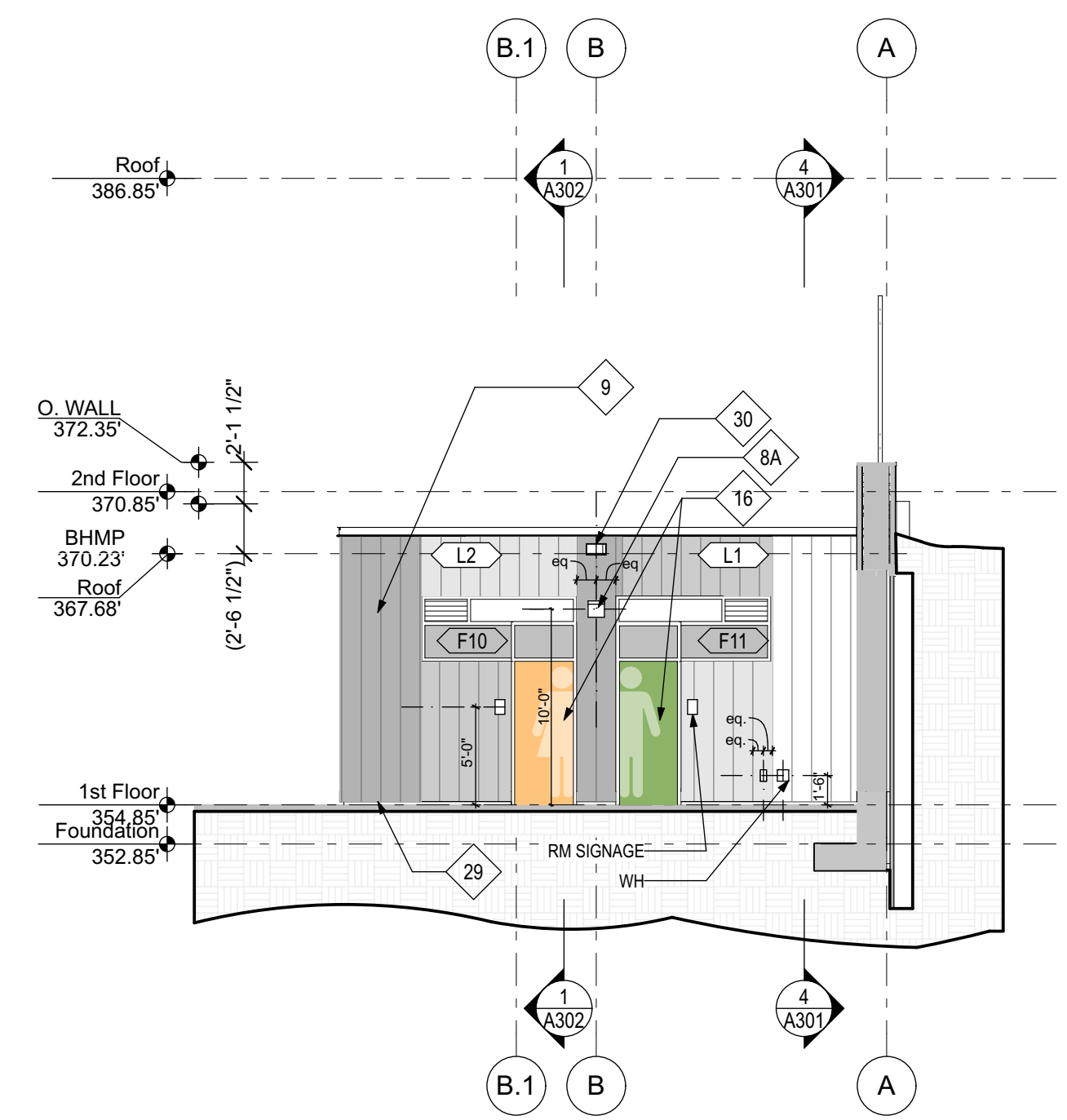
Graphic Scale: 1/8" = 1'-0"  
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Project No: 1614  
Date: 02/06/2019

