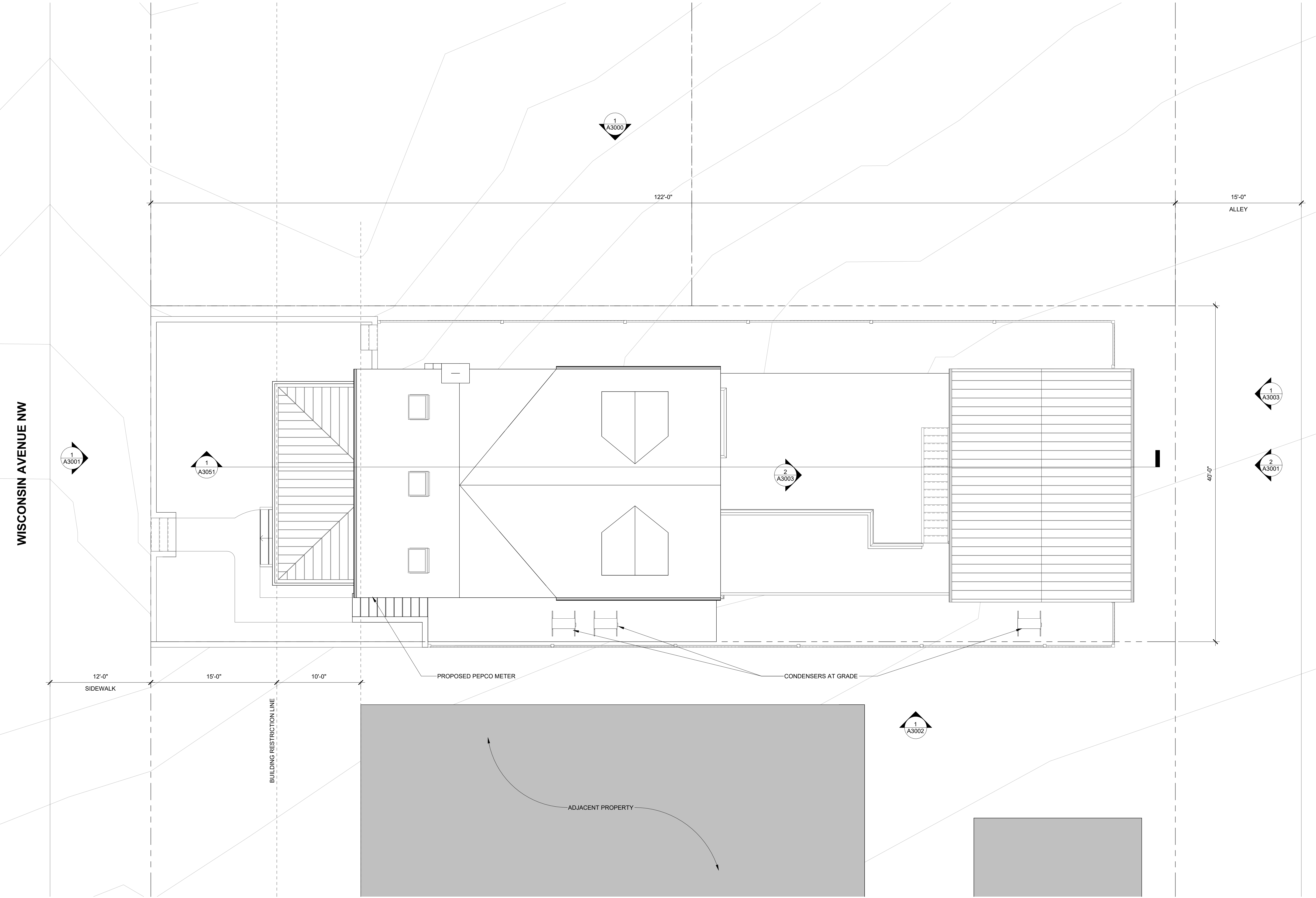


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1 ARCHITECTURAL SITE PLAN
A1000 / 3/16" = 1'-0"



