

DRAWING LIST

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DESIGN PROFESSIONALS

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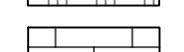
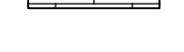
STRUCTURAL ENGINEER
ROBERT WIXSON
APAC ENGINEERING
8555 16TH STREET, #200
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MEP ENGINEER

LIST OF ABBREVIATIONS

ABV ABOVE
BO BY OWNER
CLR CLEAR
CLG CEILING
FO FINISHED OPENING
GC GENERAL CONTRACTOR
EX EXISTING
EXT EXTERIOR
FLR FLOOR
GYP GYPSUM BOARD
INT INTERIOR
MO MASONRY OPENING
PTD PAINTED
RO ROUGH OPENING
TBD TO BE DETERMINED
TYP TYPICAL UNLESS NOTED OTHERWISE
VIF VERIFY IN FIELD

SYMBOLS

DIMENSION TO SUBSTRATE  L
DIMENSION TO FACE OF MATERIAL  XX
DOOR NUMBER 
WINDOW TYPE 
EARTH 
BRICK 



PROJECT DESCRIPTION:

REMOVING EXISTING TWO REAR ADDITIONS. ADDING A TWO STORY ADDITION WITH BASEMENT AT THE REAR AND SIDE OF THE HOUSE. ADDING AN ACCESSORY DWELLING UNIT IN PART OF THE BASEMENT. RENOVATING 1ST FLOOR OF EXISTING HOUSE. 2ND FLOOR ADDITION IS UNFINISHED.

GENERAL NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT CITY, COUNTY, AND STATE BUILDING CODES INCLUDING THE 2017 IBC, DCMR 2013-12B, AND ALL OTHER APPLICABLE CODES TO EACH TRADE INCLUDING:
 - 1.1. TITLE I2 DCMR, DC CONSTRUCTION CODES SUPPLEMENT (2017),
 - 1.2. 2017 DISTRICT OF COLUMBIA BUILDING CODE,
 - 1.3. 2017 DISTRICT OF COLUMBIA GREEN CONSTRUCTION CODE,
 - 1.4. 2017 DISTRICT OF COLUMBIA ENERGY CONSERVATION CODE,
 - 1.5. 2017 DISTRICT OF COLUMBIA FIRE CODE,
 - 1.6. 2017 DISTRICT OF COLUMBIA MECHANICAL CODE,
 - 1.7. 2017 DISTRICT OF COLUMBIA PLUMBING
 - 1.8. 2017 EXISTING BUILDING CODE,
 - 1.9. 2017 ICC FUEL GAS CODE,
 - 1.10. 2017 ICC RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS,
 - 1.11. 2017 ICC SWIMMING POOL AND SPA CODE
 - 1.12. 2017 NATIONAL ELECTRICAL CODE,
 - 1.13. 2017 ICC BUILDING CODE,
 - 1.14. 2017 ICC MECHANICAL CODE,
 - 1.15. 2017 ICC PLUMBING CODE,
 - 1.16. 2017 ICC PROPERTY MAINTENANCE CODE,
 - 1.17. 2017 ICC FIRE CODE,
 - 1.18. 2017 ICC ENERGY CONSERVATION CODE,
 - 1.19. 2017 ICC GREEN CONSTRUCTION CODE
2. ALL DIMENSIONS TO BE VERIFIED IN FIELD.
3. ALL DIMENSIONS ARE TO FACE OF MATERIAL, TYP.
4. ANY NECESSARY SUPPLEMENTAL PERMITS TO BE OBTAINED BY TRADE PROFESSIONALS UNDER CONTRACTOR COORDINATION.
5. SEPARATE ALL DEMOLITION WASTE AND RECYCLE AS FEASIBLE. DIVERT GOAL OF 50% WASTE FROM LANDFILL BY RECYCLING CONSTRUCTION MATERIAL AND PACKAGING, DRYWALL REPROCESSING, DONATIONS TO COMMUNITY FORKLIFT, AND ANY OTHER MEANS FEASIBLE.
6. VIF ALL STRUCTURAL LOAD BEARING WALLS BEFORE DEMOLITION AND CONTACT ARCHITECT AND STRUCTURAL ENGINEER IF EXISTING CONDITIONS DIFFER FROM DRAWINGS.
7. CEMENT BOARD TO BE USED BEHIND ALL TILES.
8. ALL PAINT AND PRIMER TO BE LOW VOC.
9. APPLIANCES TO BE ENERGY STAR RATED.
10. FIXTURES TO HAVE WATER SENSE CERTIFICATION.
11. ALL BASEMENT AND WET AREA WALLS TO HAVE PURPLE OR GREEN GYP BOARD.
12. TREAT FOR TERMITES AS NECESSARY AFTER DEMOLITION AND BEFORE RENOVATION OR NEW CONSTRUCTION.
13. SEAL OFF CONSTRUCTION WORK ZONES FROM LIVING AREAS.
14. COVER AND SEAL ALL HVAC VENTS IN WORK AREA PRIOR TO COMMENCING WORK AND KEEP SEALED DURING THE DURATION OF CONSTRUCTION.
15. ALL CLOTHES WASHERS TO HAVE DRAIN PAN
16. VENT ALL DRYERS AND EXHAUST VANS DIRECTLY OUTDOORS WITH MAX 1 90° TURN
17. ALL TRIM TO BE MINIMUM 4" AND TO BE PRIMED AND PAINTED.
18. ALL CONSTRUCTED WALLS TO HAVE BASE MOLDING AND TOE KICKS. COORDINATE PROFILE WITH OWNER.

DESIGN NOTES

CODE REQUIREMENTS - SEE SHEETS FOR SPECIFIC REQUIREMENTS

TABLE R402.1.2: INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT (SEE A)

CLIMATE ZONE	4
FENESTRATION U-FACTOR (SEE B)	.30
SKYLIGHT U-FACTOR (SEE B)	.55
GLAZED FENESTRATION SHGC (SEE B & E)	.40
CEILING R VALUE	R49
WOOD FRAME WALL R-VALUE	R19 IN CAVITY + R5 CONTINUOUS EXTERIOR OR R13 IN CAVITY + R10 CONTINUOUS ON EXTERIOR OR R15 CONTINUOUS
MASS WALL R-VALUE (SEE C)	R-15 CONTINUOUS ON EXTERIOR OR R20 CONTINUOUS ON INTERIOR
FRAME FLOOR R-VALUE	R25 + R5 CONTINUOUS
ELEVATED SLAB	R15 CONTINUOUS
BASEMENT WALL R-VALUE	R19 CAVITY + R5 CONTINUOUS EXTERIOR OR R14 CAVITY + R10 CONTINUOUS EXTERIOR OR R15 CONTINUOUS
SLAB ON GRADE (SEE D)	R10 PERIMETER INSULATION FOR A DEPTH OF 2' R19 CAVITY + R5 CONTINUOUS EXTERIOR OR R13 CAVITY + R10 CONTINUOUS EXTERIOR OR R15 CONTINUOUS
CONDITIONED CRAWL SPACE	

