

TENANT LAYOUT FOR:  
**HUGE**

500 PENN ST. NE  
WASHINGTON, DC 20002

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**ARCHITECTURAL**

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**FIRE RESISTANCE**

INTERIOR WALL & CEILING FINISH REQUIREMENTS BY OCCUPANCY:

**SECTION 803.1**

CLASS A, 0-25 FLAME SPREAD  
CLASS B, 26-75 FLAME SPREAD  
CLASS C, 76-200 FLAME SPREAD

**TABLE 803.4**

VERTICAL EXITS AND PASSAGEWAYS: MIN. CLASS B (LESS THAN 3 STORIES)

EXIT ACCESS CORRIDORS: MIN. CLASS C

ROOMS OR ENCLOSED AREAS: MIN. CLASS C

CLASS C FINISHES PERMITTED IN ADMINISTRATIVE SPACES  
CLASS C FINISHES PERMITTED IN ROOMS W/ CAPACITY OF 4 OR LESS.

**SECTION 804**

FLOORS:

VERTICAL EXITS, PASSAGEWAYS, EXIT ACCESS CORRIDORS:  
MIN CLASS II PER NFPA 253.  
ALL OTHER MIN. REQUIREMENT OF DOC. FFI

**TABLE 1505.1**

ROOF: MIN. CLASS C

**SECTION 718.2 & 718.3**

THERMAL & SOUND CONTROL INSULATION  
CONCEALED: 0-25 FLAME SPREAD / SMOKE DEVELOPED INDEX 0-450  
EXPOSED: 0-25 FLAME SPREAD / SMOKE DEVELOPED INDEX 0-450

**GENERAL CONSTRUCTION NOTES**

1. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH LOCAL CODES AND NATIONAL STANDARDS.

2. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF FULLY WITH THE AREAS OF WORK AND SHALL NOTIFY THE OWNER AND THE ARCHITECT OF ANY UNACCEPTABLE OR PREVIOUSLY UNIDENTIFIED CONDITIONS THAT PREVENT FULL AND COMPLETE EXECUTION OF THE WORK. THE CONTRACTOR ACKNOWLEDGES HIS FULL ACCEPTANCE OF ALL CONDITIONS WHEN HE PROCEEDS WITH THE WORK. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT ALL SUBCONTRACTORS VISIT THE JOB SITE, REVIEW THE PLANS AND SPECIFICATIONS, UNDERSTAND THE SCOPE OF WORK IN ITS ENTIRETY, AND POINT OUT ANY INCONSISTENCIES PRIOR TO BIDDING.

3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS AT THE JOB SITE AND SHALL NOTIFY THE OFFICE OF LOVELESS PORTER ARCHITECTS, LLC OF ANY DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE JOB.

4. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE. DRYWALL SHALL BE DIMENSIONED FROM FINISH TO FINISH.

**CODE ANALYSIS**

SCOPE:

NEW TENANT LAYOUT FOR A MARKETING FIRM. BUILDING WAS ORIGINALLY SEPARATED MIX USES WITH THIS SPACE ASSUMED M USE, ACTUAL USE B.

EXISTING SINGLE STORY BUILDING WITH MEZZANINE. SEPARATED MIXED USES IN AN INDUSTRIAL WAREHOUSE. LANDLORD IMPROVEMENTS AND PRIOR PERMIT APPROVAL INDICATES THE SEPARATED USES AND ASSUMED USES. SEPARATED MIXED USES OF B, M, S-2.

ASSUMED PREVIOUS USE M  
PROPOSED USE B

CODE:

2013 DISTRICT OF COLUMBIA CONSTRUCTION CODES

GROUPS PER IBC CHAPTER 3:

B - OFFICES

TYPE OF CONSTRUCTION:  
(TABLE 601)

TYPE II B

HEIGHT AND AREA LIMITATIONS  
(TABLE 503)

SEE SHEET C1.2 FOR HEIGHT AND AREA MODIFICATIONS.

TOTAL EXIST. BLDG AREA:

64,996 SF

TENANT AREA:

10,990 SF

OCCUPANCY LOAD PER IBC (TABLE 1004.1.2):

10,990 SF / 100 = 110 OCCUPANTS

EXIT TRAVEL DISTANCE PER IBC (TABLE 1016.2):

MAXIMUM LENGTH OF EXIT TRAVEL FOR GROUP B - 300' TRAVEL DISTANCE. (SPRINKLER SYSTEM)

MEANS OF EGRESS:  
PER IBC (TABLE 1015.1)

2 EXITS REQUIRED, 3 EXITS PROVIDED.

CORRIDOR FIRE-RESISTANCE RATING  
PER IBC (TABLE 1018.1):

0 HR - SPRINKLER SYSTEM

BUILDING MATERIALS AND  
CONSTRUCTION METHODS:

ALL BUILDING MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE IBC AND OSHA REQUIREMENTS.

FIRE PROTECTION SYSTEM:

BUILDING IS EQUIPPED WITH A FIRE SUPPRESSION SYSTEM. SYSTEM IS MONITORED PER DCRA 2013

ACCESSIBILITY:

BUILDING IS 100% ACCESSIBLE PER ICC ANSI 117.1 2009

**ARCHITECT**

LOVELESS PORTER ARCHITECTS

9411 MAIN STREET, SUITE 210

MANASSAS, VIRGINIA 20110

PHONE - 703.368.1600

FAX - 703.335.2211

EMAIL - OFFICE@LPALLC.NET

WWW.LOVELSSPORTERARCHITECTS.COM

**MPE ENGINEERING**

SAI ENGINEERING - INCORPORATED

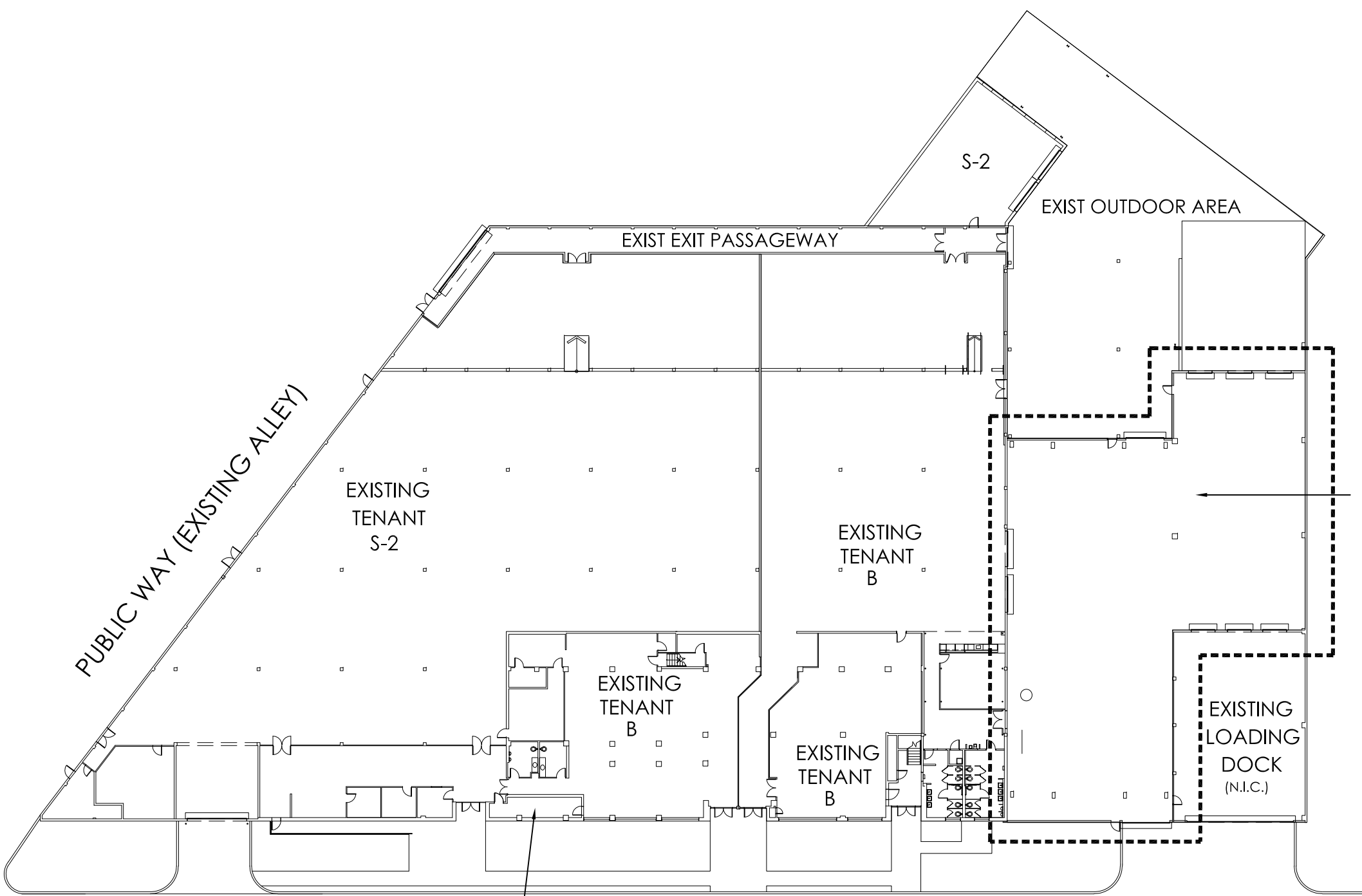
13662 OFFICE PLACE, SUITE 101

WOODBIDGE, VA 22192

PHONE - 703. 590.8200

FAX - 703.590.4994

EMAIL - MAIL@SAIMEP.COM



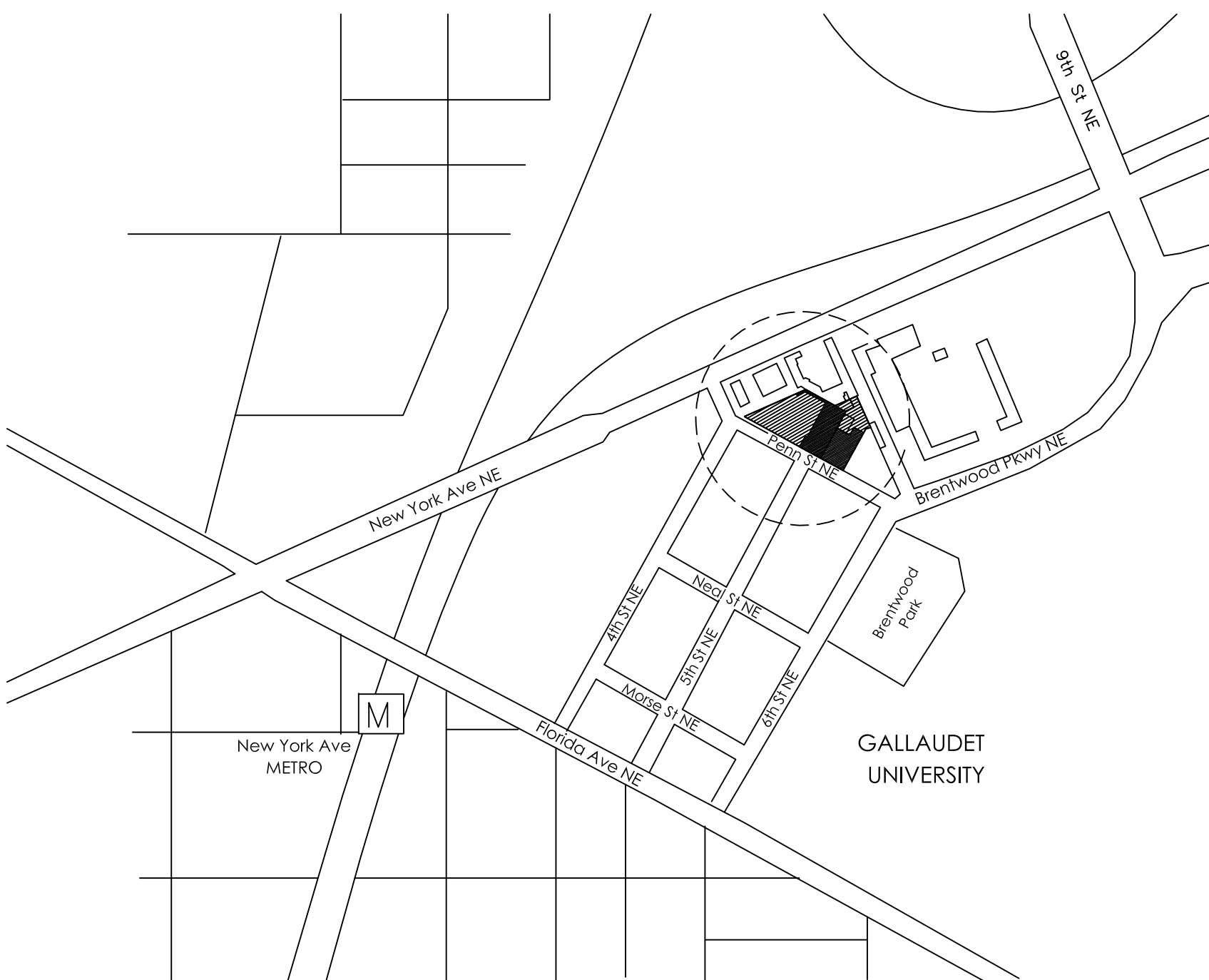
ACTUAL USE: B  
PREVIOUS PROPOSED USE: M  
(PREVIOUS CODE ANALYSIS ASSUMED USE OF M)

PENN ST NE (PUBLIC WAY)

**KEY PLAN**  
N.T.S

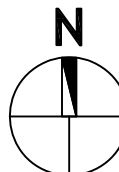
**KEY PLAN /**  
**no scale**

**AREA OF WORK**



WASHINGTON DC NE

**VICINITY MAP /**  
**no scale**



**LOCATION MAP**  
N.T.S

CODE: 2013 DISTRICT OF COLUMBIA CONSTRUCTION CODES; TITLE 12 DCMR CONSTRUCTION CODES SUPPLEMENT  
2013 DC BUILDING CODE [2012 EDITION OF IBC BY ICC, AS AMENDED BY DC CONSTRUCTION CODE SUPPLEMENT OF 2013 (12 DCMR A, BUILDING CODE SUPPLEMENT)]  
2013 DC ELECTRICAL CODE [2011 EDITION OF NEC BY NFPA, AS AMENDED BY DC CONSTRUCTION CODE SUPPLEMENT OF 2013 (12 DCMR C, ELECTRICAL CODE SUPPLEMENT)]  
2013 DC MECHANICAL CODE [2012 EDITION OF IMC BY ICC, AS AMENDED BY DC CONSTRUCTION CODE SUPPLEMENT OF 2013 (12 DCMR E, MECHANICAL CODE SUPPLEMENT)]  
2013 DC FIRE CODE [2012 EDITION OF IFC BY ICC, AS AMENDED BY DC CONSTRUCTION CODE SUPPLEMENT OF 2013 (12 DCMR F, PLUMBING CODE SUPPLEMENT)]  
2013 DC EXISTING CODE [2012 EDITION OF IEBG BY ICC, AS AMENDED BY DC CONSTRUCTION CODE SUPPLEMENT OF 2013 (12 DCMR J, EXISTING BUILDING CODE SUPPLEMENT)]  
2013 DC GREEN CONSTRUCTION CODE [2012 EDITION OF IGCC BY ICC, AS AMENDED BY DC CONSTRUCTION CODE SUPPLEMENT OF 2013 (12 DCMR K, GREEN CONSTRUCTION CODE SUPPLEMENT)]  
2009 ICC A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES STANDARDS