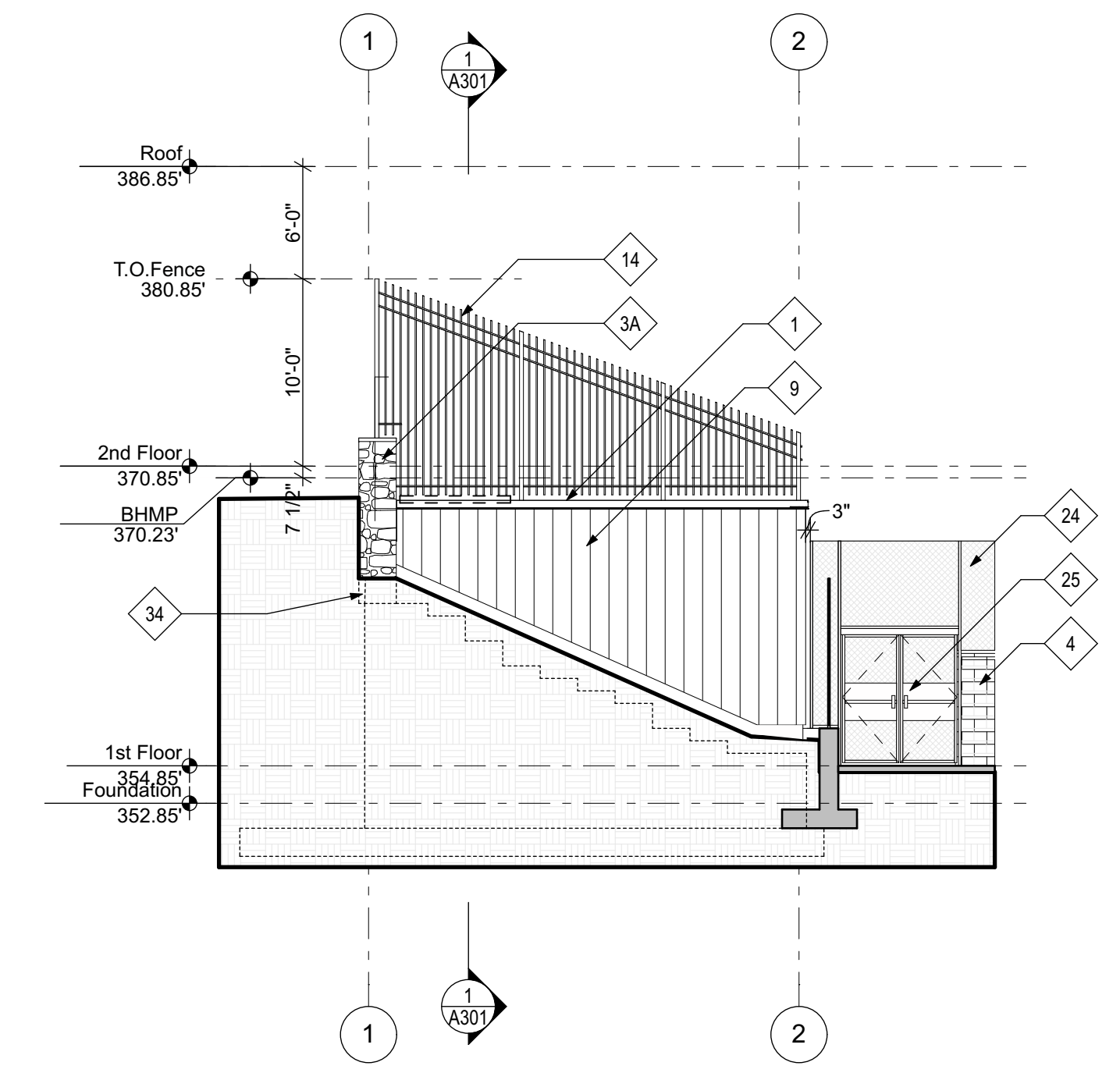
Drawing No:  
**A111**



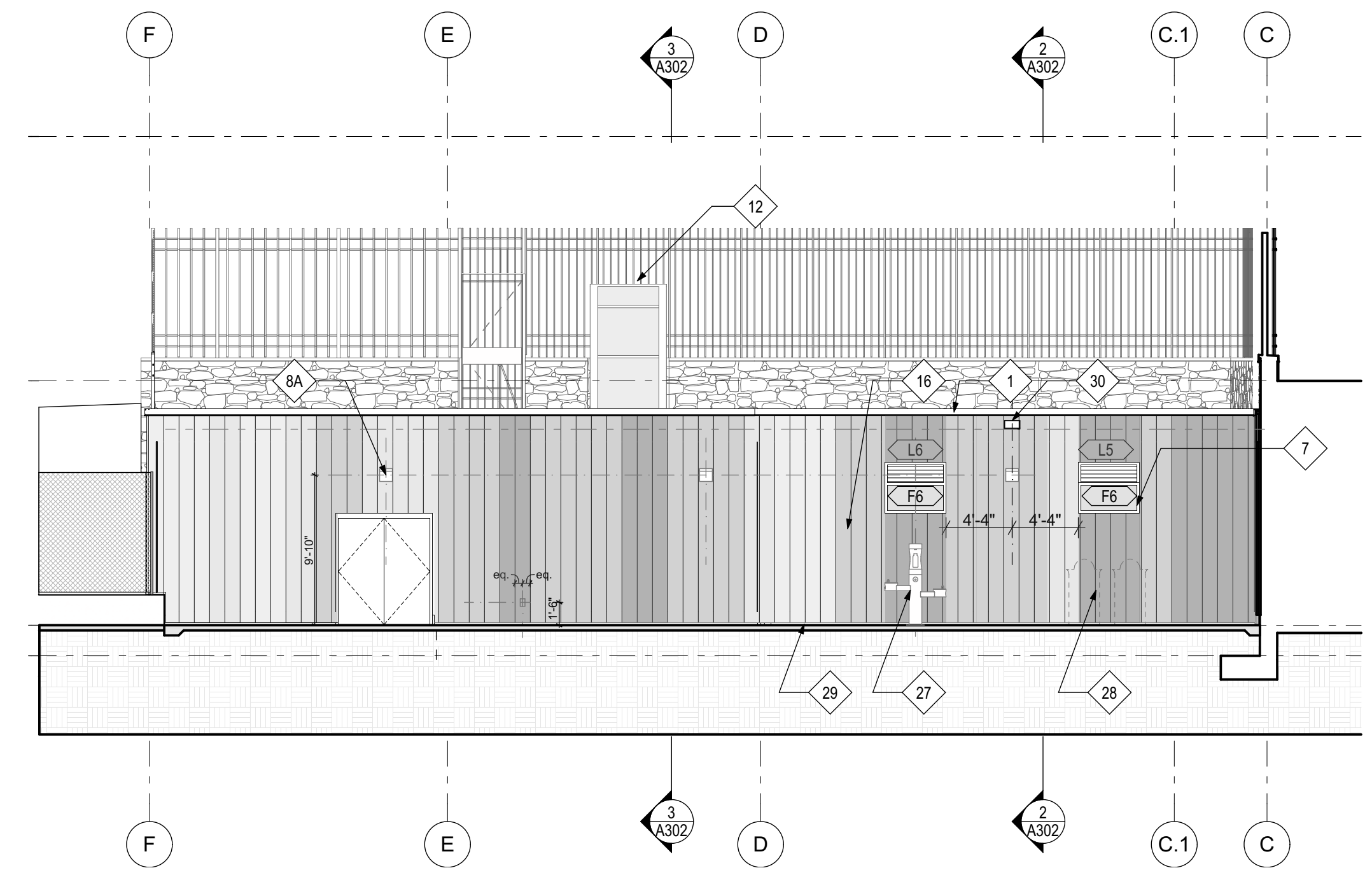
**1 EAST ELEVATION 01A**  
A201 SCALE: 1/8" = 1'-0"