A. R-VALUES ARE MINIMUMS. U-FACTORS AND SHGC ARE MAXIMUMS. WHEN INSULATION IS INSTALLED IN A VAVITY WHICH IS LESS THAN THE LABEL OR DESIGN THICKNESS OF THE INSULATION, THE INSTALLED R VALUE OF THE INSULATION SHALL NOT BE LESS THAN THE R VALUE SPECIFIED IN THE TABLE.
B. THE FENESTRATION U-FACTOR COLUMN EXCLUDES SKYLIGHTS. THE SHGC COLUMN APPLIES TO ALL GLAZED FENESTRATION. "15/ 19" MEANS R15 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R19 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL. "15/ 19" SHALL BE PERMITTED TO BE MET WITH R13 CAVITY INSULATION ON THE INTERIOR OF THE BASEMENT WALL PLUS R4 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME. "10/ 13" MEANS R10 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R13 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL.
C. THE SECOND R VALUE APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL.
D. R5 SHALL BE ADDED TO THE REQUIRED SLAB EDGE R VALUES FOR HEATED SLABS

LIEBER RESIDENCE

RENOVATION & ADDITION PROJECT

ADDRESS: 151 D STREET SE
LOT: 0075
SQUARE: 0734
ZONE DISTRICT: RF-I
HISTORIC: CAP
USE CLASSIF: R3 EX & PROPOSED
BLDG TYPE: IIB EX & PROPOSED



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TITLE
SHEET

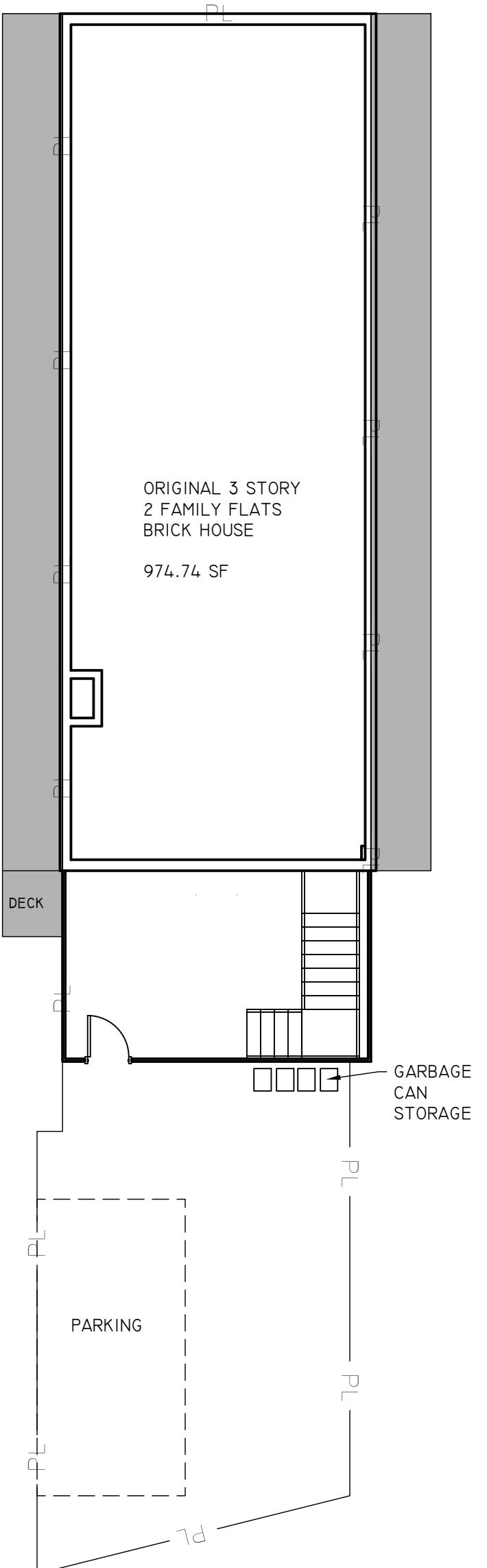
Board of Zoning Adjustment
District of Columbia
Case No. 21251
EXHIBIT NO.5
A00

ZONING ANALYSIS

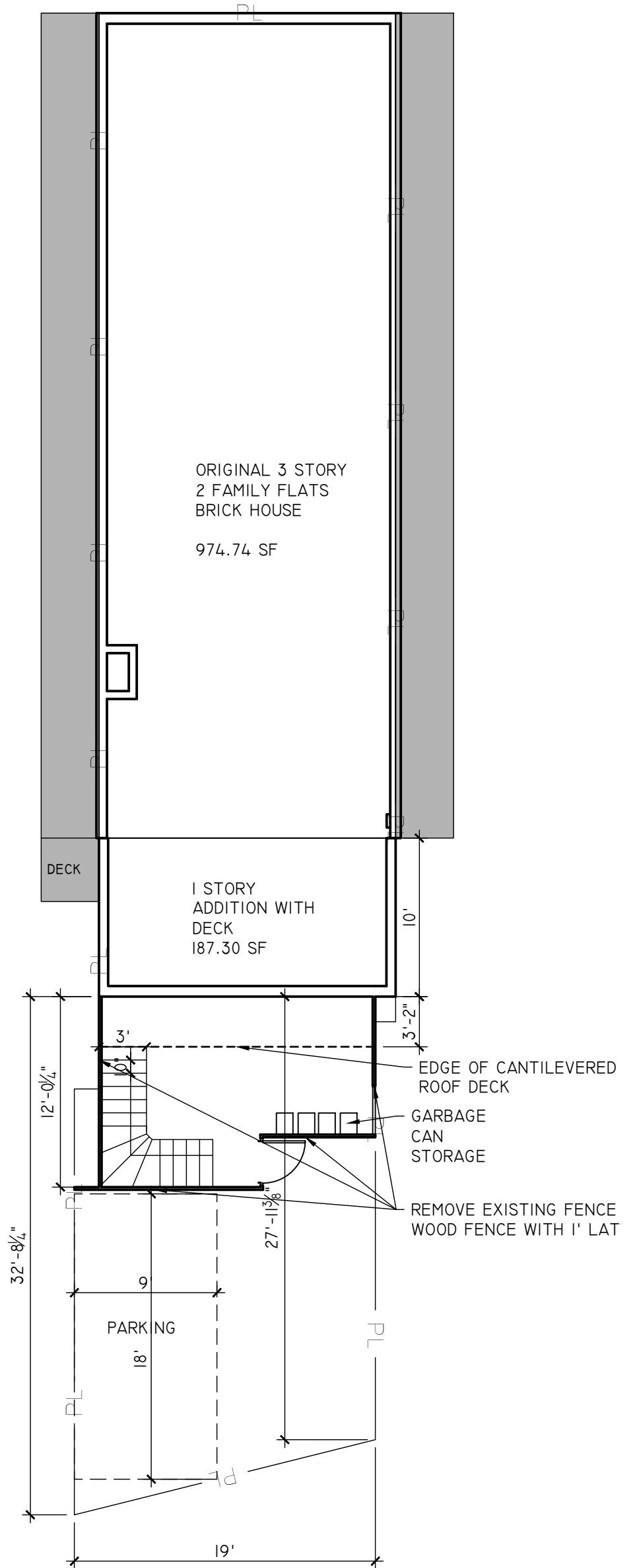
Project	Lieber	Existing	Proposed
Address	151 D Street, SE	1,731.08	1,731.08
Square	0734	Original House	974.74
Lot	0075	Addition	187.30
Historic	Yes	Deck	-
ANC	6B	Accessory Building	-
SMD	6B01	Total	974.74
Zone	RF-1/CAP	Lot Coverage	56.31%
			67.13%