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ARCHITECTURAL SITE
PLAN

GRAPHIC SCALES



DATE SUBMISSION NAME

DATE DESCRIPTION

STAMP



PROJECT NUMBER
24010

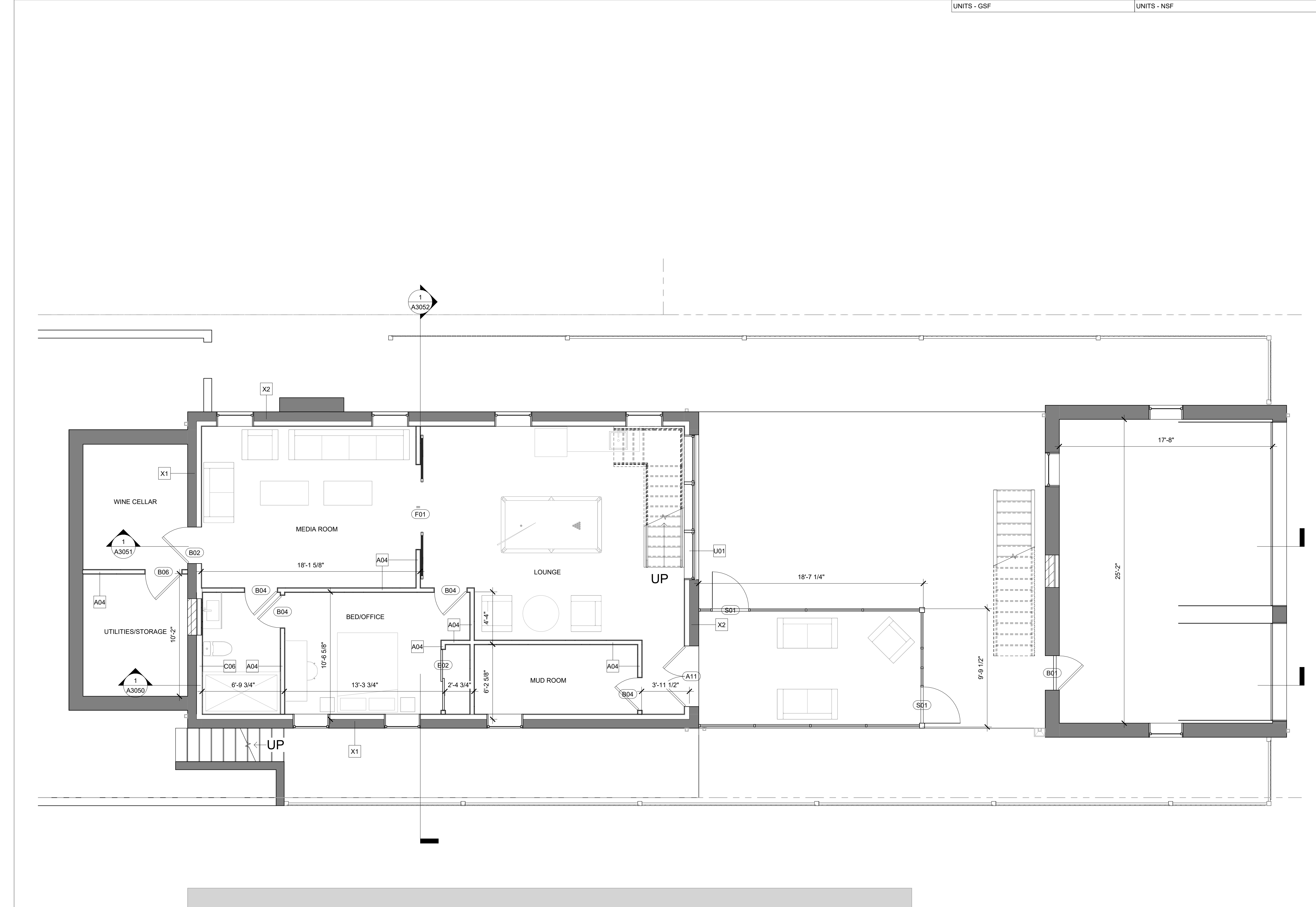
SCALE
3/16" = 1'-0"

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A1000



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1 CELLAR PLAN
A1001 1/4" = 1'-0"

