



FROM BRIGHT MLS

# BUNCH RESIDENCE

## ROOF DECK ADDITION

906 Westminster St NW  
Washington, DC 20001

DRAWING INDEX		PERMIT SET	PERMIT COMMENTS	PERMIT COMMENTS 2	PERMIT COMMENTS 3	PERMIT COMMENTS 4
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S T U D I O  
GUISSE  
ARCHITECTURE + DESIGN  
Ricardo Guisse | 202.386.8734

BUNCH RESIDENCE  
906 Westminister St NW  
Washington, DC  
20001

PROJECT  
Project ID : 2311  
Designer : RG  
Supervisor : OS

CERTIFICATION



License # : PE901193  
Jurisdiction : DISTRICT OF COLUMBIA  
Expiration : 08/31/2024

ISSUE		
#	Release	Date
	Permit Set	15 JAN 2024
	Permit Comments	2 JUL 2024
	Permit Comments 2	6 AUG 2024
	Permit Comments 3	26 AUG 2024
	Permit Comments 4	27 OCT 2024

SHEET TITLE  
COVER

SHEET NUMBER  
G000



GENERAL NOTES

1. Work performed shall comply with these general notes and construction documents.
2. Construction shall be performed in accordance with all current building, health, and life safety codes and regulations within the project's jurisdiction, including any other applicable state or national codes and requirements. See building code summary.
3. In areas where the drawings do not address methodology, the contractor shall be bound to perform in strict compliance with manufacturer's specifications and/or recommendations.
4. On-site verification of all dimensions and conditions shall be responsibility of the general contractor and his subcontractors. Drawings are dimensionally correct.
5. The general notes and typical details apply throughout the job unless otherwise noted or shown. There are no representations as to quantities whatsoever. The contractor shall be responsible for a thorough knowledge of the drawings and specifications and for his own quantity estimations.
6. Discrepancies: the contractor shall compare and coordinate all drawings; when in the opinion of the contractor, a discrepancy exists he shall promptly report it for proper adjustment before proceeding with the work.
7. Omissions: in the event certain features of the construction are not fully shown on the drawings, their construction shall be of the same character as for similar conditions that are shown or noted.
8. The designer will not be responsible for and will not have control over construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the work, and will not be responsible for the failure of the client or his contractors, subcontractors, or anyone performing any of the work, to carry out the work in accordance with the approved contract documents.
9. Use temporary bracing as required to stabilize basement walls and superstructure until permanent construction is in place. The basic stability of the structure is dependent upon the diaphragm action of the floors, walls and roof acting together. Contractor to provide all guys, braces, struts, etc. As required to accommodate all live, dead and wind loads until all final connections between these elements are made.
10. Unless otherwise specifically noted, the contractor shall provide and pay for all labor, materials, equipment, tools, construction equipment and machinery, water, heat, utilities, transportation, and other facilities and services necessary for the proper execution and completion of the work.
11. The contractor shall at all times enforce strict discipline and good order among his employees and shall not employ on the job any unfit person or anyone not skilled in the task assigned to him.
12. Contractor shall pay all sales, consumer, use and other similar taxes required by law. Unless otherwise provided, contractor shall secure and pay for all permits, fees and licenses necessary for the proper execution and completion of the work.
13. The contractor shall give all notices and comply with all laws, ordinances, rules, regulations, and order of any public authority bearing on the performance of the work. If the contractor observes that any of the contract documents are in variance there with in any respect, he shall promptly notify the designer/architect in writing, and any necessary changes shall be adjusted by appropriate modification. If contractor performs any work knowing it to be contrary to such laws, ordinances, rules and regulations, and without such notice to the designer/architect, he shall assume full responsibility therefore and shall bear all cost attributable thereto.
14. Contractor shall confine operations at the site to areas permitted by law, ordinances, permits; and the contract documents and shall not unreasonably encumber the site with any materials or equipment.
15. The contractor shall be responsible for lines, elevations, measurements of building and other work executed under this contract.
16. Refer discrepancies between drawing and specifications to designer/architect for adjustment before work affected is performed. Failure to make such notification shall place the responsibility upon contractor to carry out work in a satisfactory and workmanlike manner.
17. The general contractor shall submit, with reasonable promptness and in such sequence as to cause no delay in the work of any separate contractor, all shop drawings, product data, and samples required by the construction specifications. Contractor shall discuss and submit samples of paint, carpet, wall covering, wood finish, etc. To owner prior to any fabrication and installation.
18. By submitting shop drawings, product data, and samples, the general contractor represents that he has determined and verified all materials, field measurements, and field construction criteria related thereto, or will do so, and that he has checked and coordinated the information contained within such submittals with the requirements of the work and of the construction specifications.
19. No portion of the work requiring submission of a shop drawing, product data, or sample shall be commenced until the submittal has been approved by the owner and designer/architect. All such portions of the work shall be in accordance with approved submittals.
20. The general contractor shall at all times keep the premises free from accumulation of waste materials or rubbish caused by his operations. At the completion of the work he shall remove all his waste materials and rubbish from and about the project as well as all his tools, construction equipment, machinery, And surplus materials.
21. If the general contractor fails to clean up daily and at the completion of the work. The owner may do so and the cost thereof shall be charged to the general contractor.
22. Any damage to or theft of new or existing construction caused by the contractor's negligence or inadequate protective or security measures during construction are to be corrected at the contractor's expense.

SYMBOLS

- 1  
A1

DETAIL MARKER
- 1  
A1

ELEVATION MARKER
- 1  
A1

SECTION MARKER
- 100'-0"  
T.O.S.

ELEVATION DATUM
- N

NORTH ARROW
- D-X

DOOR NUMBER
- W-X

WINDOW NUMBER
- 1

KEYNOTE
- ⚠

REVISION NUMBER

ABBREVIATIONS

- ACC  
ACT  
ADJ  
AFF  
ALUM  
APPROX  
BLKG  
BOB  
BLDG  
CAB  
CLG  
CLR  
CMU  
CTR  
COL  
CONC  
CONT  
CONC  
CW  
DEG  
DTL  
DIA  
DIM  
DN  
DWG  
EA  
ELEV  
ELEC  
EQUIP  
EQ  
EXIST  
EXP  
EXT  
FF  
FLR  
FT  
FV  
GALV  
GC  
GWB  
HC  
HDR  
HDWD  
HDWR  
HM  
HORZ

ACCESSIBLE  
ACOUSTICAL CEILING TILE  
ADJACENT  
ABOVE FINISHED FLOOR  
ALUMINIUM  
APPROXIMATE  
BLOCKING  
BOTTOM OF BEAM  
BUILDING  
CABINET  
CEILING  
CLEAR / CLEARANCE  
CONCRETE MASONRY UNIT  
CENTER  
COLUMN  
CONCRETE  
CONTINUOUS  
CONSTRUCTION  
OPENING  
DEGREES  
DETAIL  
DIAMETER  
DIMENSION  
DOWN  
DRAWING(S)  
EACH  
ELEVATION  
ELECTRICAL  
EQUIPMENT  
EQUAL  
EXISTING  
EXPOSED  
EXTERIOR  
FINISHED FLOOR  
FLOOR  
FOOT / FEET  
FIELD VERIFY  
GALVANIZED  
GENERAL CONTRACTOR  
GYPSUM WALL BOARD  
HOLLOW CORE  
HEADER  
HARDWOOD  
HARDWARE  
HOLLOW METAL  
HORIZONTAL

HR  
HVAC  
  
HW  
INSUL  
INFO  
MAX  
MECH  
MEP  
  
MFR  
MIN  
MIN  
MTL  
NAT  
NIC  
NTS  
OA  
OC  
OPNG  
PLYWD  
PM  
PT  
R  
REF  
REQD  
REV  
SC  
SHT  
SIM  
SPEC  
SQ  
SF  
SS  
STL  
STOR  
SUSP  
TEL  
TEMP  
TOW  
TYP  
UNO  
VERT  
VIF  
WH  
WD

HOUR  
HEATING, VENTILATING, AND AIR  
CONDITIONING  
HOT WATER  
INSULATION  
INFORMATION  
MAXIMUM  
MECHANICAL  
MECHANICAL, ELECTRICAL, AND  
PLUMBING  
MANUFACTURER  
MINIMUM  
METAL  
NATURAL  
NOT IN CONTRACT  
NOT TO SCALE  
OVERALL  
ON CENTER  
OPENING  
PLYWOOD  
PROJECT MANAGER  
PAINT  
RADIUS  
REFERENCE  
REQUIRED  
REVISED / REVISION  
SOLID CORE  
SHEET  
SIMILAR  
SPECIFICATION(S)  
SQUARE  
SQUARE FEET  
STAINLESS STEEL  
STEEL  
STORAGE  
SUSPENDED  
TELEPHONE  
TEMPORARY  
TOP OF WALL  
TYPICAL  
UNLESS NOTED OTHERWISE  
VERTICAL  
VERIFY IN FIELD  
WATER HEATER  
WOOD

FIRE RATING DATA

IN ACCORDANCE TO TABLE R302.1 (2) OF THE 2017 IRC

- EXTERIOR WALLS FIRE-RESISTANCE RATED:  
EXTERIOR WALLS NOT FIRE-RESISTANCE RATED:

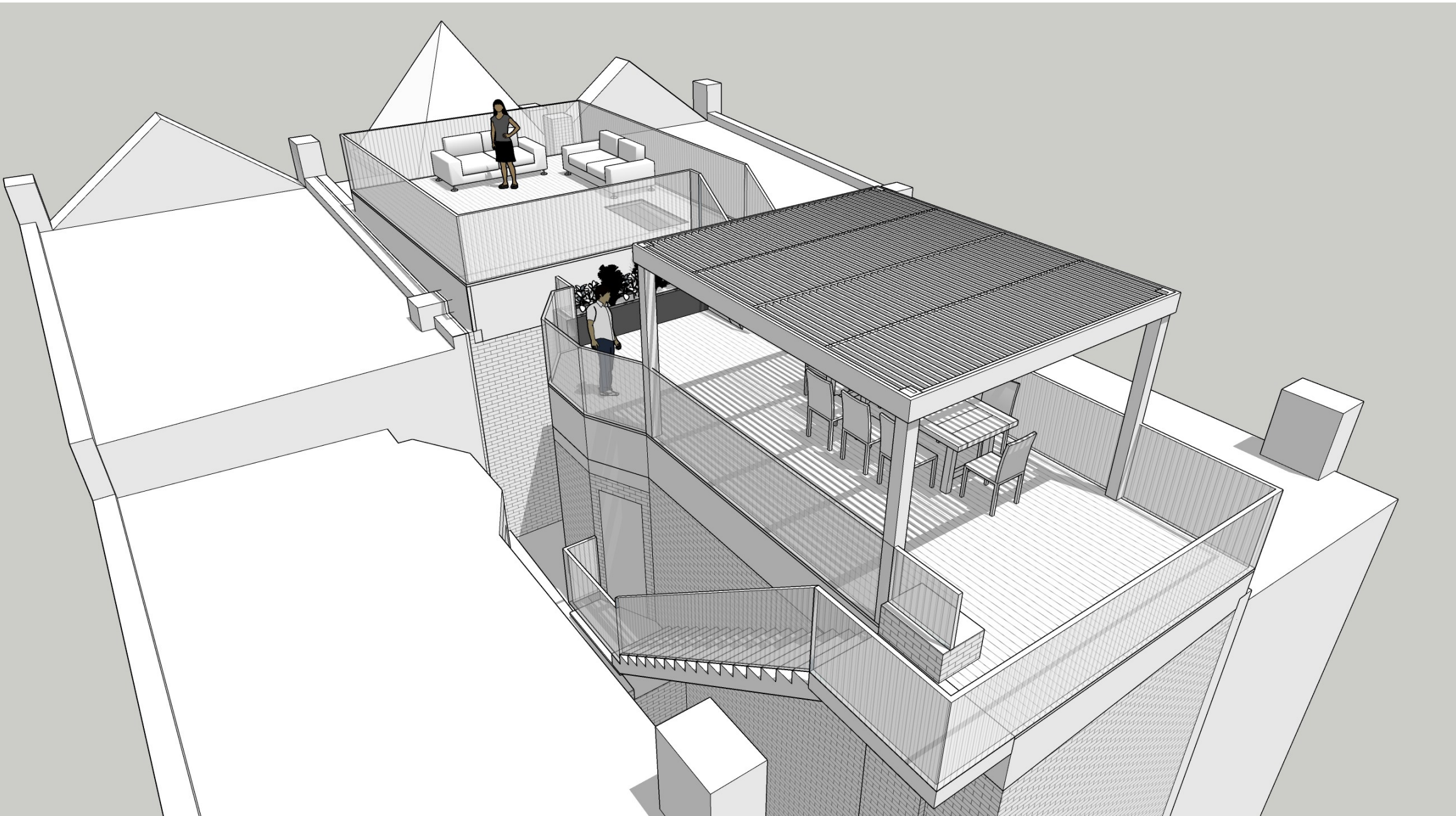
1 HOUR  
0 HOUR
- EXTERIOR PROJECTIONS FIRE-RESISTANCE RATED:  
EXTERIOR PROJECTIONS NOT FIRE-RESISTANCE RATED:

1 HOUR ON THE UNDERSIDE  
0 HOUR
- OPENINGS IN WALLS NOT ALLOWED:  
OPENINGS IN WALLS UNLIMITED:

N/A  
0 HOUR RATED
- PENETRATIONS:

COMPLY W/ R302.4 FROM IRC

PERSPECTIVE (CONCEPTUAL)



PROJECT TEAM

- CLIENT**  
STEPHEN D. BUNCH  
906 Westminister Street NE  
Washington, DC 20001  
(617) 821-9095 | sdbunc@gmail.com

**JURISDICTIONAL AUTHORITY**  
DISTRICT OF COLUMBIA  
Department of Buildings  
1100 4th Street SW  
Washington, DC 20024  
(202) 442-4400
- ARCHITECTURAL DESIGNER**  
RICARDO GUISSÉ  
400 Galloway Street NE, 441S  
Washington, DC 20011  
(202) 386-8734 | ricardo@studioguisse.com

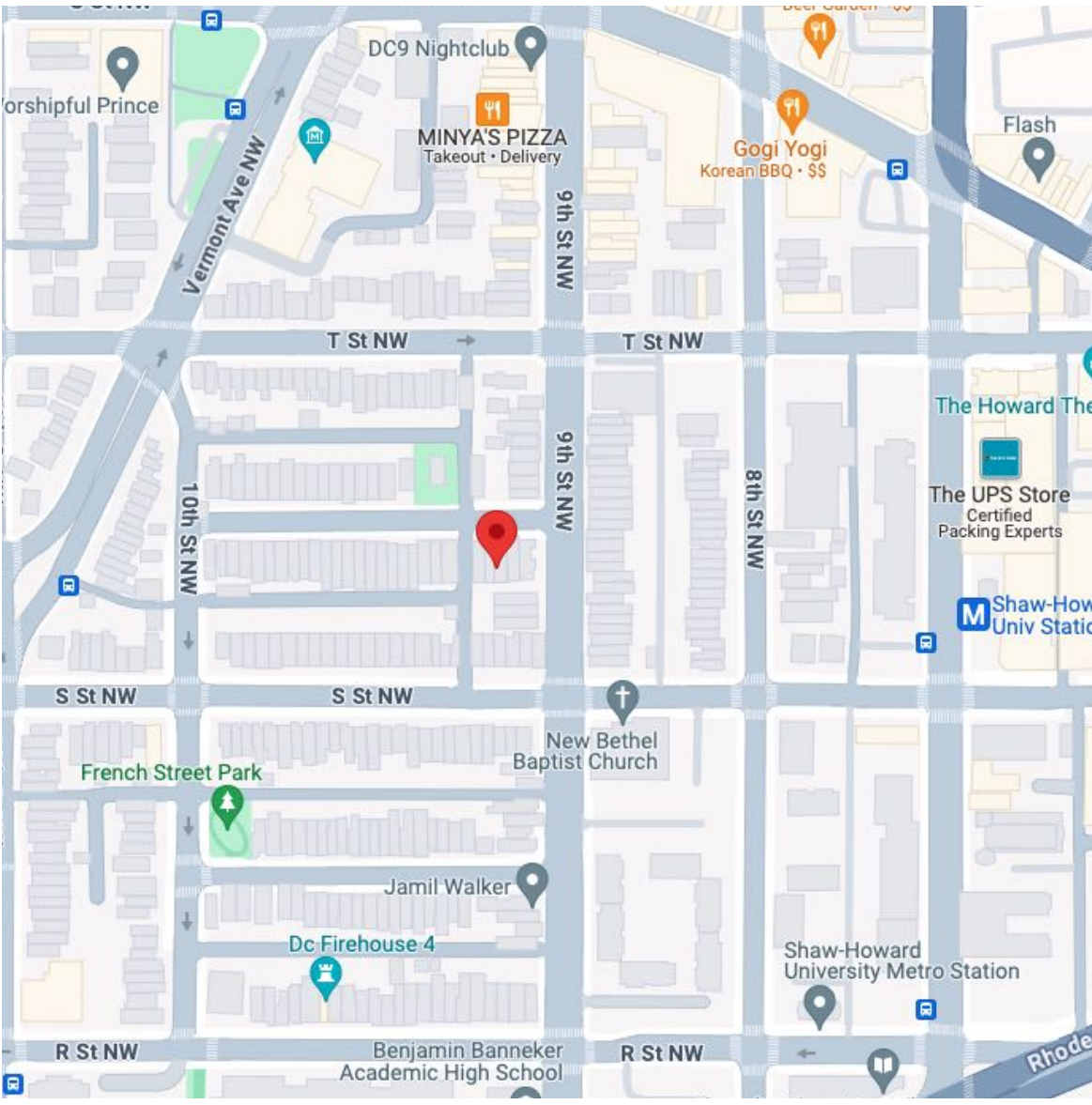
**STRUCTURAL ENGINEER**  
OM SHARMA  
3D STRUCUTRAL ENGINEERS  
4903 Auburn Avenue, Suite 204  
Bethesda, MD 20814  
(301) 986-8458 | om@3dsengineers.com

BUILDING CODE SUMMARY

- APPLICABLE CODES

2017 DISTRICT OF COLUMBIA BUILDING CODE  
THE DISTRICT OF COLUMBIA CONSTRUCTION CODES SUPPLEMENT OF 2017  
ADOPTS AND AMENDS THE FOLLOWING CODES:  
2015 INTERNATIONAL RESIDENTIAL CODE

VICINITY MAP



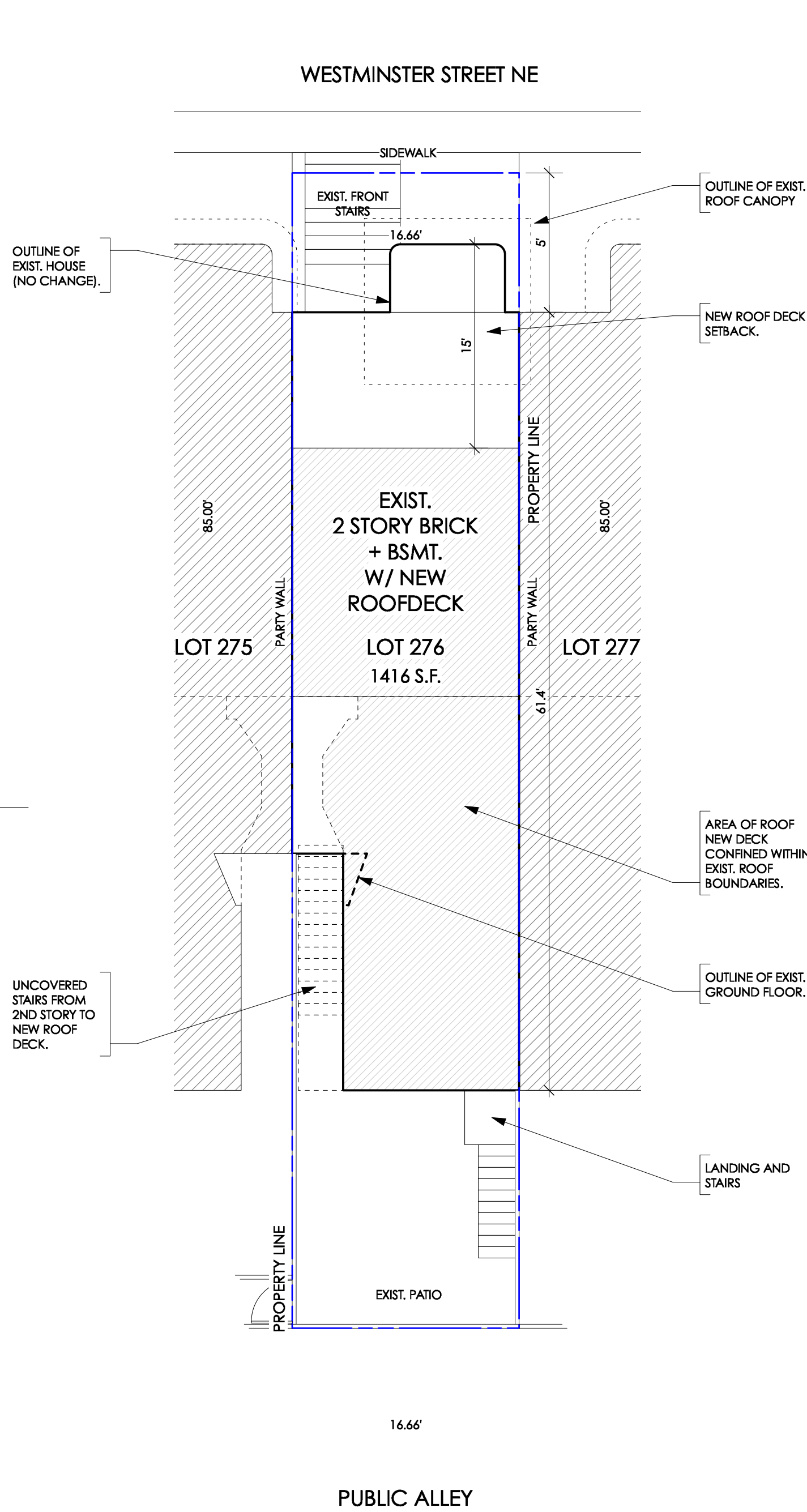
PROJECT DATA

APPLICABLE CODE	DCMR TITLE 11 - ZONING REGULATIONS		
PROPERTY ID	SQUARE 0362, LOT 0276		
ZONE	RF-1		
PROPOSED USE	SINGLE-FAMILY RESIDENCE		
LOT AREA (SQ. FT.)	1416		
	REQUIRED	EXISTING HOUSE	PROPOSED ROOFDECK
BUILDING HEIGHT	35'0"	35'0"	NO CHANGE
# STORIES ABOVE GRADE	3	3	NO CHANGE
BUILDING AREA (SQ. FT.)	849.6	928.3	687.9
LOT OCCUPANCY (%)	60%	65%	48%
FRONT STEPS AREA (SQ. FT.)	NO ALTERATION	68.1	N/A
UNCOVERED STAIRS/LANDING AREA AT ROOF (SQ.FT.)	N/A	-	57.4
UNCOVERED STAIRS/LANDING AREA AT ROOF OCC. (%)	N/A	-	4%
COMBINED LOT OCCUPANCY (%)	N/A	69%	

SCOPE OF WORK

New deck on existing roof.