TENANT LAYOUT FOR:

**HUGE**

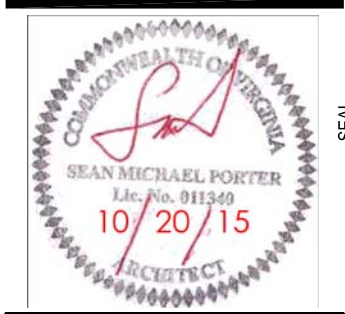
500 PENN ST. NE

WASHINGTON, DC 20002

COVER SHEET

ISSUE DATE	DATE	DESCRIPTION
10.6.15	REVIEW	
10.16.15	REVIEW	

REVISION DATE	DATE	DESCRIPTION
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PROJECT No. 151972

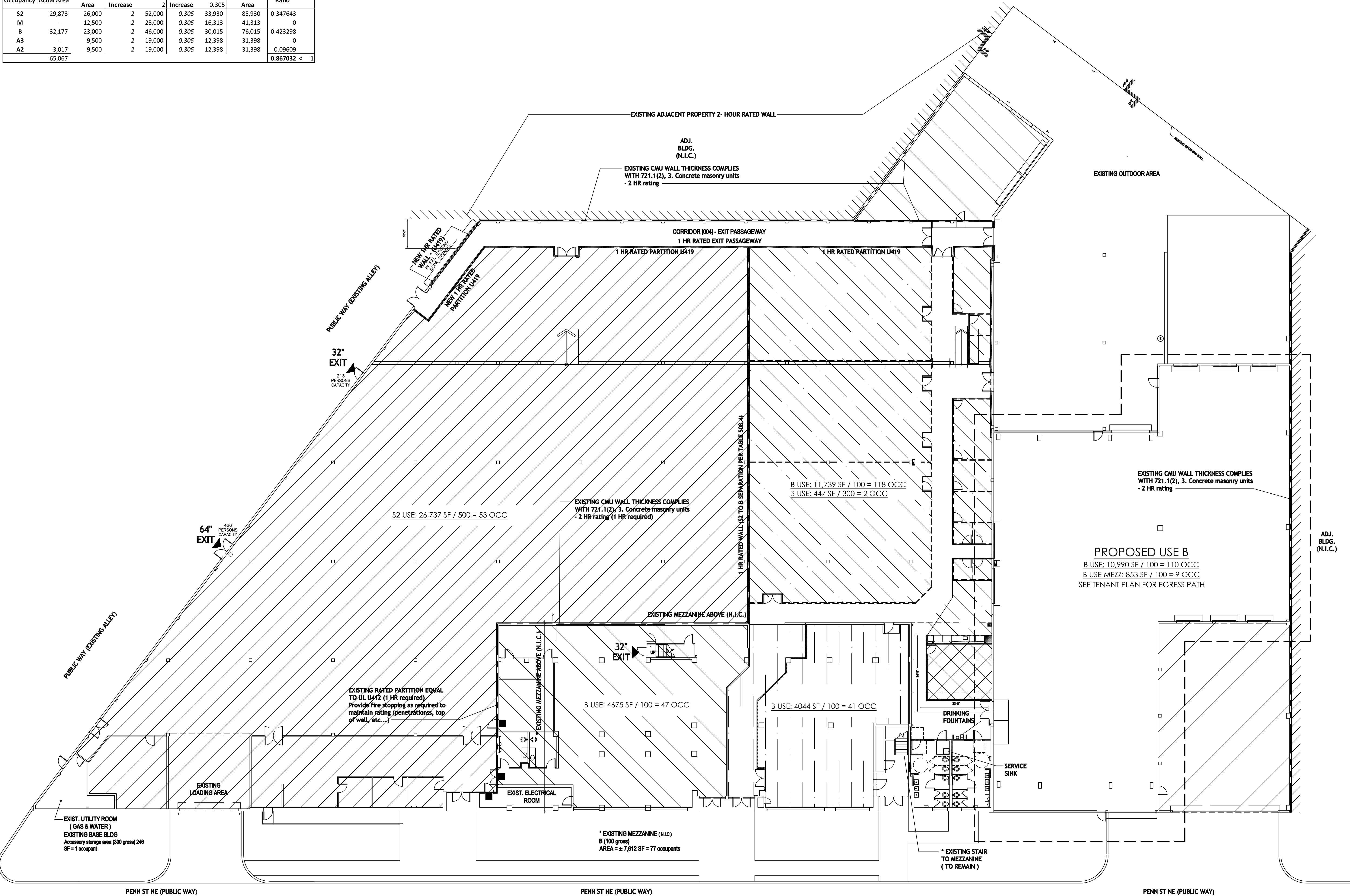
**0001**  
Issued for pricing and permit  
Drawing Number  
CASE NO.21224  
EVENING MO. 6

**LOVELESS PORTER**  
ARCHITECTS, LLC  
9411 MAIN STREET, SUITE 210, MANASSAS, VA, 20110 TEL: 703.368.1600  
WWW.LOVELSSPORTERARCHITECTS.COM EMAIL: OFFICE@LPALLC.NET



BUILDING AREA MODIFICATIONS:  
SPRINKLER INCREASE: 200%  
STREET FRONTAGE INCREASE: .305

Occupancy	Acual Area	Permitted Area	Sprinkler Increase	Frontage Increase	0.305	Permitted Area	Ratio
S2	29,873	26,000	2	52,000	0.305	33,930	0.347643
M	-	12,500	2	25,000	0.305	16,313	0
B	32,177	23,000	2	46,000	0.305	30,015	0.423298
A3	-	9,500	2	19,000	0.305	12,398	0
A2	3,017	9,500	2	19,000	0.305	31,398	0.09609
	65,067						0.867032 < 1



EGRESS PLAN AND BUILDING CODE INFORMATION

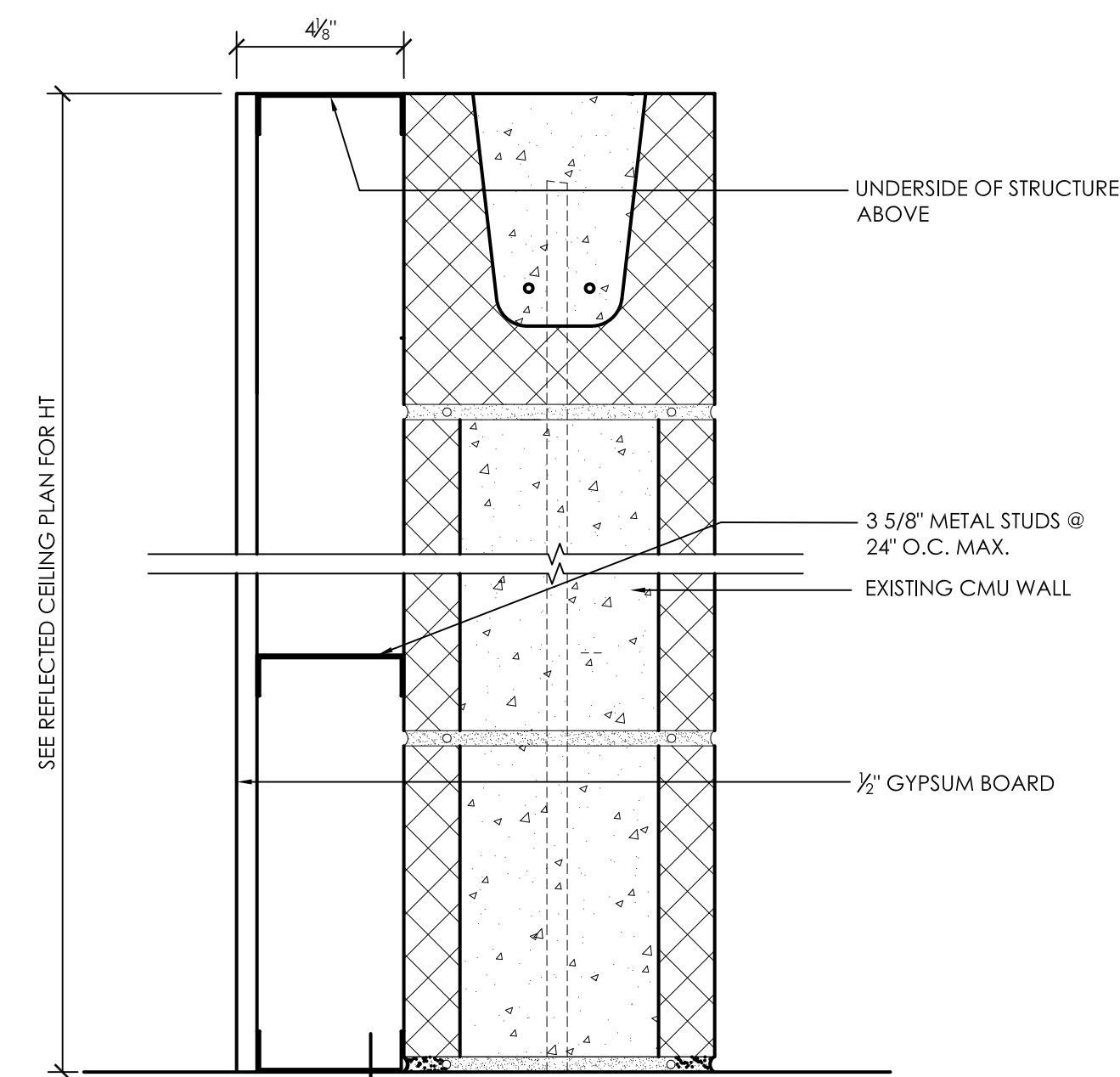


- 1 CONTRACTOR / BIDDER SHALL VISIT & BECOME FAMILIAR WITH EXISTING CONDITIONS PRIOR  
2 TO SUBMISSION OF BID.
- 3 DEMOLITION SHALL BE COORDINATED WITH ALL CONSTRUCTION DOCUMENTS TO  
4 DETERMINE ACTUAL SCOPE OF DEMOLITION WORK.
- 5 CONTRACTOR SHALL VERIFY LIMITATIONS & MANEUVERING ACCESS SPACE FOR REMOVAL  
6 OF DEMOLISHED ITEMS.
- 7 CONSTRUCT TEMPORARY DUST PROOF PARTITIONS WHERE REQUIRED TO CONFINE DIRT &  
8 DUST IN AREA OF NEW CONSTRUCTION.
- 9 CONTRACTOR SHALL INSPECT, TEST, & DISCONNECT UTILITY SERVICES AS REQ'D PRIOR TO  
10 DEMOLITION.
- 11 CONTRACTOR SHALL SECURELY CAP &/OR VALVE OFF ABANDONED UTILITIES BEHIND FINAL  
12 FINISHED SURFACES.
- 13 DEMO EXISTING INTERIOR CONSTRUCTION AS INDICATED ON THE DEMOLITION PLAN WITH  
14 DASHED LINE TYPE.
- 15 REMOVE ALL ELEC. & TELE/DATA OUTLETS IN DEMOLISHED PARTITIONS.
- 16 ANY DAMAGE CAUSED TO OTHER AREAS OF THE BUILDING BY DEMOLITION WORK SHALL BE  
17 REPAIRED AT NO ADDITIONAL COST.
- 18 G.C. TO COORDINATE UNDER GROUND PLUMBING WORK WITH EXISTING STRUCTURAL  
19 FOOTINGS, BEARING WALLS. AND EXISTING UNDERGROUND PLUMBING / VENTING.
- 20 HVAC TO BE REMOVED BY LANDLORD MECHANICAL CONTRACTOR AND DISPOSED OF PER  
21 LOCAL REQUIREMENTS UNDER SEPARATE PERMIT.
- 22 MECHANICAL SUB TO USE EXISTING UNITS TO PROVIDE TEMPORARY HEAT AS REQUIRED FOR  
23 NEW WORK.
- 24 ALL TRADES TO DISCONNECT UTILITIES FOR SAFE DEMOLITION.
- 25 PROVIDE GRINDING OR SHOT BLASTING AS REQUIRED TO REMOVE EXISTING MASTIC WHERE  
26 FLOOR COVERING WAS REMOVED.

DEMOLITION NOTES:  
EXISTING GAS FURNACES,  
INCANDESCENT LIGHT  
FIXTURES, OVERHEAD  
DOORS, ELECTRICAL  
(INCLUDING LOW  
VOLTAGE) COMPONENTS  
NOT USED TO BE  
REMOVED /  
DEMOLISHED.

