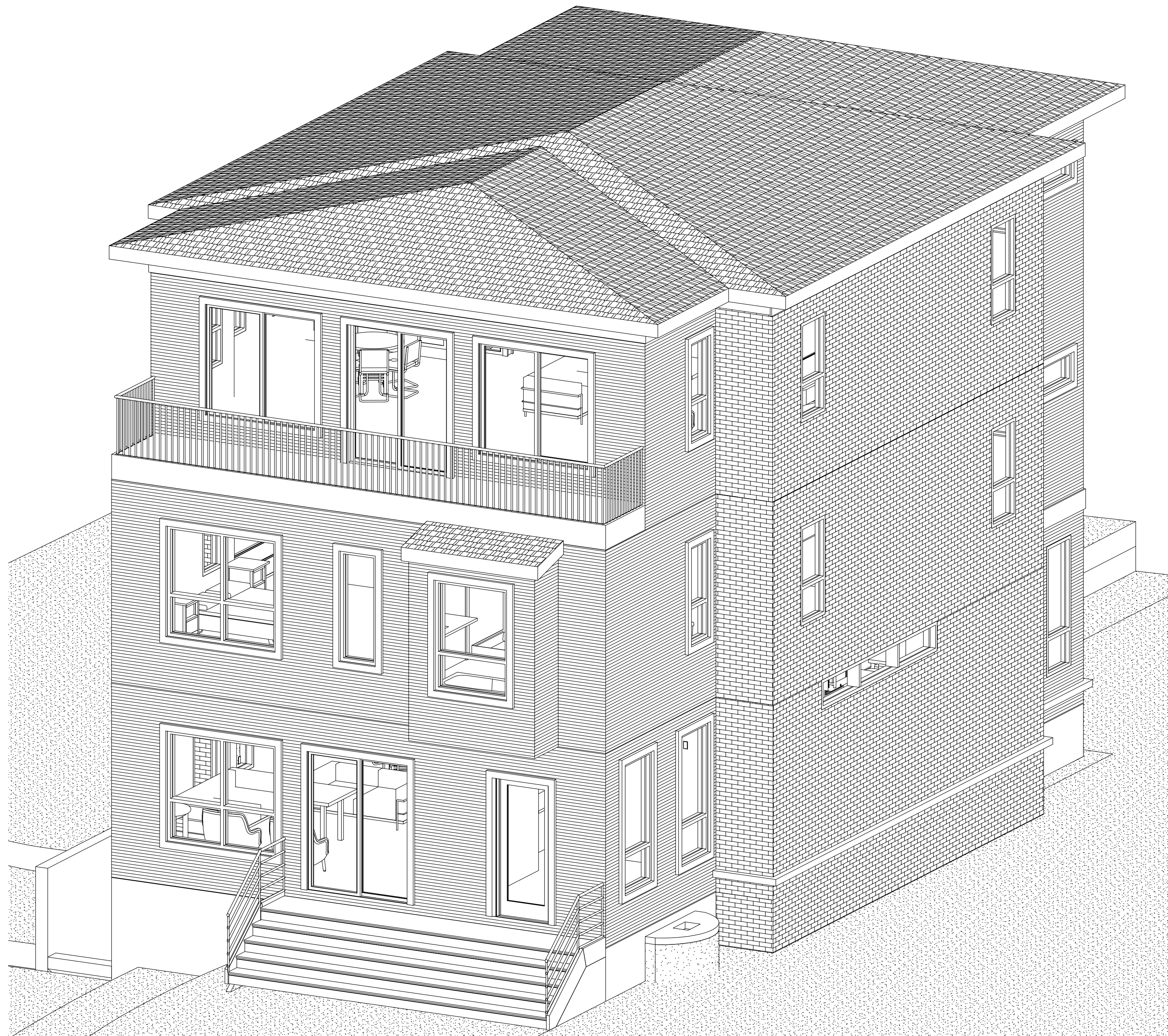


CATHEDRAL AVE

5310 CATHEDRAL AVE NW, WASHINGTON DC 20016



PERMIT SET

PROJECT OWNER

MR. ROSHDIEH
5310 CATHEDRAL AVE.,
WASHINGTON, DC. 20016
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ARCHITECT

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STRUCTURAL ENGINEER

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STRUCTBIM ENGINEERS
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STERLING, VA. 20164
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SURVEY

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FRED@ALIMOASSOCIATES.COM

MEP ENGINEER

MARIO OBANDO
MEP 4PERMITS CONSULTING
GROUP
TEL: (301) 814-1009
MOBANDO@MEP4PERMITS.COM

ARCHITECTURAL GENERAL SHEET LIST	
Sheet Number	Sheet Name
CS-01	COVER SHEET
CS-02	GENERAL NOTES
CS-03	ENERGY SCHEDULE
CS-04	BUILDING THERMAL ENVELOPE