**2 NORTH ELEVATION 01A**  
A201 SCALE: 1/8" = 1'-0"



**3 EAST ELEVATION 01B**  
A201 SCALE: 1/8" = 1'-0"



**4 NORTH ELEVATION 01B**  
A201 SCALE: 1/8" = 1'-0"

**ELEVATION / BUILDING SECTION GENERAL NOTES**

- A. REVIEW ALL DEVICE LOCATIONS WITH MTL PANEL LAYOUT.
- B. METAL PANEL PATTERN IS NOT FINAL, BUT REPRESENTATIVE OF APPROXIMATE DISTRIBUTION AND PATTERN COMPLEXITY. FINAL DESIGN AND COLOR SELECTION TO BE REVIEWED, ALLOW FOR (4) COLORS TOTAL.

**ELEVATION KEYED NOTES**

1. METAL COPING.
2. LONGBOARD HORIZONTAL METAL CLADDING.
- 3A. CONCRETE WALL W ST-2 VENEER AND ST-1 CAP.
- 3B. PERMANENT SHEETING & SHORING W PRECAST LAGGING. ST-2 VENEER CLADDING ST-1 CAP. SEE STRUCT.
4. CMU WALL W CONC WALL CAP. BLOCK FILLER & HIGH PERFORMANCE COATING.
5. CURTAINWALL WITH SOLARBAN 70 IGU.
6. CANOPY BEYOND.
7. STOREFRONT WITH SOLARBAN 70 IGU ( LAMINATED GLASS 1/4" + PVB + 1/8" @ OUTER PANE).
- 8A. EXTERIOR LIGHTING SEE ELECT. CENTER ON DR OR WINDOW.
- 8B. EXTERIOR LIGHTING SEE ELECT. MTD TO FENCE POST.
9. METAL PANEL SIDING.
10. CANOPY WITH 'C' CHANNELS AT PERIMETER AND METAL PANEL CLADDING WITH MITERED CORNERS AND EDGES.
11. VERTICAL SUNSHADES.
12. STEEL FRAMED ENCLOSURE W STL AND ACRYLIC PANELS BY LIFT MFR.
13. SLOPING GRADE BEYOND.
14. MTL PICKET FENCING. SEE LANDSCAPE DRAWINGS.
15. GREEN WALL, REFER LANDSCAPE DRAWINGS.
16. GALVANIZED DOOR AND FRAME, PTD.
17. INSULATED BRAKE METAL INFILL PANEL. SET FLUSH W ADJACENT WINDOW FRAME.
18. MEDIUM STILE ALUMINUM DOORS WITH DOOR PULLS.
19. SUNSHADE.
20. HOT DIPPED GALVANIZED RAILING.
21. BIKE RACK.
22. BUILDING SIGNAGE.
23. CARD READER.
24. CHAINLINK FENCING. SEE LANDSCAPE DRAWINGS.
25. CHAINLINK GATE W PANIC HDWR & ALARM.
26. PRE-ENGINEERED GALVANIZED & POWDER COATED STL STAIR WITH HANDRAIL & PLATFORM.
27. EXTERIOR WATER FOUNTAIN / BOTTLE FILLING STATION.
28. APPROX LOCATION OF TRASH & RECYCLING. SEE LANDSCAPE.
29. SS BREAK MTL BASE TRIM.
30. SCUPPER. SEE EXTERIOR DETAILS. COORD FINISH W COPING & SIDING FOR LOCATION.
31. PHOTOCCELL FOR EXTERIOR LIGHTING - SEE ELECT. BLACK FINISH. GC TO CONFIRM ONO OBSTRUCTIONS.
32. ALUMINUM EDGE TERMINATION TRIM BY SIDING MFR.
33. FLASHING - SEE WALL SECT.
34. APPROX EXTENT OF STONE BLW GRADE.

**ELEVATION FINISH LEGEND**

- MP-1 Vertical Mtl Panel Color 1
- MP-2 Vertical Mtl Panel Color 2
- MP-3 Vertical Mtl Panel Color 3
- MP-4 Vertical Mtl Panel Color 4
- Horizontal Aluminum Siding Flooring
- ST-1 Caderock Stone Veneer