UNITS - GSF

UNITS - NSF

GENERAL NOTES - PLAN

- A. ALL INTERIOR PARTITIONS WITHIN THE UNIT TO BE NON RATED AND ALL UNIT PARTITIONS TO BE RATED 1 HOUR
- B. ALL DIMENSIONS ON PLANS ARE FROM FACE OF CORE (WOOD STUD OR CMU WALL) UNLESS OTHERWISE NOTED
- C. COORDINATE WINDOW SIZES WITH ROUGH OPENINGS
- D. CONFIRM ALL STAIR CLEARANCES & LANDINGS DURING LAYOUT PRIOR TO START OF FRAMING
- E. SLOPE CONCRETE SLAB @ AREAWAYS TOWARD FLOOR DRAIN, 1/4" PER 1'-0"
- F. AIR BARRIER AND INSULATION INSTALLATION TO COMPLY WITH ENERGY CODE
- G. SPOT ELEVATIONS ARE TO THE TOP OF THE SLAB OR SUB FLOOR
- H. ROOFS SHALL HAVE ONE OF THE FOLLOWING: 1.A. MINIMUM THREE-YEAR-AGED SOLAR REFLECTANCE OF 0.55 AND A MINIMUM THREE-YEAR-AGED THERMAL EMITTANCE OF 0.75 WHEN TESTED IN ACCORDANCE WITH CRRC-1 STANDARD. 2.A. MINIMUM INITIAL SOLAR REFLECTANCE INDEX OF 82 64 FOR ROOFS 2:12 OR LESS AND 39 FOR ROOFS GREATER THAN 2:12 IN SLOPE, WHEN DETERMINED IN ACCORDANCE WITH THE SOLAR REFLECTANCE INDEX METHOD IN ASTM E1980 USING A CONVECTION COEFFICIENT OF 2.1 BTU/H-FT²-°F, BASED ON THREE-YEAR-AGED SOLAR REFLECTANCE AND THREE-YEAR-AGED THERMAL EMITTANCE TESTED IN ACCORDANCE WITH CRRC-1 STANDARD

3X3 AREA FOR DOB USE



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DRAWING TITLE
PLAN - CELLAR

GRAPHIC SCALES

PLAN KEYNOTES

- P01 RECESSED FIRE EXTINGUISHER WITH 2-A RATING; TWO PER FLOOR TO COVER 6,700 SF AREA PER FLOOR; SEE G0006 FOR MOUNTING HEIGHT
- P02 5 - ONE OVER ONE BICYCLE LOCKERS; 10 TOTAL
- P03 WATER FILLING STATION AND DRINKING FOUNTAIN WITH WATER FILTER
- P04 UTILITY SINK
- P05 PLANTER WITH BENCH
- P06 HOSE BIB WITH LOCK
- P07 SOLAR PANEL, TYP.
- P08 GREEN ROOF, SEE CIVIL FOR MORE DETAILED INFO
- P09 MECH. AREA FOR CONDENSERS, GENERATOR, SEE MEP SET
- P10 40 GALLON LOWBOY ELEC WATER HEATER; 24" DIA; BELOW HANGING STORAGE
- P11 WASHER / DRYER
- P12 WASH BOX / DRYER BOX WALL
- P13 RIDGE
- P14 OVERFLOW DRAIN
- P15 ROOF DRAIN AT PH ROOF
- P16 INTERNAL WALL DRAIN TO WALL SPOUT AT BASE OF WALL; MOUNTED 1'-0" ABOVE FLR ELEVATION
- P17 INTERNAL DRAIN FROM MAIN ROOF / 4TH FLR CEILING TO 2ND FLR / 1ST FLR CEILING
- P18 ROOF DRAIN AT MAIN ROOF
- P19 DRAIN LINE RUN THROUGH TRUSSES (SOLID GREY LINES)
- P20 NO SMOKING SIGN; MOUNTED 5'-0" AFF
- P21 TALL PULL OUT PANTRY CABINET
- P22 SHAFT FOR ELECTRICAL FEEDERS, REFRIDGERANT LINES, DATA & TELECOM, CORRIDOR HVAC
- P23 ROOF ACCESS - SHIPS LADDER AND 4'X4' ROOF HATCH
- P24 INTERNAL DRAIN FROM 4TH FLR CEILING TO 2ND FLR / 1ST FLR CEILING
- P25 WALL SCUPPER OVERFLOW DRAIN