ARCHITECTURAL SHEET LIST	
Sheet Number	Sheet Name

A-000	EXISTING SITE SURVEY AND ESC
A-100	CELLAR FLOOR PLAN
A-101	FIRST FLOOR PLAN
A-102	SECOND FLOOR PLAN
A-103	THIRD FLOOR PLAN
A-104	ROOF PLAN
A-200	FRONT ELEVATION
A-201	LEFT ELEVATION
A-202	REAR ELEVATION
A-203	RIGHT ELEVATION
A-300	SECTION-1
A-301	SECTION-2
A-302	STAIR & WALL SECTION, DOOR & WINDOW SCHEDULE

STRUCTURAL SHEET LIST	
Sheet Number	Sheet Name

S1001	GENERAL NOTES
S1002	FOUNDATION PLAN
S1011	FIRST FLOOR FRAMING PLAN
S102	SECOND FLOOR FRAMING PLAN
S103	LOFT FLOOR FRAMING PLAN
S104	ROOF FRAMING PLAN
S105	FIRST FLOOR WALL BRACING PLAN
S106	SECOND FLOOR WALL BRACING PLAN
S107	FOUNDATION DETAILS
S108	FOUNDATION DETAILS
S109	FRAMING DETAILS
S110	FRAMING DETAILS
S111	FRAMING DETAILS
S112	WALL BRACING DETAILS & SCHEDULE

MEP DRAWING LIST	
Sheet Number	Sheet Name

E000	COVER SHEET
E100	NEW LIGHTING PLAN
E101	NEW LIGHTING PLAN
E200	NEW POWER PLAN
E201	NEW POWER PLAN
E300	RISER DIAGRAM
M000	NOTES & SPECS
M100	MECHANICAL FLOOR PLANS
M101	MECHANICAL FLOOR PLANS
M200	SCHEDULES
M300	DETAILS
P000	NOTES & SPECS
P100	DOMESTIC WATER AND GAS PLANS
P101	DOMESTIC WATER AND GAS PLANS
P102	SANITARY AND VENT PLANS
P103	SANITARY AND VENT PLANS
P200	DETAILS
P300	SCHEDULES

DETAILED SCOPE OF WORK

The goal of the project is to extend the 3 levels dwelling from front and back. Also add one more level on top total of 4 level, Cellar, First Floor , Second Floor and Third Floor

Work includes:

Demolition of the existing interior walls and construction of a new addition with new interior within the existing property lines. Demolish the existing roof and add a new roof per new floor plans. Install a new sprinkler system. Install new windows and doors. Install all new mechanical, plumbing, and electrical lines and fixtures.

PROJECT DATA

WARD: 3
ZONE: R-1-B
SQUARE: 1444
PROPERTY ID 1444 0041
LOT: 41
LOT AREA: 3,937 SQ.FT.

SETBACKS	REQUIRED	PROVIDED
FRONT :	15'-0"	15'-5"
REAR:	25'-0"	25'- 1/2"
SIDES:	8'-0"	Existings to Remain
BLDG HIGHT:	40'-0" , 3 STORIES	37'-1"
LOT COVERAGE:	MAX 40%=1,574 SF	1,492 SF

PROJECT CODE ANALYSIS

BUILDING CODE:	2017 DC BUILDING CODE		
OCCUPANCY GROUP:	R3		
DESCRIPTION OF USE:	RESIDENTIAL SINGLE FAMILY		
TYPE OF CONSTRUCTION	5B		
SPRINKLERS	YES		
BUILDING HEIGHT:	37'-1"		
	EXISTING	ADDITION	TOTAL
CELLAR:	905 SF	310 SF	1,215 SF
FIRST FLOOR:	1059 SF	415 SF	1,474 SF
SECOND FLOOR:	905 SF	591 SF	1,496 SF
THIRD FLOOR:	000 SF	1,373 SF	1,373 SF
TOTAL ADDITION:	2,869	2,689 SF	5,558 SF

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. B2310109 Date 02/26/24

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

DC Water Review - Duane Nelson - 02-26-2024
Electrical Review - Golnaz Bastani - 02-26-2024
Plumbing Review - Golnaz Bastani - 02-26-2024
Mechanical Review - Golnaz Bastani - 02-26-2024
Structural Review - Golnaz Bastani - 02-26-2024
Neighbor Notification - Kolas Eghen - 02-26-2024
DOEE EV Review - Cameron Sherr - 02-26-2024
Energy Review - Golnaz Bastani - 02-26-2024
DOEE SE-SW Review - Nykia Barnes - 02-26-2024