**PROJECT**

**Hearst Park & Pool**  
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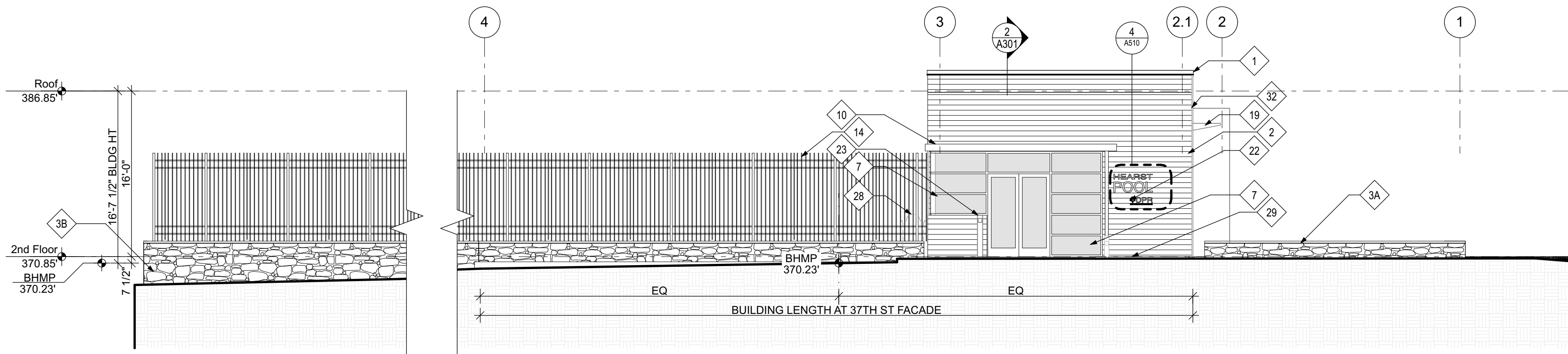
Mark	Date	Description
01	6/11/18	Design Development Set
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04	02/20/19	Pool Gutter Revision

Drawing Title:  
**BUILDING EXTERIOR ELEVATIONS**

Graphic Scale:

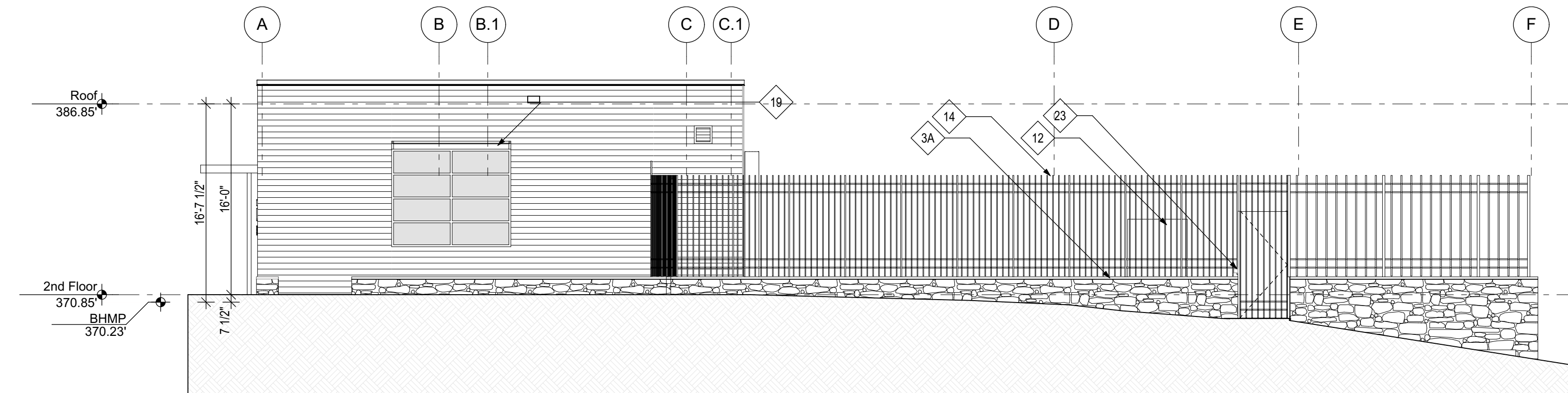
Project No: **1614** Date: **02/06/2019**