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A1001

UNITS - GSF

UNITS - NSF

GENERAL NOTES - PLAN

- A. ALL INTERIOR PARTITIONS WITHIN THE UNIT TO BE NON RATED AND ALL UNIT PARTITIONS TO BE RATED 1 HOUR
- B. ALL DIMENSIONS ON PLANS ARE FROM FACE OF CORE (WOOD STUD OR CMU WALL) UNLESS OTHERWISE NOTED
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3X3 AREA FOR DOB USE



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PLAN - 1ST FLOOR

GRAPHIC SCALES



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DATE DESCRIPTION

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24010

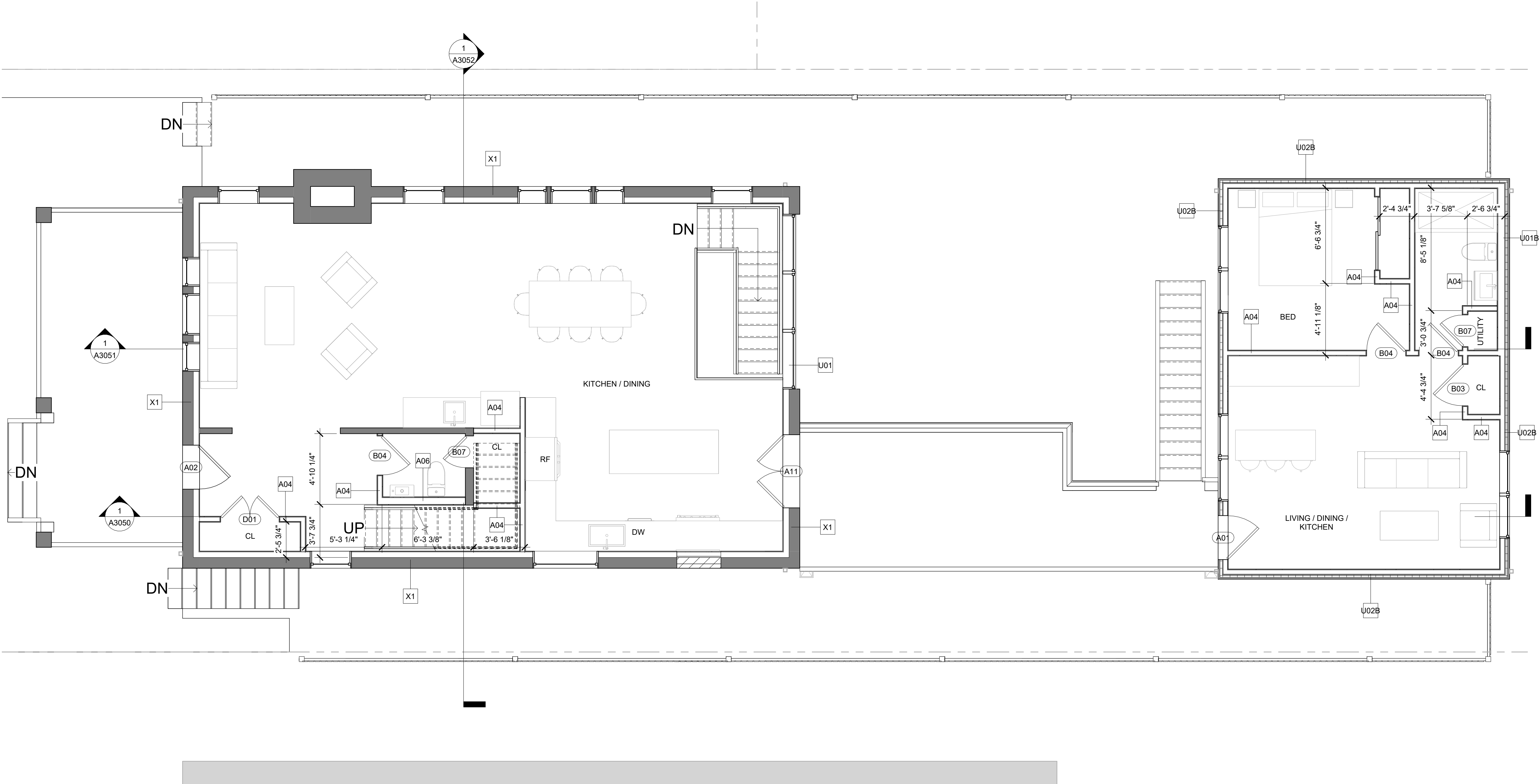
SCALE
As indicated

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ISSUE DATE
09/06/2024

DRAWING NUMBER

A1002



1 1ST FLOOR PLAN
A1002 1/4" = 1'-0"

UNITS - GSF

UNITS - NSF

GENERAL NOTES - PLAN

- A. ALL INTERIOR PARTITIONS WITHIN THE UNIT TO BE NON RATED AND ALL UNIT PARTITIONS TO BE RATED 1 HOUR
- B. ALL DIMENSIONS ON PLANS ARE FROM FACE OF CORE (WOOD STUD OR CMU WALL) UNLESS OTHERWISE NOTED
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3X3 AREA FOR DOB USE



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DRAWING TITLE
PLAN - 2ND FLOOR