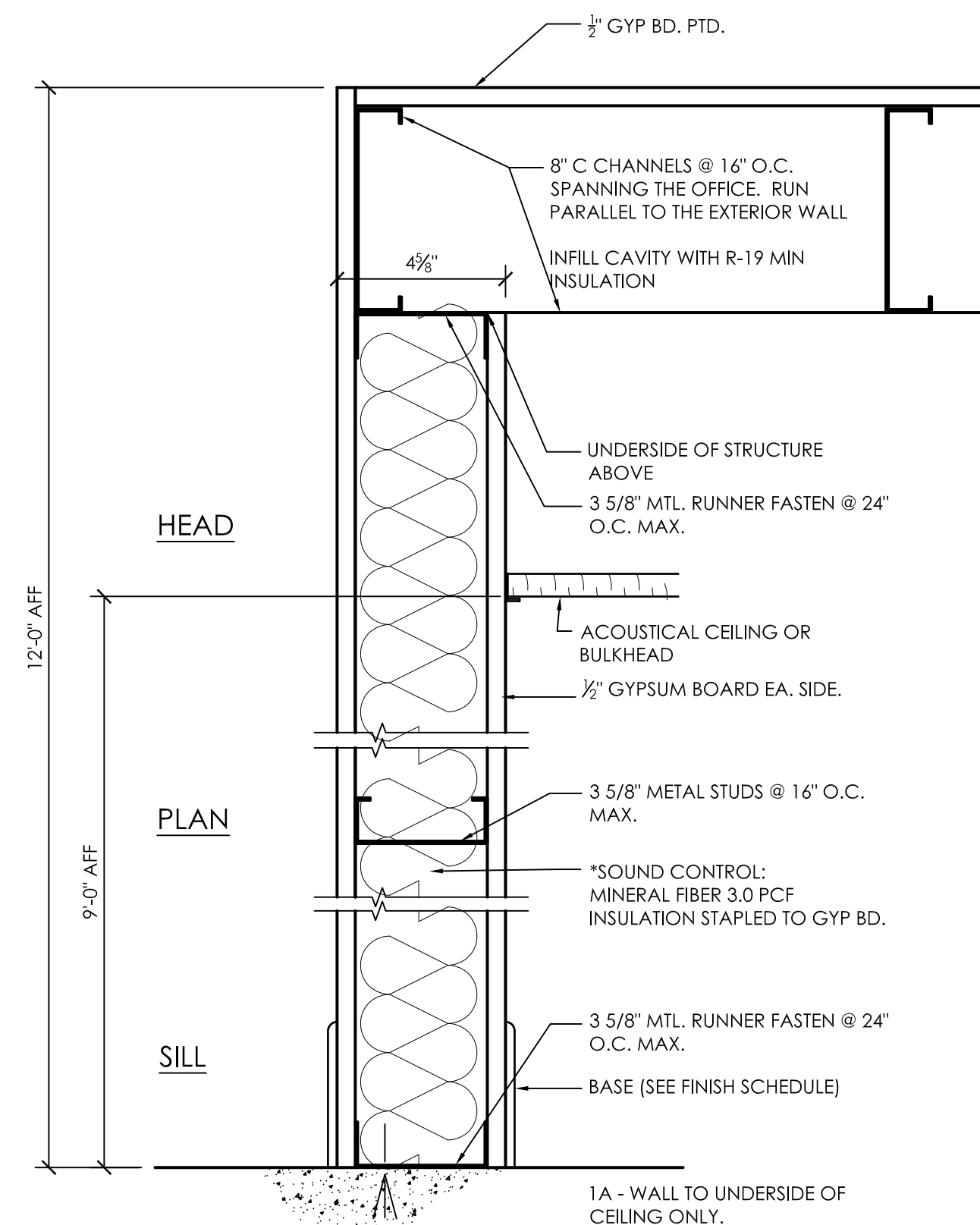
EXISTING (5) EXTERIOR  
OVERHEAD DOORS  
(OHD) TO BE REMOVED  
AND PREPPED FOR NEW  
STOREFRONT INFILL.

D001



**C2 INTERIOR PARTITION TYPE**

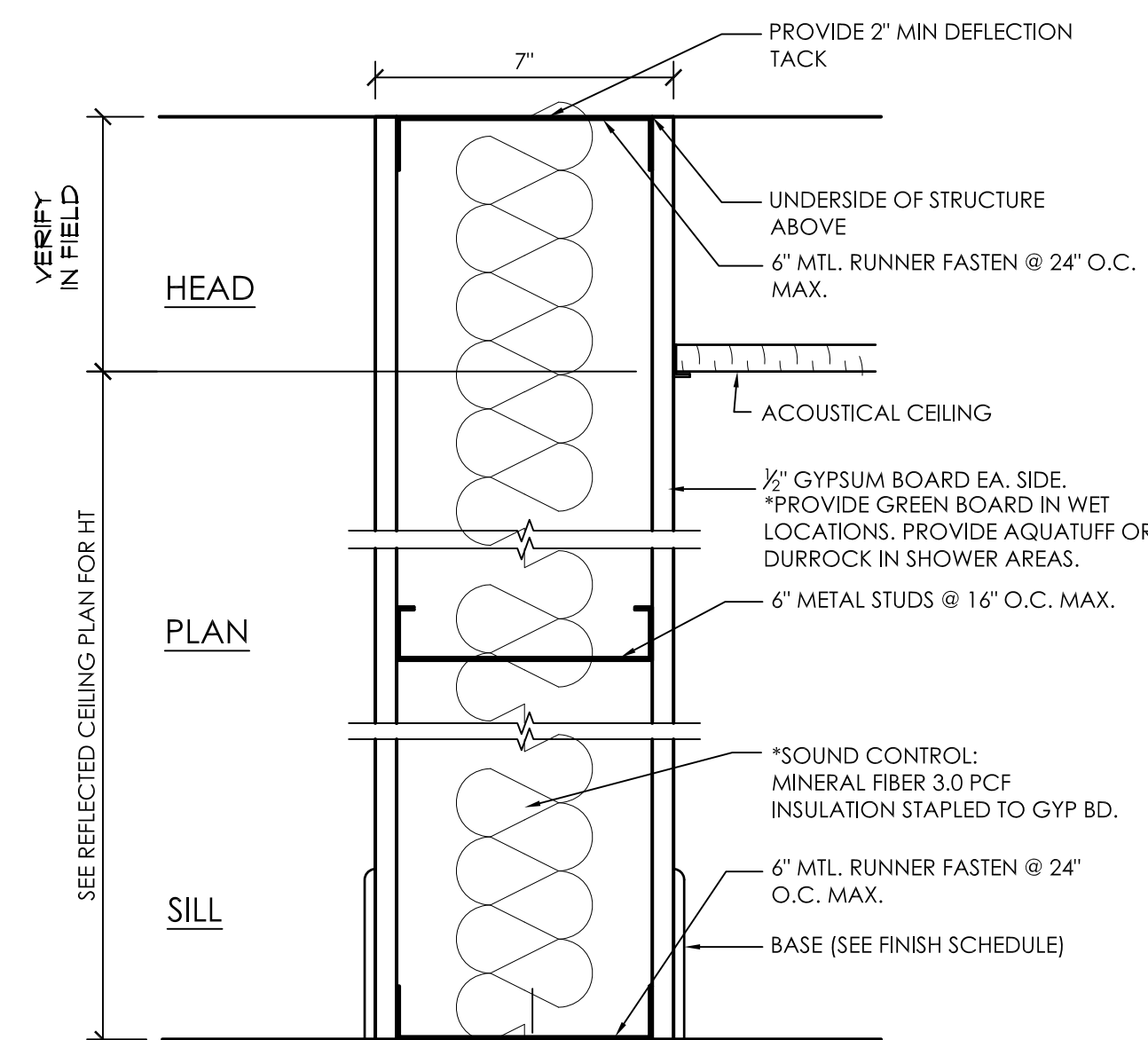
SCALE: 3" = 1'-0"




**INTERIOR PARTITION TYPE**

SCALE: 3" = 1'-0"

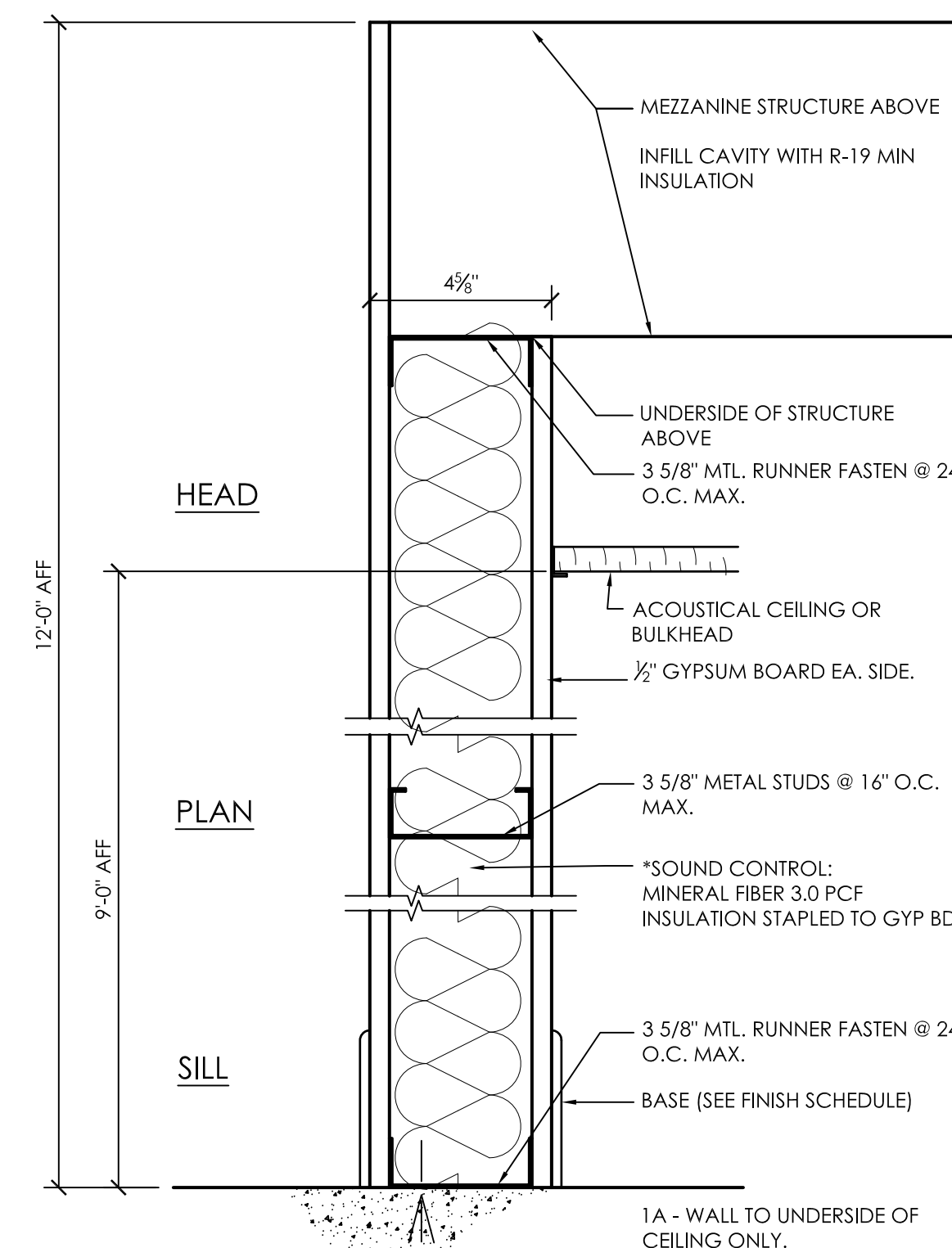

**2**



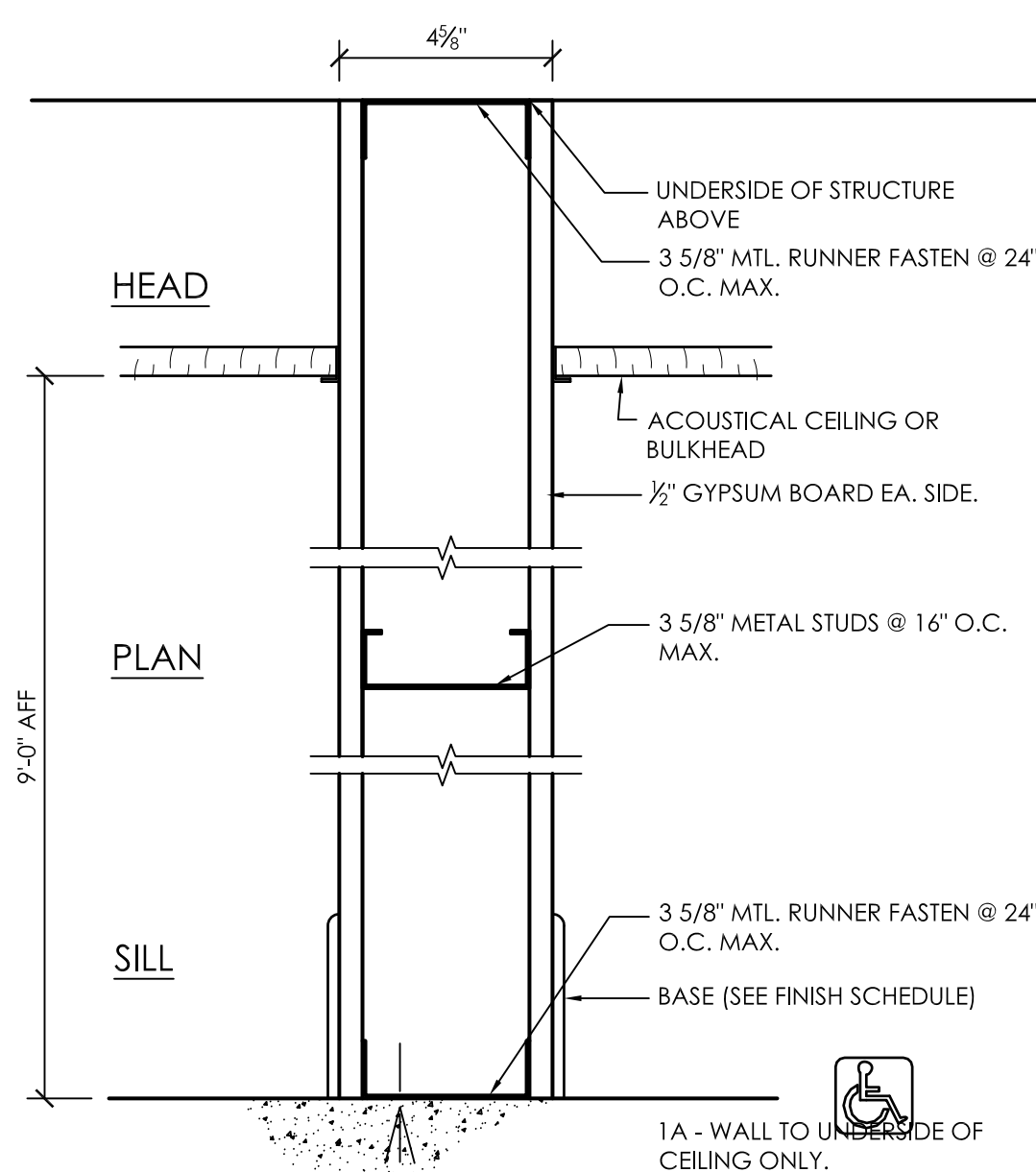
**B2 INTERIOR PARTITION TYPE**

SCALE: 3" = 1'-0"

