

# TENANT LAYOUT FOR: HUGE

500 PENN ST. NE  
WASHINGTON, DC 20002

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## FIRE RESISTANCE

### INTERIOR WALL & CEILING FINISH REQUIREMENTS BY OCCUPANCY:

SECTION 803.1  
CLASS A: 0-25 FLAME SPREAD  
CLASS B: 26-75 FLAME SPREAD  
CLASS C: 76-200 FLAME SPREAD

TABLE 803.4  
VERTICAL EXITS AND PASSAGEWAYS: MIN. CLASS B (LESS THAN 3 STORIES)

EXIT ACCESS CORRIDORS: MIN. CLASS C

ROOMS OR ENCLOSED AREAS: MIN. CLASS C  
CLASS C FINISHES PERMITTED IN ADMINISTRATIVE SPACES  
CLASS C FINISHES PERMITTED IN ROOMS W/ CAPACITY OF 4 OR LESS.

### SECTION 804

FLOORS:  
VERTICAL EXITS, PASSAGEWAYS, EXIT ACCESS CORRIDORS:  
MIN CLASS II PER NFPA 253.  
ALL OTHER MIN. REQUIREMENT OF DOC FPI

TABLE 1505.1  
ROOF: MIN. CLASS C

SECTION 718.2 & 718.3  
THERMAL & SOUND CONTROL INSULATION  
CONCEALED: 0-25 FLAME SPREAD / SMOKE DEVELOPED INDEX 0-450  
EXPOSED: 0-25 FLAME SPREAD / SMOKE DEVELOPED INDEX 0-450

## ARCHITECT

LOVELESS PORTER ARCHITECTS  
9411 MAIN STREET, SUITE 210  
MANASSAS, VIRGINIA 20110  
PHONE - 703.368.1600  
FAX - 703.335.2211  
EMAIL - OFFICE@LPALLC.NET  
WWW.LOVELSSPORTERARCHITECTS.COM

## GENERAL CONSTRUCTION NOTES

1. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH LOCAL CODES AND NATIONAL STANDARDS.

2. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF FULLY WITH THE AREAS OF WORK AND SHALL NOTIFY THE OWNER AND THE ARCHITECT OF ANY UNACCEPTABLE OR PREVIOUSLY UNIDENTIFIED CONDITIONS THAT PREVENT FULL AND COMPLETE EXECUTION OF THE WORK. THE CONTRACTOR ACKNOWLEDGES HIS FULL ACCEPTANCE OF ALL CONDITIONS WHEN HE PROCEEDS WITH THE WORK. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT ALL SUBCONTRACTORS VIE THE JOB SITE, REVIEW THE PLANS AND SPECIFICATIONS, UNDERSTAND THE SCOPE OF WORK IN ITS ENTIRETY, AND POINT OUT ANY INCONSISTENCIES PRIOR TO BIDDING.

3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS AT THE JOB SITE AND SHALL NOTIFY THE OFFICE OF LOVELESS PORTER ARCHITECTS, LLC OF ANY DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE JOB.

4. DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE. DRYWALL SHALL BE DIMENSIONED FROM FINISH TO FINISH.

## MPE ENGINEERING

SAI ENGINEERING - INCORPORATED  
13662 OFFICE PLACE, SUITE 101  
WOODBRIDGE, VA 22192  
PHONE - 703.590.8200  
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## CODE ANALYSIS

### SCOPE:

NEW TENANT LAYOUT FOR A MARKETING FIRM. BUILDING WAS ORIGINALLY SEPARATED MIX USES WITH THIS SPACE ASSUMED M USE, ACTUAL USE B.

EXISTING SINGLE STORY BUILDING WITH MEZZANINE. SEPARATED MIXED USES IN AN INDUSTRIAL WAREHOUSE. LANDLORD IMPROVEMENTS AND PRIOR PERMIT APPROVAL INDICATES THE SEPARATED USES AND ASSUMED USES. SEPARATED MIXED USES OF B, M, S-2.

ASSUMED PREVIOUS USE M  
PROPOSED USE B

CODE: 2013 DISTRICT OF COLUMBIA CONSTRUCTION CODES

GROUPS PER IBC CHAPTER 3:

B - OFFICES

TYPE OF CONSTRUCTION: (TABLE 601)

TYPE II B

HEIGHT AND AREA LIMITATIONS (TABLE 503)

SEE SHEET C1.2 FOR HEIGHT AND AREA MODIFICATIONS.

TOTAL EXIST. BLDG AREA:

64,996 SF

TENANT AREA:

10,990 SF

OCCUPANCY LOAD PER IBC (TABLE 1004.1.2):

10,990 SF / 100 = 110 OCCUPANTS

EXIT TRAVEL DISTANCE PER IBC (TABLE 1016.2):

MAXIMUM LENGTH OF EXIT TRAVEL FOR GROUP B - 300' TRAVEL DISTANCE. (SPRINKLER SYSTEM)

MEANS OF EGRESS: PER IBC (TABLE 1015.1)

2 EXITS REQUIRED, 3 EXITS PROVIDED.

CORRIDOR FIRE-RESISTANCE RATING PER IBC (TABLE 1018.1):

0 HR - SPRINKLER SYSTEM

BUILDING MATERIALS AND CONSTRUCTION METHODS:

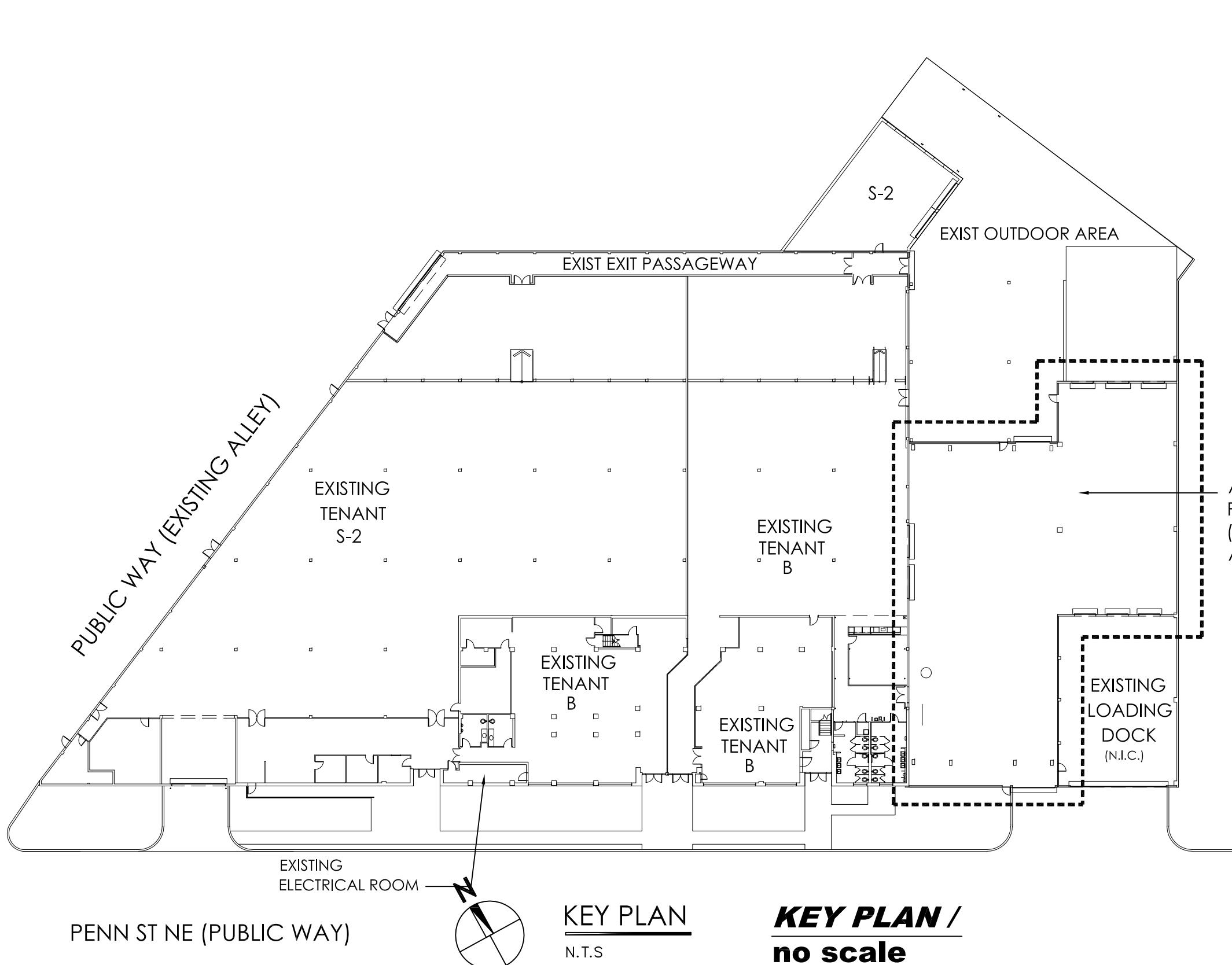
FIRE PROTECTION SYSTEM:

ACCESSIBILITY:

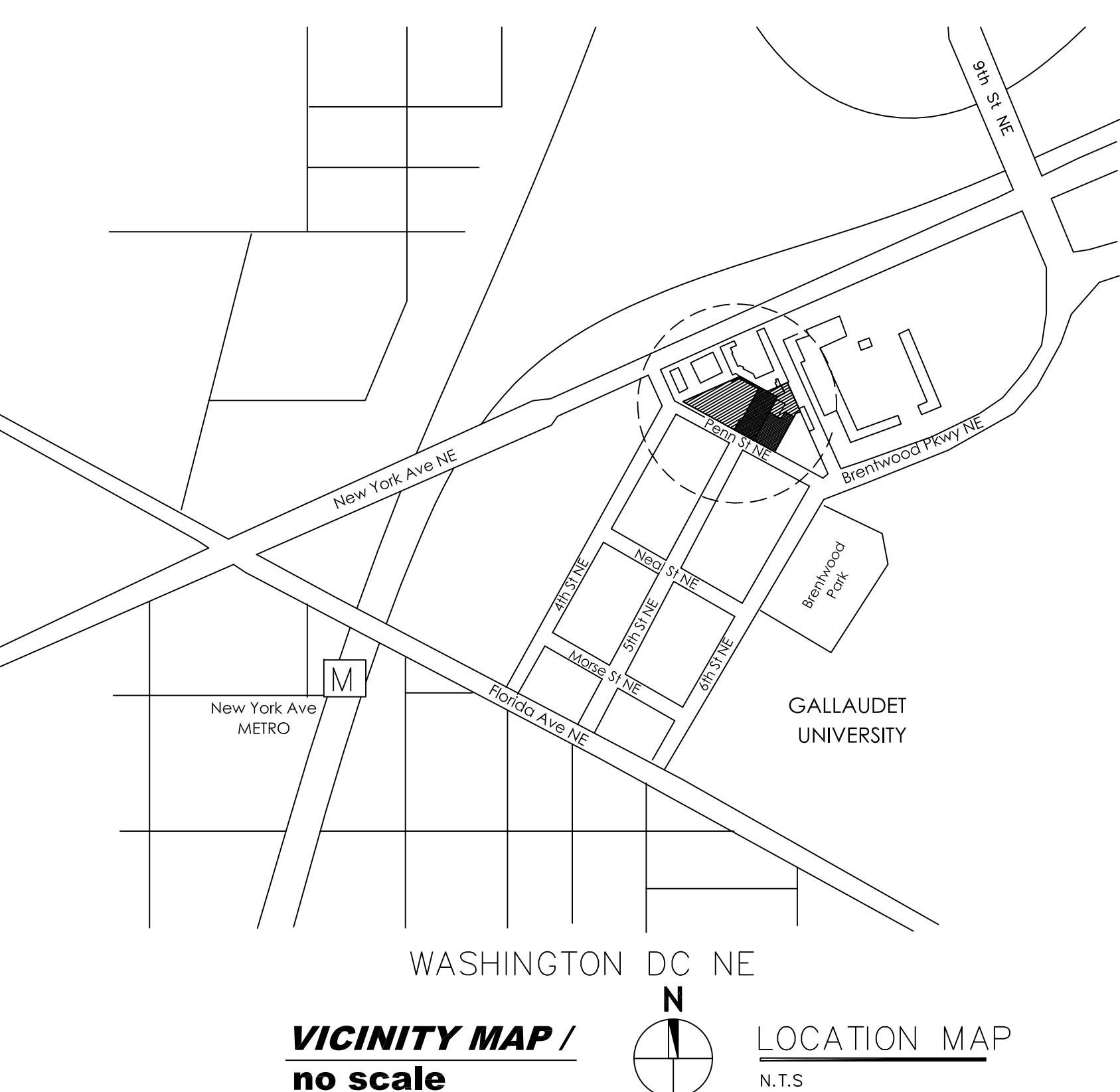
ALL BUILDING MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE IBC AND OSHA REQUIREMENTS.

BUILDING IS EQUIPPED WITH A FIRE SUPPRESSION SYSTEM. SYSTEM IS MONITORED PER DCRA 2013

BUILDING IS 100% ACCESSIBLE PER ICC ANSI 117.1 2009



AREA OF WORK



CODE: 2013 DISTRICT OF COLUMBIA CONSTRUCTION CODES: TITLE 12 DCMR CONSTRUCTION CODES SUPPLEMENT  
2013 DC BUILDING CODE (2012 EDITION OF IBC BY ICC, AS AMENDED BY DC CONSTRUCTION CODE SUPPLEMENT OF 2013 (12 DCMR A, BUILDING CODE SUPPLEMENT))  
2013 DC ELECTRICAL CODE (2011 EDITION OF NEC BY NFPA, AS AMENDED BY DC CONSTRUCTION CODE SUPPLEMENT OF 2013 (12 DCMR E, ELECTRICAL CODE SUPPLEMENT))  
2013 DC MECHANICAL CODE (2012 EDITION OF IMC BY ICC, AS AMENDED BY DC CONSTRUCTION CODE SUPPLEMENT OF 2013 (12 DCMR F, MECHANICAL CODE SUPPLEMENT))  
2013 DC FIRE CODE (2012 EDITION OF IFC BY ICC, AS AMENDED BY DC CONSTRUCTION CODE SUPPLEMENT OF 2013 (12 DCMR F, PLUMBING CODE SUPPLEMENT))  
2013 DC EXISTING CODE (2012 EDITION OF IBC BY ICC, AS AMENDED BY DC CONSTRUCTION CODE SUPPLEMENT OF 2013 (12 DCMR J, EXISTING BUILDING CODE SUPPLEMENT))  
2013 DC GREEN CONSTRUCTION CODE (2012 EDITION OF ICC BY ICC, AS AMENDED BY DC CONSTRUCTION CODE SUPPLEMENT OF 2013 (12 DCMR K, GREEN CONSTRUCTION CODE SUPPLEMENT))  
2009 ICC A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES STANDARDS

0001  
Board of Zoning Adjustment  
Case No. 21224  
Exhibit No. 1

ISSUE DATE	DESCRIPTION
10.6.15	REVIEW
10.16.15	REVIEW
REVISION DATE	
MARK DATE	
DESCRIPTION	
SEAN MICHAEL PORTER 10/20/15	REVIEW
SEAL	