GRAPHIC SCALES

PLAN KEYNOTES		
P01	RECESSED FIRE EXTINGUISHER WITH 2-A RATING; TWO PER FLOOR TO COVER 6,700 SF AREA PER FLOOR; SEE G0006 FOR MOUNTING HEIGHT	
P02	5 - ONE OVER ONE BICYCLE LOCKERS; 10 TOTAL	
P03	WATER FILLING STATION AND DRINKING FOUNTAIN WITH WATER FILTER	
P04	UTILITY SINK	
P05	PLANTER WITH BENCH	
P06	HOSE BIB WITH LOCK	
P07	SOLAR PANEL, TYP.	
P08	GREEN ROOF, SEE CIVIL FOR MORE DETAILED INFO	
P09	MECH. AREA FOR CONDENSERS, GENERATOR, SEE MEP SET	
P10	40 GALLON LOWBOY ELEC WATER HEATER; 24" DIA; BELOW HANGING STORAGE	
P11	WASHER / DRYER	
P12	WASH BOX / DRYER BOX WALL	
P13	RIDGE	
P14	OVERFLOW DRAIN	
P15	ROOF DRAIN AT PH ROOF	
P16	INTERNAL WALL DRAIN TO WALL SPOUT AT BASE OF WALL; MOUNTED 1'-0" ABOVE FLR ELEVATION	
P17	INTERNAL DRAIN FROM MAIN ROOF / 4TH FLR CEILING TO 2ND FLR / 1ST FLR CEILING	
P18	ROOF DRAIN AT MAIN ROOF	
P19	DRAIN LINE RUN THROUGH TRUSSES (SOLID GREY LINES)	
P20	NO SMOKING SIGN; MOUNTED 5'-0" AFF	
P21	TALL PULL OUT PANTRY CABINET	
P22	SHAFT FOR ELECTRICAL FEEDERS, REFRIDGERANT LINES, DATA & TELECOM, CORRIDOR HVAC	
P23	ROOF ACCESS - SHIPS LADDER AND 4'X4' ROOF HATCH	
P24	INTERNAL DRAIN FROM 4TH FLR CEILING TO 2ND FLR / 1ST FLR CEILING	
P25	WALL SCUPPER OVERFLOW DRAIN	