SITE PLAN



S T U D I O  
GUISSÉ

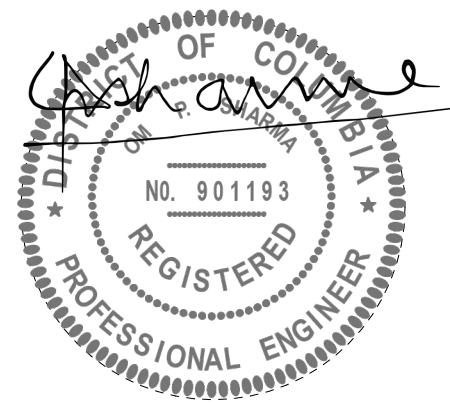
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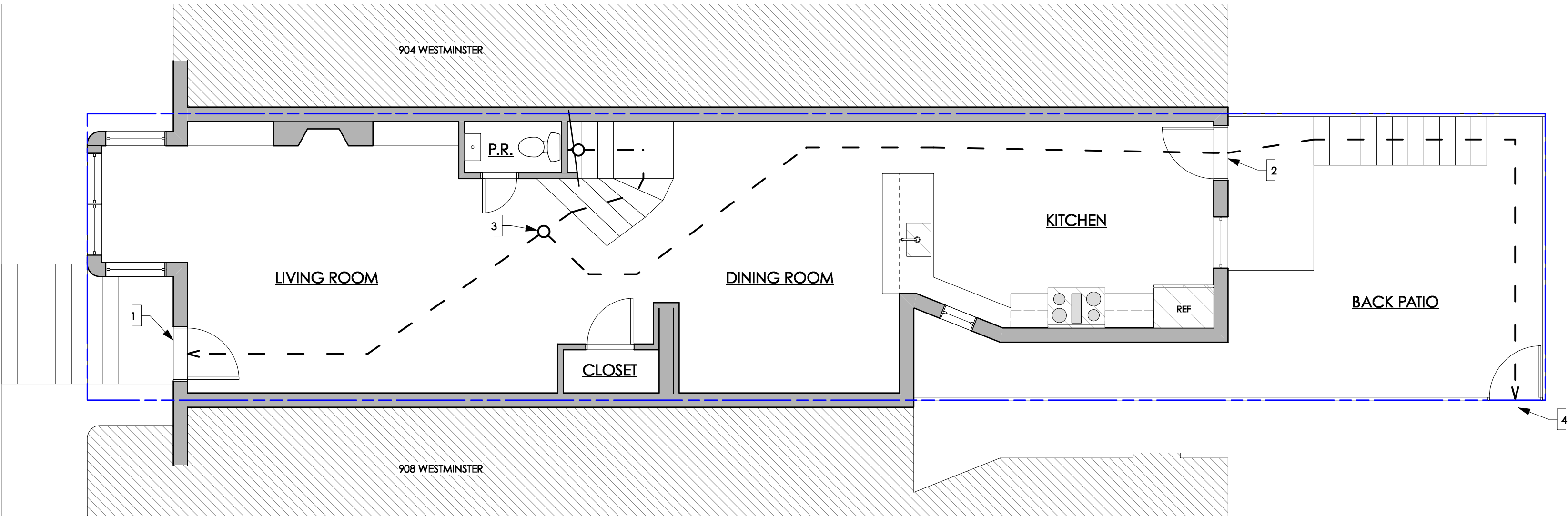
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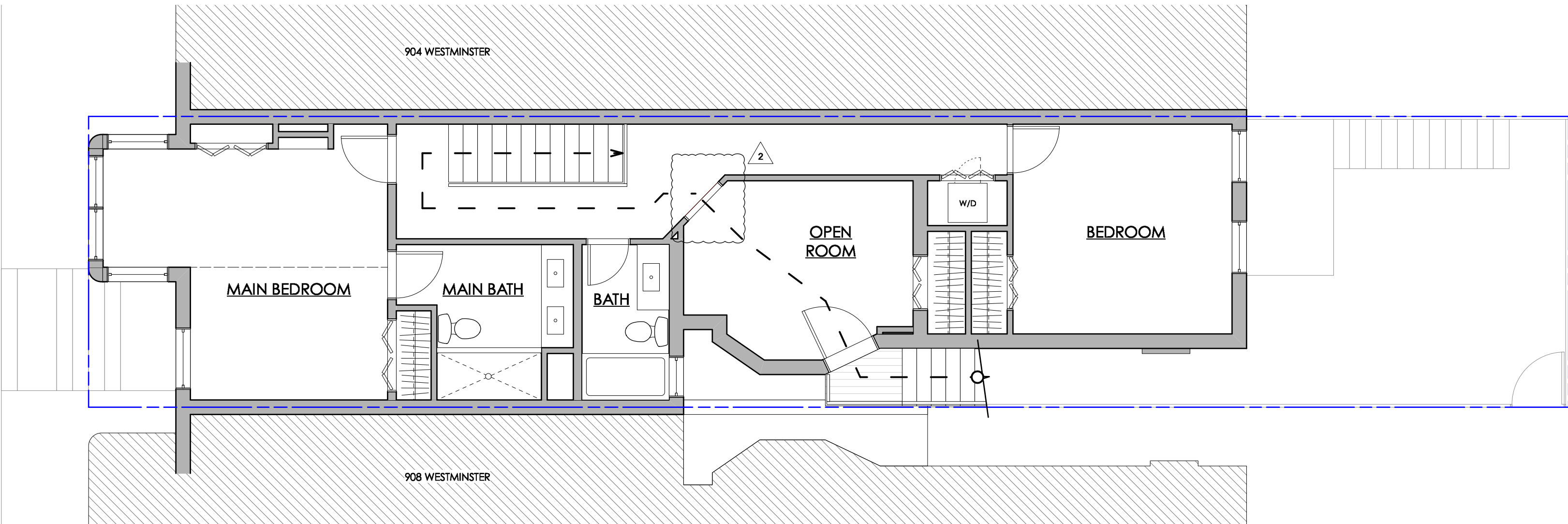
G001



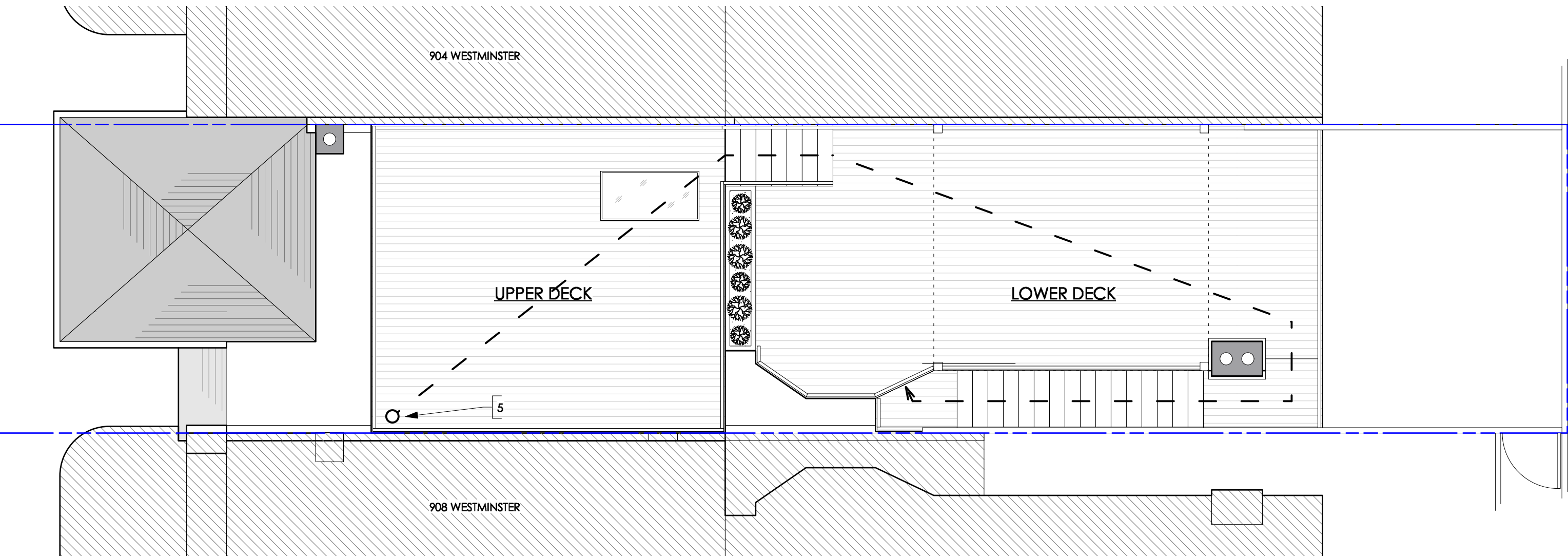
NORTH DIRECTION  
APPLIES TO ALL PLANS



1 FIRST FLOOR PLAN - EGRESS  
Scale: 1/4"=1'-0"



2 SECOND FLOOR PLAN - EGRESS  
Scale: 1/4"=1'-0"



3 ROOF PLAN - EGRESS  
Scale: 1/4"=1'-0"

LEGEND

- ADJ. PROPERTY
- EXISTING WALL
- PATH OF EGRESS
- REMOTE / DECISION POINT
- DIRECTION OF EGRESS

KEYNOTES

- EXISTING FRONT DOOR.
- EXISTING REAR DOOR.
- DECISION POINT AT BOTTOM OF MAIN STAIRS.
- EXIT TO ALLEYWAY.
- MOST REMOTE POINT AT UPPER DECK.