SEAL

5310 Cathedral Ave

5310 Cathedral Ave NW. Washington DC
20016

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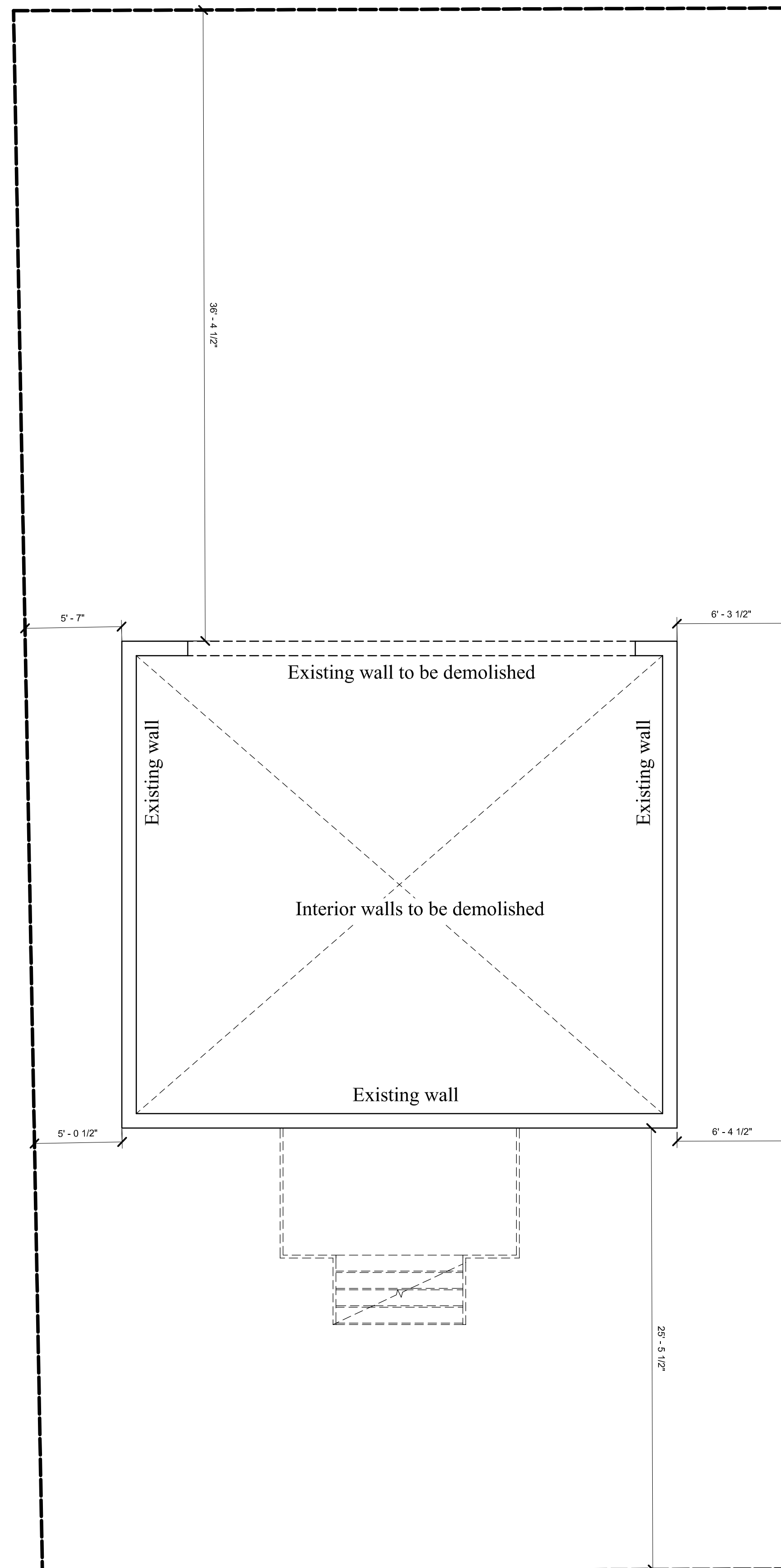
AJALLI
ARCHITECTS