STAMP



PROJECT NUMBER
24010

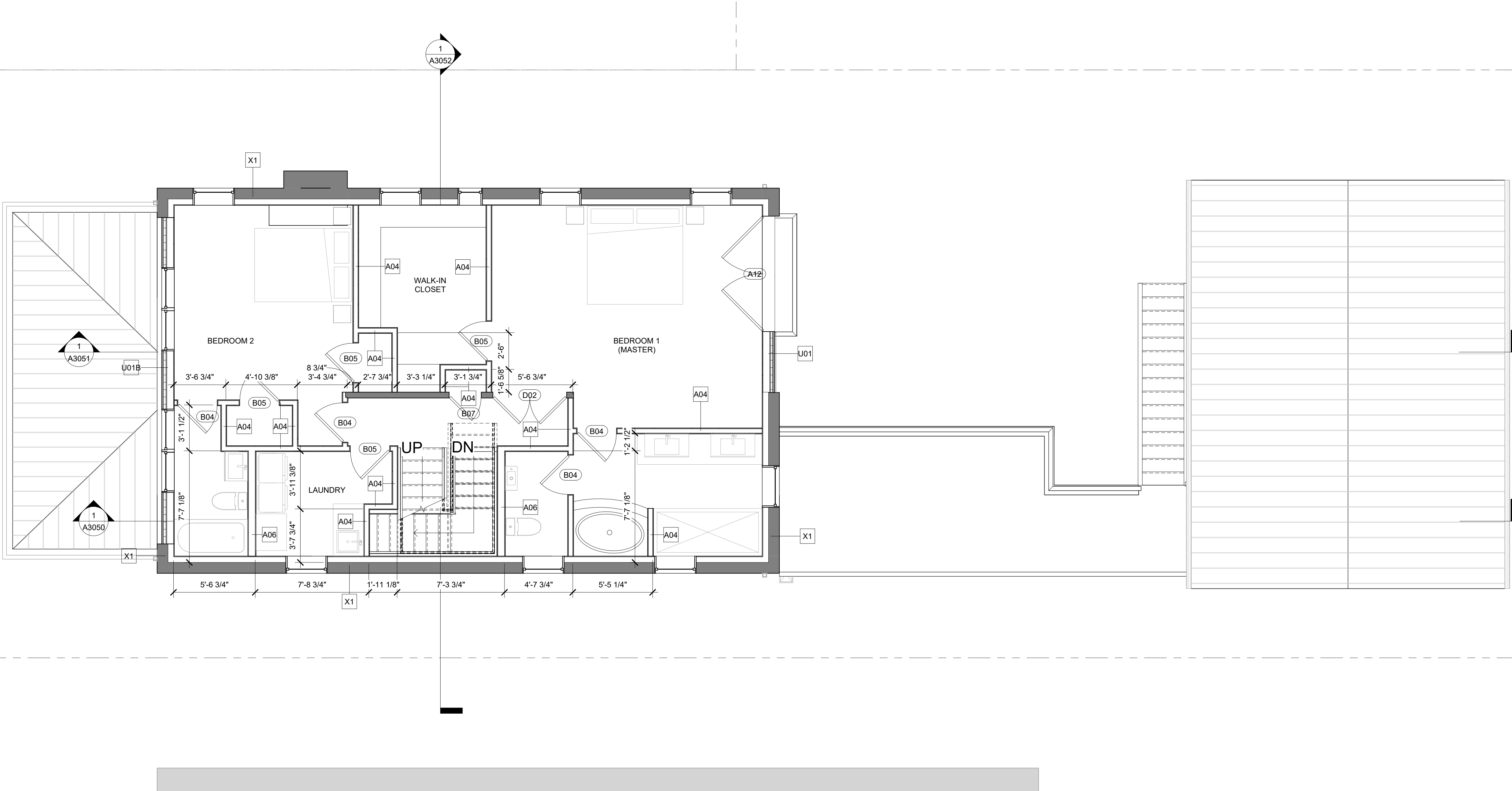
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