Drawing No:  
**A201**



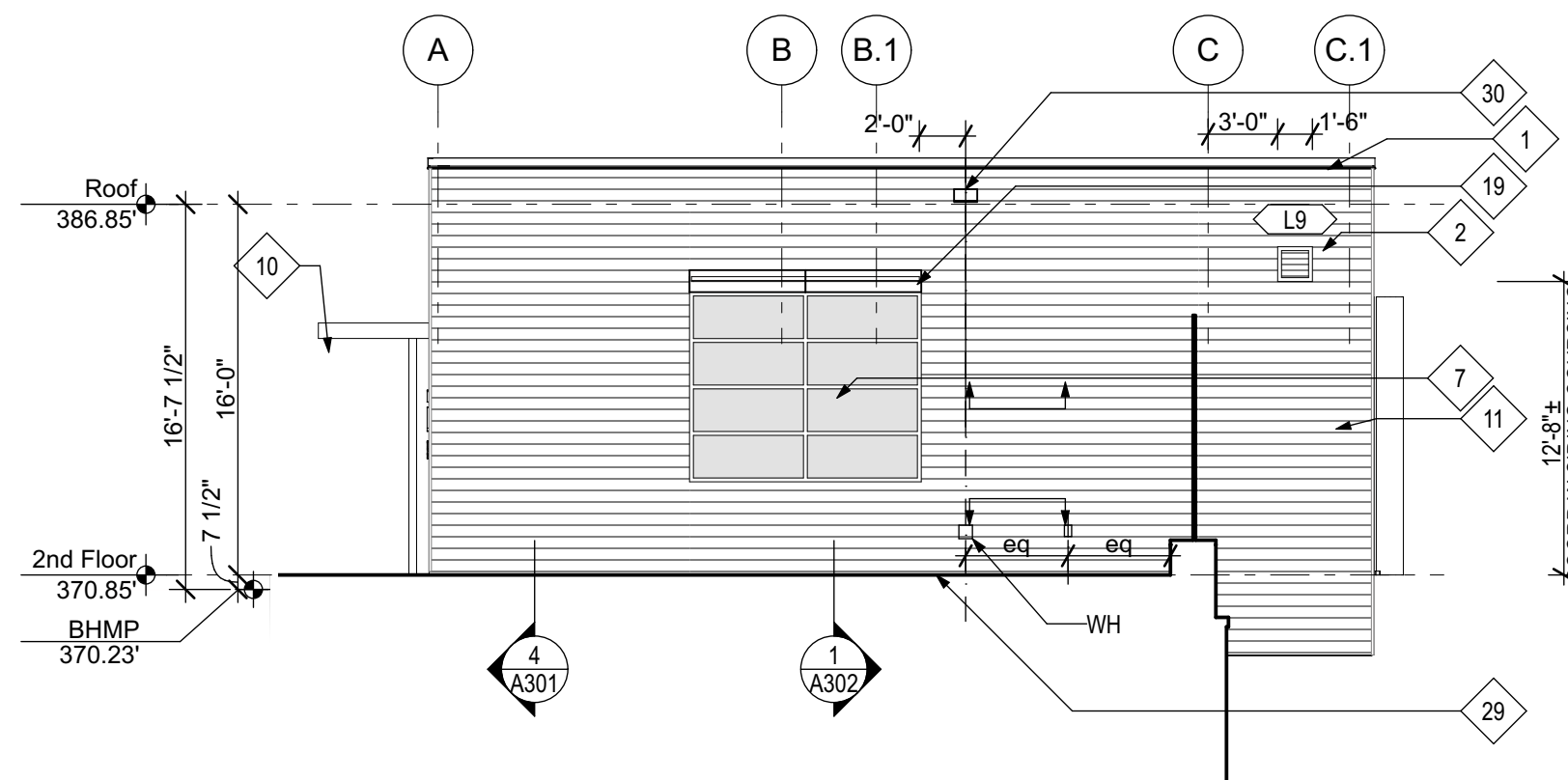
**1 WEST ELEVATION 02A**

SCALE: 1/8" = 1'-0"



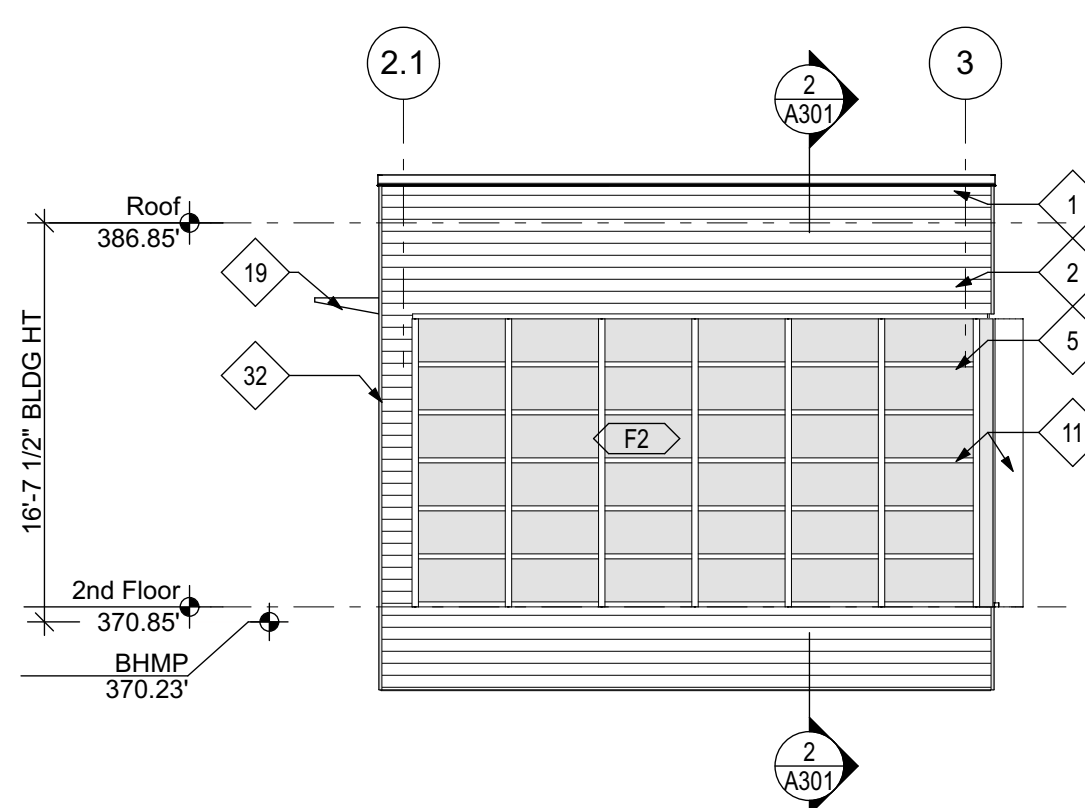
**2 SOUTH ELEVATION 02B**

SCALE: 1/8" = 1'-0"