**3**

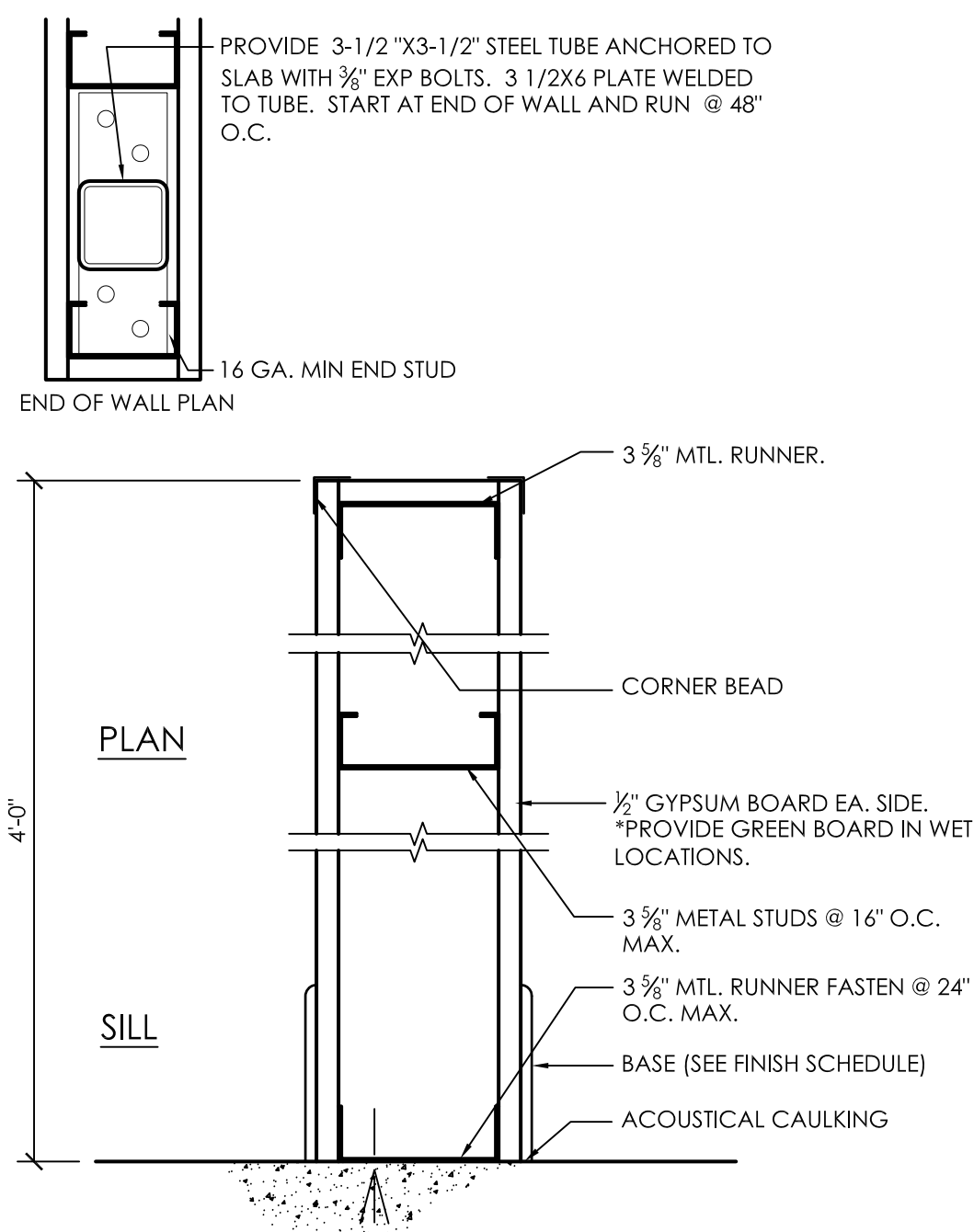


81 INTERIOR PARTITION TYPE  
SCALE: 3" = 1'-0" 4



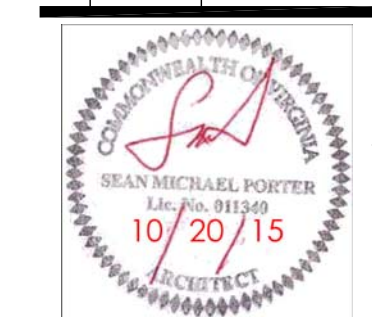

**INTERIOR PARTITION TYPE**


SCALE: 3" = 1'-0"

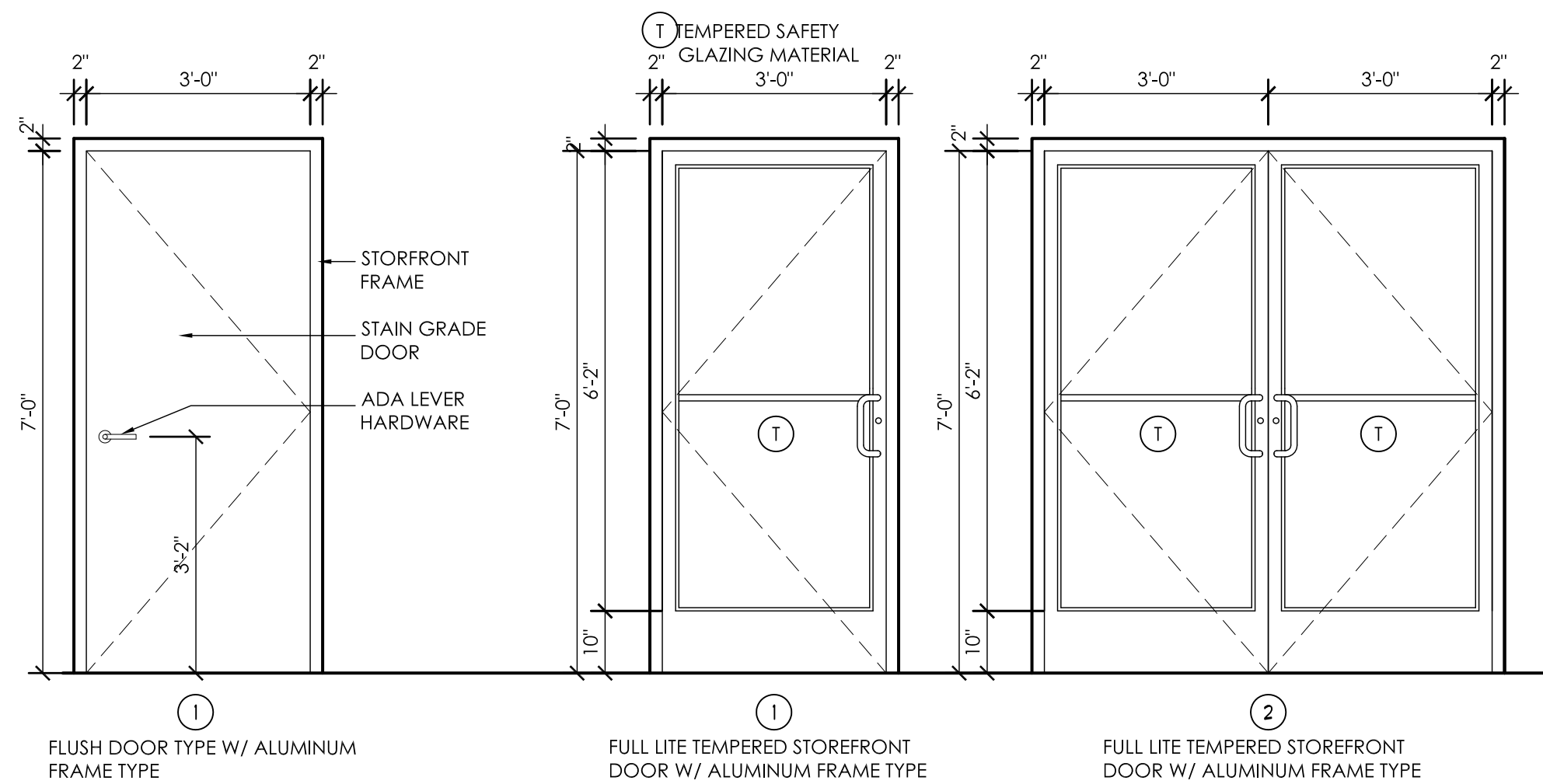


BI INTERIOR PARTITION TYPE  
SCALE: 3" = 1'-0" 6

ISSUE DATE	
DATE	DESCRIPTION
10.6.15	REVIEW
10.16.15	REVIEW

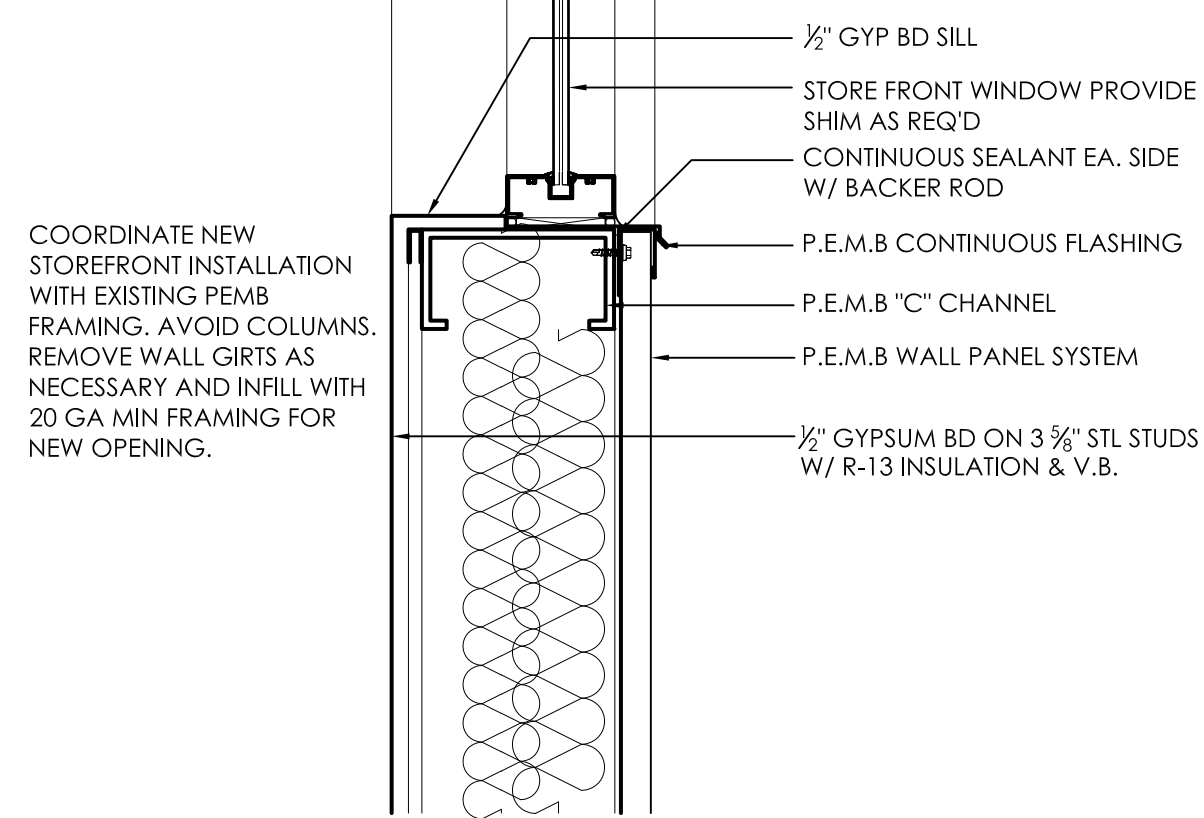
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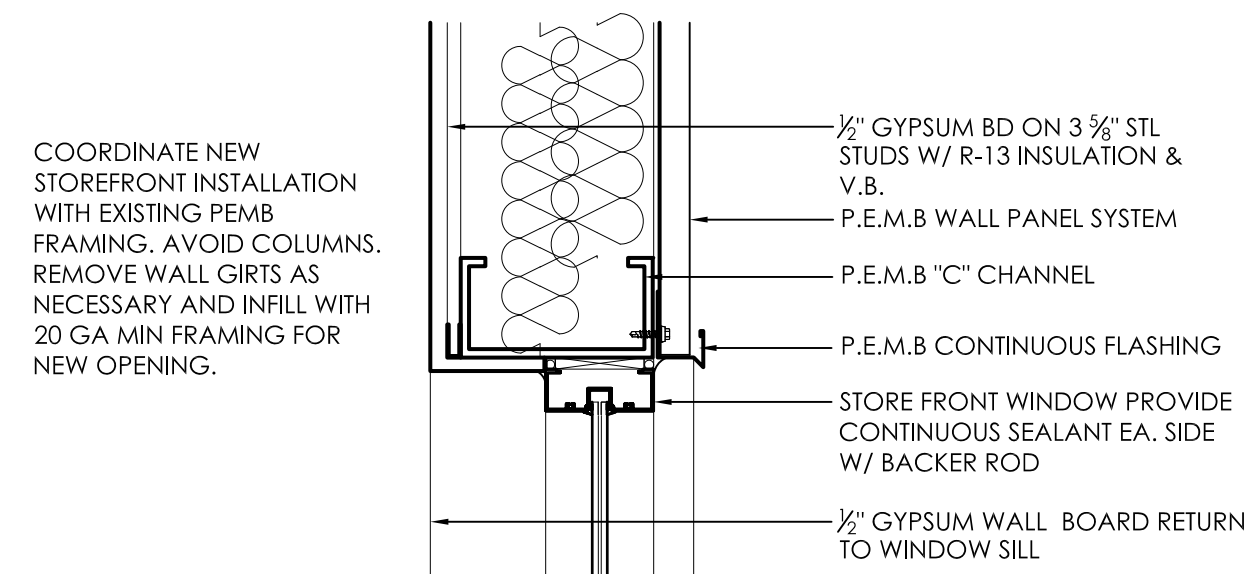
## DOOR TYPE ELEVATIONS

SCALE: 1/2" = 1'-0"