Subtitle E	Code	Existing	Proposed	Reference	Zoning Relief
Dwelling Units	2	2	2	E302	no
ADU	No	No	No	E302	no
Min Lot Width	18	19	19	E201	no
Courts	NA	NA	NA	E203	no
Minimum Lot Area	1,800	1731.08	1731.08	E201	no
Max Lot Occupancy	60%	56.31%	67.13%	E304	Yes
Maximum Height	35	30.2	30.2	E303	no
Penthouse	12'	0	0	E303	no
Maximum Stories	3	3	3	E303	no
No lesser or greater than ex setbacks on same block					
Front Setback	In line	In line	E305	no	
Rear Yard Setback	20	37.95	27.95	E306	no
10' Extension	10	0	10	E	no
Side Yard	NA	NA	NA	E207	no
Pervious Surface	10%	0	0	E204	no
Parking	1	2	2	C 700	no
Roof Top (Arch Elements, Chimney, Solar)				E206	no

1 EXISTING SITE PLAN
SCALE: 1/8" = 1'



2 PROPOSED SITE PLAN
SCALE: 1/8" = 1'



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ADDRESS: 151 D STREET SE
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ZONE DISTRICT: RF-1
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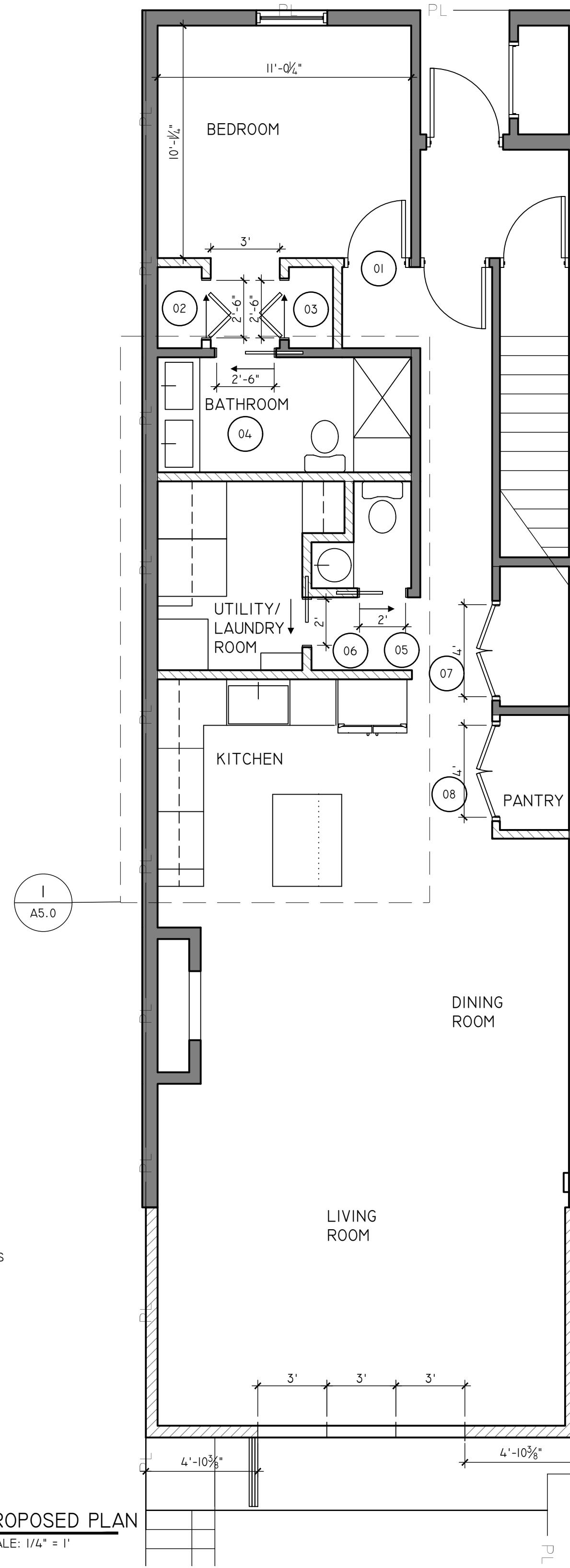
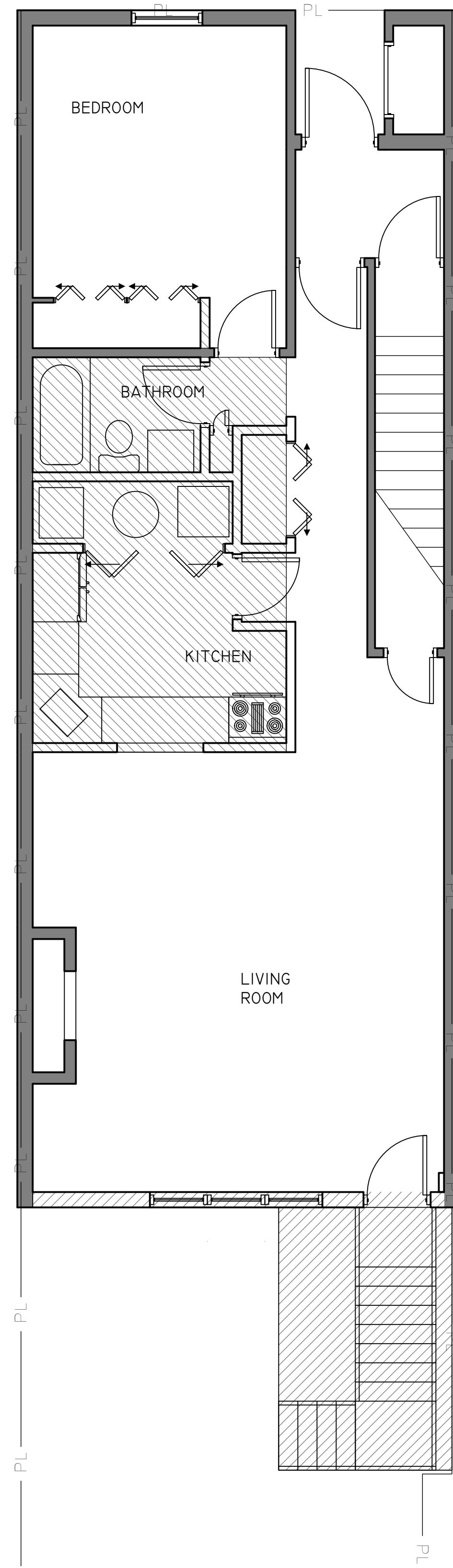
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SITE INFORMATION