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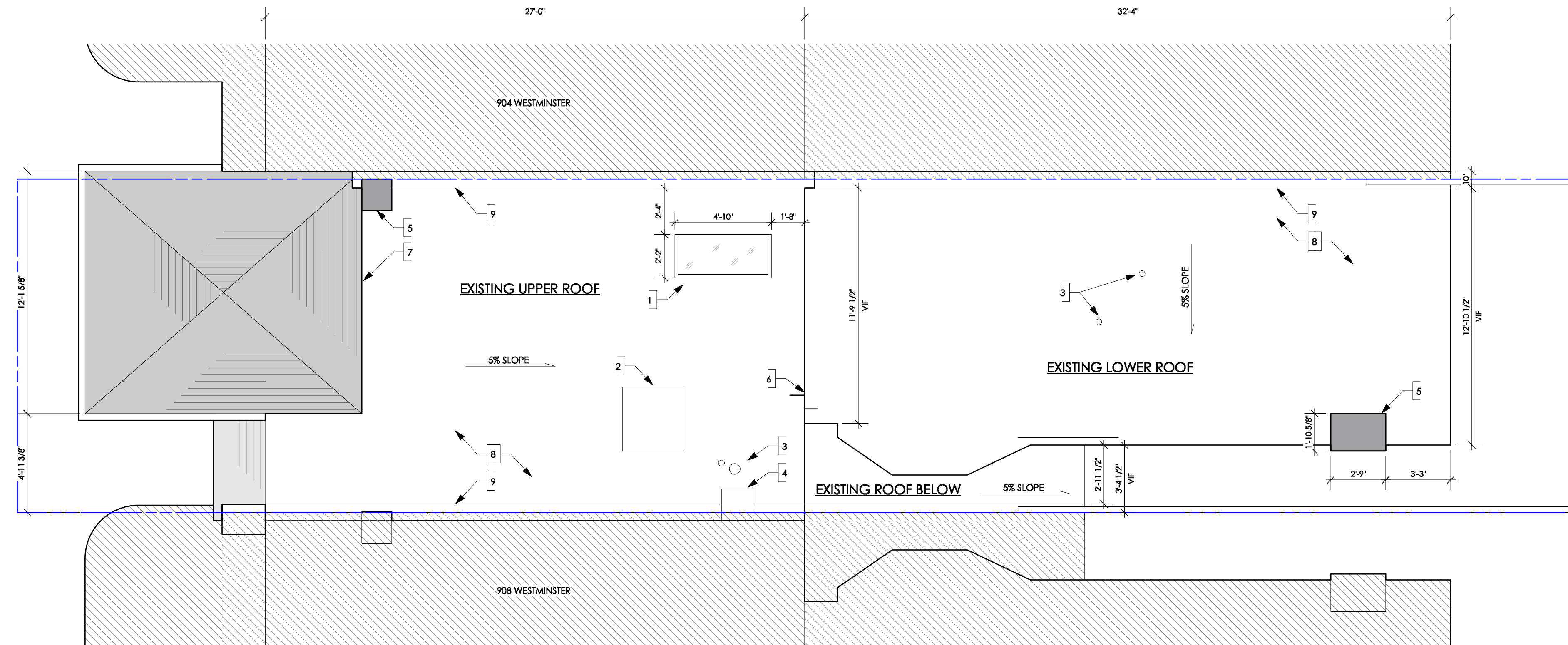
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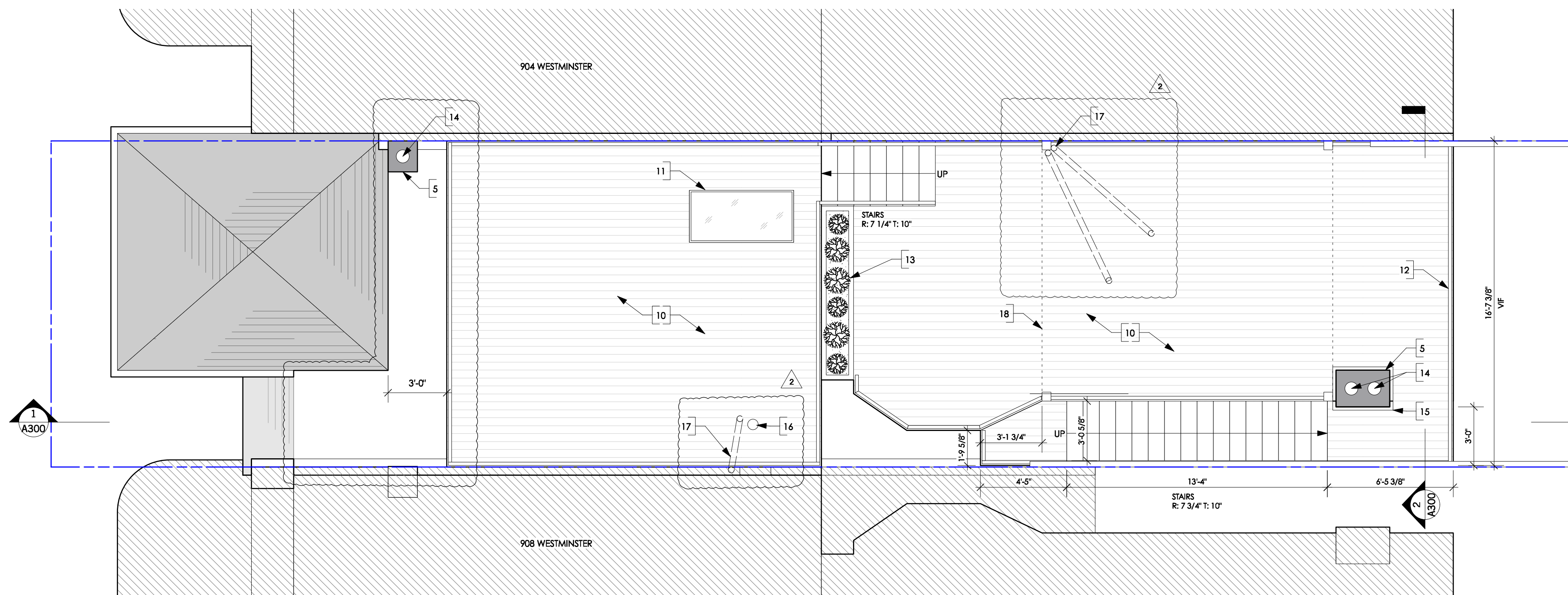
EGRESS PLANS

SHEET NUMBER

G002

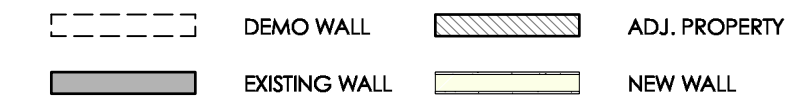


1 EXISTING ROOF PLAN  
Scale: 1/4"=1'-0"



2 PROPOSED ROOF DECK PLAN  
Scale: 1/4"=1'-0"

### LEGEND



### GENERAL FLOOR PLAN NOTES

- A. ALL NEW DIMENSIONS ARE FROM FINISH SURFACE TO FINISH SURFACE UNLESS OTHERWISE NOTED. DIMENSIONS THAT REFERENCE EXISTING CONSTRUCTION ARE TO FACE OF EXISTING FINISH OR COLUMN CENTERLINE UNLESS OTHERWISE NOTED.
- B. ANY DAMAGE TO THE NEW OR EXISTING CONSTRUCTION CAUSED BY THE GENERAL CONTRACTOR'S NEGLIGENCE, INADEQUATE PROTECTION, OR INADEQUATE SECURITY MEASURES DURING CONSTRUCTION ARE TO BE CORRECTED AT THE GENERAL CONTRACTOR'S EXPENSE.
- C. DO NOT SCALE THE DRAWINGS. ANY DIMENSIONAL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER/ARCHITECT FOR CLARIFICATION PRIOR TO COMMENCING WORK.
- D. GENERAL CONTRACTOR TO MATCH AND REPAIR ALL SURFACES TO MATCH ADJACENT SURFACES IN A MANNER SUITABLE TO RECEIVE FINISHES.
- E. GENERAL CONTRACTOR TO PROVIDE PRICING TO PREP & PAINT ANY WALLS OR CEILING SPACES NOT SPECIFIED IN NEW FINISHES; AND TO PROVIDE PRICING TO PREP, PAINT, REPAIR ALL EXISTING WALLS OR FLOOR SPACES NOT SPECIFIED FOR NEW FINISHES.
- F. GENERAL CONTRACTOR TO VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD, AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR OMISSIONS. DISCREPANCIES TO THOSE SHOWN OR INFERRED FROM THE CONSTRUCTION DOCUMENTS, PRIOR TO COMMENCEMENT OF WORK.
- G. PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE GC SHALL PROVIDE SHALL INCLUDE THE FOLLOWING INFORMATION TO THE ARCHITECT'S ON-SITE OFFICE: PARTITION LAY-OUT, WITH DOOR AND DOOR SWING LOCATIONS; OUTLET AND TELEDATA LOCATIONS; SWITCH AND SWITCH BANK LOCATIONS; TRANSFORMER, PANEL, AND DISTRIBUTION PANEL, WIRING AND ELECTRICAL PANEL LOCATIONS; SUPPLY LOCATIONS; MOVABLE PARTITION TRACK LOCATIONS; VAV BOXES AND LIGHTING LOCATIONS.
- H. PROVIDE FIRE TREATED WOOD INSTALLATION OR METAL BLOCKING IN WALLS AS REQUIRED FOR FIRE RESISTANCE OF FIREWORK, FIREWORK, DOORS, WINDOWS, AND ACCESSORIES. REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR SPECIFIC BLOCKING REQUIREMENTS.

## KEYNOTES

1. EXISTING SKYLIGHT.
2. EXISTING ROOF ACCESS.
3. EXISTING STACK.
4. EXISTING SEALED, NON OPERATIONAL, FORMER CHIMNEY.
5. EXISTING CHIMNEY.
6. ROOF ELEVATION CHANGE.
7. EXISTING GABLE.
8. EXISTING WATERPROOFING TO REMAIN.
9. ADJ. PARAPET 10" (TYP.)
10. NEW DECK (EVELED)
11. NEW TEMPERED GLASS, FLUSH W/ DECK.
12. NEW RAILING SURROUNDING DECK. (36" H).
13. NEW PLANTER.
14. OPERATIONAL CHIMNEY FLUE TO BE EXTENDED A MIN. OF 2'-0"
15. ALLOW 2" AIRSPACE TO COMBUSTIBLE FRAMING MEMBER.
16. EXISTING HVAC VENT EXHAUST TERMINATION THROUGH ROOF PER
17. EXTEND AND REROUT VENT STACK TO A MIN. OF 7' ABOVE DECK.
18. NEW PERGOLA ON 6X6 POSTS, W/ 2X4 DOUBERS @ 4' O.C., ON 2X10 RAFTERS.

S T U D I O  
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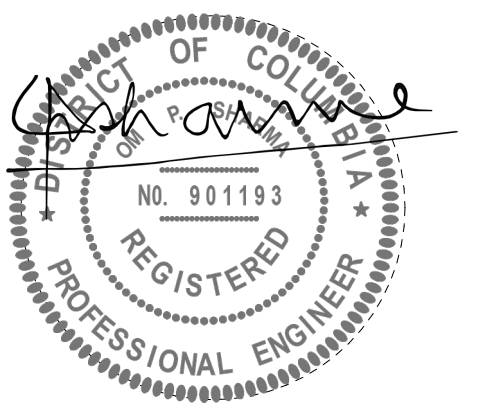
906 Westminister St NW  
Washington, DC

1997

## PROJECT

Project ID : **2311**  
 Designer : **RG**  
 Supervisor : **OS**

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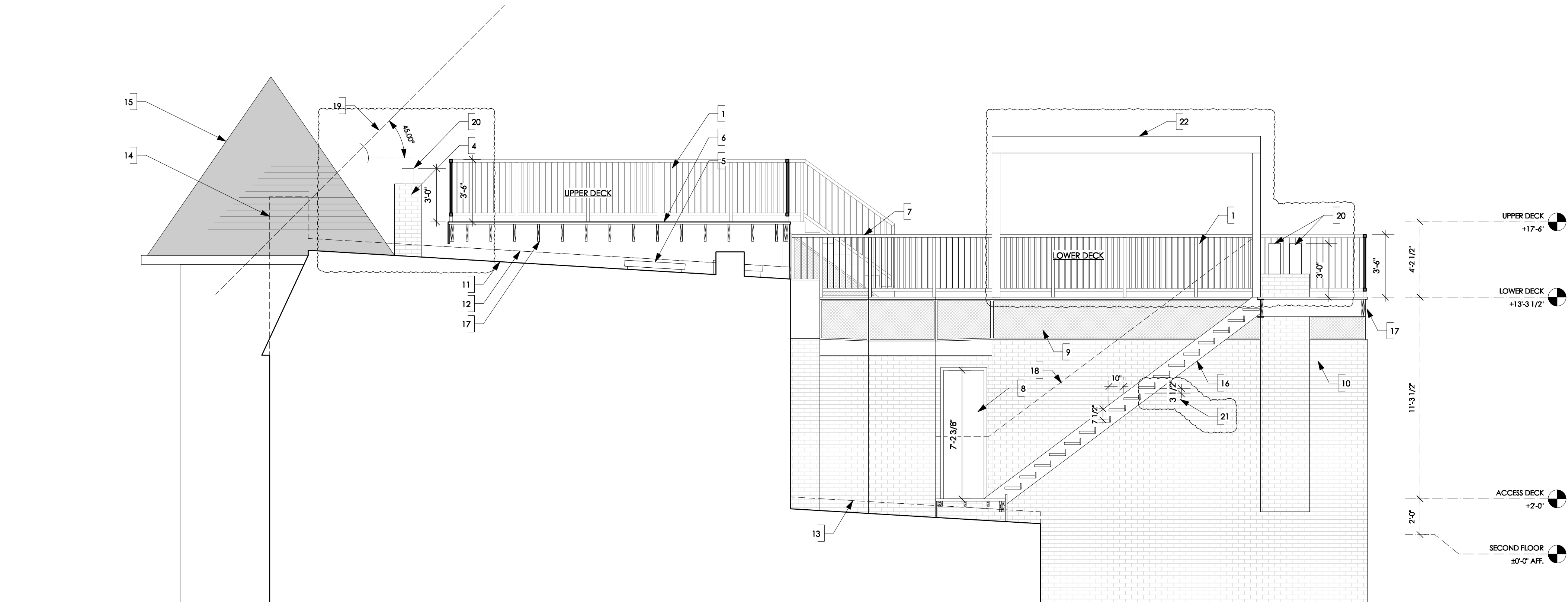
## SHEET TITLE