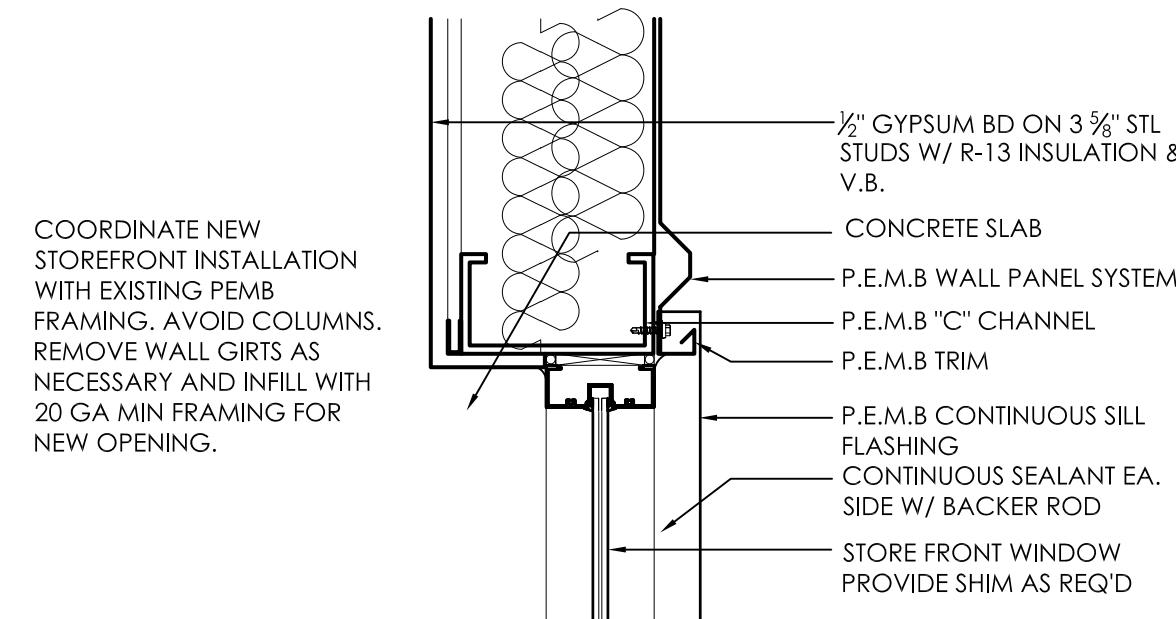
## STOREFRONT IN PEMB - SILL

SCALE: 1 1/2" = 1'-0"



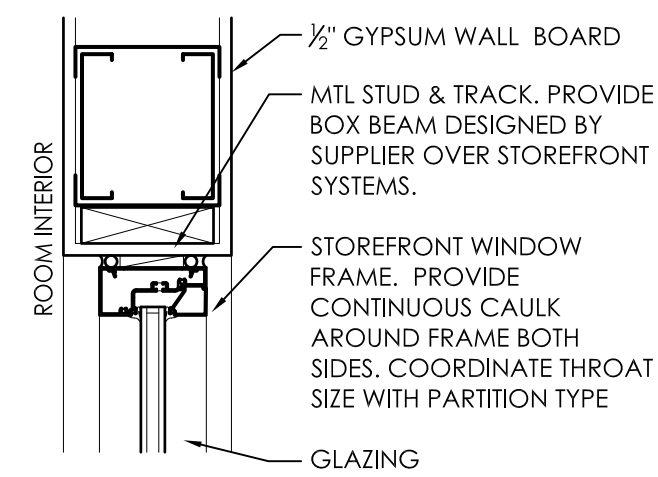
## STOREFRONT IN PEMB - HEAD

SCALE: 1 1/2" = 1'-0"



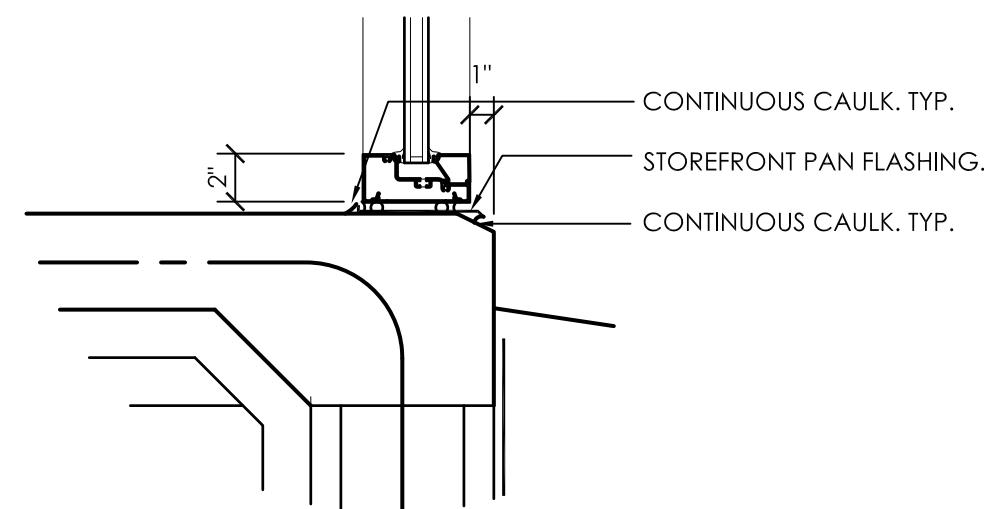
## STOREFRONT IN PEMB - JAMB

SCALE: 1 1/2" = 1'-0"



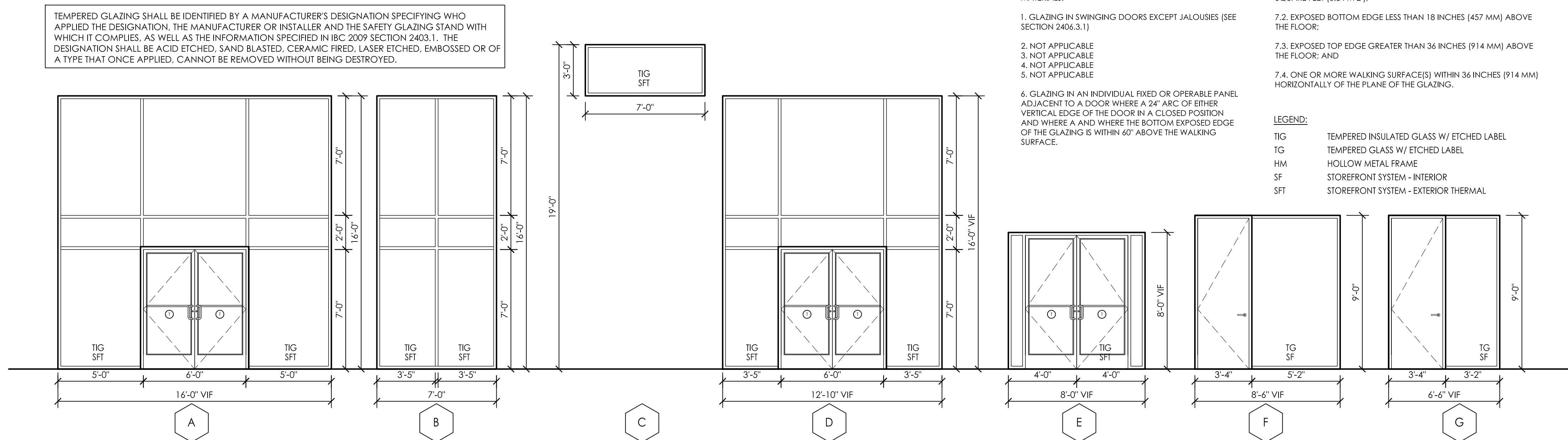
### BOX BEAM DETAIL AT STOREFONT HEAD

SCALE: 1 1/2" = 1'-0"



### EXTERIOR STOREFRONT SILL

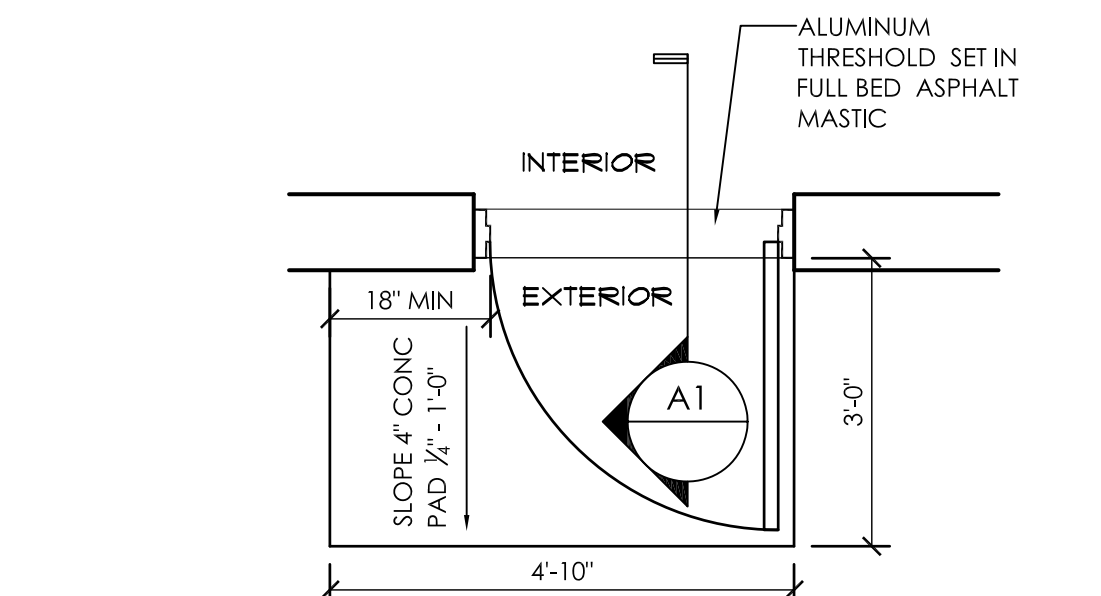
SCALE: 1 1/2" = 1'-0"



## WINDOW TYPE ELEVATIONS

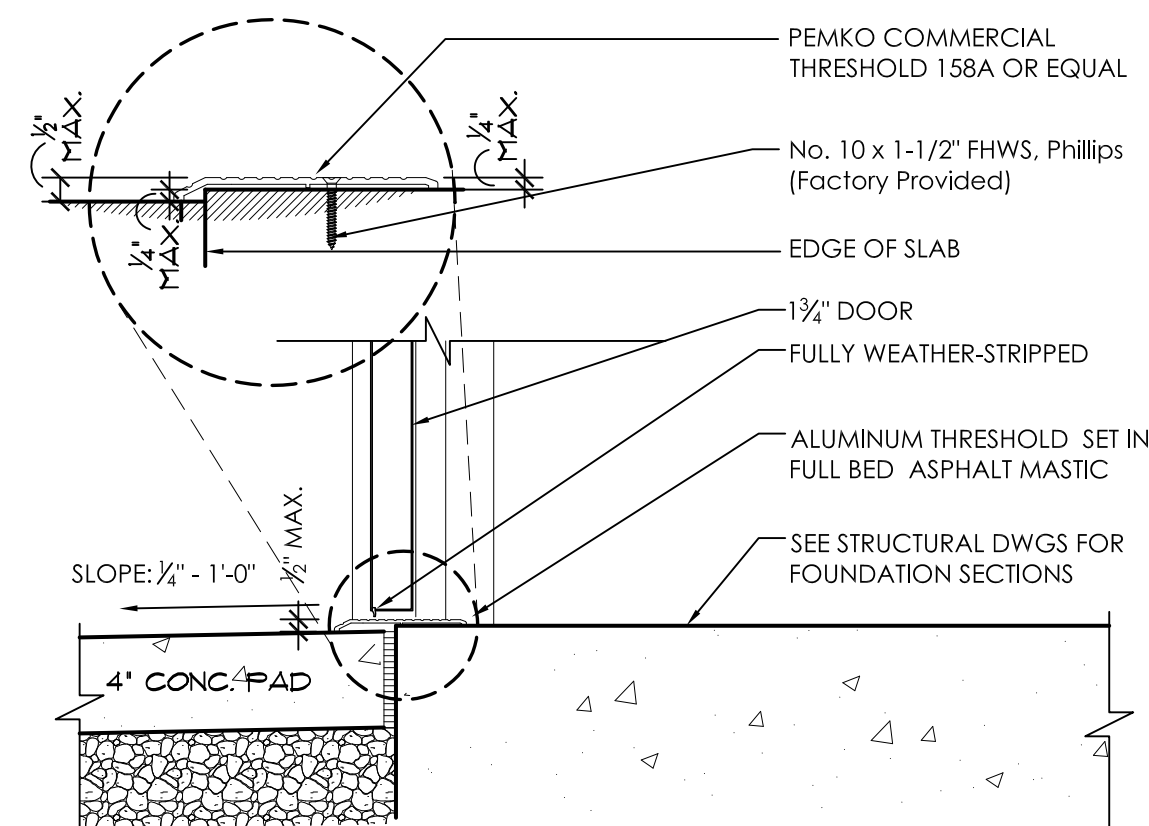
SCALE: 1/4" = 1'-0"

HARDWARE (HW) SCHEDULE												
A	B	C	D	E	F	G	H	J	K	L	M	HARDWARE PER DOOR
2				1								STOREFRONT PUSH / PULL CO9 / CO11
1				1								STOREFRONT BUTT HINGES AND CLOSER
			1									LEVER SET - SCHLAGE ENTRANCE FUNCTION S51PD X SAT X 626
		1										LEVER SET - SCHLAGE PRIVACY FUNCTION S40D x SAT x 626
												LEVER SET - SCHLAGE STOREROOM FUNCTION S80PD X SAT X 626
	1											LEVER SET - SCHLAGE PASSAGE FUNCTION S10D x SAT x 626 NO DUMMY TRIM ON INACTIVE LEAF
	1½ PR		1½ PR									BUTT HINGES - HAGER 4½"x4½" / 1279 x US26D
		1½ PR										BUTT HINGES - HAGER (BALL BEARING) 4½"x4½" / BB1279 x US26D
1												TOP AND BOTTOM FLUSH BOLT W/ DUSTPROOF STRIKE
		1										CLOSER MOUNTED ON PUSH SIDE
	1		1									WALL STOP - IVES US26D
1												THUMB TURN DEAD BOLT. PROVIDE A SIGN "DOORS TO BE UNLOCKED DURING BUSINESS HOURS"
				1								THUMB TURN DEAD BOLT
												MASTER KEYING PLAN: CONTRACTOR TO PROVIDE LOCKSETS EQUIPPED WITH TEMPORARY CONSTRUCTION CORES. WHEN BUILDING IS READY FOR OCCUPANCY, CONTRACTOR SHALL MAKE ARRANGEMENTS FOR HARDWARE SUPPLIER TO MEET WITH THE OWNER TO DEVELOP A KEYING STRATEGY. LOCK AND CORE MANUFACTURER OR MFGS. REP. SHALL DELIVER PERMANENT LOCK CORES DIRECTLY TO THE OWNER, PAID FOR BY CONTRACTOR. MFG. AND OWNER SHALL PULL OUT ALL CONSTRUCTION CORES, AND INSTALL THE PERMANENT CORES. THE CONTRACTOR'S RESPONSIBILITY FOR INTERIOR BUILDING SECURITY ENDS WITH THE INSTALLATION OF THE PERMANENT LOCK CORES.
												CYLINDRICAL LOCKSETS: HEAVY DUTY (COMMERCIAL AND INSTITUTIONAL) MEETING ANSI A156.2 SERIES 4000 GRADE 1, AND ANSI A117.1 ACCESSIBILITY, WITH LEVER STYLE HANDLES THROUGHOUT.