A1.0



LIEBER RESIDENCE

RENOVATION & ADDITION PROJECT

RESS: 151 D STREET SE
0075
ARE: 0734
E DISTRICT: RF-I
ORIC: CAP
CLASSIF R3 EX & PROPOSED
G TYPE IIB EX & PROPOSED



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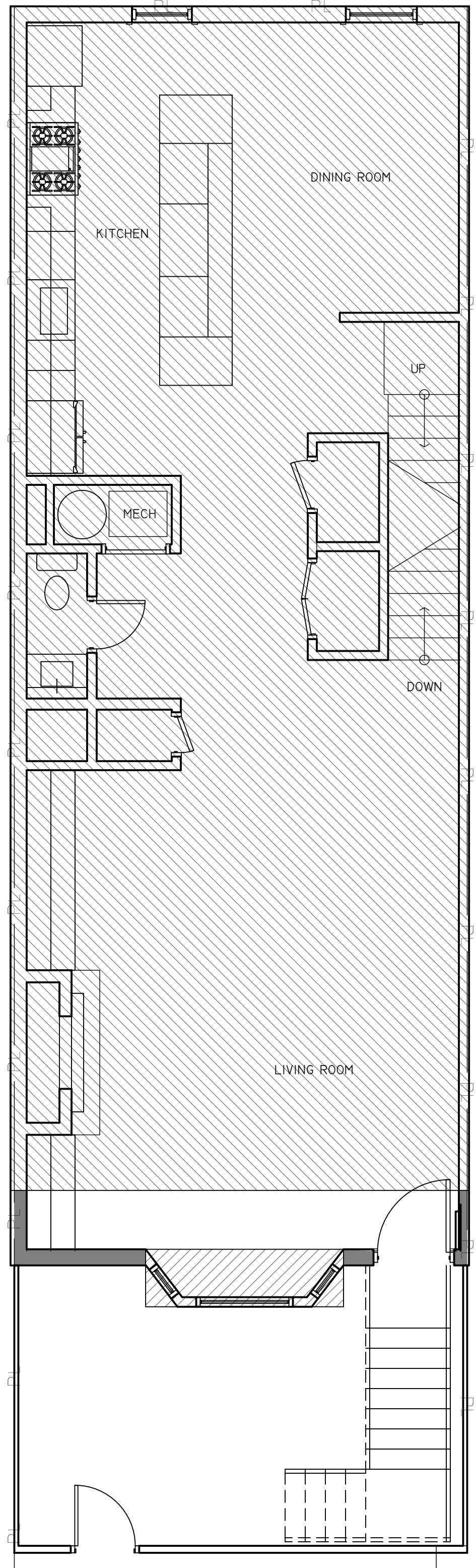
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MD: 16049 EXPIRES 11/23/25

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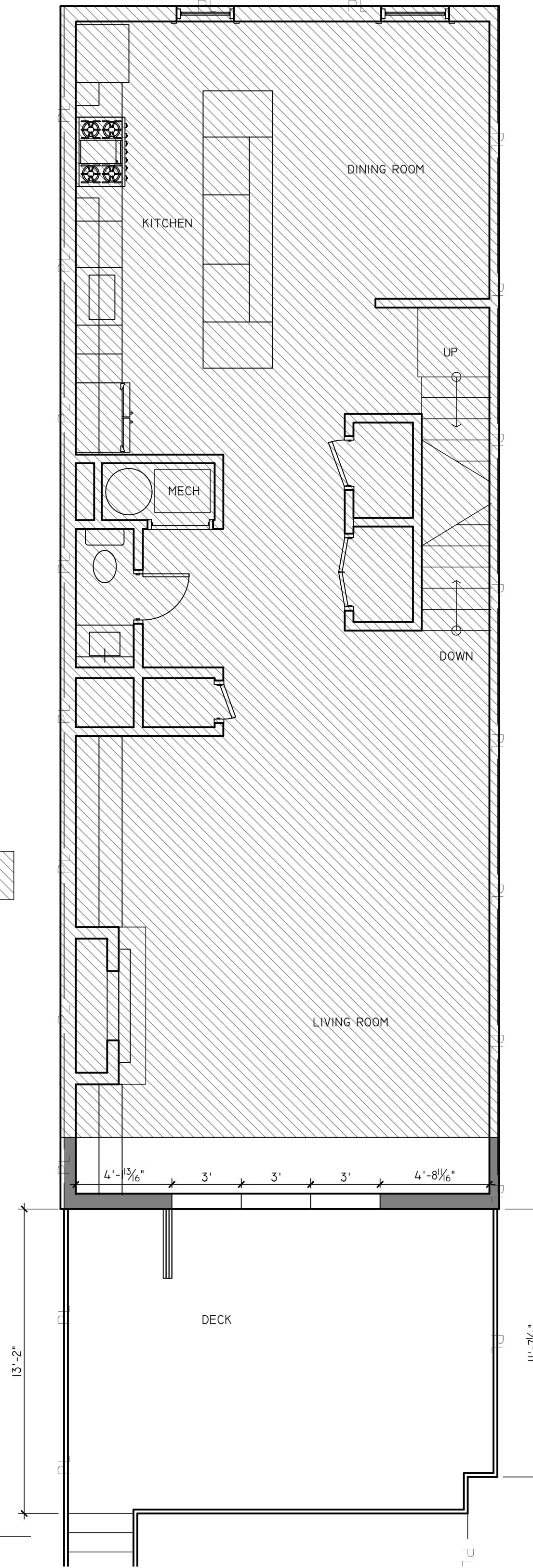
1ST FLOOR PLANS

2 PROPOSED PLA
SCALE: 1/4" = 1'



2 PROPOSED PLAN

SCALE: 1/4" = 1'