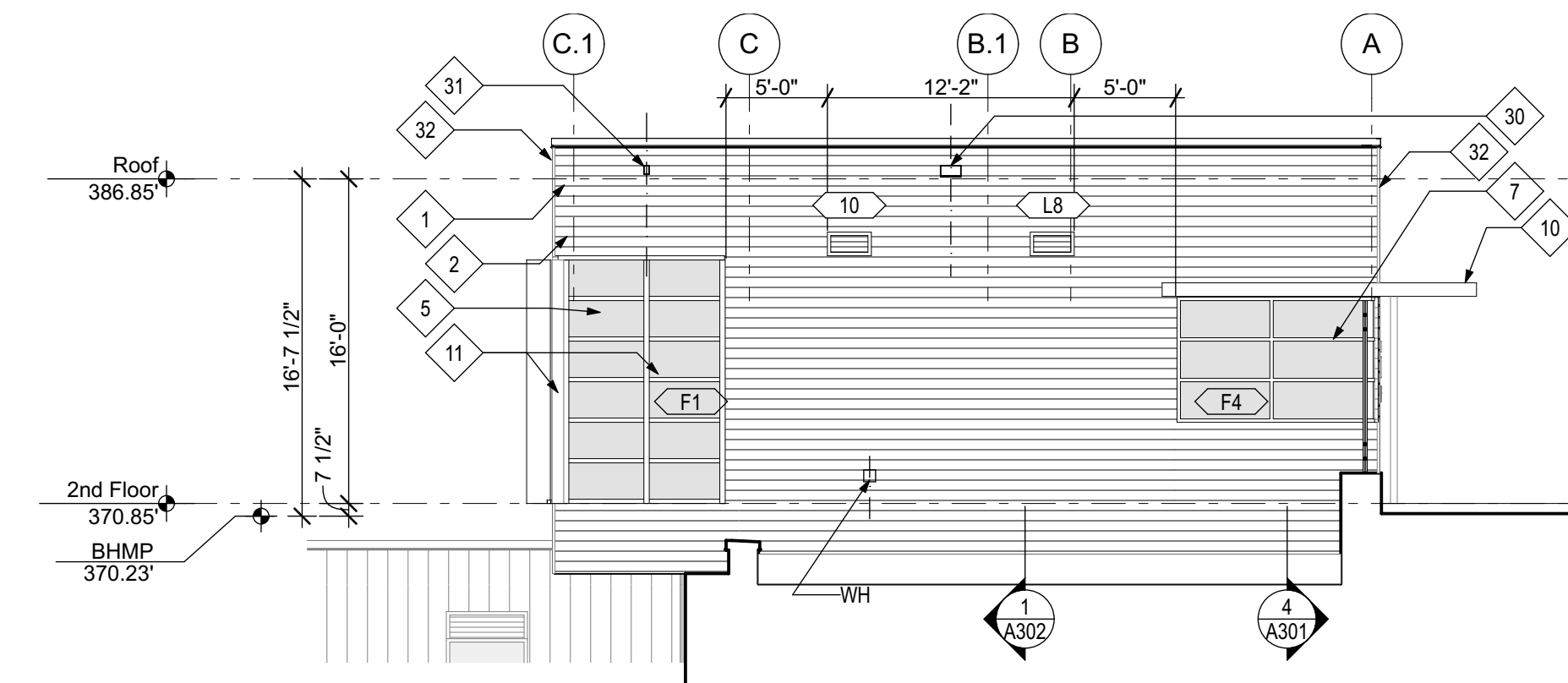
**3 SOUTH ELEVATION 02A**

SCALE: 1/8" = 1'-0"



**4 EAST ELEVATION 02A**

SCALE: 1/8" = 1'-0"



**5 NORTH ELEVATION 02A**

SCALE: 1/8" = 1'-0"

ELEVATION / BUILDING SECTION GENERAL NOTES

- A. REVIEW ALL DEVICE LOCATIONS WITH MTL PANEL LAYOUT.
- B. METAL PANEL PATTERN IS NOT FINAL, BUT REPRESENTATIVE OF APPROXIMATE DISTRIBUTION AND PATTERN COMPLEXITY. FINAL DESIGN AND COLOR SELECTION TO BE REVIEWED. ALLOW FOR (4) COLORS TOTAL.

ELEVATION KEYED NOTES

1. METAL COPING.
2. LONGBOARD HORIZONTAL METAL CLADDING.
- 3A. CONCRETE WALL W ST-2 VENEER AND ST-1 CAP.
- 3B. PERMANENT SHEETING & SHORING W PRECAST LAGGING. ST-2 VENEER CLADDING ST-1 CAP. SEE STRUCT.
4. CMU WALL W CONC WALL CAP. BLOCK FILLER & HIGH PERFORMANCE COATING.
5. CURTAINWALL WITH SOLARBAN 70 IGU.
6. CANOPY BEYOND.
7. STOREFRONT WITH SOLARBAN 70 IGU ( LAMINATED GLASS 1/4" + PVB + 1/8" @ OUTER PANE).
- 8A. EXTERIOR LIGHTING SEE ELECT. CENTER ON DR OR WINDOW.
- 8B. EXTERIOR LIGHTING SEE ELECT. MTD TO FENCE POST.
9. METAL PANEL SIDING.
10. CANOPY WITH 'C' CHANNELS AT PERIMETER AND METAL PANEL CLADDING WITH MITERED CORNERS AND EDGES.
11. VERTICAL SUNSHADES.
12. STEEL FRAMED ENCLOSURE W STL AND ACRYLIC PANELS BY LIFT MFR.
13. SLOPING GRADE BEYOND.
14. MTL PICKET FENCING. SEE LANDSCAPE DRAWINGS.
15. GREEN WALL. REFER LANDSCAPE DRAWINGS.
16. GALVANIZED DOOR AND FRAME, PTD.
17. INSULATED BRAKE METAL INFILL PANEL. SET FLUSH W ADJACENT WINDOW FRAME.
18. MEDIUM STILE ALUMINUM DOORS WITH DOOR PULLS.
19. SUNSHADE.
20. HOT DIPPED GALVANIZED RAILING.
21. BIKE RACK.
22. BUILDING SIGNAGE.
23. CARD READER.
24. CHAINLINK FENCING. SEE LANDSCAPE DRAWINGS.
25. CHAINLINK GATE W PANIC HDWR & ALARM.
26. PRE-ENGINEERED GALVANIZED & POWDER COATED STL STAIR WITH HANDRAIL & PLATFORM.
27. EXTERIOR WATER FOUNTAIN / BOTTLE FILLING STATION.
28. APPROX LOCATION OF TRASH & RECYCLING. SEE LANDSCAPE.
29. SS BREAK MTL BASE TRIM.
30. SCUPPER. SEE EXTERIOR DETAILS. COORD FINISH W COPING & SIDING FOR LOCATION.
31. PHOTOCELL FOR EXTERIOR LIGHTING - SEE ELECT. BLACK FINISH. GO TO CONFIRM ONO OBSTRUCTIONS.
32. ALUMINUM EDGE TERMINATION TRIM BY SIDING MFR.
33. FLASHING - SEE WALL SECT.
34. APPROX EXTENT OF STONE BLW GRADE.