[illegible]

## MINIMUM THRESHOLD REQUIREMENTS

SCALE: 1/2" = 1'-0"

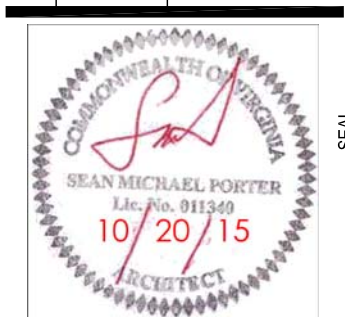


TYP EXTERIOR THRESHOLD SECTION

SCALE: 1/2" = 1'-0"

ISSUE DATE	
DATE	DESCRIPTION
10.6.15	REVIEW
10.16.15	REVIEW

REVISION DATE		
MARK	DATE	DESCRIPTION



Architectural elevation drawing of a building facade. The drawing includes the following annotations and callouts:

- AND FINISH INTERIOR WITH METAL PANEL. PROVIDE JOUS NEOPRENE STRIP ON WALL GIRT INTERIOR SURFACE ON GIRT AND INTERIOR PANEL.
- STOREFRONT ABOVE WALL GIRT AT 16'-0" AFF.
- STOREFRONT BETWEEN EXISTING COLUMNS.
- STOREFRONT IN THE EXISTING OPENING

SCALE: 1/8" = 1'-0"

1 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IF CONFLICT OCCURS,  
2 CONSULT ARCHITECT.

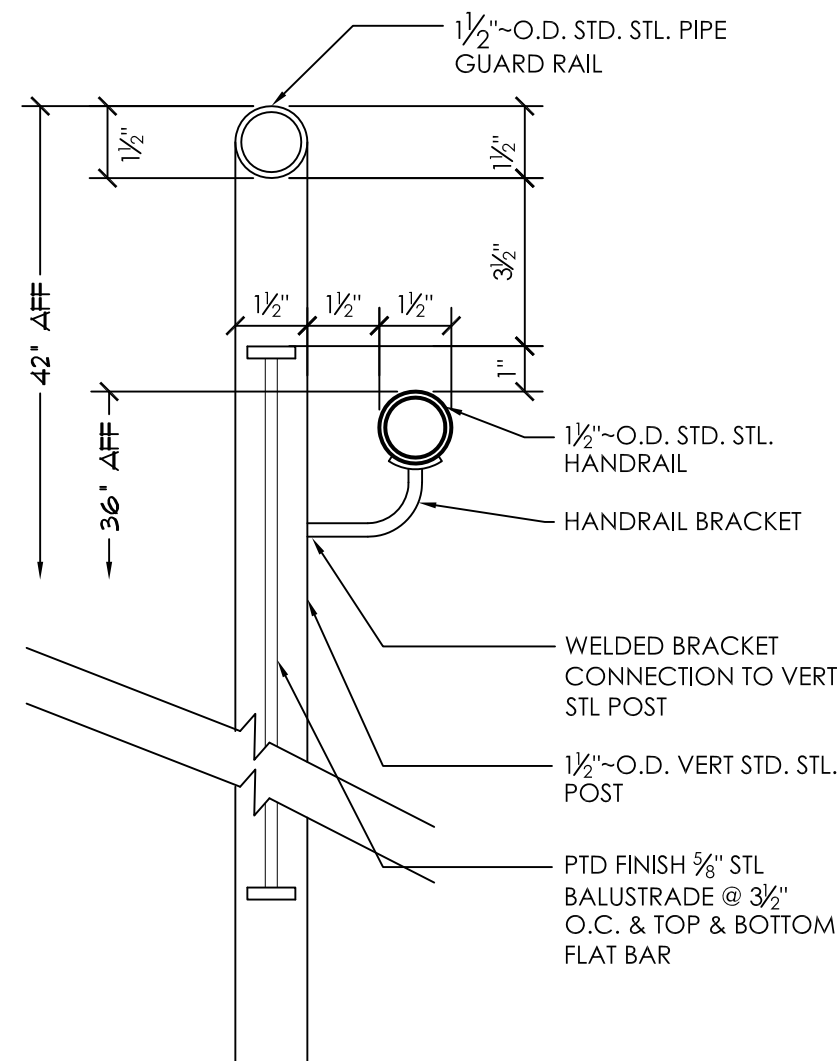
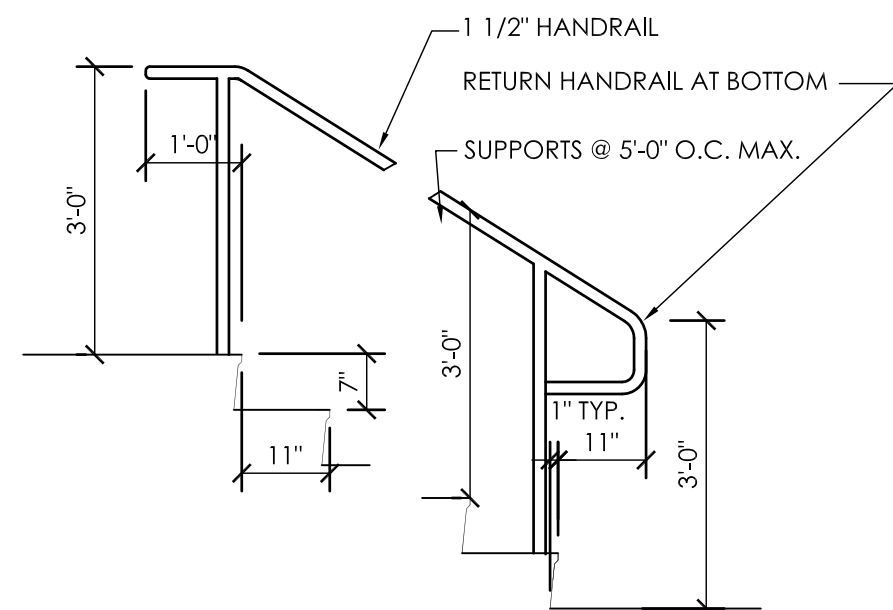
3 ARCHITECTURAL CONSTRUCTION PLAN SUPERSEDES ALL OTHER PLANS.

4 PARTITIONS ARE DIMENSIONED FROM FINISHED FACE TO FINISHED FACE UNLESS  
5 OTHERWISE NOTED.

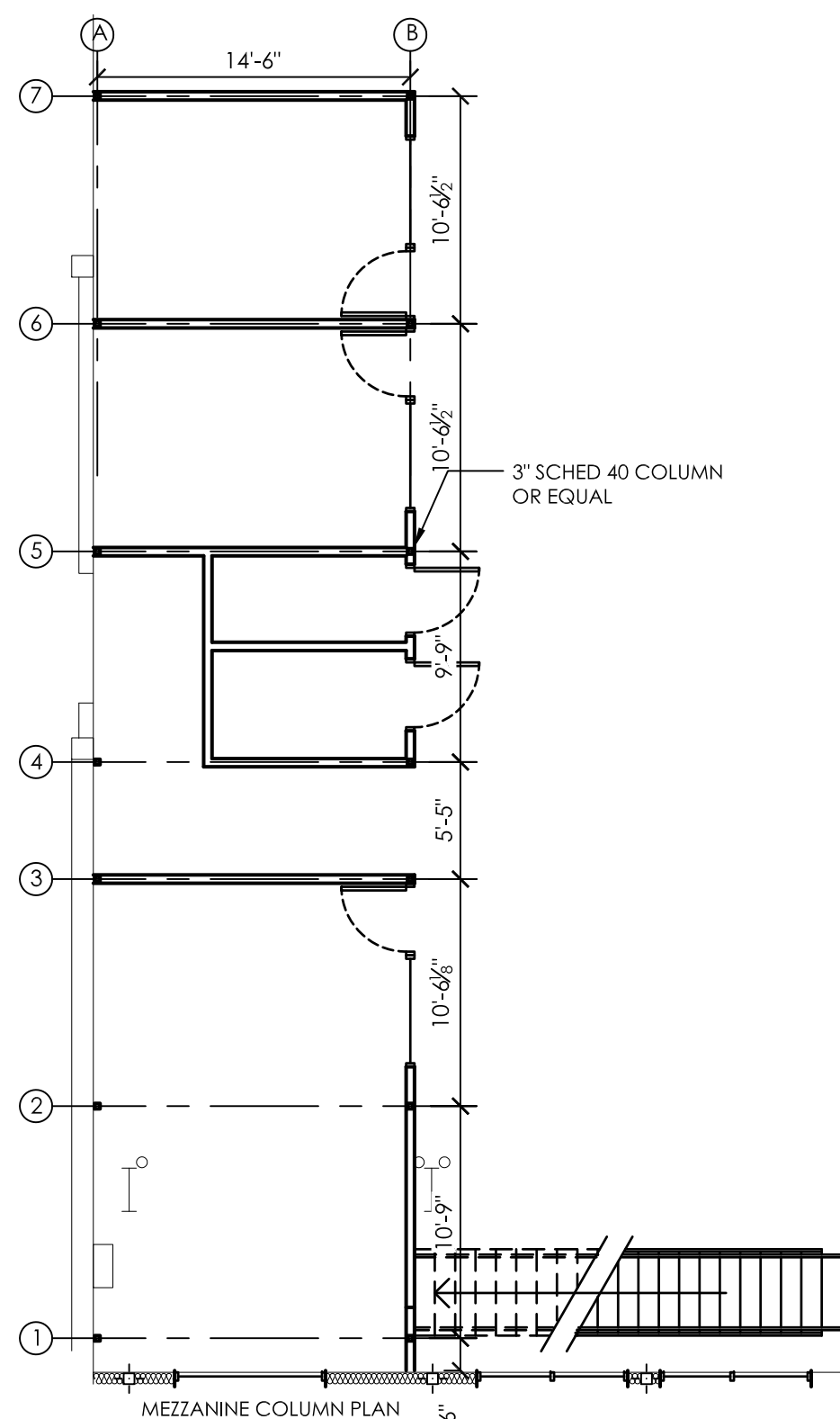
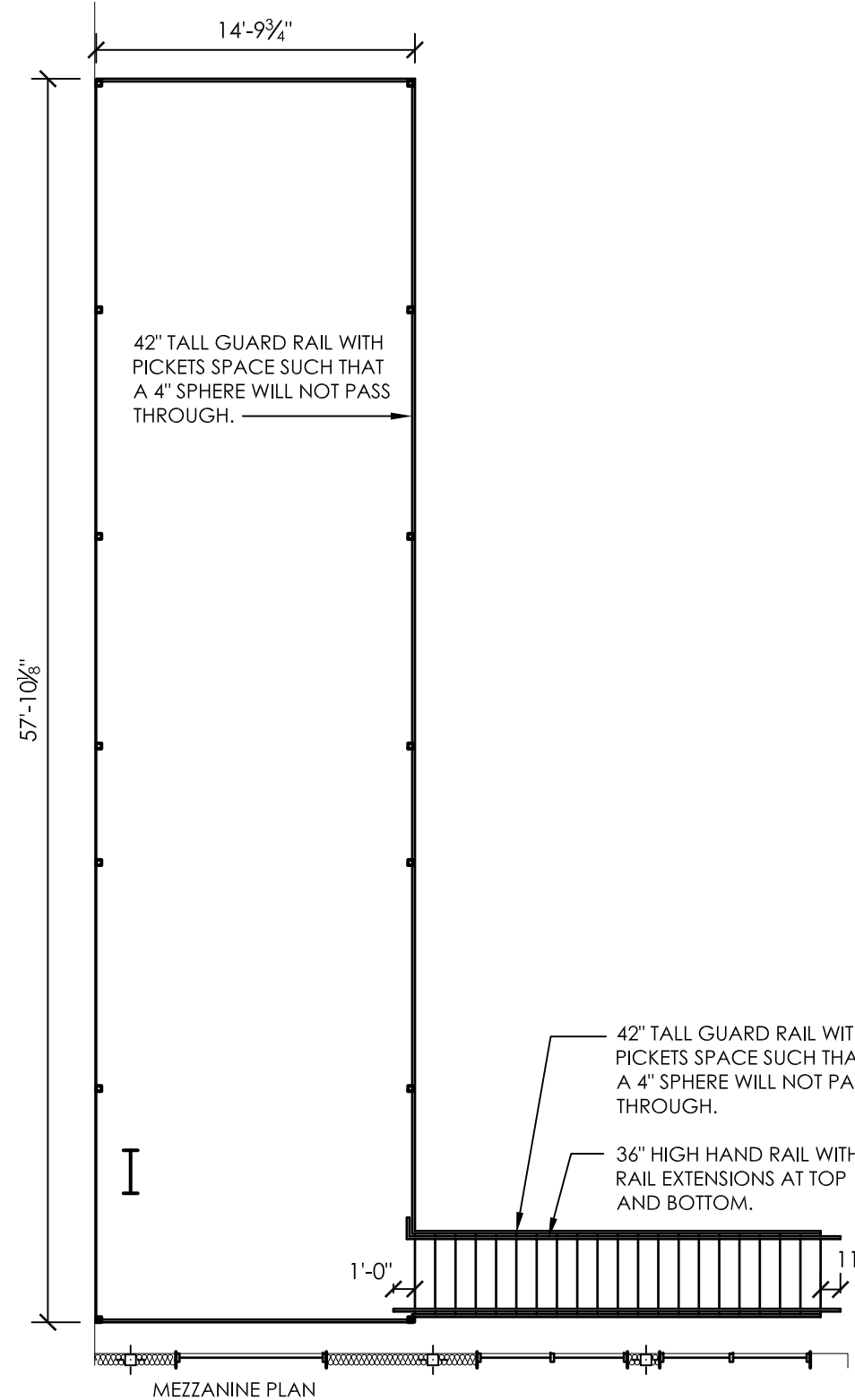
6 CONTRACTOR SHALL LAY OUT PARTITIONS FOR ARCHITECTS REVIEW AND APPROVAL  
7 PRIOR TO INSTALLATION OF STUDS & GYP BD.