## PLANS

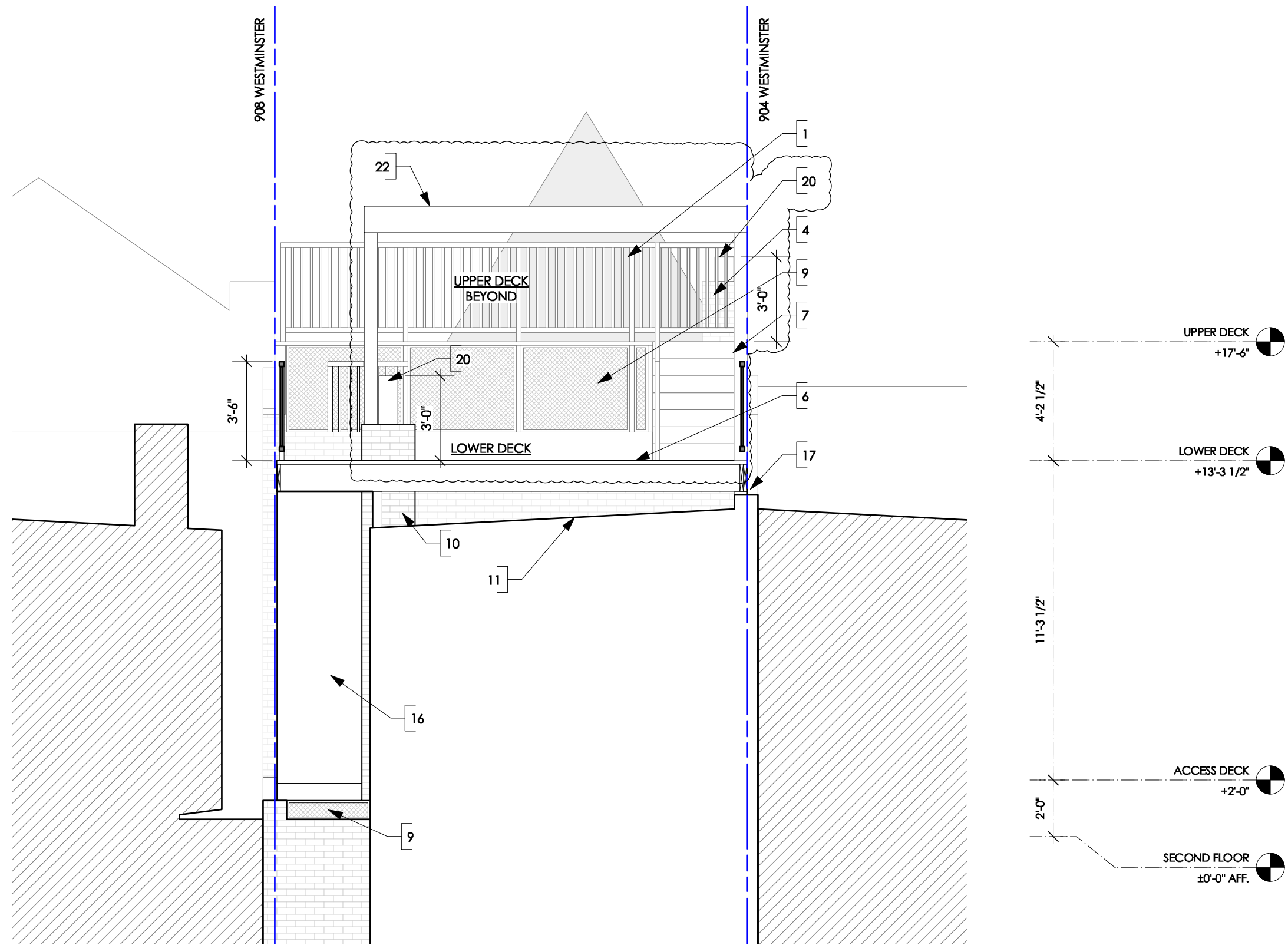
## SHEET NUMBER

# A100





1 SECTION @ STAIRS  
Scale: 1/4"=1'-0"



2 SECTION @ STAIRS  
Scale: 1/4"=1'-0"

LEGEND

- GRADE / SOIL
- EXISTING
- SECTION PROFILE

GENERAL SECTION NOTES

- ALL METAL ELEMENTS SHALL BE PAINTED W/ ANTI-RUST BASED PAINT.
- ALL EXTERIOR WOOD MATERIALS SHALL BE TREATED AND SEALED W/ PROPER COATING OF CLEAR MATTE SEALANT.
- REFER TO STRUCTURAL DRAWINGS FOR TRUSS FRAMING.

KEYNOTES

- NEW RAILING SURROUNDING DECK. (36" H).
- N/A
- N/A
- EXISTING CHIMNEY BEYOND.
- EXISTING ROOF ACCESS.
- NEW DECK (LEVELLED). SEE STRUCTURAL DWGS.
- STAIRS BEYOND.
- NEW DOOR ACCESS USING EXIST. WINDOW CASING.
- DECORATIVE LATTICE TO COVER DECK STRUCTURE.
- EXISTING CHIMNEY.
- EXISTING SLOPPED ROOF (5%), WATERPROOFING TO REMAIN.
- EXISTING PARAPET BEYOND.
- PARAPET UP FRONT.
- ADJ. CHIMNEY UP FRONT.
- EXISTING GABLE TO REMAIN.
- NEW STAIR. STRUCTURE TO BE BRACED AT CANTILEVERED BEAM.
- DECK STRUCTURE TO SPAN OVER EXIST. PARAPET.
- OUTLINE OF RAILING UP FRONT.
- VISUAL DERIVATION FROM STREET.
- OPERATIONAL CHIMNEY FLUE TO BE EXTENDED A MIN. OF 2'-0"
- SPACE BETWEEN TREADS AS SHOWN (NOT TO EXCEED 4").
- NEW PERGOLA ON 6X6 POSTS, W/ 2X4 LOUVERS @ 4' O.C., ON 2X10 RAFTERS.