PROJECT

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Mark	Date	Description
01	6/11/18	Design Development Set
02	11/20/18	FTG Permit Submission
03	02/06/19	Permit Submission
04	02/20/19	Pool Gutter Revision

Drawing Title:  
BUILDING EXTERIOR ELEVATIONS

Graphic Scale: 1/8" = 1'-0"  
0 4' 8' 16'

Project No: 1614 Date: 02/06/2019

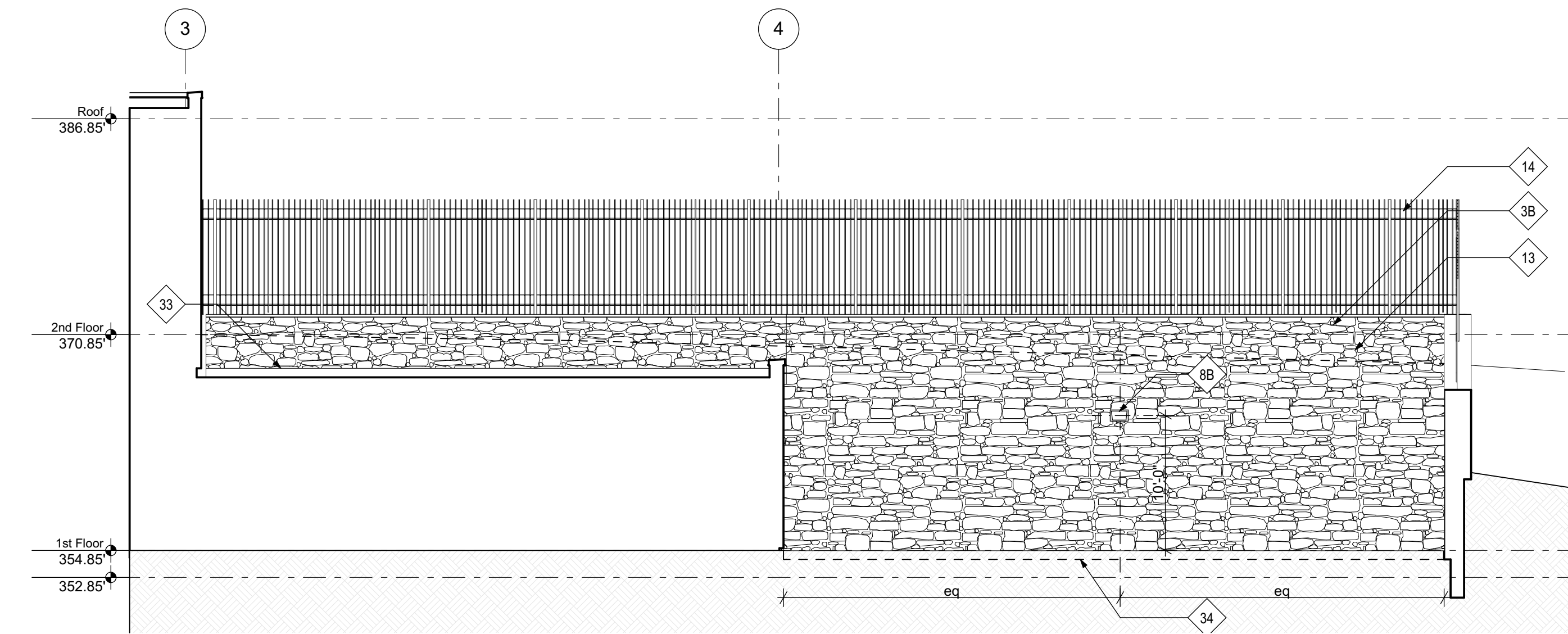
Drawing No: **A202**

ELEVATION / BUILDING SECTION GENERAL NOTES

- A. REVIEW ALL DEVICE LOCATIONS WITH MTL PANEL LAYOUT.
- B. METAL PANEL PATTERN IS NOT FINAL, BUT REPRESENTATIVE OF APPROXIMATE DISTRIBUTION AND PATTERN COMPLEXITY. FINAL DESIGN AND COLOR SELECTION TO BE REVIEWED. ALLOW FOR (4) COLORS TOTAL.