8 APPROVAL OF PARTITION LAYOUT DOES NOT RELEASE CONTRACTOR FROM  
9 MAINTAINING CRITICAL DIMENSIONS.

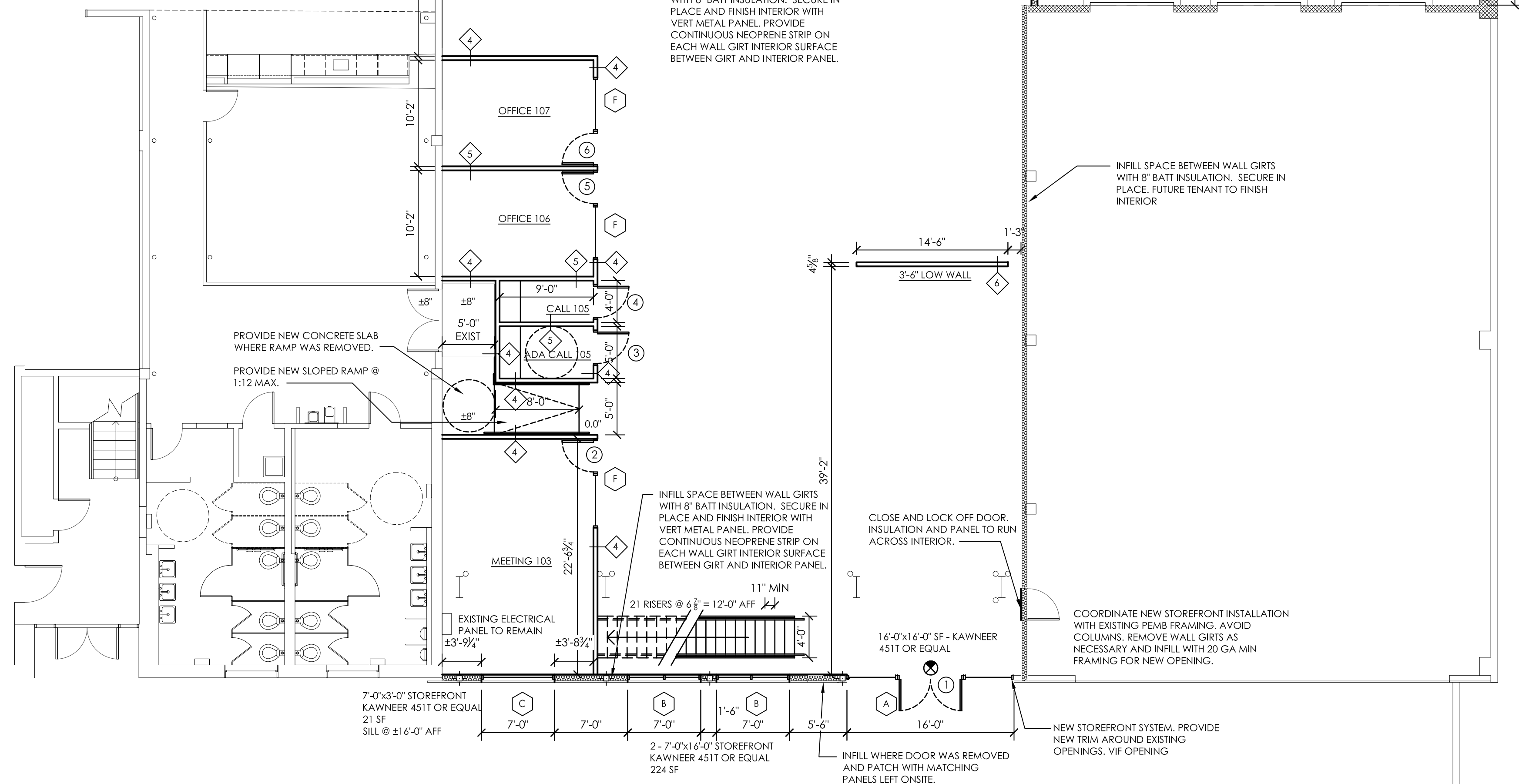
10 CONTRACTOR SHALL INSTALL BLOCKING, AS REQ'D, IN WALLS PRIOR TO CLOSING IN,  
11 USE FIRE TREATED LUMBER.



NO SCALE



SCALE: 1/8" = 1'-0"

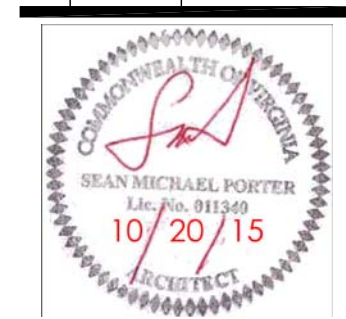


SCALE: 1/8" = 1'-0"

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WASHINGTON, DC 20002

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DATE	DESCRIPTION
10.6.15	REVIEW
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MARK	DATE	DESCRIPTION



PROJECT No. 151972

# A010

**LOVELESS PORTER**  
ARCHITECTS, LLC

9411 MAIN STREET, SUITE 210, MANASSAS, VA. 20110 TEL: 703.368.1600  
WWW.LOVELESSPORTERARCHITECTS.COM EMAIL: OFFICE@IPALLC.NET



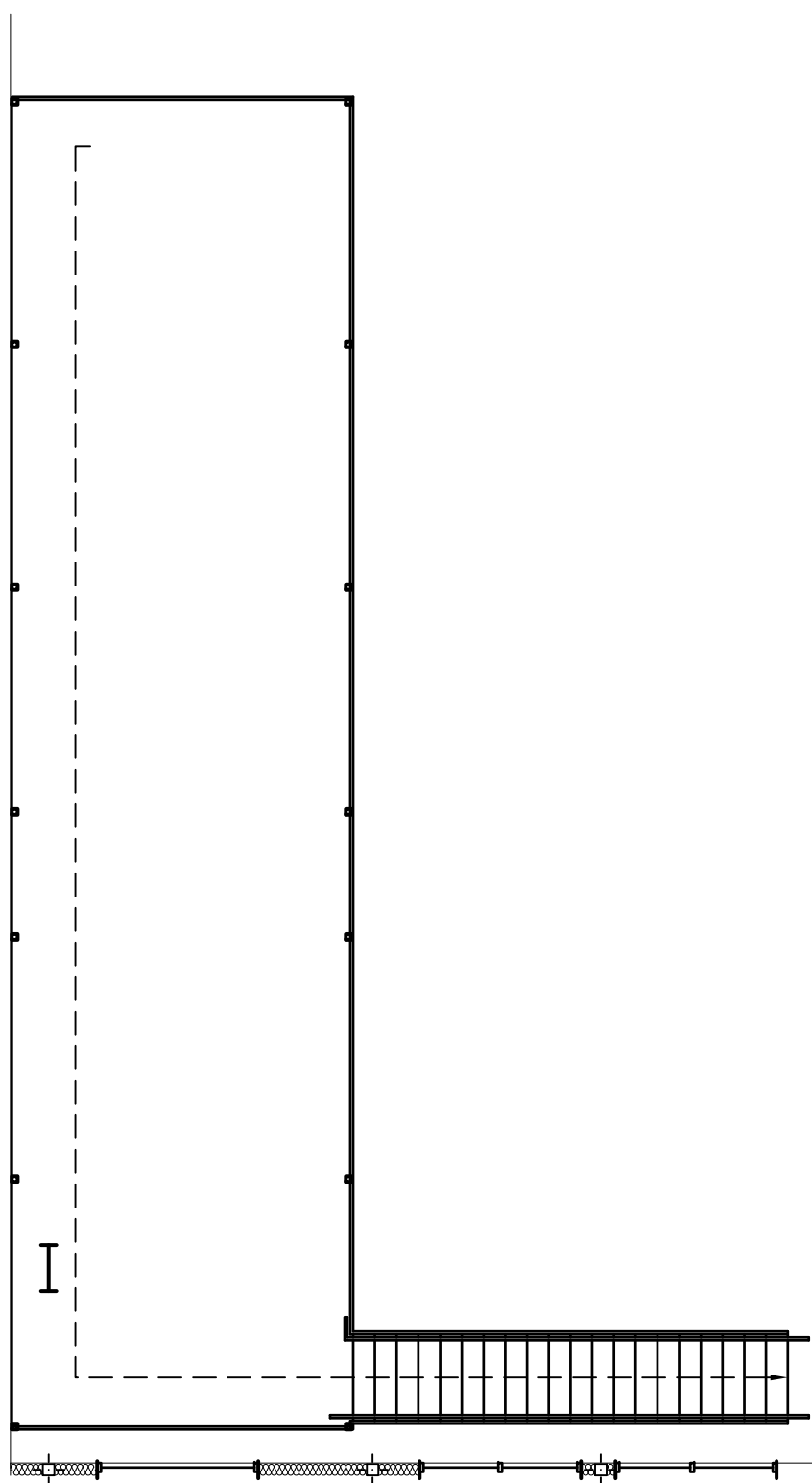
D

C

B

A

COMMON PATH OF TRAVEL  
NOT TO EXCEED 100'-0"



A5 MEZZANINE PLANS  
SCALE: 1/8" = 1'-0"



A3 FURNITURE / EGRESS PLAN  
SCALE: 1/8" = 1'-0"

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TITLE TO THE PLANS AND SPECIFICATIONS REMAIN  
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SHALL CONSTITUTE FROM THE EVIDENCE OF THE  
ACCEPTANCE OF THESE PLANS.

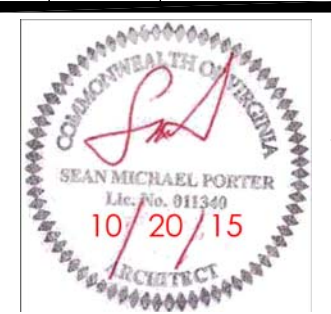
**LPA** LOVELESS PORTER  
ARCHITECTS, LLC  
9417 MAIN STREET, SUITE 210, MANASSAS, VA, 20110 TEL: 703.348.1600  
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TENANT LAYOUT FOR:  
**HUGE**  
500 PENN ST. NE  
WASHINGTON, DC 20002

FURNITURE /  
EGRESS PLAN

ISSUE DATE	DATE	DESCRIPTION
10.6.15	REVIEW	
10.16.15	REVIEW	

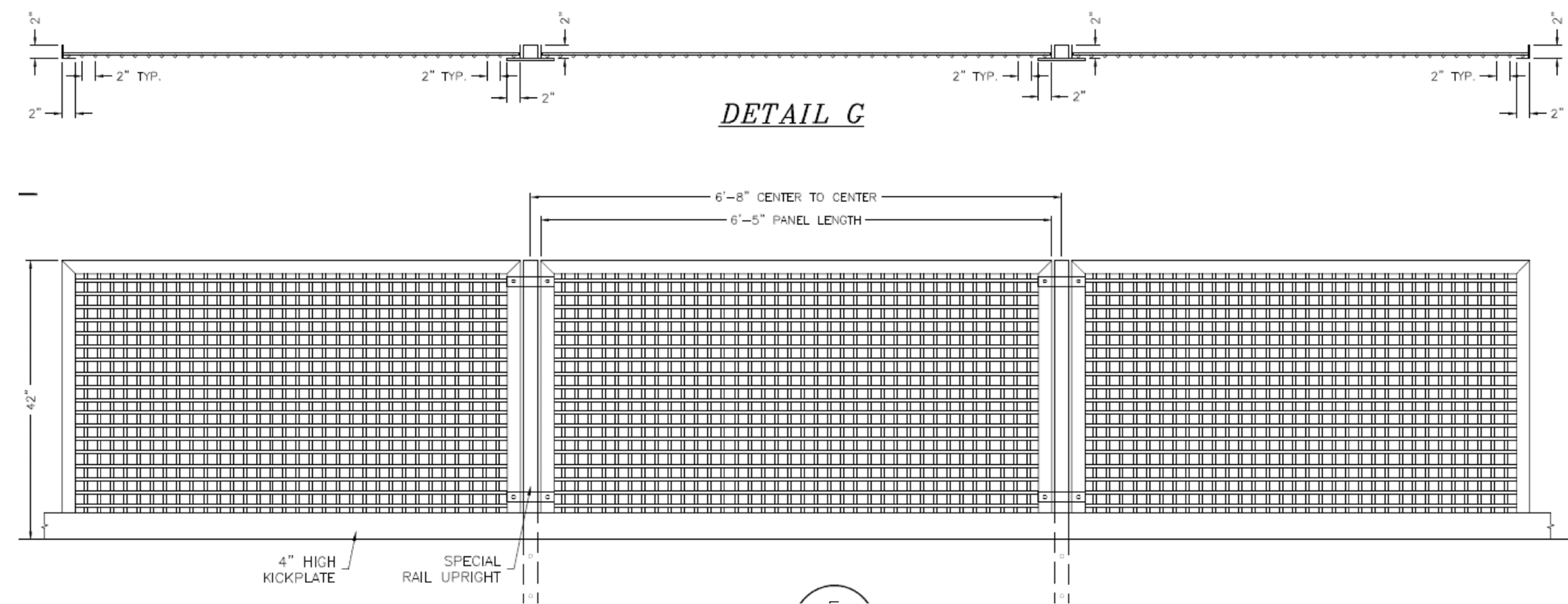
REVISION DATE	MARK	DATE	DESCRIPTION
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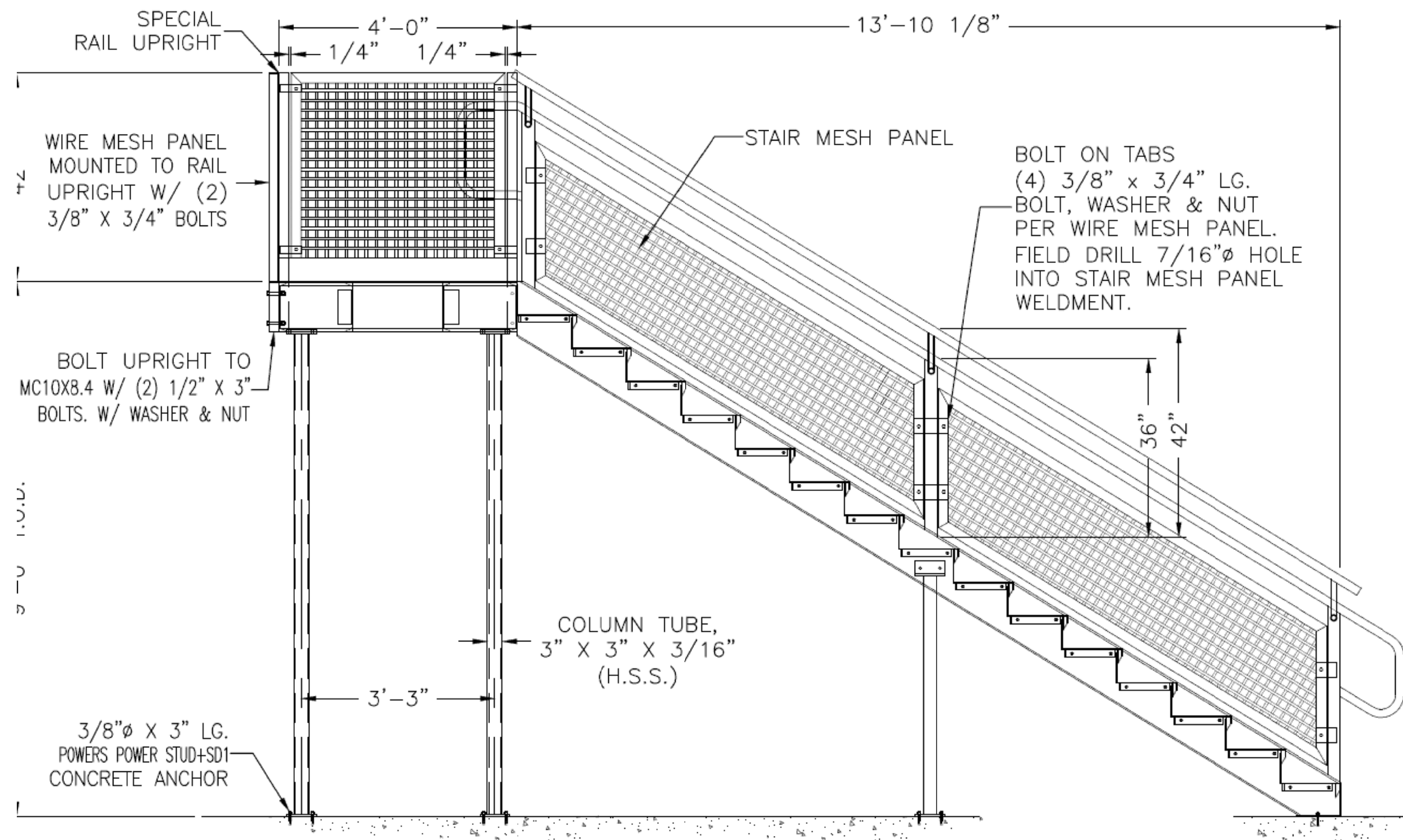
PROJECT No. 151972