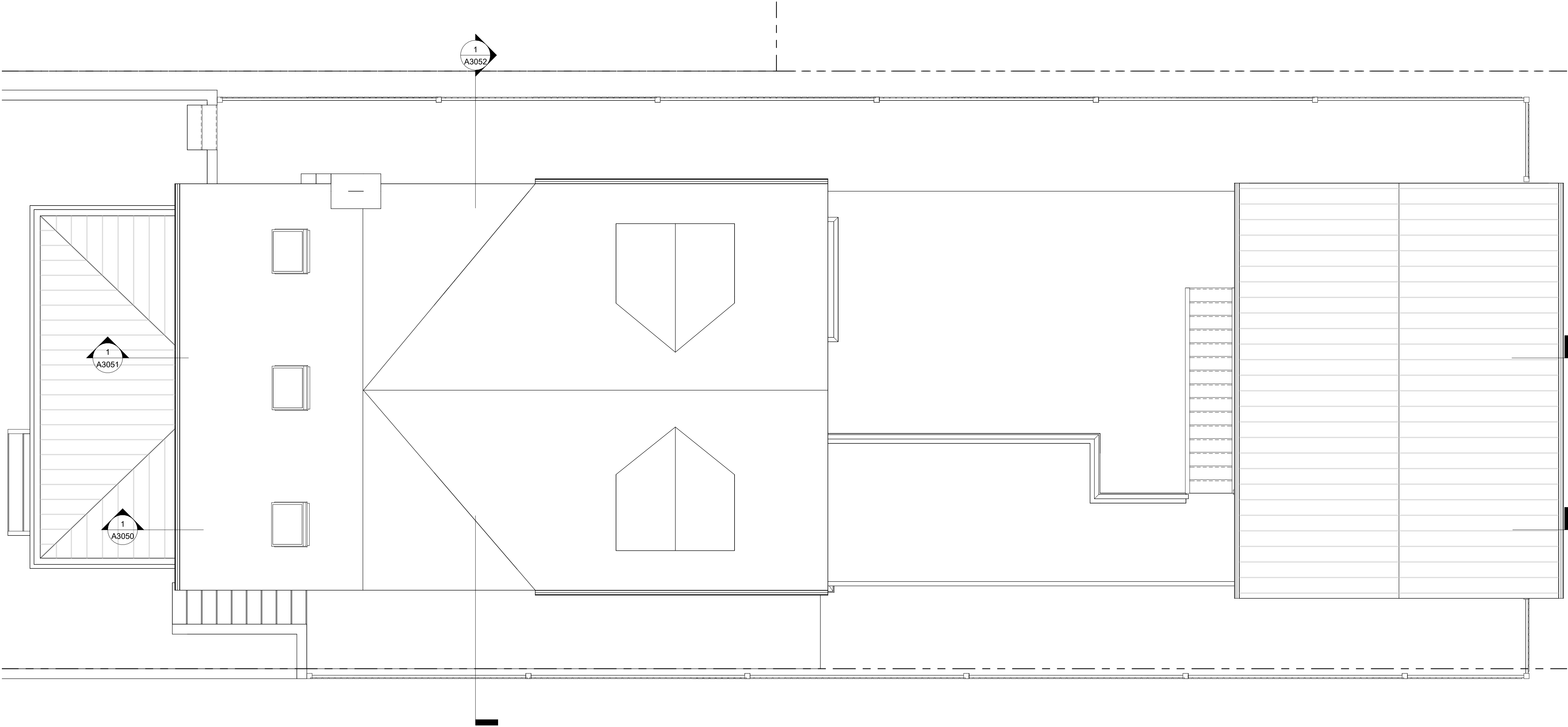
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DRAWING NUMBER