LOVELESS PORTER ARCHITECTS, LLC  
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**BUILDING CODE  
ANALYSIS**

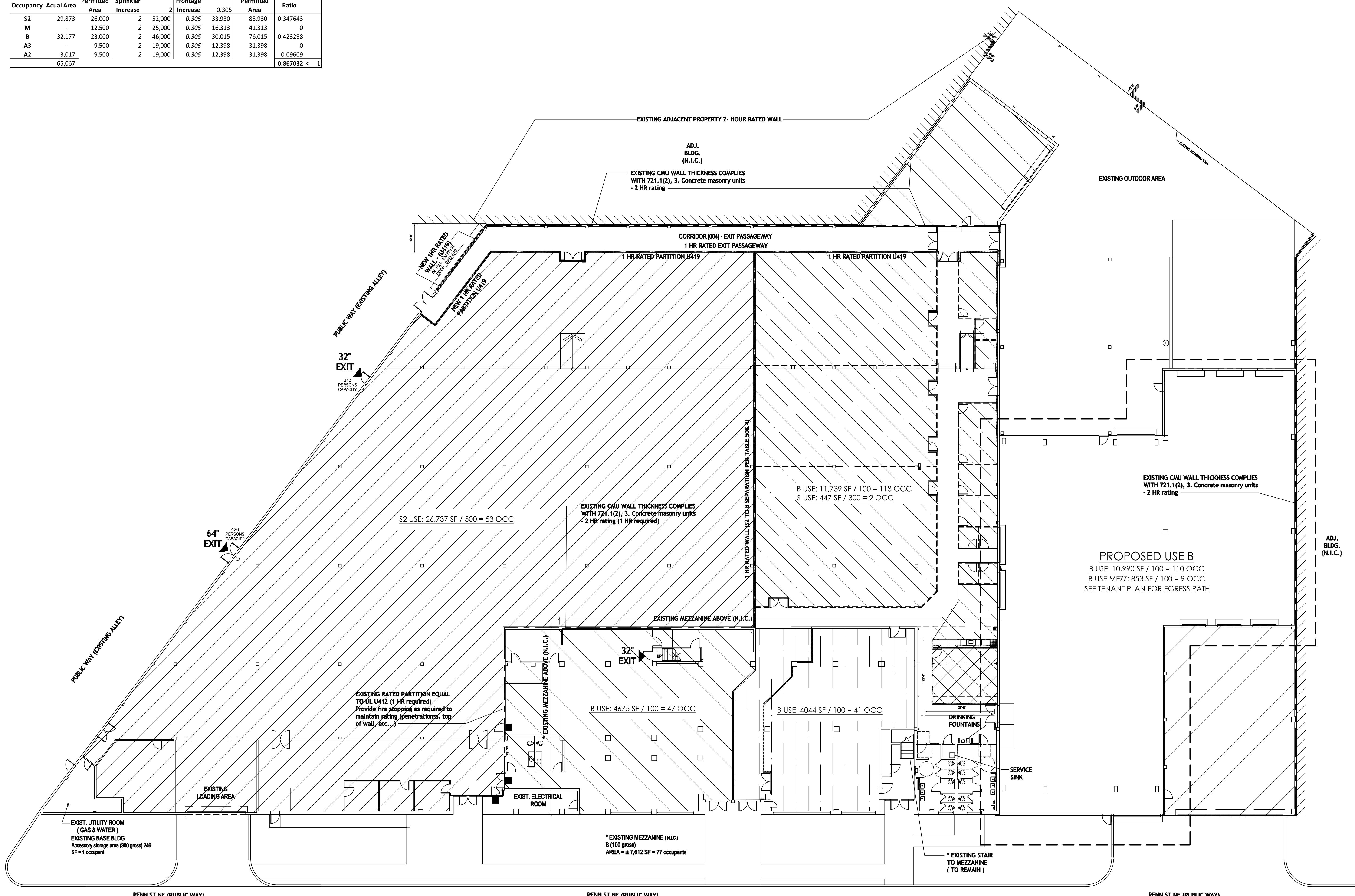
ISSUE DATE	DESCRIPTION
10.6.15	REVIEW
10.16.15	REVIEW
REVISION DATE	MARK DATE

SEAL

PROJECT No. 151972

BUILDING AREA MODIFICATIONS:  
SPRINKLER INCREASE: 200%  
STREET FRONTAGE INCREASE: .305

Occupancy	Actual Area	Permitted Area	Sprinkler Increase	Frontage Increase	Permitted Area	Ratio
S2	29,873	26,000	2	52,000	0.305	33,930
M	-	12,500	2	25,000	0.305	16,313
B	32,177	23,000	2	46,000	0.305	30,015
A3	-	9,500	2	19,000	0.305	12,398
A2	3,017	9,500	2	19,000	0.305	12,398
	65,067					0.09609
						0.867032 < 1