A020

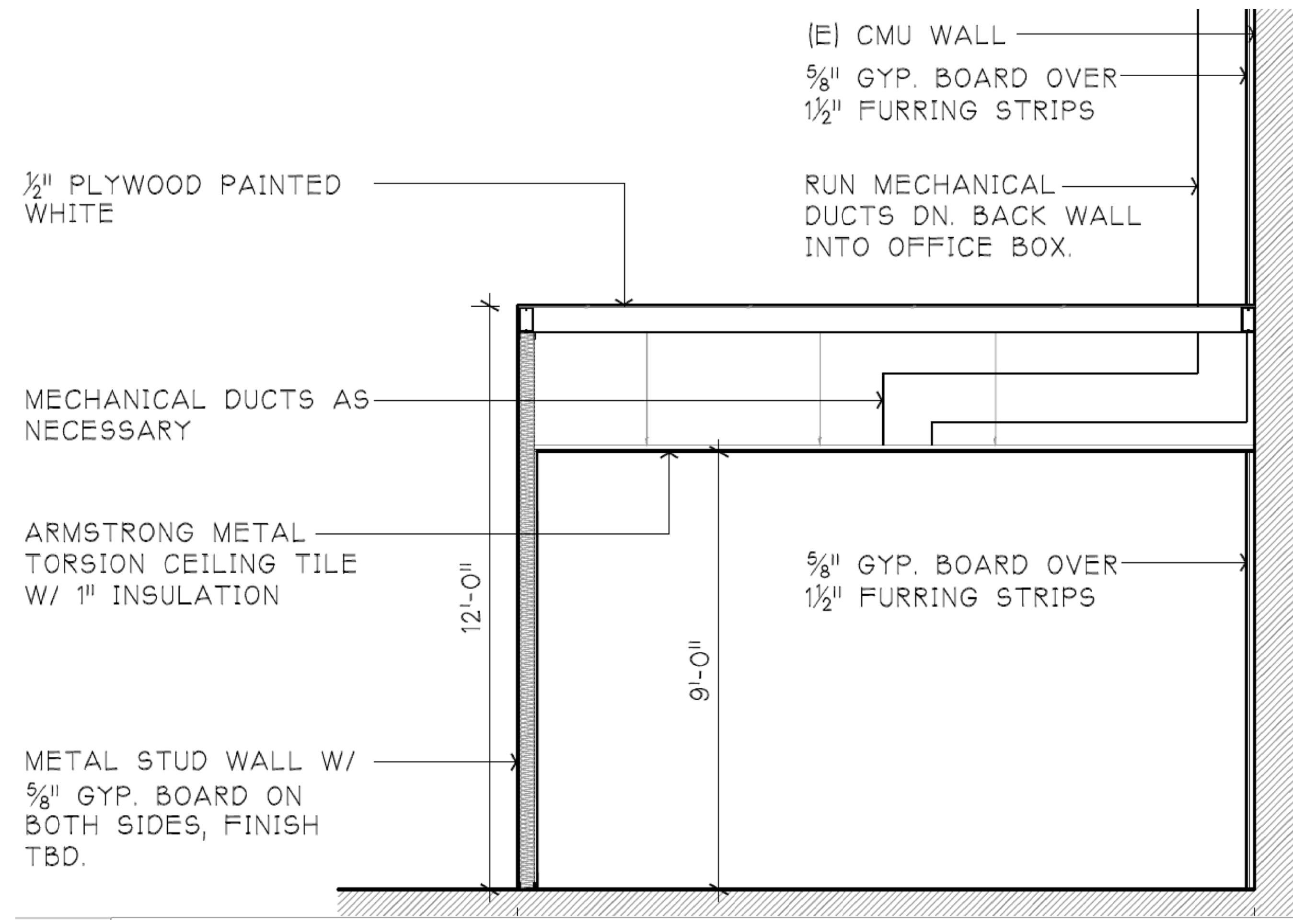




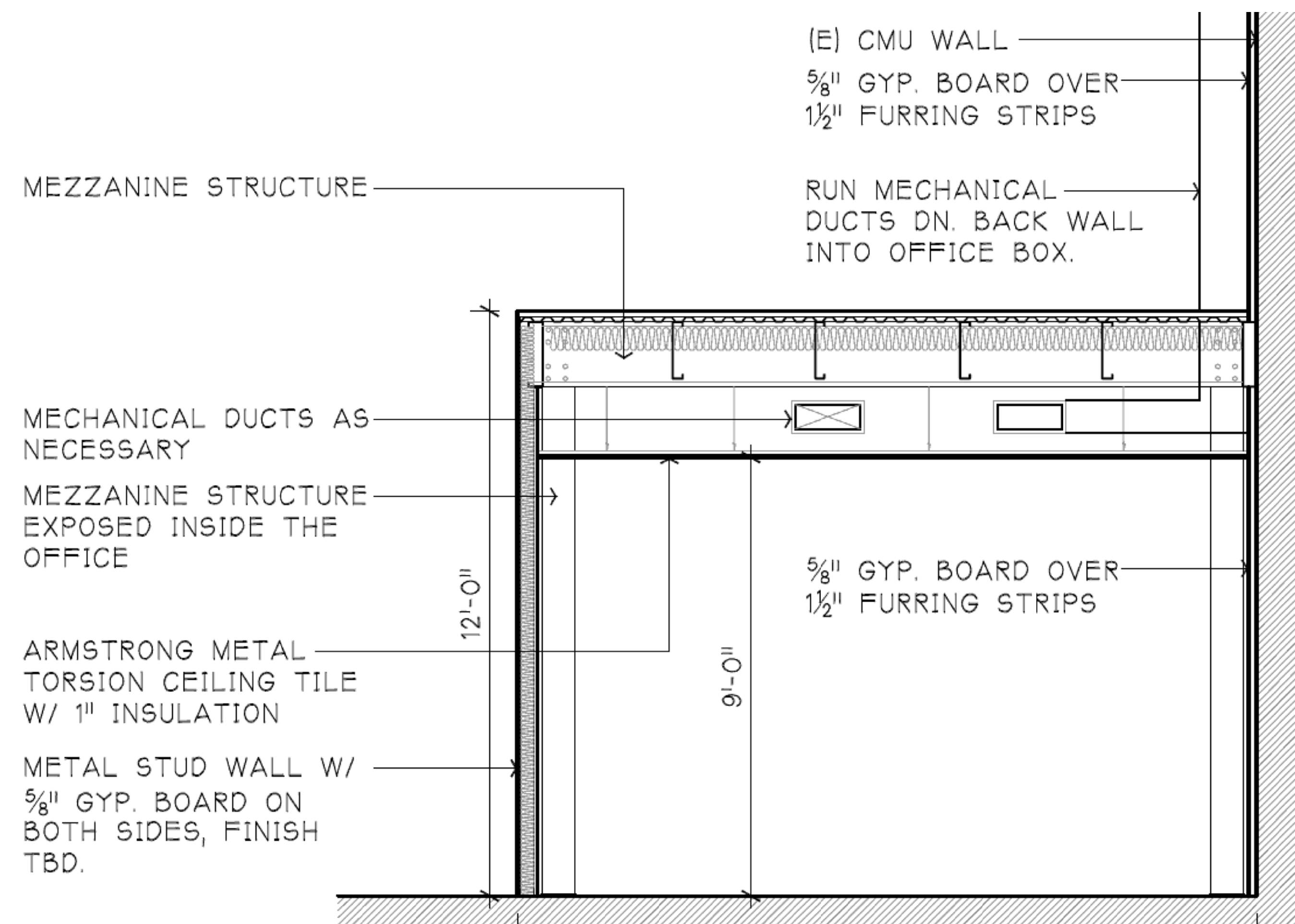
C5 TYPICAL MEZZANINE GUARD ELEVATION  
NO SCALE



A5 TYPICAL MEZZANINE STAIR ELEVATION  
NO SCALE



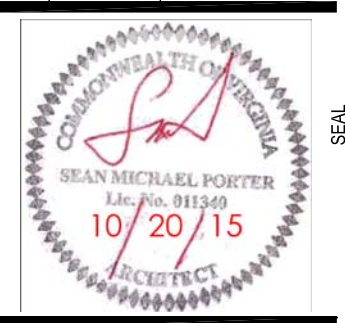
C3 TYPICAL SECTION THROUGH OFFICES  
NO SCALE



A3 TYPICAL SECTION THROUGH MEZZANINE  
NO SCALE

DATE	DESCRIPTION
10.6.15	REVIEW
10.16.15	REVIEW

REVISION DATE	DESCRIPTION
MARK DATE	



PROJECT No. 151972

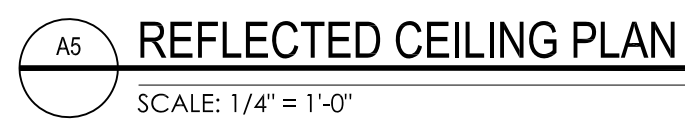


1. ARCHITECTURAL REFLECTED CEILING PLAN SHALL GOVERN LOCATION OF DEVICES. IF CONFLICTS ARISE BETWEEN PROPOSED LIGHTING AND MECHANICAL OR PLUMBING EQUIPMENT CONSULT ARCHITECT.
2. VISIBLE CEILING ELEMENTS SHALL BE CENTERED WITHIN: ON THE JOINT BETWEEN OR @ THE INTERSECTION OF CEILING TILES U.O.N.
3. ALL EQUIPMENT, MATERIALS, CABLES, CONDUIT AND FIXTURES ABOVE THE CEILING SHALL BE INDEPENDENTLY SUPPORTED PER CODE.
4. INSTALL 2"x2" TILE & LIGHTS PER LOCATIONS ON DWG. FINISHED CEILING SHALL BE TRUE LEVEL AND FREE FROM SOILED, DAMAGED OR WARPED TILES. REPAIR OR REPLACE DAMAGED GRID & TILE AS REQUIRED TO LIKE NEW CONDITIONS. CEILING TILE TO MATCH EXISTING.
5. INSTALL CEILING HOLD DOWN CLIPS ALONG PARTITIONS AND FOR CEILING TILES LESS THAN FULL SIZE.
6. INSTALL EXPOSED CEILING TEES AS REQ'D FOR NEW LIGHT LOCATIONS. CEILING TEES TO MATCH EXISTING.
7. INSTALL EDGE MOLDING AT INTERSECTION OF CEILING AND VERTICAL SURFACES, MITER CORNERS.
8. ACCESS PANELS ARE TO BE PROVIDED FOR ALL CONCEALED EQUIP., VALVES, ETC. FINISH TO MATCH ADJACENT SURFACE.

FANS, SCONCES, AND CEILING LIGHTING TO BE SWITCHED INDEPENDENTLY IN EACH ROOM / SPACE.

USE EMERGENCY BALLASTED TYPE FIXTURES IN U/O OF BATTERY WALL PACK WHERE ACCEPTABLE.

WHERE INSTALLED, ALL EMERGENCY WALL PACK FIXTURES TO BE WHITE IN COLOR.



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**LOVELESS PORTER**  
ARCHITECTS, LLC

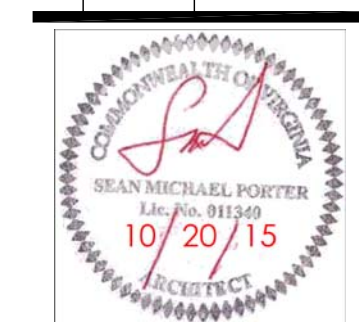
9411 MAIN STREET, SUITE 210, MANASSAS, VA. 20110 TEL: 703.368.1600  
WWW.LOVELESSPORTERARCHITECTS.COM EMAIL: OFFICE@IPALLC.NET

**TENANT LAYOUT FOR:**  
**HUGE**  
500 PENN ST. NE  
WASHINGTON, DC 20002

REFLECTED  
CEILING PLAN &  
NOTES

ISSUE DATE	
DATE	DESCRIPTION
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10.16.15	REVIEW

REVISION DATE		
MARK	DATE	DESCRIPTION



PROJECT No. 151972

A040