SHEET TITLE:
COVER SHEET

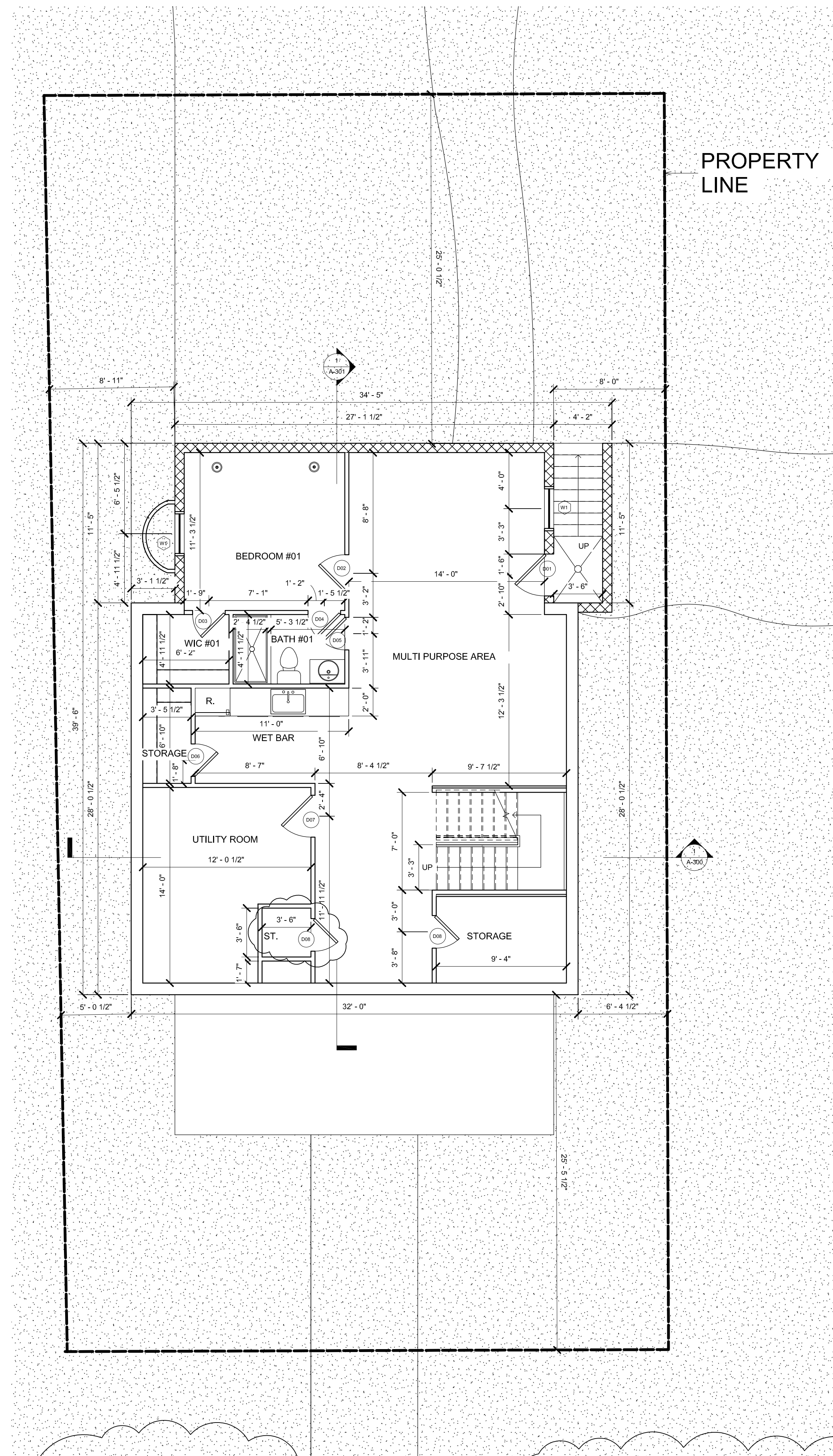
Project number	
Date	07-18-2023
Drawn by	
Checked by	