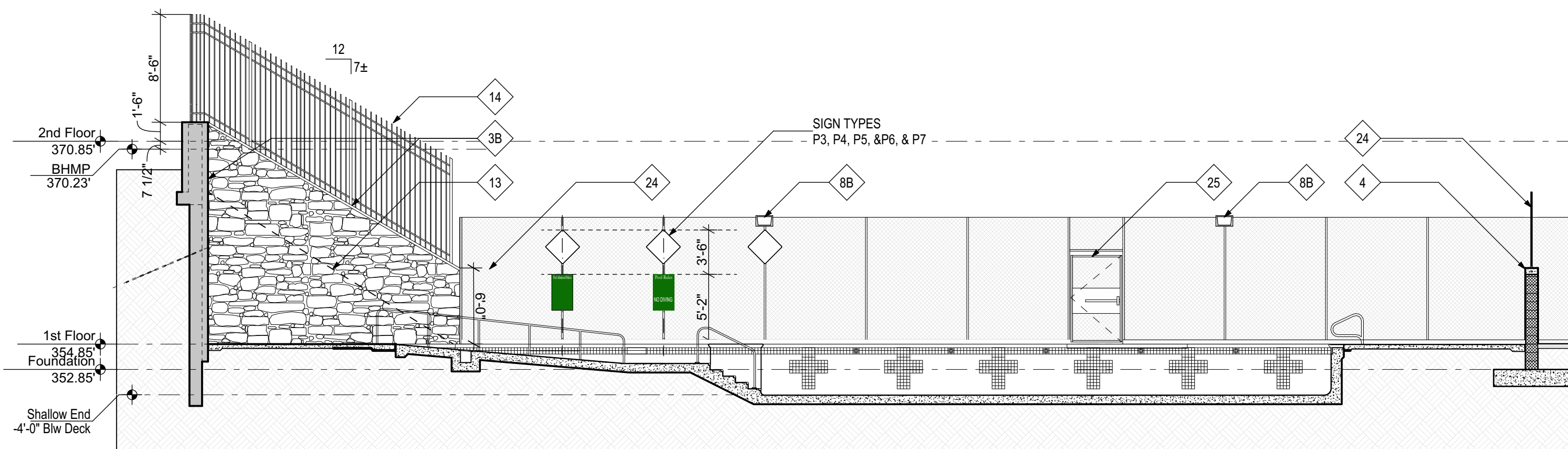
ELEVATION KEYED NOTES

1. METAL COPING.
2. LONGBOARD HORIZONTAL METAL CLADDING.
- 3A. CONCRETE WALL W ST-2 VENEER AND ST-1 CAP.
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13. SLOPING GRADE BEYOND.
14. MTL PICKET FENCING. SEE LANDSCAPE DRAWINGS.
15. GREEN WALL, REFER LANDSCAPE DRAWINGS.
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22. BUILDING SIGNAGE
23. CARD READER
24. CHAINLINK FENCING. SEE LANDSCAPE DRAWINGS.
25. CHAINLINK GATE W PANIC HDWR & ALARM
26. PRE-ENGINEERED GALVANIZED & POWDER COATED STL STAIR WITH HANDRAIL & PLATFORM
27. EXTERIOR WATER FOUNTAIN / BOTTLE FILLING STATION
28. APPRFX LOCATION OF TRASH & RECYCLING. SEE LANDSCAPE.
29. SS BREAK MTL BASE TRIM
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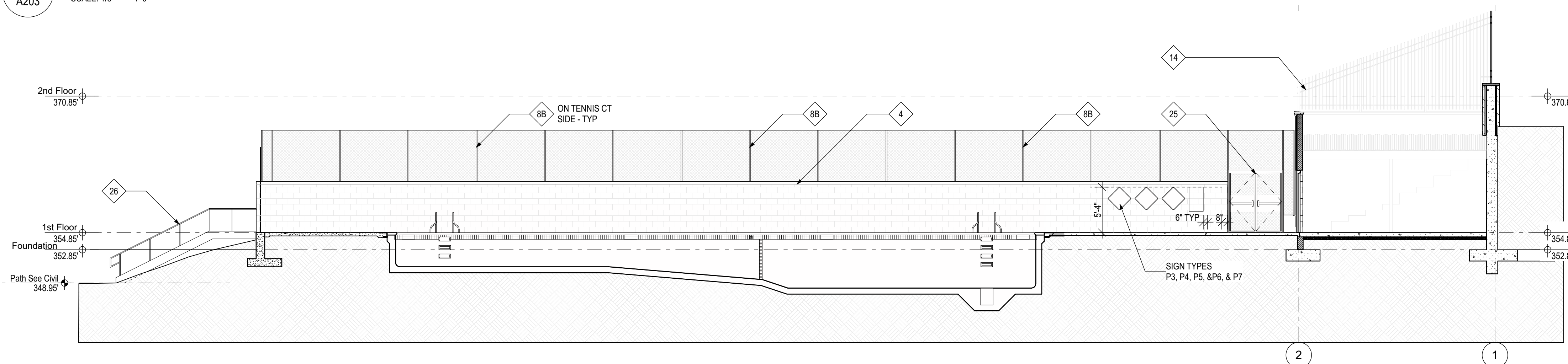
1 WEST POOL DECK

A203 SCALE: 1/8" = 1'-0"



2 NORTH POOL DECK

A203 SCALE: 1/8" = 1'-0"



3 EAST POOL DECK ELEVATION

A203 SCALE: 1/8" = 1'-0"

PROJECT

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LANDSCAPE ARCHITECT

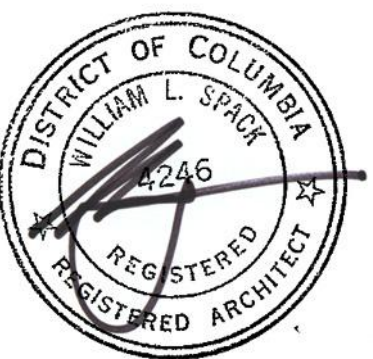
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Drawing Title:  
BUILDING SITE ELEVATIONS

Graphic Scale:

Project No: 1614 Date: 02/06/2019

Drawing No: **A203**