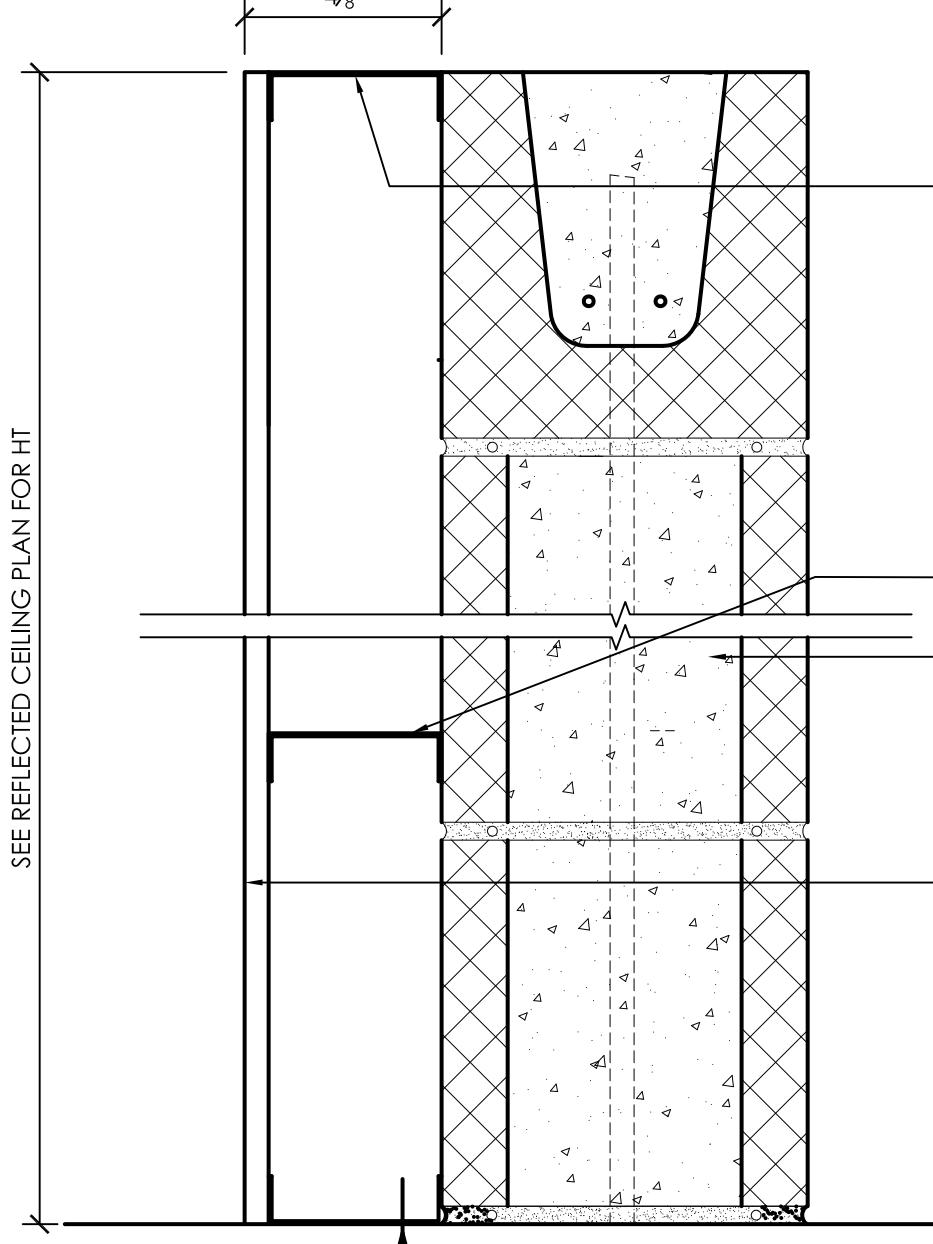


# HUGE

SEE REFLECTED CEILING PLAN FOR HT

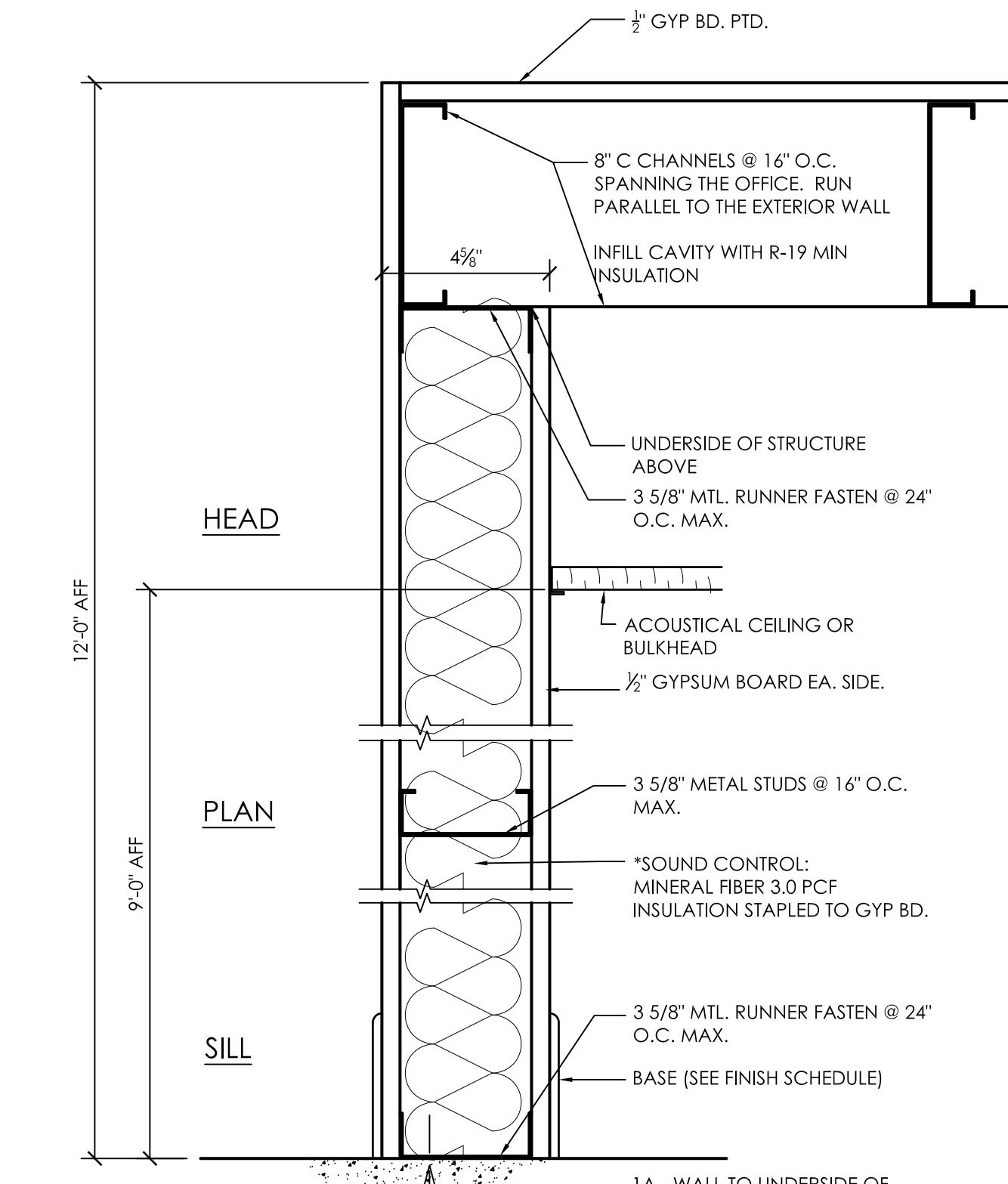
1

BT



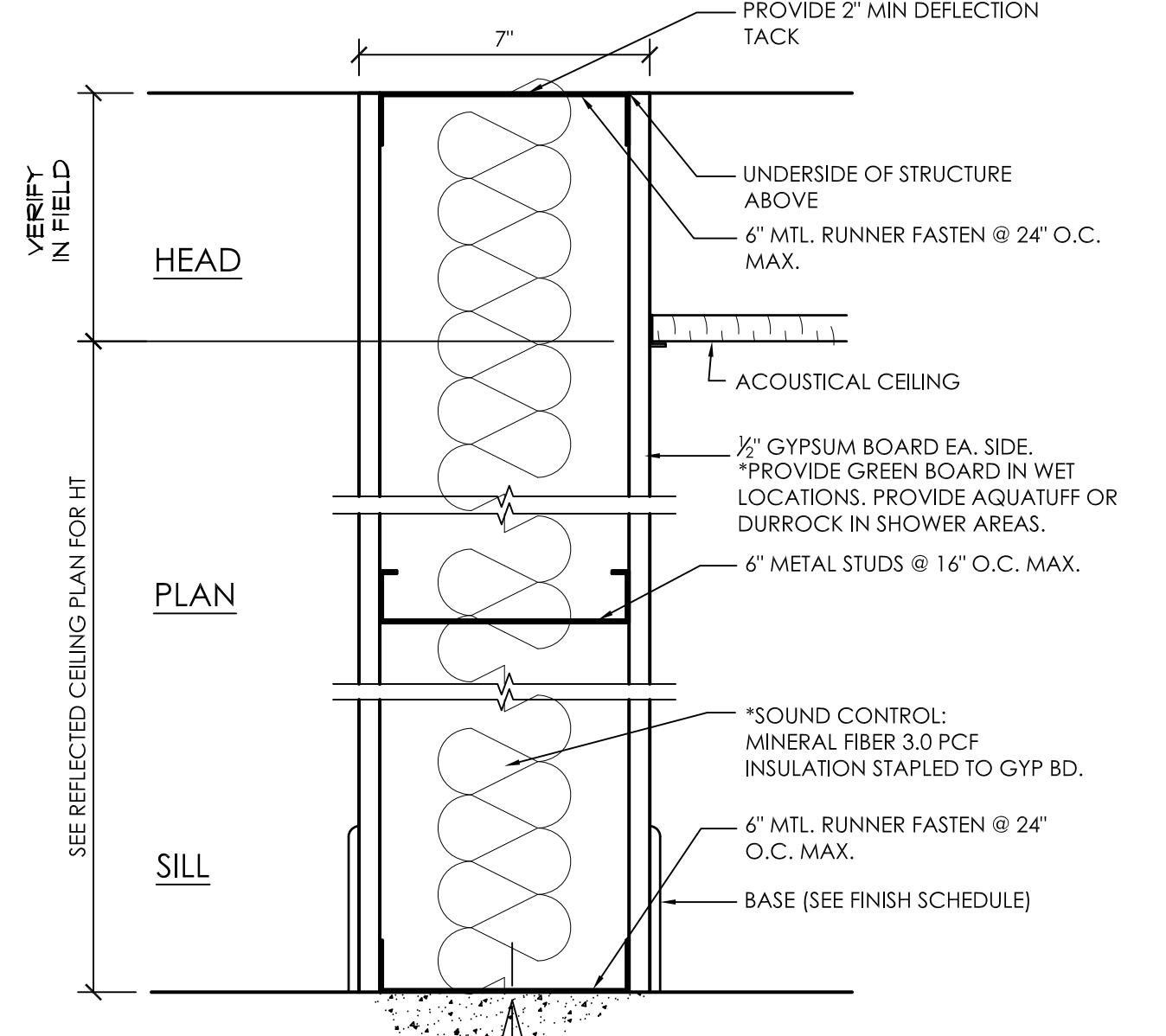
C2 INTERIOR PARTITION TYPE 1

SCALE: 3" = 1'-0"