CS-01

Board of Zoning Adjustment
District of Columbia
CASE NO.21232
EXHIBIT NO.3



2

$$1/4'' = 1'-0''$$


1

$$1/4'' = 1'-0''$$

VERY IMPORTANT NOTE:
A MINIMUM OF 4'-0" OF THE EXISTING
WALLS FROM GRADE MUST REMAIN

SEAL

5310 Cathedral Ave

5310 Cathedral Ave NW, Washington DC
20016

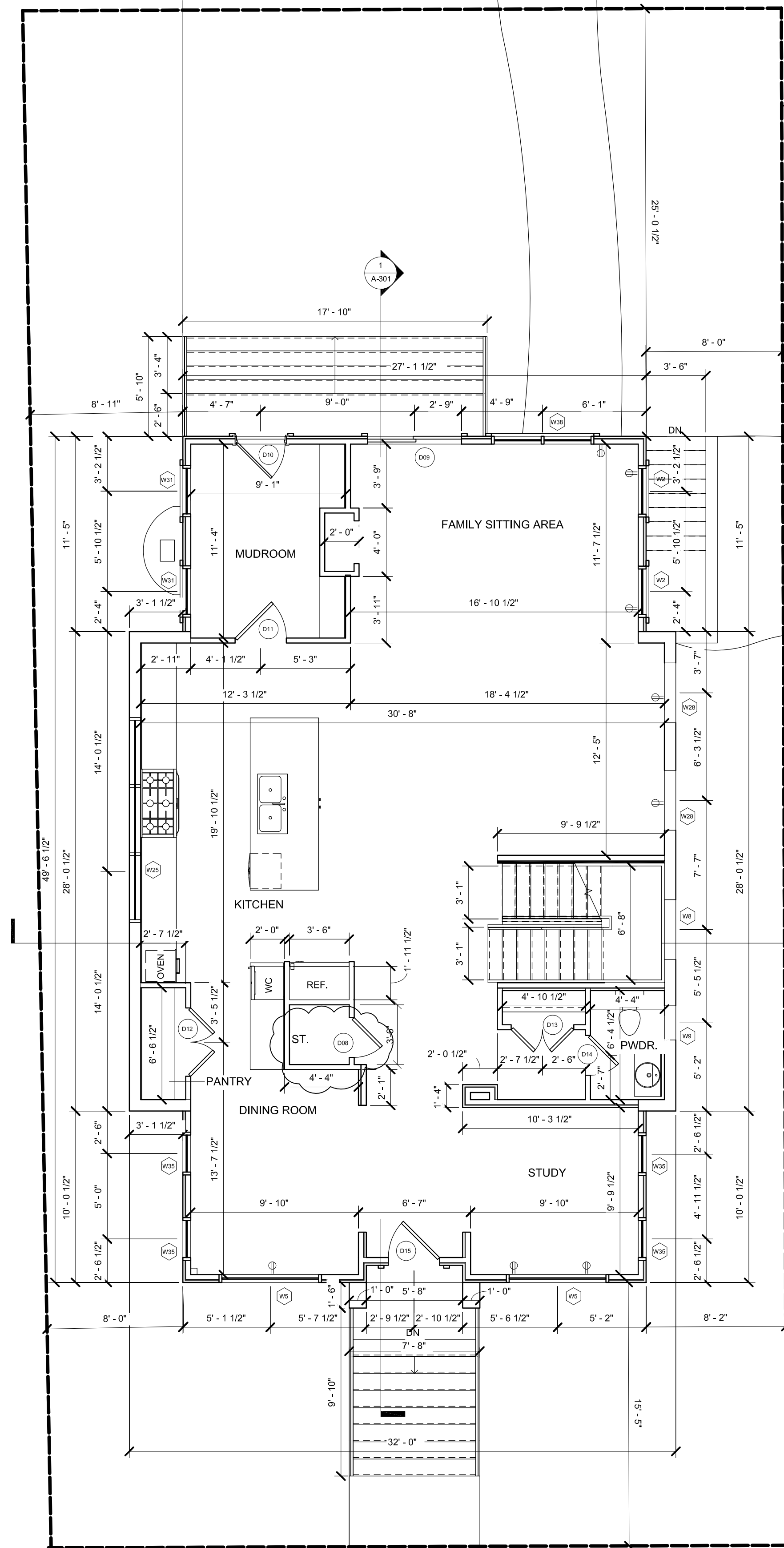
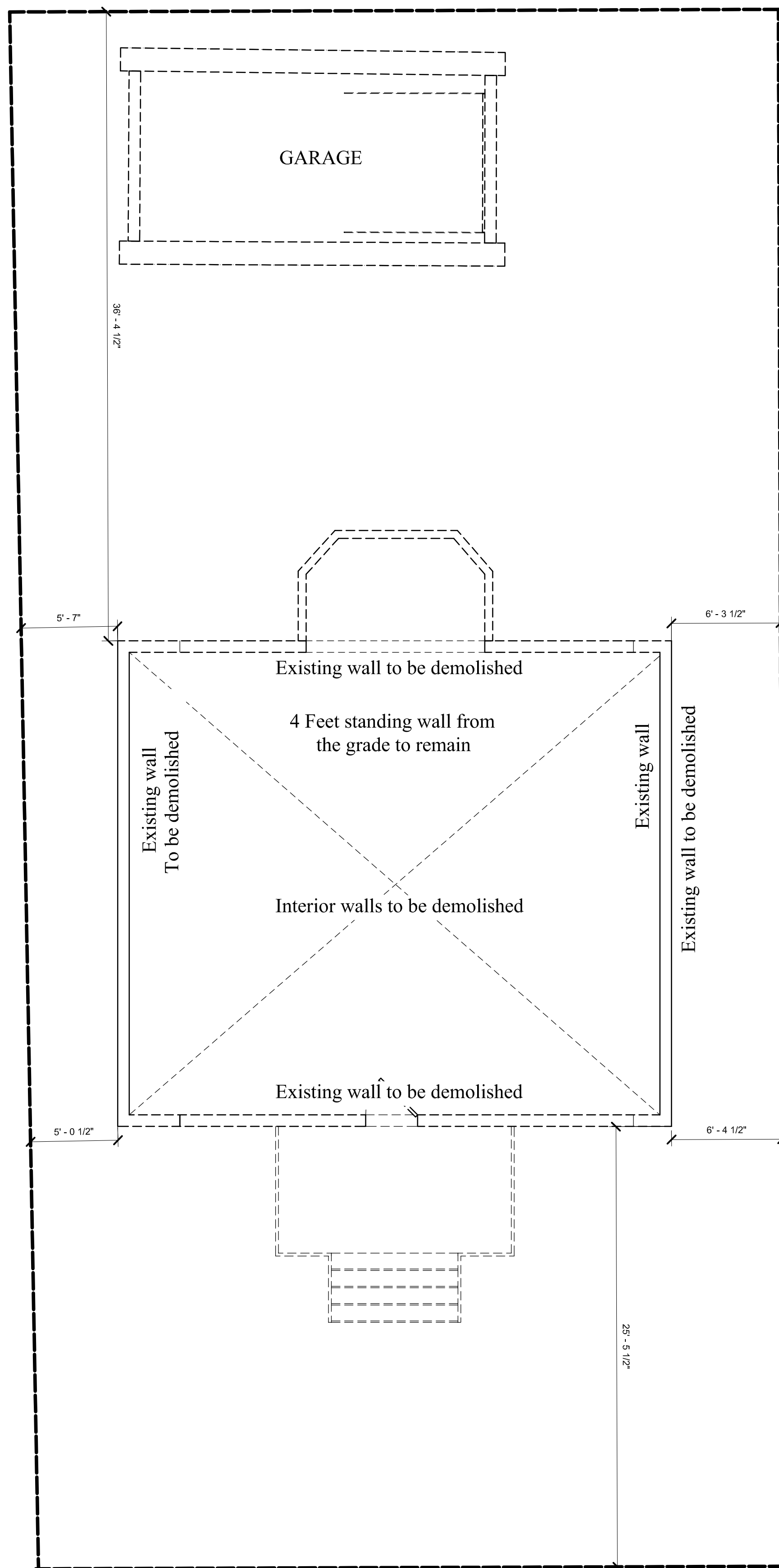
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SHEET TITLE:
CELLAR
FLOOR PLAN