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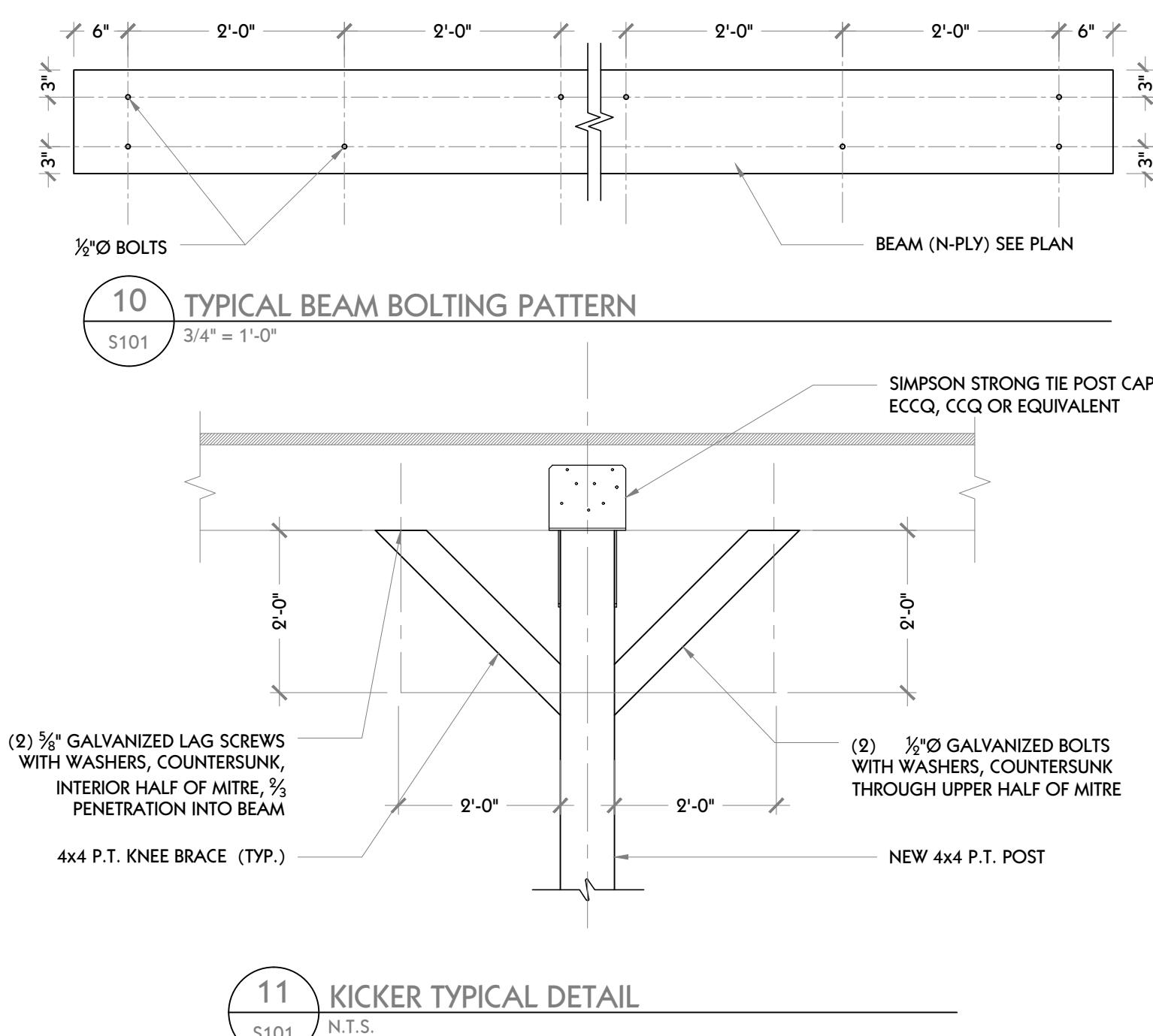
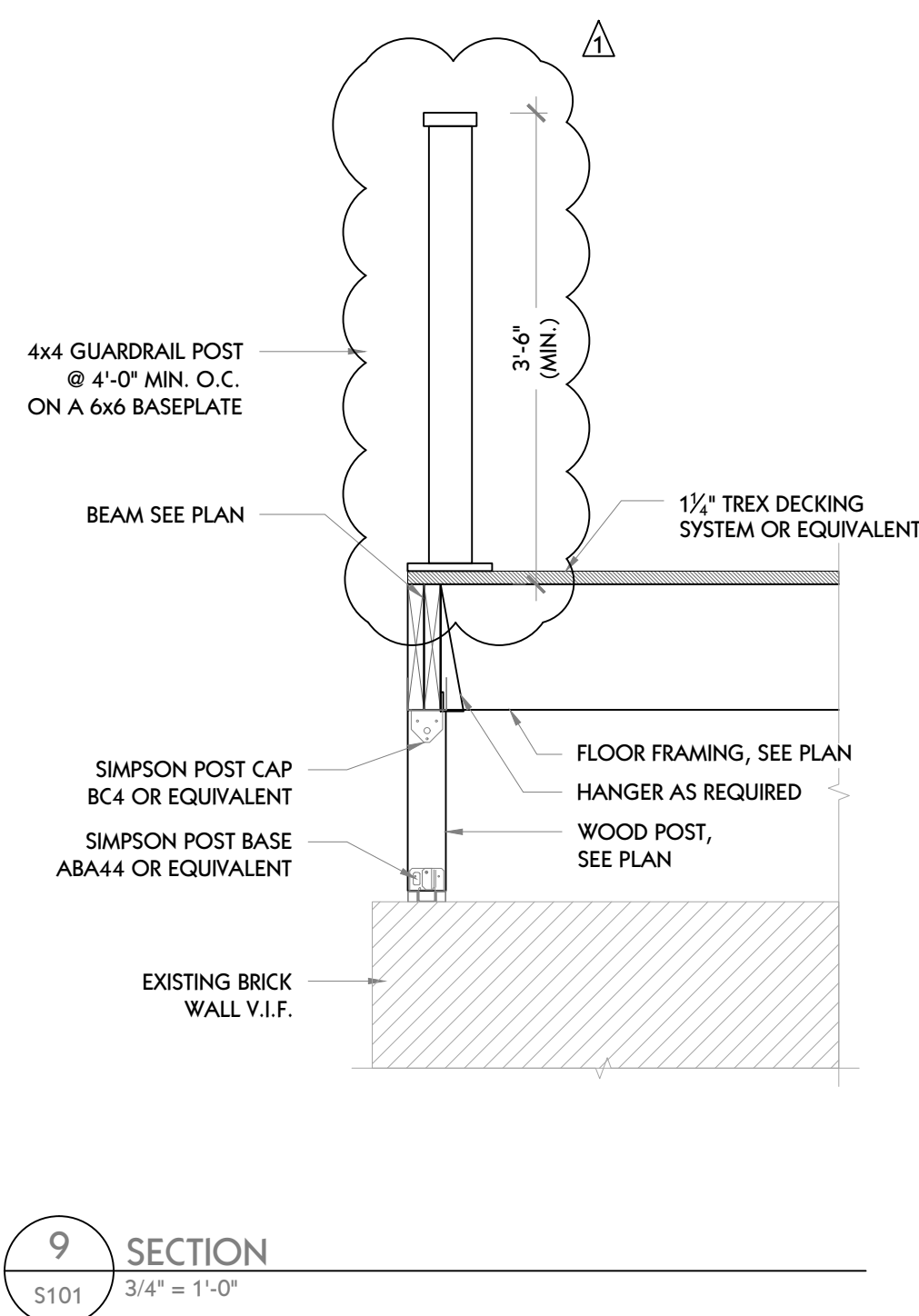
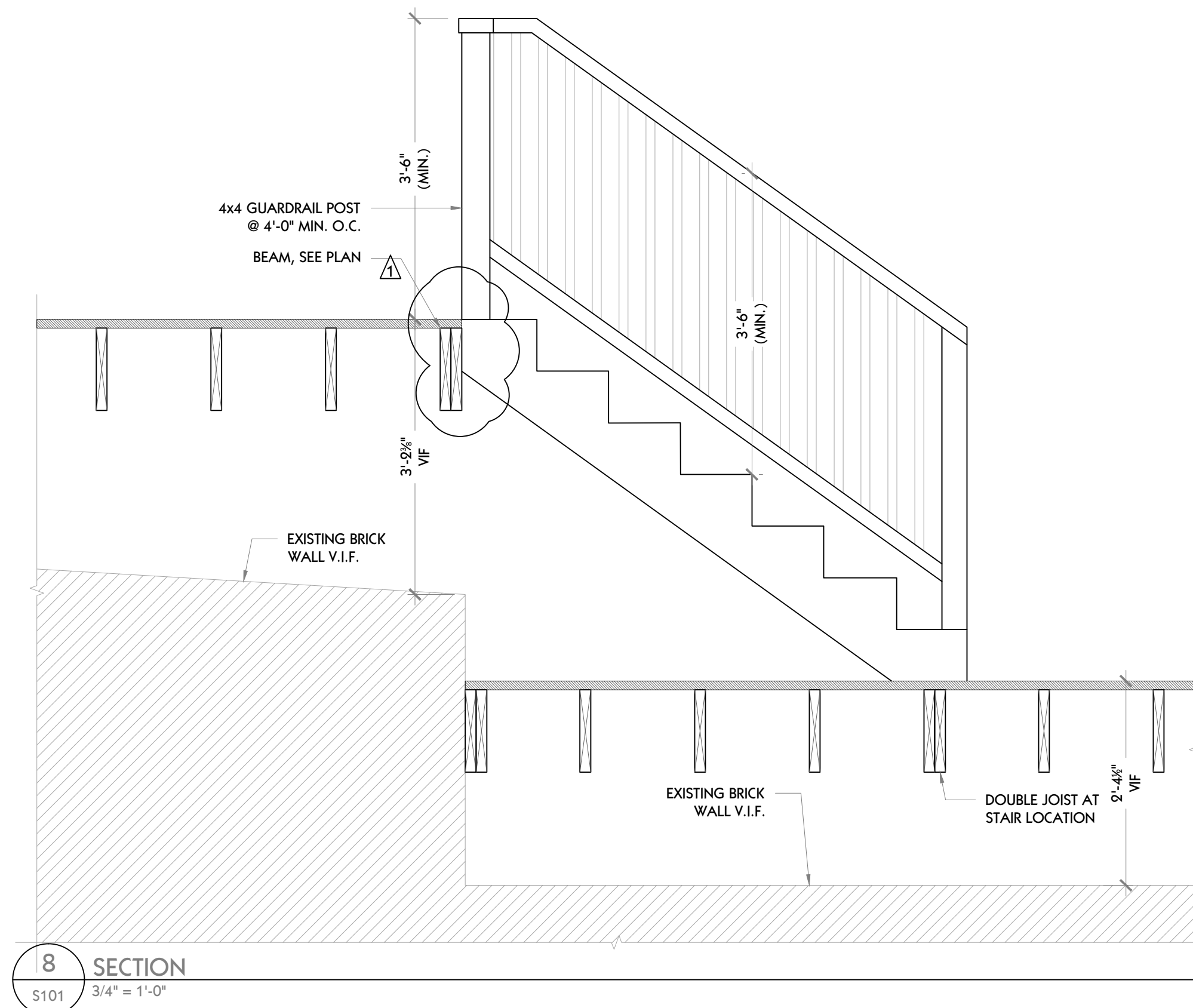
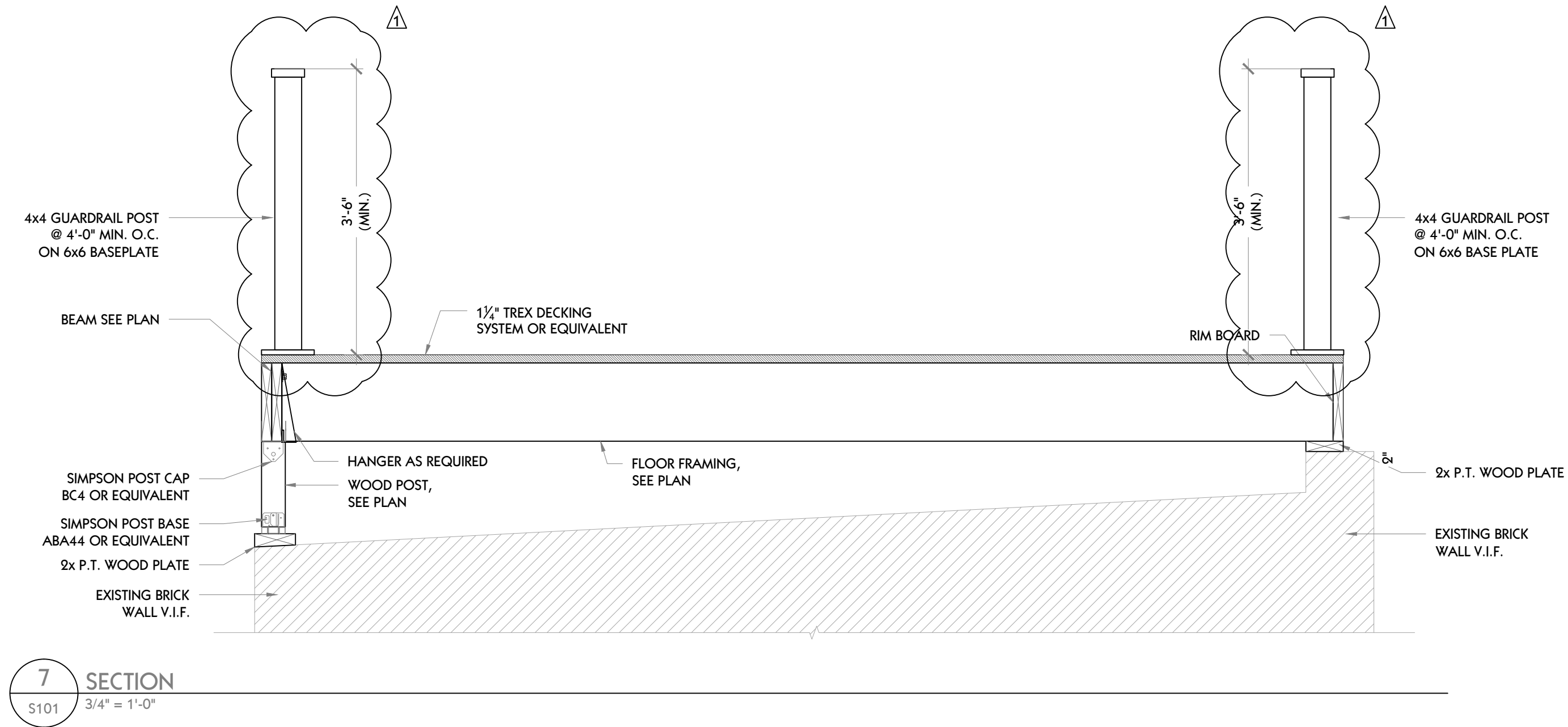
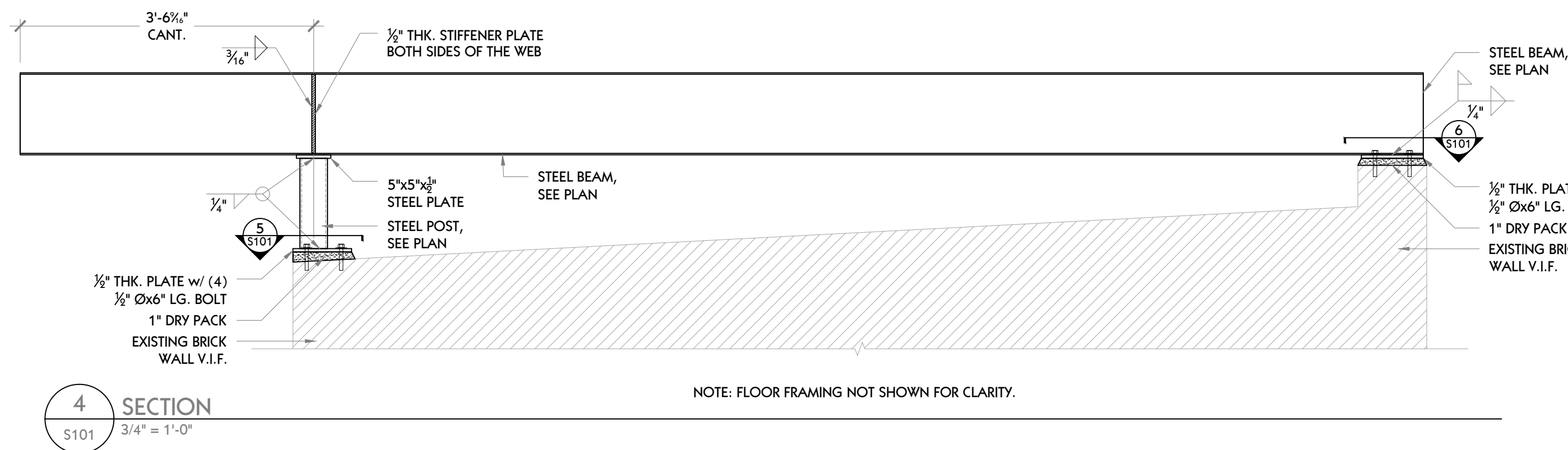
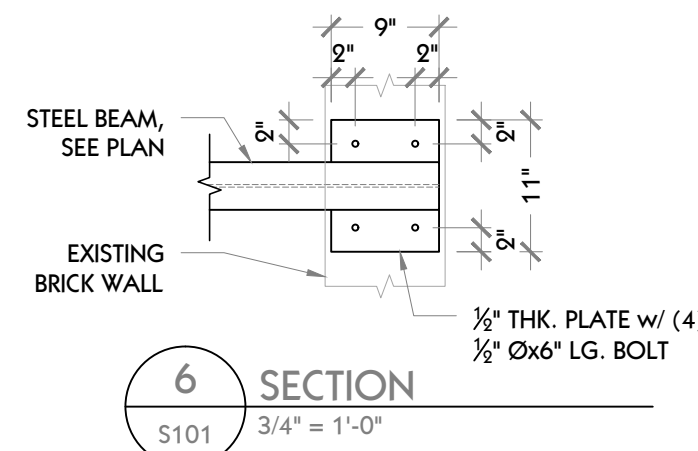
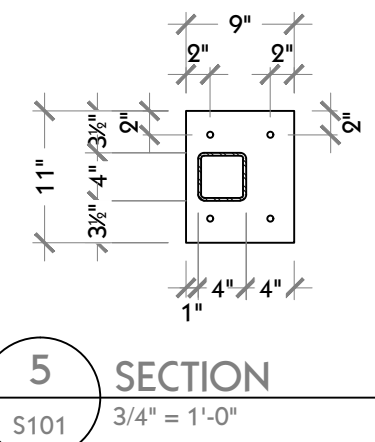
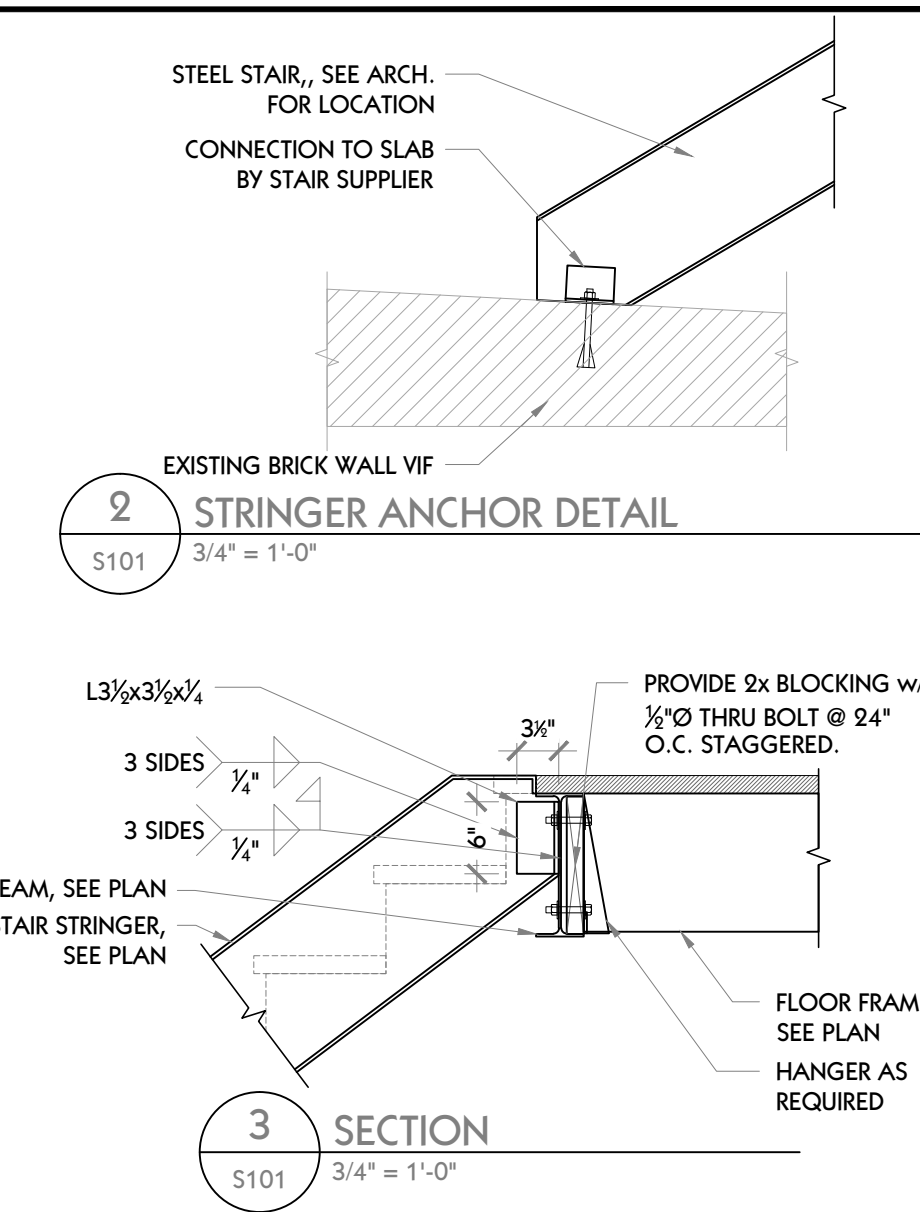
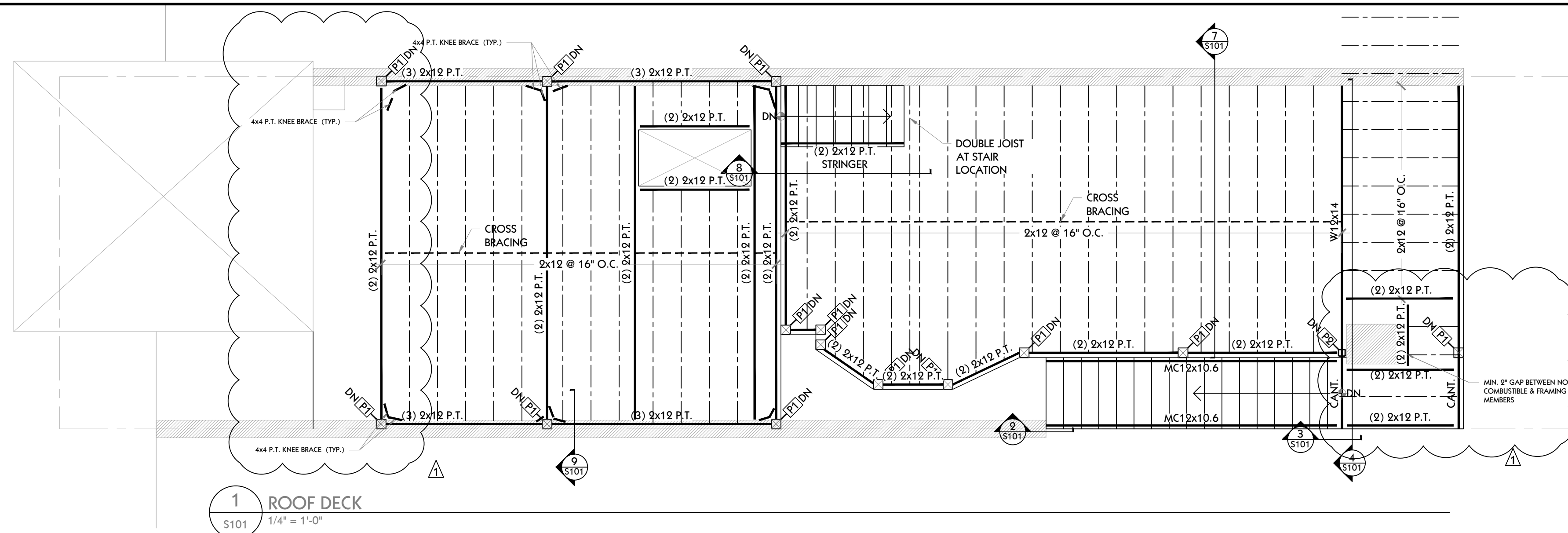
SHEET TITLE  
SECTION