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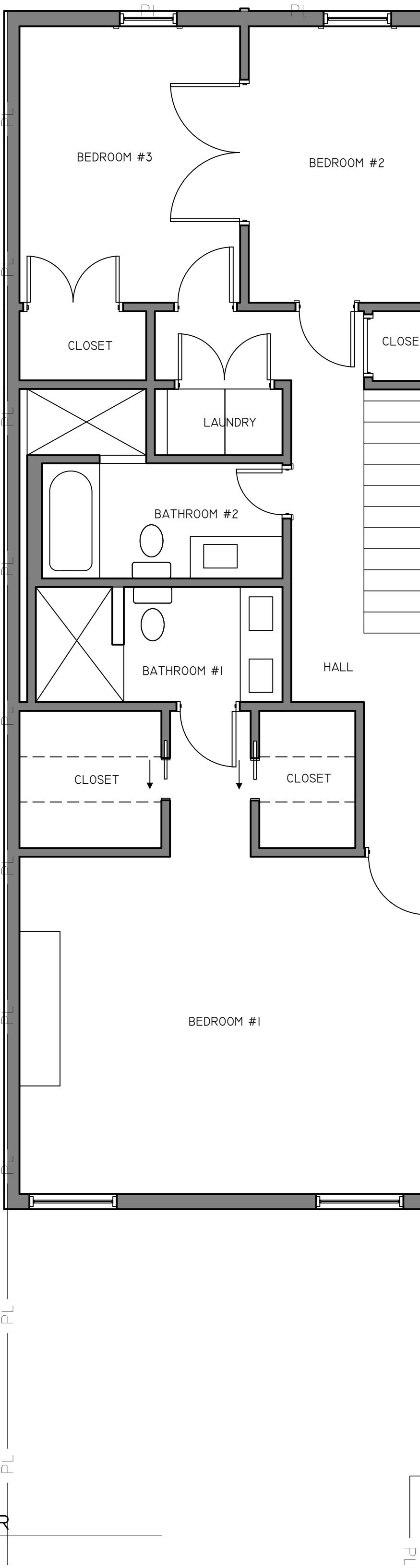
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2ND FLOOR
PLANS

A2.2

FOR REFERENCE ONLY
NO WORK BEING DONE



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ZONE DISTRICT: RF-I
HISTORIC: CAP
USE CLASSIF: R3 EX & PROPOSED
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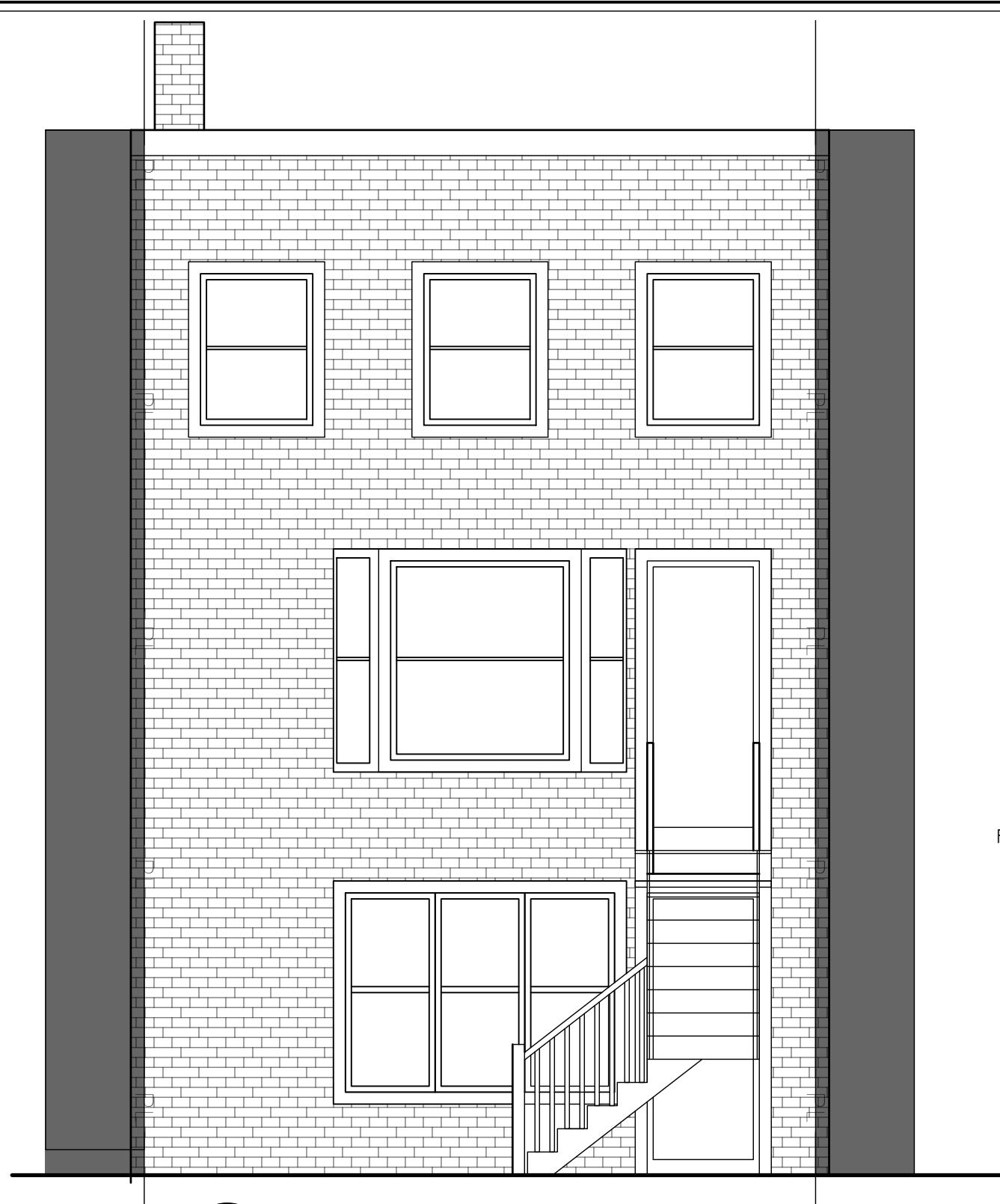
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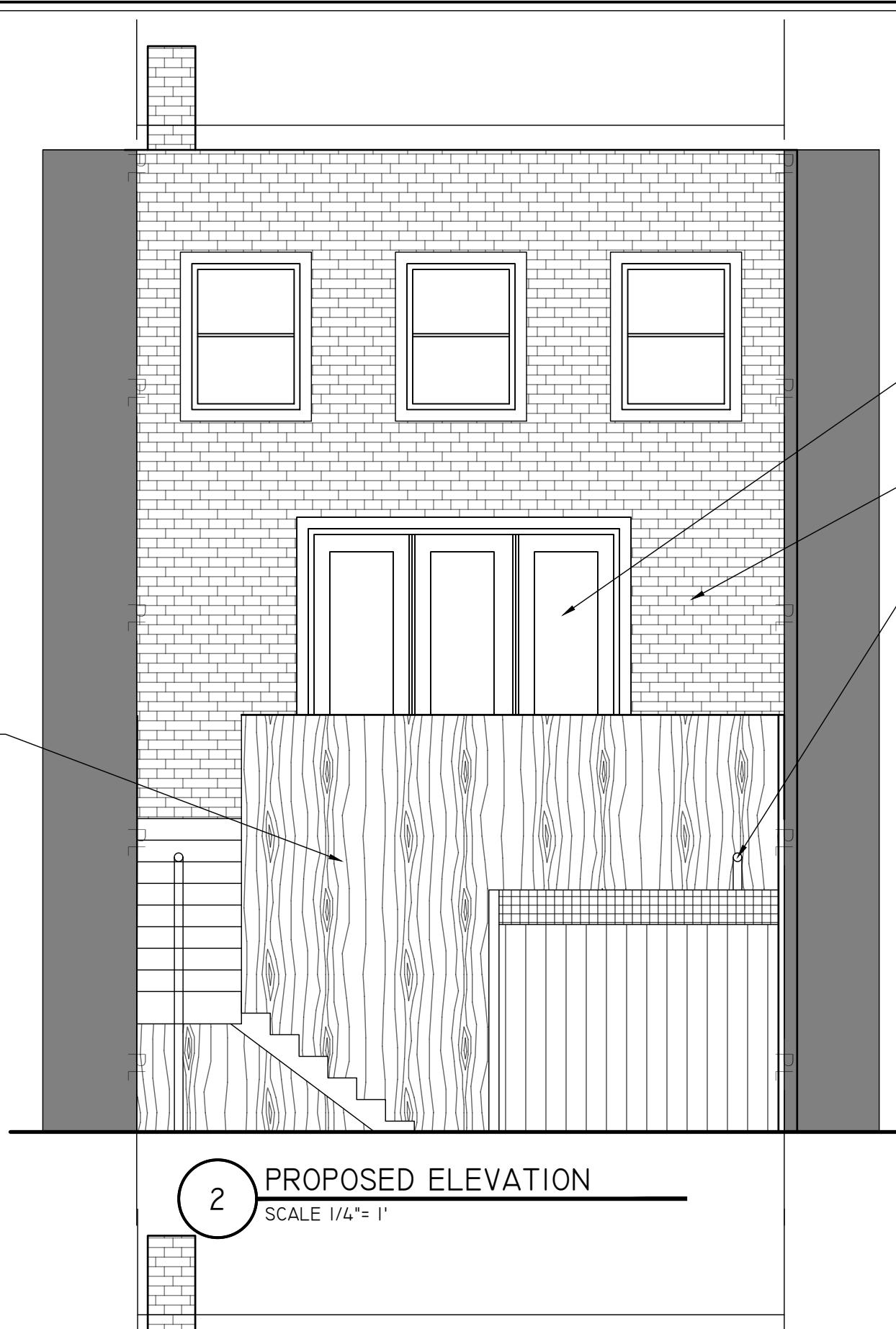
3RD FLOOR
PLANS