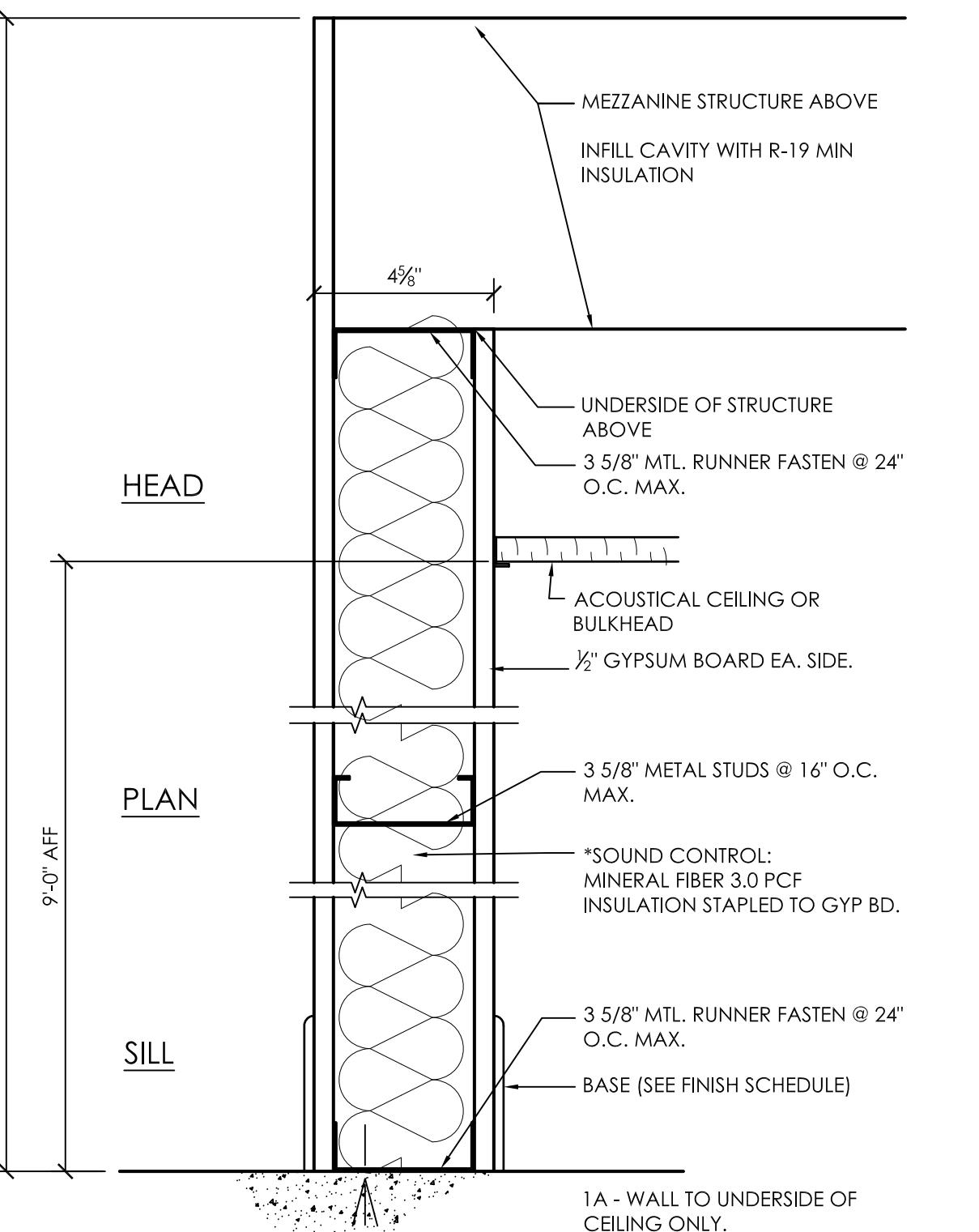


**C1** INTERIOR PARTITION TYPE **2**

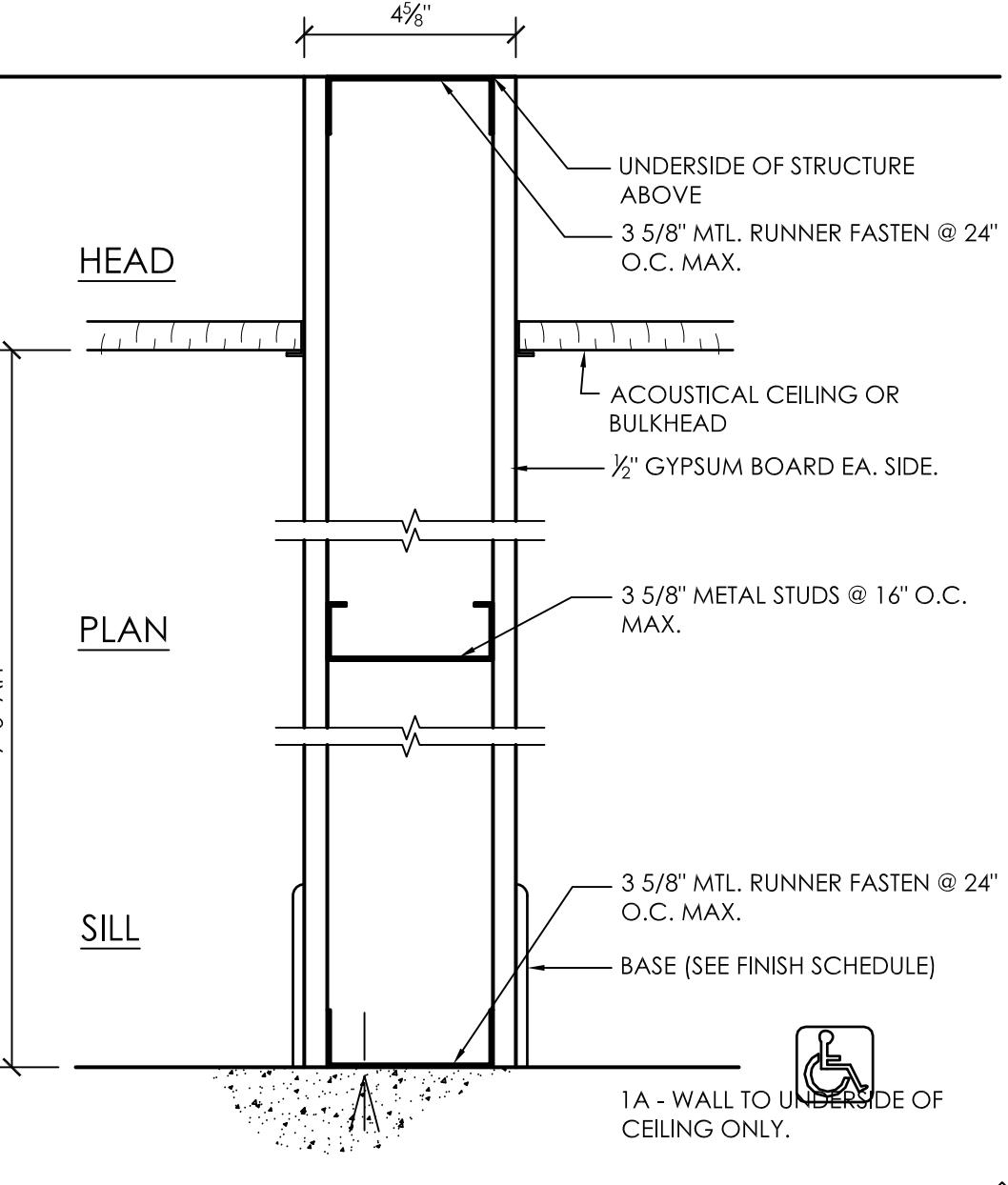
SCALE: 3" = 1'-0"



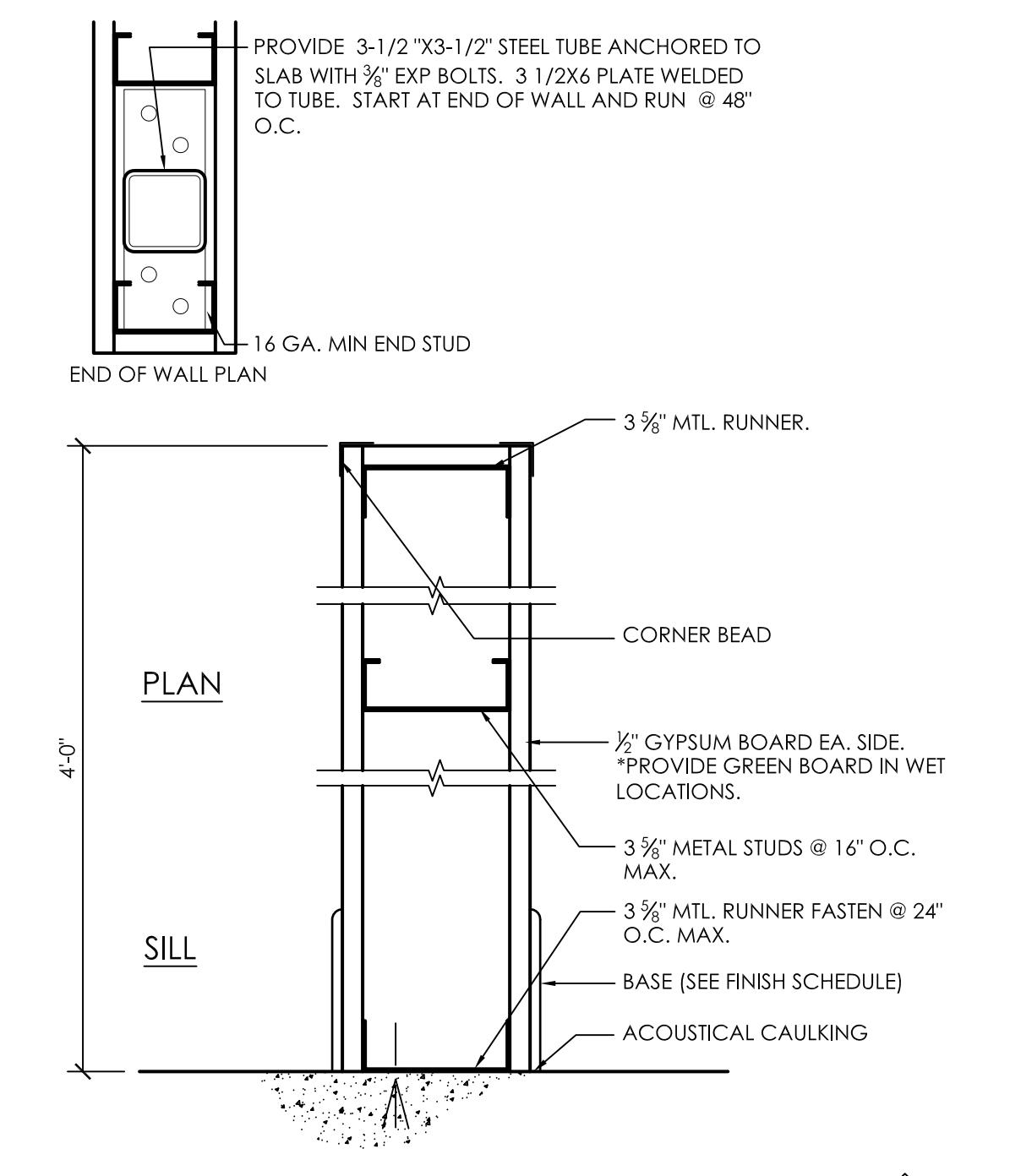
B2 INTERIOR PARTITION TYPE 3  
SCALE: 3" = 1'-0"