SHEET NUMBER  
A300



1. THE STRUCTURE IS DESIGNED IN ACCORDANCE WITH INTERNATIONAL RESIDENTIAL CODE 2018.
2. DESIGN GRAVITY LOADS ARE AS FOLLOWS :

LIVE LOAD .....	40 PSF
LIVE LOAD FOR ROOF .....	30 PSF
3. THE STRUCTURE HAS BEEN DESIGNED FOR IN-SERVICE LOADS ONLY. THE METHODS, PROCEDURES, AND SEQUENCES OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO MAINTAIN AND ENSURE THE INTEGRITY OF THE STRUCTURE AT ALL STAGES OF CONSTRUCTION.
4. DIMENSIONAL LUMBER FOR POSTS, BEAMS AND JOISTS SHALL BE SPRUCE PINE FIR NO.1/N.O.2 OR APPROVED EQUAL WITH THE FOLLOWING MINIMUM PROPERTIES: FB = 875 PSI, E = 1,400,000 PSI, FC = 1150 PSI, FV = 140 PSI.
4. TOP PLATES AND SILL PLATES SHALL BE SOUTHERN PINE NO. 2 WITH THE FOLLOWING MINIMUM PROPERTIES: FB = 1500 PSI, E = 1,600,000 PSI, FV = 90 PSI.
6. SEE ARCH. FOR TOP OF SUBFLOOR ELEVATION.
7. CONTRACTOR TO COORDINATE LAYOUT OF FLOOR FRAMING AND WALL STUDS SUCH THAT THESE ELEMENTS ALIGN WHERE REQUIRED. SEE WALL SCHEDULE FOR INFORMATION.
8. STRUCTURAL STEEL W-SHAPES SHALL CONFORM TO ASTM A-992 (GRADE 50), STEEL PLATES, ANGLES, CHANNELS, AND STEEL BARS SHALL CONFORM TO ASTM A36 OR ASTM A992, ALL PIPES SHALL CONFORM TO ASTM A53, GRADE B, ALL STRUCTURAL TUBES SHALL CONFORM TO ASTM A500 GRADE C. THOSE MEMBERS INDICATED TO BE A36 STEEL SHALL CONFORM TO ASTM A36.
9. P1 SHALL BE 4x4 P.T. WOOD POST.
10. P2 SHALL BE HSS 4x4x1/4" STEEL POST.



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P. SHARMA  
No. 901193  
PROFESSIONAL ENGINEER

**BUNCH RESIDENCE**  
906 WESTMINSTER ST NW  
WASHINGTON DC 20001

REVISIONS		
NO.	DESCRIPTION	DATE
	ISSUED FOR PERMIT	1-24-2024
A	PERMIT COMMENTS	6-24-2024

**DRAWING TITLE**

## STRUCTURAL FLOOR PLANS

DRAWING INFORMATION	
SCALE	AS NOTED
DATE	12-01-23
DRAWN BY	D.G.
PROJECT NUMBER	D2359

S101

DRAWING NUMBER



SCHEDULE OF SPECIAL INSPECTIONS

Address:

MATERIAL/ACTIVITY	TYPE OF INSPECTION	APPLICABLE TO THIS PROJECT				
		Y/ N	C/P	EXTENT/REFERENCE	AGENT	COMPLETED
GENERAL						
Pre-construction conference	Meeting with parties listed in Section 6 of DOB SIPM to discuss Special Inspection procedures	Y	P	Scheduled by Stevenson Consulting Inc. "Special Inspection Agency Record" on behalf of DCRA Prior Commencement of work	SIER	TBD
EARTHWORK						
Site preparation (building)	Field testing and inspection	N	P	Field Review; IBC 1705.6		
Fill material (building)	Review submittals, field testing and inspection	N	P	Field Review; IBC 1705.6		
Fill compaction (building)	In-place density tests, lift thickness	N	C	Field Review; IBC 1705.6		
Excavation	Field inspection and verification of proper depth	N	P	Field Review; IBC 1705.6		
Foundation sub-grade	Field inspection of foundation subgrade prior to placement of concrete	N	P	Field Review; IBC 1705.6		
Sheeting and shoring	H piles and lagging, tie backs,	N	C	IBC 1705.2,1705.7, 1705.8 11705.7		
DEEP FOUNDATION ELEMENTS						
Materials	Review product, sizes, and lengths	N	C	Submittal and Field Review; IBC 1705.7, 1705.8, 1705.9		
Test piles	Monitor driving of test piles	N	C	Field Review; IBC 1705.8, .9 or .10		
Installation	Monitor drilling, placement, plumb, driving of piles, including recording blows per foot, cut off, and tip elevation	N	C	Field Review; IBC 1705.2, 1705.3, 1705.7		
Load test	Monitor pile load test	N	C	Field Review; IBC 1705.8, .9 or .10		
Helical Piles	Continuous special inspections shall be performed during installation of helical pile foundations	N	C	IBC 1705.9, 1810.3.1, 1810.4.11		
CONCRETE						
Materials	Review product supplied versus certificates of compliance and mix design	N	P	Submittal & Field Review; IBC 1705.3; ACI 318;Ch. 4 and 5; IBC 1904.2, 1910.2, 1903.3		
Installation of reinforcing steel, including Pre-stressed tendons and anchor bolts as well as welding	Field inspection of placement	N	P	Submittal and Field Review; ACI 318:3.5, 3.5.2, 3.8.6 & Ch. 7 8.1.3 and 21.2.8; AWS D1.4; IBC 1705.3, 1908.5, 1909.1, 1910.4		
Formwork installation	Field inspection	N	P	Field Review; ACI 318: 6.1.1; IBC 1705.3		
Concreting operations and placement	Field inspection of placement/sampling	N	C	Field Review; ACI 318: 5.6, 5.8, 5.9-10; ASTM C 172, C 31; IBC 1705.3, 1910.6, 1910.7, 1910.8, 1910.10		

Concrete curing	Field inspection of curing process	N	P	Field Review; ACI 318: 5.11-13; IBC 1705.3, 1910.9		
Concrete strength	Evaluation of concrete strength	N	P	Laboratory Testing; ACI 318: 6.2; IBC 1705.3		
Inspect anchors post-installed in hardened concrete members	IBC TABLE 1705.3	N	C	ACI 318: 17.8.2.4		
PRECAST CONCRETE						
Verify fabrication/quality control procedures	In-plant inspection of fabrication/quality control procedures**	N	P	Submittal or Field Review; IBC 1705.3		
Erection and installation	Review submittals and as-built assemblies; Field inspection of in-place precast	N	P	Submittal and Field Review; ACI 318; Ch. 16; IBC Table 1705.3		
MASONRY (Level____; Building Risk Category ____ ) TYPICAL FOR LEVEL B AND RS CATEGORY I,II,III						
Materials	Review of products supplied versus certificate of compliance and material submitted	N	P	Submittal & Field Review; ACI 530/ASCE 5; ACI 530.1/ASCE 6; IBC 1705.4, 1708		
Strength	Testing/review of strength	N	C	Submittal & Field Review; ACI 530/ASCE 5; ACI 530.1/ASCE 6; IBC 1705.4, 2105.2.2, 2105.3		
Mortar and Grout	Inspection of proportioning and mixing. Placement of mortar only.	N	P	Field Review; IBC 1705.4; ACI 530/ASCE 5; ACI 530.1/ASCE 6		
Grout placement, including pre-stressing grout	Verification to ensure compliance	N	C	Field Review; IBC 1705.4; ACI 530/ASCE 5; ACI 530.1/ASCE 6		
Grout space	Verification to ensure compliance	N	P	Field Review; IBC 1705.4; ACI 530/ASCE 5; ACI 530.1/ASCE 6; TMS 602		
Mortar, grout, and prism specimens	Observe Preparation	N	C	Field Review; IBC 1704.5, ACI 530.1; ASCE 6		
Reinforcement, pre-stressing tendons, and connections	Inspect condition, size, location, and spacing	N	P	Field Review; IBC 1704.5; ACI 530/ASCE 5; ACI 530.1/ASCE 6		
Welding of reinforcing bars	Inspection and testing of welds	N	C	Field Review; IBC 1705.4; ACI 530/ASCE 5; ACI530.1/ ASCE 6		
Pre-stressing force	Verify application and measurement	N	C	Field Review; IBC 1705.4; ACI 530/ASCE 5; ACI530.1/ASCE 6		
Protection	Inspect procedures for protection during cold and hot weather	N	P	Field Review; IBC 1705.4; ACI 530/ASCE 5;ACI 530.1/ASCE 6		
Anchorage	Inspection of anchorages	N	P	Field Review; ACI 530.1/ASCE 6, ASCE 6; IBC1705.4; ACI 530/ASCE 5		
Masonry installation	Inspection of placement of masonry and joints (Periodic after the first 5000 SF.)	N	C	Field Review; ACI 530/ASCE 5; ACI 530.1/ASCE6; IBC 1705.4		
Grouting of pre-stressed tendons	Field inspection	N	C	Field Review; ACI 318: 18.18.4; IBC 1705.3		
Application of forces for pre-stressed concrete	Field inspection	N	C	Field Review; ACI 318: 18.20; IBC 1705.3		
STRUCTURAL STEEL Y/N C/P						
Verify fabrication/quality control procedures	In-plant inspection of fabrication/quality control procedures or submit Certificate of Compliance	N	P	IBC 1704.2.5, IBC 1704.2.5.1, 1704.2.5.2, 1705.2		
Bolts, nuts, and washers – materials	Material identification markings. Review of Certificate of Compliance	N	P	Submittal & Field Review; IBC 1705.2.1; IBC 1705.2.2; IBC 1706; ASTM; AISC 360, Section A3.3		

Bolts, nuts, washers – installation	Inspection of in-place high-strength bolts, snug-tight joints, pre-tensioned and bearing type, and slip critical connections	Y	C	Submittal & Field Review; IBC 1705.2.1, 1705.2.2, AISC 360 Section M2.5	SIER	
Structural steel – materials	Material identification markings and review of Certificate of Compliance	N	P	Submittal & Field Review; IBC 705.2.1,1705.2.2, 1706; ASTM A6, A568		
Structural steel details – installation	Inspection of member locations, structural details for bracing, connections, stiffening	Y	P	Submittal & Field Review; IBC 1705.2.1,1705.2.2, AISC 360	SIER	
Weld filler materials and welder certification	Review of identification markings, Certificate of Compliance, and welder certifications	N	P	Submittal & Field Review; ASTM AISC 360 A3.5		
Welds	Inspection and testing of welds	Y	C	Field Review; IBC 1705.2.2.1; AWS D1.1, D1.3	SIER	
Cold-formed metal deck – materials	Review of identification marking manufacturer's certified test results	N	P	Submittal and Field Review; IBC 1705.2.2; ASTM D1.3		
Cold-formed metal deck – installation	Review laps and welds	N	P	Submittal and Field Review; IBC 1705.2.2, AWS D1.3		
Cold-formed light frame construction – welds	Review welding operation	N	P	IBC 1705.11.2		
Cold form light frame construction wind resistance – screws	Review screw attachment bolting, anchoring hold downs, bracing, diaphragms, struts	N	P	Field Review; IBC 1705.11.2		
Cold-formed steel trusses spanning 60' or greater	Inspection of temporary and permanent restraints/bracing	N	C	Field review IBC 1705.2.4		
WOOD						
Verify fabrication/quality control procedures	In-plant inspection of fabrication/quality control procedures** or submit Certificate of Compliance	N	P	Submittal or Field Review; IBC 1704.2.5, 1705.5, 1705.5.2		
Metal plate connected wood/metal trusses spanning 60' or more	Review approved submittal and installation of restraint/bracing	N	P	Field Review; IBC 1704.2.5, 1705.5, 1705.2		
Joist Hangers – Materials/Installation	Review manufacturer's material and test standards	N	P	Field Review; IBC 1711, ASTM D 1761		
High-Load Diaphragms – Installation	Review submittal and as-built assemblies; inspection of sheathing, framing size, nail and staple diameter and length, number of fastener lines, and fastener spacing.	N	C	IBC 1705.5, 1705.5.1		
Wood Shear Walls-installation	Review nailing, bolting, anchoring, fastening, Diaphragms, struts, braces, and hold downs when fasteners are ≤ 4" on center.	N	P	Field Review; IBC 1705.11.1		
MAIN WIND FORCE RESISTING SYSTEM Y/N C/P						
Wind requirements	Review of the system components and installation for wood construction, cold-formed steel light frame construction, components, and cladding	N	P	Submittal and Field Review; IBC 1609.1.2, 1704.5.2, 1705.11 1705, 1705.4, 1705.4.1, 1705.4.2, 1710		
SEISMIC FORCE RESISTING SYSTEMS						
Seismic requirements	Review of the designated seismic systems and seismic force resistance systems	N	C	Submittal and Field Review; IBC 1613, 1704.5.1, 1705.11, 1705.12; ASCE 7		

SMOKE CONTROL						
Special inspection of smoke control systems	Leakage testing and recording of device location. Pressure difference testing, flow measurement and deflection, and control verification	N	P	Field Review; IBC .1705.18 ,1705.18.1 1705.17.2 1705.16.2		
SPRAYED FIRE RESISTIVE MATERIAL, FIRE RESISTANT PENETRATIONS; JOINTS, MASTIC AND INTUMESCENT FIRE RESISTANT COATING						
Structural member surface conditions	Field Review of surface conditions prior to application	N	P	AWCI 12-8; IBC 1705.14 1705.14.2		
Application/thickness/density/bond strength	Field review of application operations, thickness, and density	N	P	ASTM E605, AWCI 12-8; IBC 1705.14.3 1705.14.1, 1705.14.3, 1705.14.4BC 1705.14.5 1705.14.6		
Mastic & Intumescent Fire Resistant Coating	Field review of application operations and thickness	N	P	AWCI 12-8; IBC 1705.15		
Fire-resistant penetrations and joints. In high-rise buildings or in buildings assigned to Risk Category III or IV.	Field inspection per design	N	P	IBC 1705.17.1, 1705.17.2, ASTM E2174.		
EXTERIOR INSULATION AND FINISH SYSTEMS (EIFS)						
Application	Field Review of application/installation	N	P	ASTM E2570, IBC 1705.16		
SPECIAL CASES						
Alternative Materials and Systems	As requested by Chief Building Official, review system and installation	N	C/ P	IBC 1705.1.1		
INSPECTION AGENTS FIRM ADDRESS TELEPHONE						
Special Inspections Engineer of Record	Alsaddeeg Alzarough, P.E. Stevenson Consulting Inc.	3810 Concorde Parkway # 700	703-803-6411			
Materials and Testing Laboratory	same as above	Chantilly VA 20151				
Special Inspections Engineer of Record Smoke Control System						
Additional Agents						

Note: The Qualifications of the Special Inspections Engineer of Record and Testing Laboratories are subject to the Approval of the Chief Building Official. The Schedule of Special Inspections includes certain Architectural, Mechanical, Electric components, Storage Racks and Isolation Systems specified in Section 1705.11 of the Construction Code.

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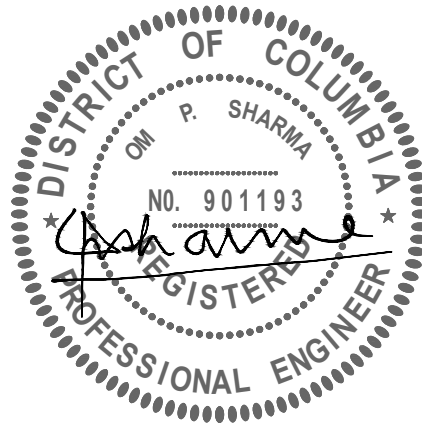
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SEAL



PROJECT

BUNCH RESIDENCE  
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WASHINGTON DC 20001

REVISIONS

NO.	DESCRIPTION	DATE
	ISSUED FOR PERMIT	1-24-2024
A	PERMIT COMMENTS	6-24-2024

DRAWING TITLE

SPECIAL INSPECTIONS

DRAWING INFORMATION

SCALE	AS NOTED
DATE	12-01-23
DRAWN BY	D.G.
PROJECT NUMBER	D2359

S102

DRAWING NUMBER