A2.3



1 EXISTING ELEVATION

SCALE 1/4"= 1'



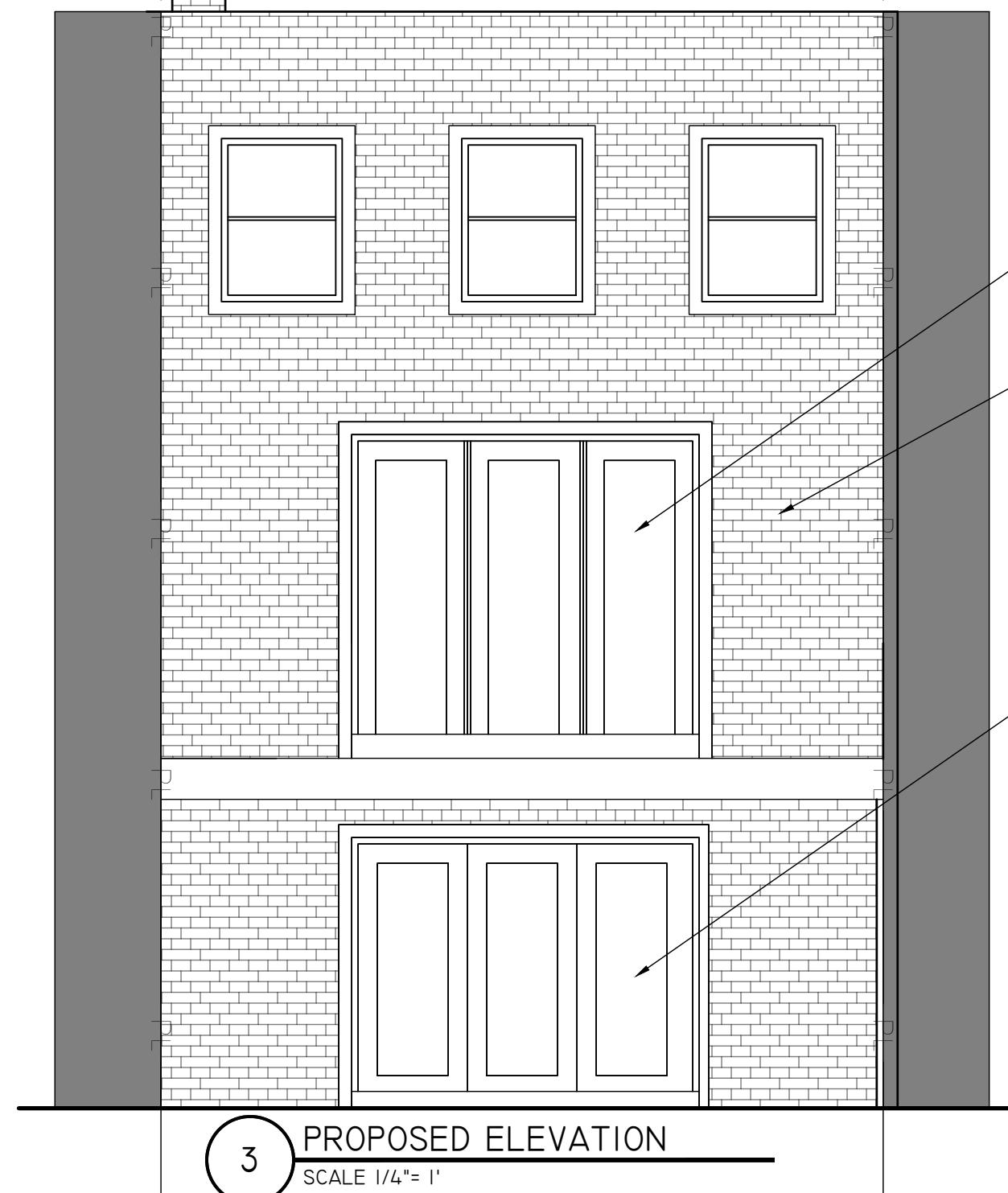
2 PROPOSED ELEVATION

SCALE 1/4"= 1'