A1003



1 2ND FLOOR PLAN
A1003 1/4" = 1'-0"



1 ROOF PLAN
A1005 1/4" = 1'-0"

GENERAL NOTES - PLAN

- A. ALL INTERIOR PARTITIONS WITHIN THE UNIT TO BE NON RATED AND ALL UNIT PARTITIONS TO BE RATED 1 HOUR
- B. ALL DIMENSIONS ON PLANS ARE FROM FACE OF CORE (WOOD STUD OR CMU WALL) UNLESS OTHERWISE NOTED
- C. COORDINATE WINDOW SIZES WITH ROUGH OPENINGS
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- E. SLOPE CONCRETE SLAB @ AREAWAYS TOWARD FLOOR DRAIN, 1/4" PER 1'-0"
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PLAN KEYNOTES

- P01 RECESSED FIRE EXTINGUISHER WITH 2-A RATING; TWO PER FLOOR TO COVER 6,700 SF AREA PER FLOOR; SEE G0006 FOR MOUNTING HEIGHT
- P02 5 - ONE OVER ONE BICYCLE LOCKERS; 10 TOTAL
- P03 WATER FILLING STATION AND DRINKING FOUNTAIN WITH WATER FILTER
- P04 UTILITY SINK
- P05 PLANTER WITH BENCH
- P06 HOSE BIB WITH LOCK
- P07 SOLAR PANEL, TYP.
- P08 GREEN ROOF, SEE CIVIL FOR MORE DETAILED INFO
- P09 MECH. AREA FOR CONDENSERS, GENERATOR, SEE MEP SET
- P10 40 GALLON LOWBOY ELEC WATER HEATER; 24" DIA; BELOW HANGING STORAGE
- P11 WASHER / DRYER
- P12 WASH BOX / DRYER BOX WALL
- P13 RIDGE
- P14 OVERFLOW DRAIN
- P15 ROOF DRAIN AT PH ROOF
- P16 INTERNAL WALL DRAIN TO WALL SPOUT AT BASE OF WALL; MOUNTED 1'-0" ABOVE FLR ELEVATION
- P17 INTERNAL DRAIN FROM MAIN ROOF / 4TH FLR CEILING TO 2ND FLR / 1ST FLR CEILING
- P18 ROOF DRAIN AT MAIN ROOF
- P19 DRAIN LINE RUN THROUGH TRUSSES (SOLID GREY LINES)
- P20 NO SMOKING SIGN; MOUNTED 5'-0" AFF
- P21 TALL PULL OUT PANTRY CABINET
- P22 SHAFT FOR ELECTRICAL FEEDERS, REFRIDGERANT LINES, DATA & TELECOM, CORRIDOR HVAC
- P23 ROOF ACCESS - SHIPS LADDER AND 4'X4' ROOF HATCH
- P24 INTERNAL DRAIN FROM 4TH FLR CEILING TO 2ND FLR / 1ST FLR CEILING
- P25 WALL SCUPPER OVERFLOW DRAIN

3X3 AREA FOR DOB USE



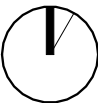
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PLAN - ROOF

GRAPHIC SCALES



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A1005

134

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GRAPHIC SCALES

#	DATE	DESCRIPTION
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A3000



134

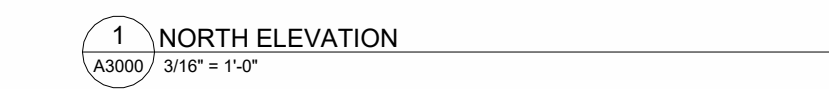
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GRAPHIC SCALES

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DRAWING NUMBER

A3000



EXTERIOR MATERIALS	
MARK	DESCRIPTION
CP1	FIBER CEMENT PANEL
CM1	CORRUGATED METAL
MC1	METAL COPING
PC1	PAINTED CONCRETE
PM1	PAINTED METAL
WT1	WOOD TILE

3X3 AREA FOR DOB USE



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DRAWING TITLE
EAST & WEST
ELEVATION

GRAPHIC SCALES

DATE SUBMISSION NAME

DATE DESCRIPTION

STAMP



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SCALE
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ISSUE DATE
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DRAWING NUMBER

A3001



2 EAST ELEVATION
A3001 3/16" = 1'-0"

1 WEST ELEVATION
A3001 3/16" = 1'-0"

EXTERIOR MATERIALS	
MARK	DESCRIPTION
CP1	 FIBER CEMENT PANEL
CM1	 CORRUGATED METAL
MC1	 METAL COPING
PC1	 PAINTED CONCRETE
PM1	PAINTED METAL
WT1	WOOD TILE

3X3 AREA FOR DOB USE



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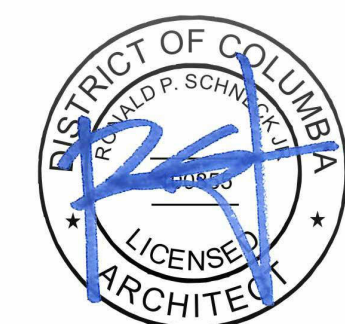
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GARAGE ELEVATIONS

GRAPHIC SCALES

[illegible]

STAMP



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DRAWING NUMBER

A3003