Project number	
Date	07-18-2023
Drawn by	
Checked by	

A-100



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DC Water Review - Duang Nekon - 02-26-2024
Electrical Review - Golnaz Bastani - 02-26-2024
Plumbing Review - Golnaz Bastani - 02-26-2024
Mechanical Review - Golnaz Bastani - 02-26-2024
Structural Review - Golnaz Bastani - 02-26-2024
Neighbor Notification - Polina Elton - 02-26-2024
DOE Fire Review - Cameron Decker - 02-26-2024
Energy Review - Golnaz Bastani - 02-26-2024
DOE SE-SW Review - Nikiya Parris - 02-26-2024



SEAL

5310 Cathedral Ave
5310 Cathedral Ave NW, Washington DC
20016

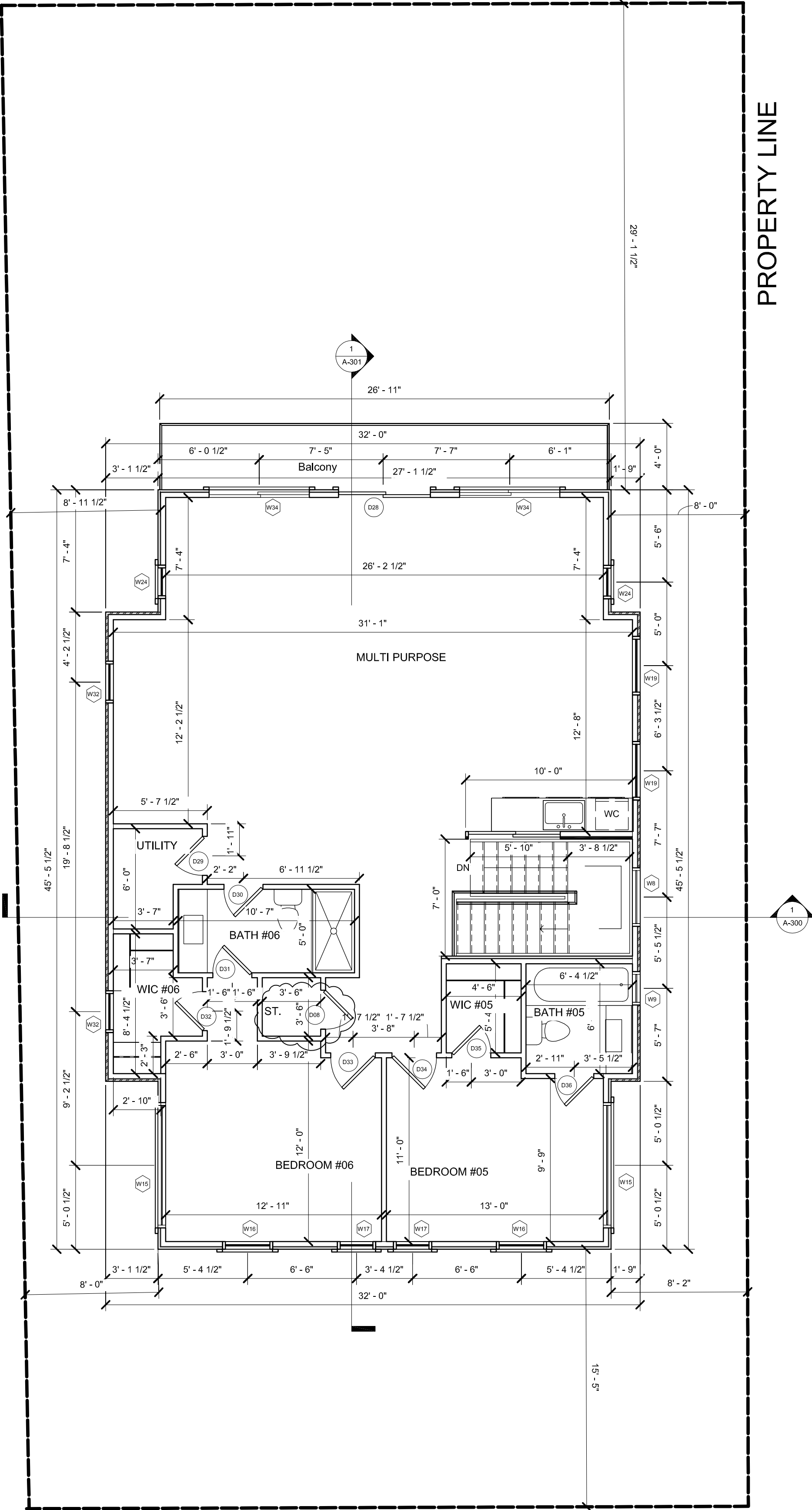
No.	Description	Date
		11-14-2023



SHEET TITLE:
FIRST FLOOR
PLAN

Project number
Date 07-18-2023
Drawn by
Checked by

A-101



1 PROPOSED THIRD FLOOR
1/4" = 1'-0"

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 82310109 Date 02/26/24

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Electrical Review - Golnaz Bastani - 02-26-2024
Plumbing Review - Golnaz Bastani - 02-26-2024
Mechanical Review - Golnaz Bastani - 02-26-2024
Structural Review - Golnaz Bastani - 02-26-2024
Neighbor Notification - Kops Elton - 02-26-2024
DOEE EV Review - Camille Gaudet - 02-26-2024
Energy Review - Golnaz Bastani - 02-26-2024
DOEE SEW Review - Nikiya Parris - 02-26-2024