Door Schedule	Width	Height	Type	Location
1	Interior	Replace existing bedroom door		1st Floor
2	Interior	30"	68" Single Folding	1st Floor
3	Interior	30"	68" Single Folding	1st Floor
4	Interior	30"	68" Pocket	1st Floor
5	Interior	24"	68" Pocket	1st Floor
6	Interior	24"	68" Pocket	1st Floor
7	Interior	48"	68" Dbl Swing	1st Floor
8	Interior	48"	68" Dbl Swing	1st Floor
9	Exterior	9'	7' Folding	1st Floor
10	Exterior	9'	7' Folding	2nd Floor

ALL INTERIOR DOORS SOLID WOOD TO MATCH EXISTING INTERIOR DOORS

EXTERIOR FOLDING DOORS: BASIS OF DESIGN LACANTINA
WOOD INTERIOR CLAD EXTERIOR, UVALUE .30, SHGC .30, DOUBLE PANED, ARGON
FILLED, LOW E GLASS.



3 PROPOSED ELEVATION

SCALE 1/4"= 1'

FOLDING DOOR.
SEE DOOR
SCHEDULE

FILL IN BRICKWORK
TO MATCH EXISTING

SCUPPER WITH
DOWN SPOUT

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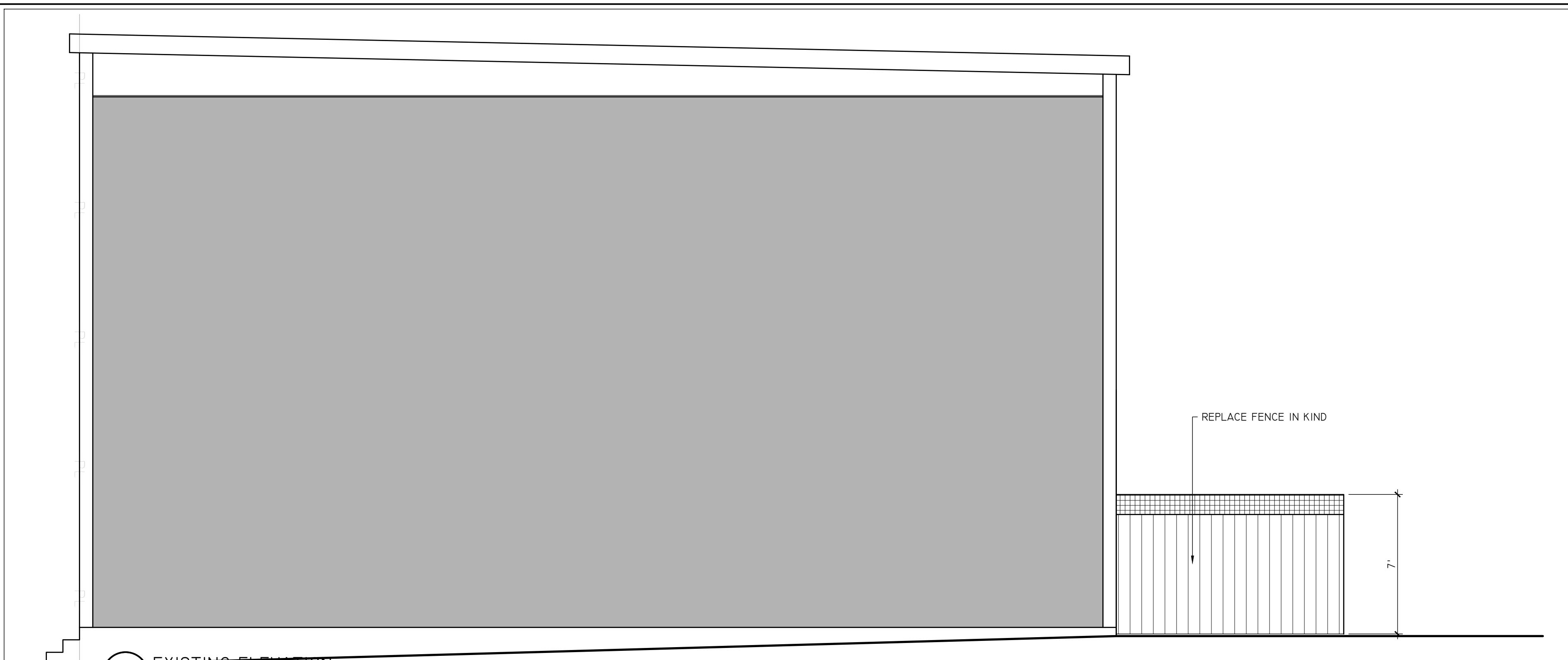
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REAR
ELEVATIONS