B1 INTERIOR PARTITION TYPE 4  
SCALE: 3" = 1'-0"



B1 INTERIOR PARTITION TYPE 5  
SCALE: 3" = 1'-0"



B1 INTERIOR PARTITION TYPE 6  
SCALE: 3" = 1'-0"



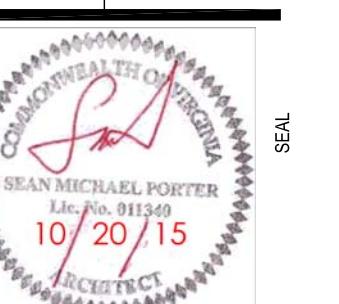


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**FURNITURE /  
EGRESS PLAN**

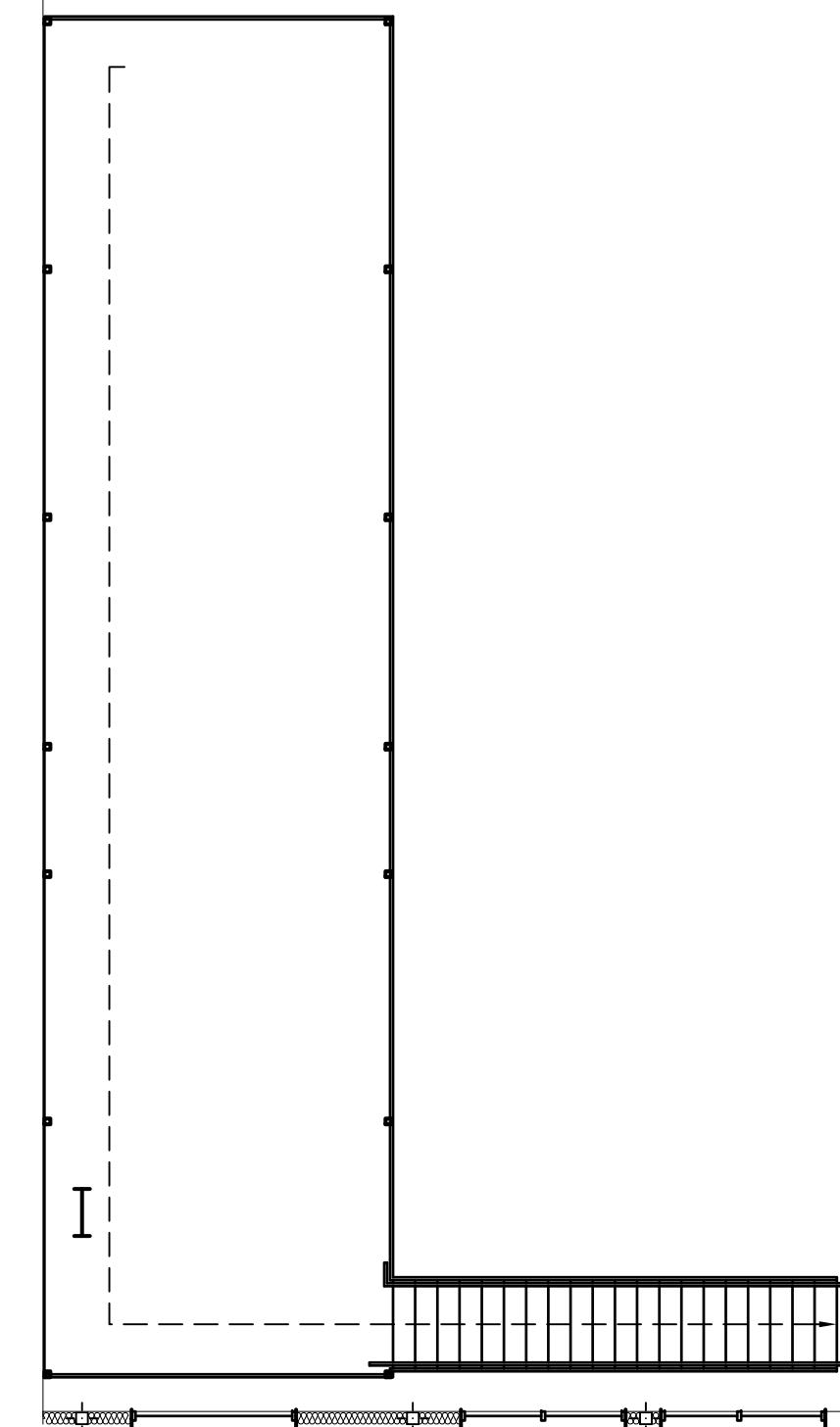
ISSUE DATE  
DATE DESCRIPTION  
10.6.15 REVIEW  
10.16.15 REVIEW

REVISION DATE  
MARK DATE DESCRIPTION



PROJECT No. 151972

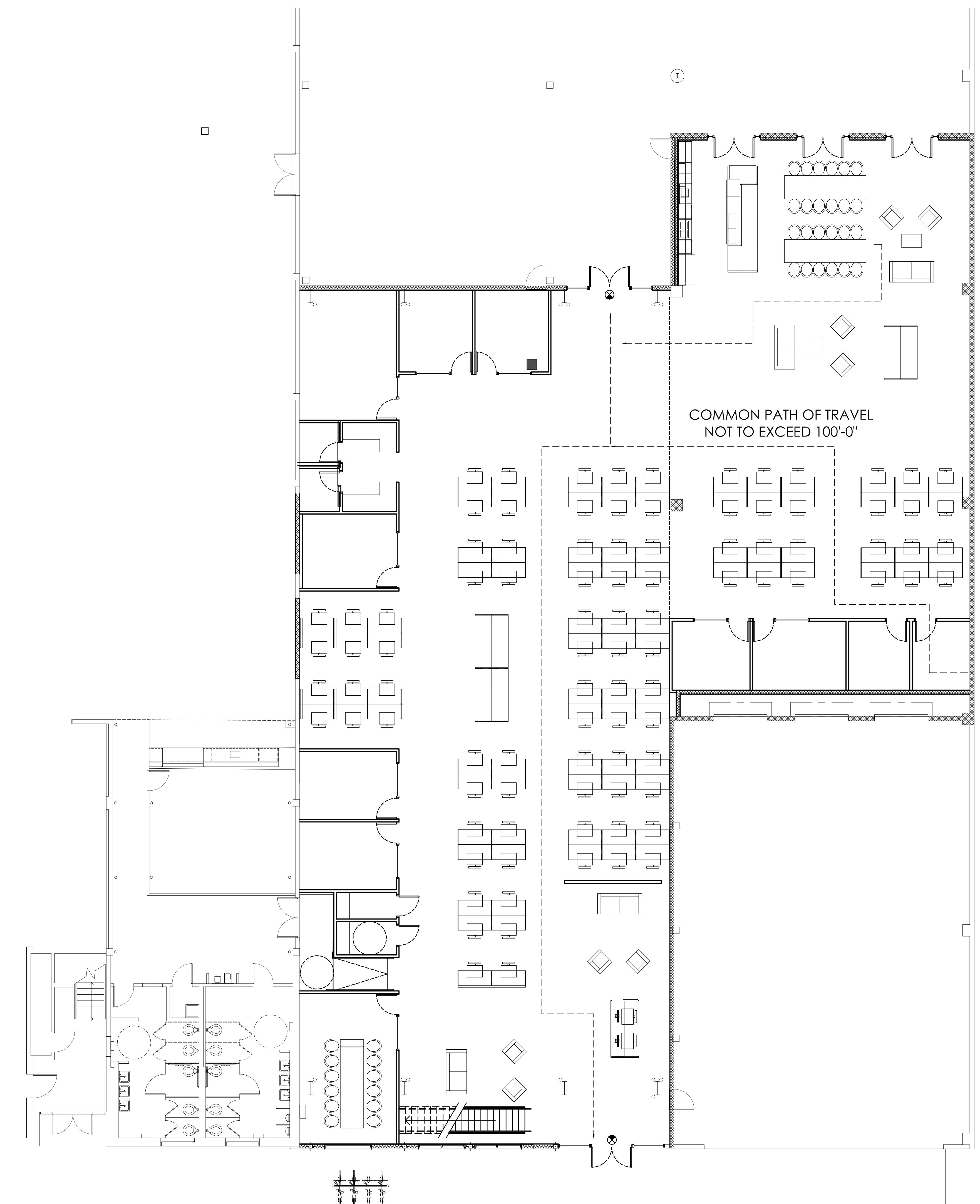
COMMON PATH OF TRAVEL  
NOT TO EXCEED 100'-0"