SEAL

5310 Cathedral Ave
5310 Cathedral Ave NW, Washington DC
20016

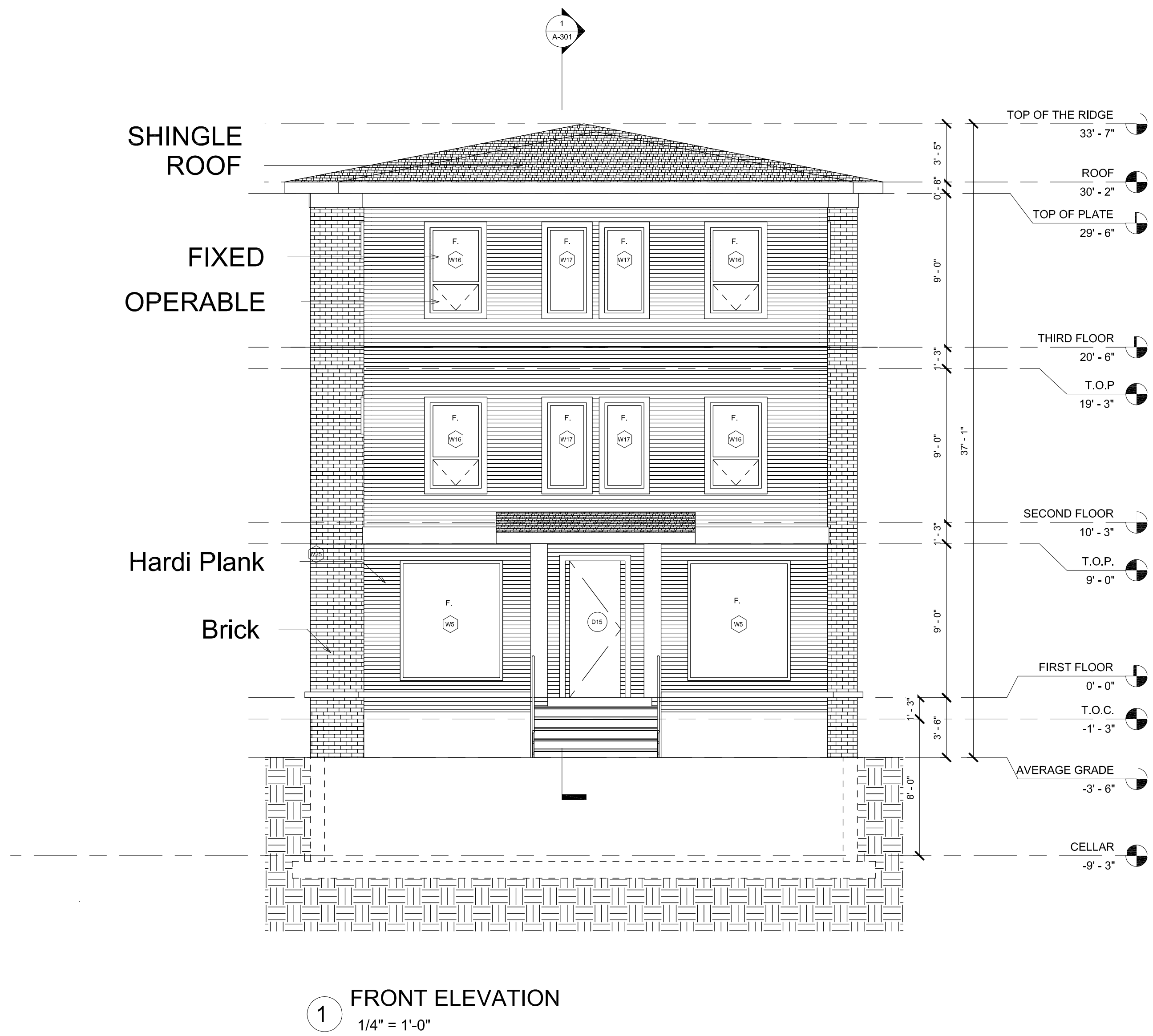
No.	Description	Date
		11-14-2023



SHEET TITLE:
THIRD FLOOR
PLAN

Project number	
Date	07-18-2023
Drawn by	
Checked by	

A-103



VERY IMPORTANT NOTE:
A MINIMUM OF 4'-0" OF THE EXISTING
WALLS FROM GRADE MUST REMAIN

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 82310109 Date 02/26/24

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DC Water Review - Duang Nekon - 02-26-2024
Electrical Review - Golnaz Bastani - 02-26-2024
Plumbing Review - Golnaz Bastani - 02-26-2024
Mechanical Review - Golnaz Bastani - 02-26-2024
Structural Review - Golnaz Bastani - 02-26-2024
Neighborhood Commission - Kijana Elgin - 02-26-2024
DOEE EV Review - Cameron Baker - 02-26-2024
Energy Review - Golnaz Bastani - 02-26-2024
DOEE SE Review - Nijal Puri - 02-26-2024

11/13/2023
REGISTERED
ARCHITECT

SEAL

5310 Cathedral Ave
5310 Cathedral Ave NW, Washington DC
20016

No.	Description	Date
		11-14-2023

AJALLI
ARCHITECTS

SHEET TITLE:
FRONT
ELEVATION

Project number
Date 07-18-2023
Drawn by
Checked by

A-200

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work, e.g. Electrical or Plumbing

DC Water Review - Duang Nekon - 02-26-2024
Electrical Review - Golnaz Bastani - 02-26-2024
Plumbing Review - Golnaz Bastani - 02-26-2024
Mechanical Review - Golnaz Bastani - 02-26-2024
Structural Review - Golnaz Bastani - 02-26-2024
Neighbor Notification/Kojas Plan - 02-26-2024
DOEE EV Review - Golnaz Bastani - 02-26-2024
Energy Review - Golnaz Bastani - 02-26-2024
DOEE SE Review - Golnaz Bastani - 02-26-2024



SEAL

5310 Cathedral Ave
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20016

No.	Description	Date
		11-14-2023



SHEET TITLE:
LEFT
ELEVATION

Project number	
Date	07-18-2023
Drawn by	
Checked by	

A-201



1 LEFT ELEVATION
1/4" = 1'-0"

VERY IMPORTANT NOTE:
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WALLS FROM GRADE MUST REMAIN

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Plumbing Review - Golnaz Bastani - 02-26-2024
Mechanical Review - Golnaz Bastani - 02-26-2024
Structural Review - Golnaz Bastani - 02-26-2024
Neighborhood Services - Kijana Elton - 02-26-2024
DOEE PV Review - Cameron Baker - 02-26-2024
Energy Review - Golnaz Bastani - 02-26-2024
DOEE SEW Review - Nikiya Pines - 02-26-2024



SEAL

5310 Cathedral Ave
5310 Cathedral Ave NW, Washington DC
20016

No.	Description	Date
		11-14-2023



SHEET TITLE:
REAR
ELEVATION

Project number	
Date	07-18-2023
Drawn by	
Checked by	

A-202



1 REAR ELEVATION
1/4" = 1'-0"

VERY IMPORTANT NOTE:
A MINIMUM OF 4'-0" OF THE EXISTING
WALLS FROM GRADE MUST REMAIN

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Plumbing Review - Golnaz Bastani - 02-26-2024
Mechanical Review - Golnaz Bastani - 02-26-2024
Structural Review - Golnaz Bastani - 02-26-2024
Neighbor Notifications - Kolias Elton - 02-26-2024
DOEE EV Review - Camille Hadden - 02-26-2024
Energy Review - Golnaz Bastani - 02-26-2024
DOEE SES Review - Nijal Puri - 02-26-2024



SEAL

5310 Cathedral Ave
5310 Cathedral Ave NW, Washington DC
20016

No.	Description	Date
		11-14-2023



SHEET TITLE:
RIGHT
ELEVATION

Project number	
Date	07-18-2023
Drawn by	
Checked by	

A-203



1 RIGHT ELEVATION
1/4" = 1'-0"

VERY IMPORTANT NOTE:
A MINIMUM OF 4'-0" OF THE EXISTING
WALLS FROM GRADE MUST REMAIN