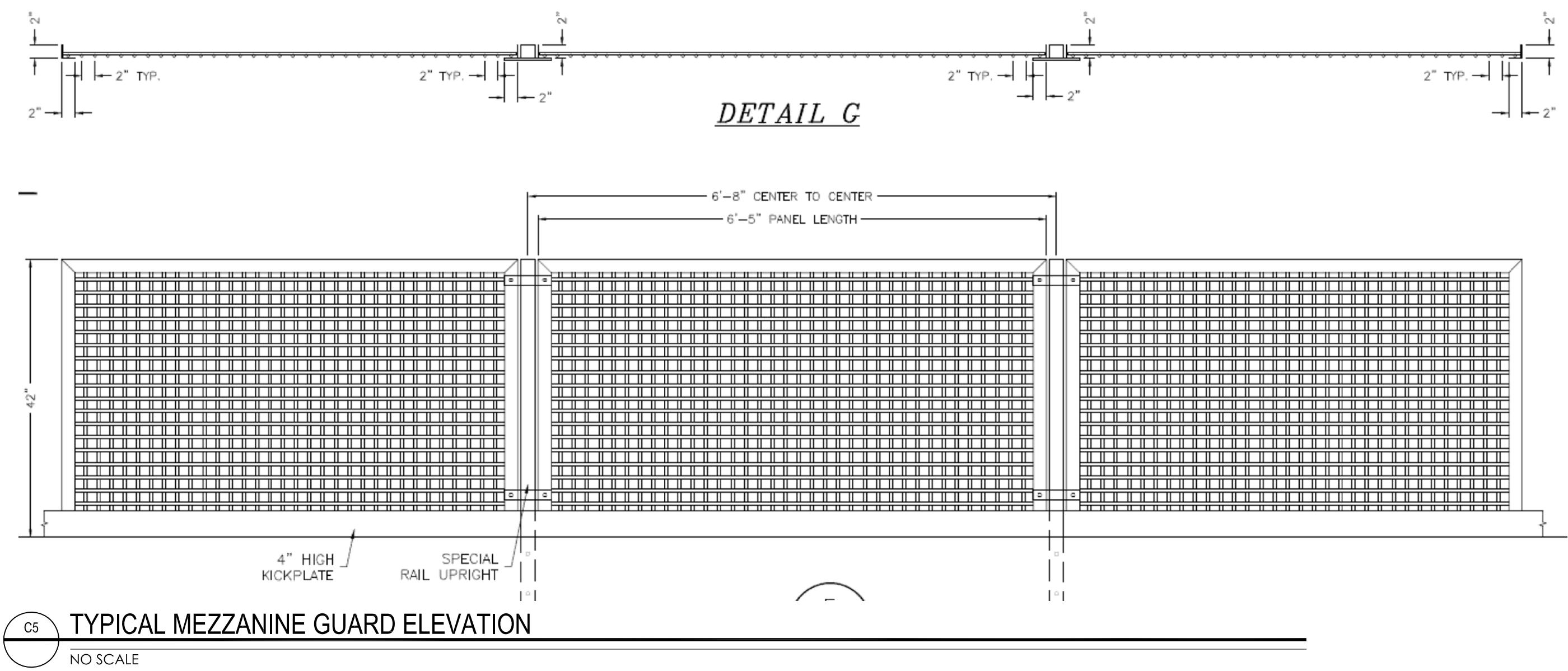
**A5** MEZZANINE PLANS  
SCALE: 1/8" = 1'-0"

**A3** FURNITURE / EGRESS PLAN  
SCALE: 1/8" = 1'-0"

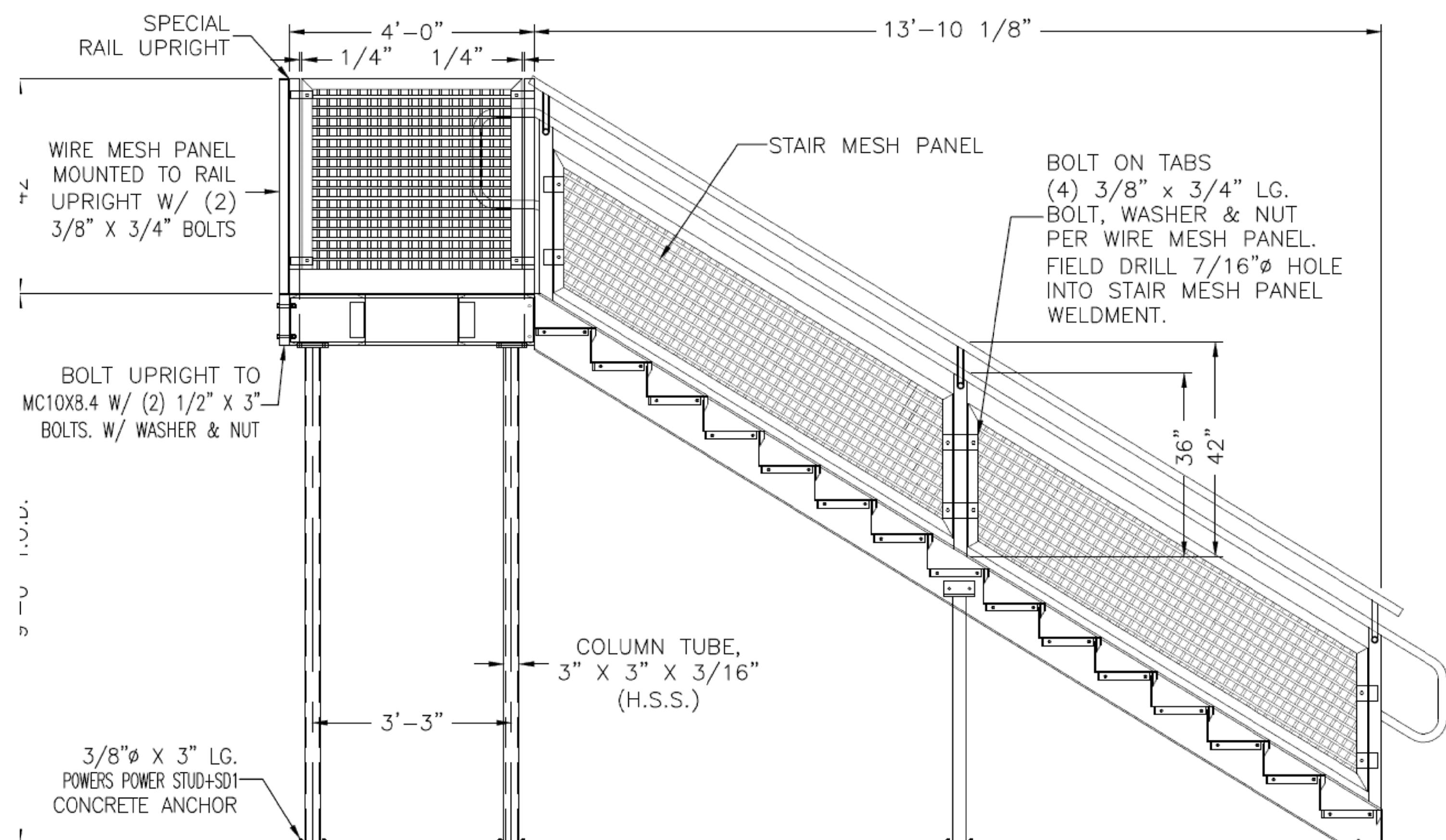
COMMON PATH OF TRAVEL  
NOT TO EXCEED 100'-0"



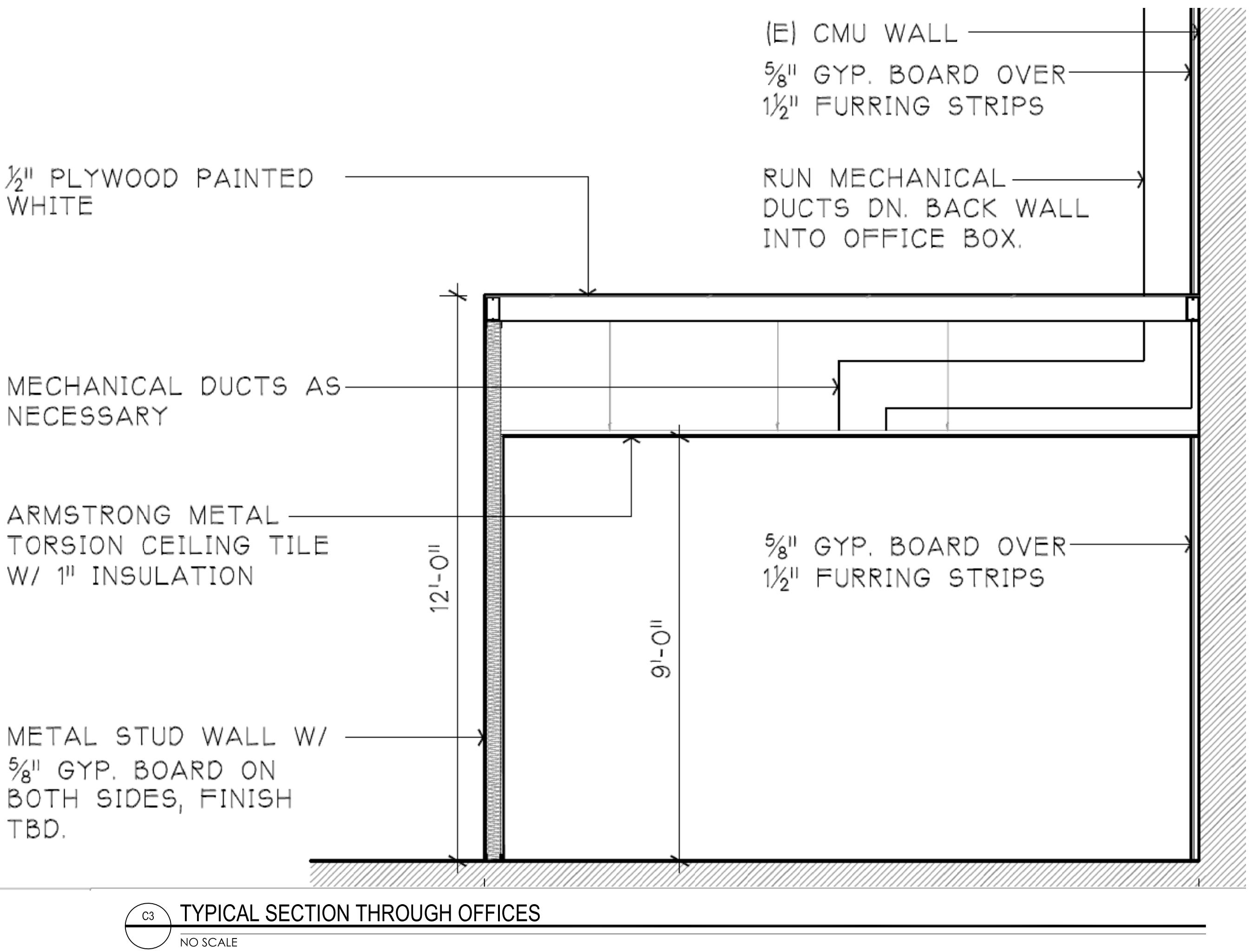
**A020**



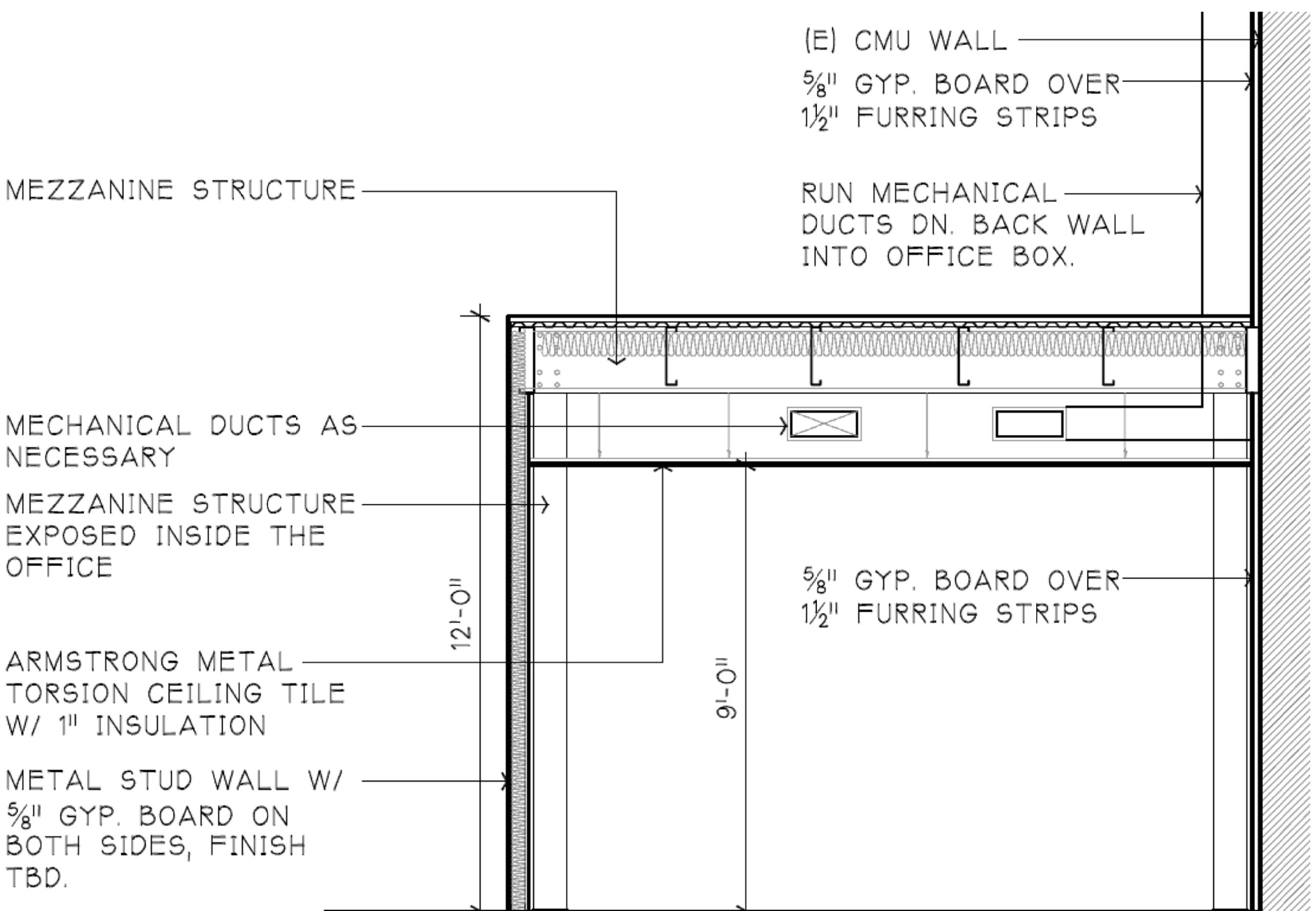
**TYPICAL MEZZANINE GUARD ELEVATION**



A5 TYPICAL MEZZANINE STAIR ELEVATION  
NO SCALE



**TYPICAL SECTION THROUGH OFFICES**



A3 TYPICAL SECTION THROUGH MEZZANINE  
NO SCALE

### RCP PLAN NOTES

1. ARCHITECTURAL REFLECTED CEILING PLAN SHALL GOVERN LOCATION OF DEVICES. IF CONFLICTS ARISE BETWEEN PROPOSED LIGHTING AND MECHANICAL OR PLUMBING EQUIPMENT CONSULT ARCHITECT.
2. VISIBLE CEILING ELEMENTS SHALL BE CENTERED WITHIN: ON THE JOINT BETWEEN OR @ THE INTERSECTION OF CEILING TILES U.O.N.
3. ALL EQUIPMENT, MATERIALS, CABLES, CONDUIT AND FIXTURES ABOVE THE CEILING SHALL BE INDEPENDENTLY SUPPORTED PER CODE.
4. INSTALL 2'x2' TILE &LIGHTS PER LOCATIONS ON DWG. FINISHED CEILING SHALL BE TRUE, LEVEL AND FREE FROM SOILED, DAMAGED OR WARPED TILES. REPAIR OR REPLACE DAMAGED GRID & TILE AS REQUIRED TO LIKE NEW CONDITIONS. CEILING TILE TO MATCH EXISTING.
5. INSTALL CEILING HOLD DOWN CLIPS ALONG PARTITIONS AND FOR CEILING TILES LESS THAN FULL SIZE.
6. INSTALL EXPOSED CEILING TEES AS REQ'D FOR NEW LIGHT LOCATIONS. CEILING TEES TO MATCH EXISTING.
7. INSTALL EDGE MOLDING AT INTERSECTION OF CEILING AND VERTICAL SURFACES, MITER CORNERS.
8. ACCESS PANELS ARE TO BE PROVIDED FOR ALL CONCEALED EQUIP., VALVES, ETC. FINISH TO MATCH ADJACENT SURFACE.

FANS, SCONCES, AND CEILING LIGHTING TO BE SWITCHED INDEPENDENTLY IN EACH ROOM / SPACE.

USE EMERGENCY BALLASTED TYPE FIXTURES IN LIEU OF BATTERY WALL PACK WHERE ACCEPTABLE.

WHERE INSTALLED, ALL EMERGENCY WALL PACK FIXTURES TO BE WHITE IN COLOR.

A5 REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"