A3.0



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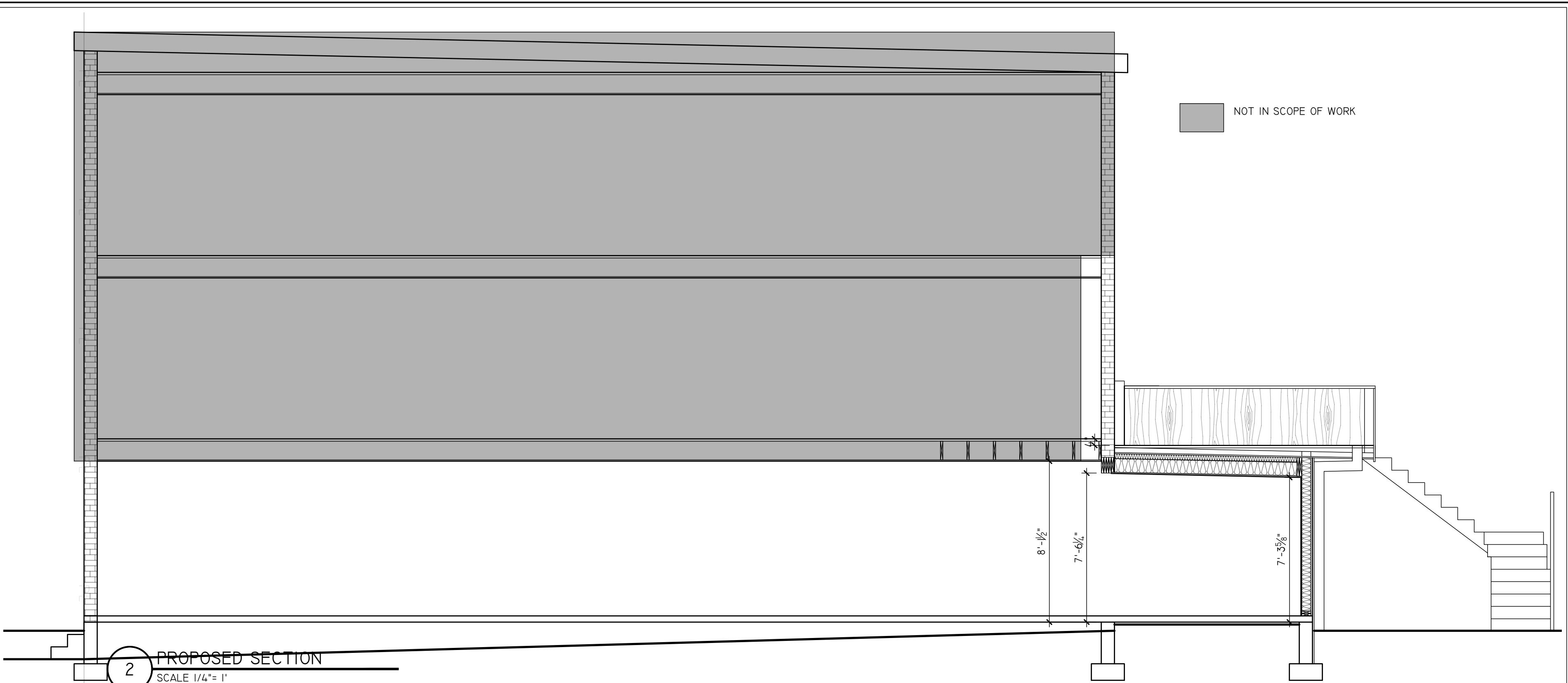
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SIDE
ELEVATION

A3.1





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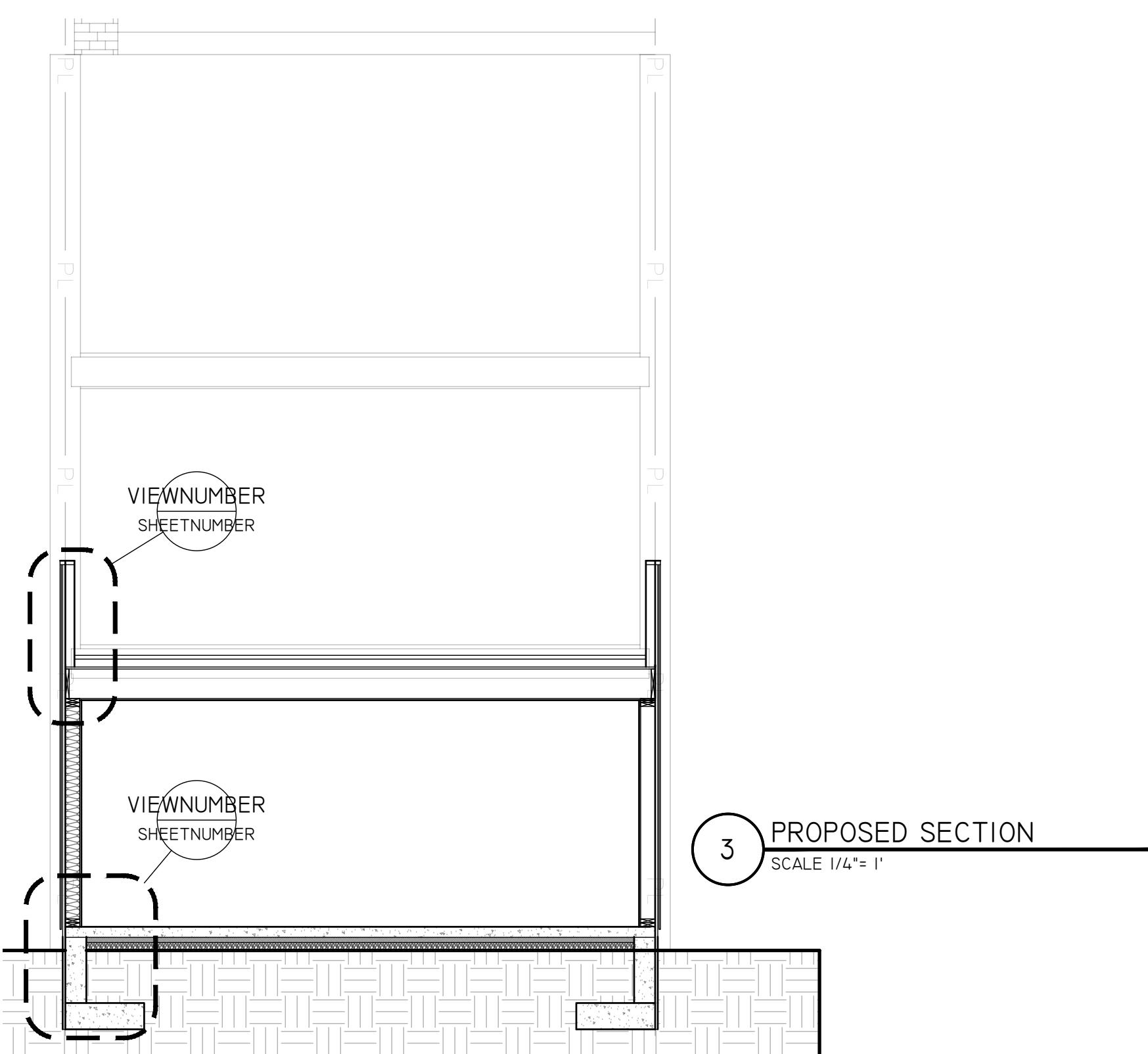
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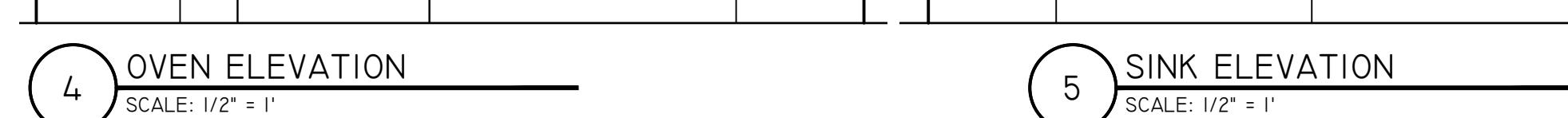
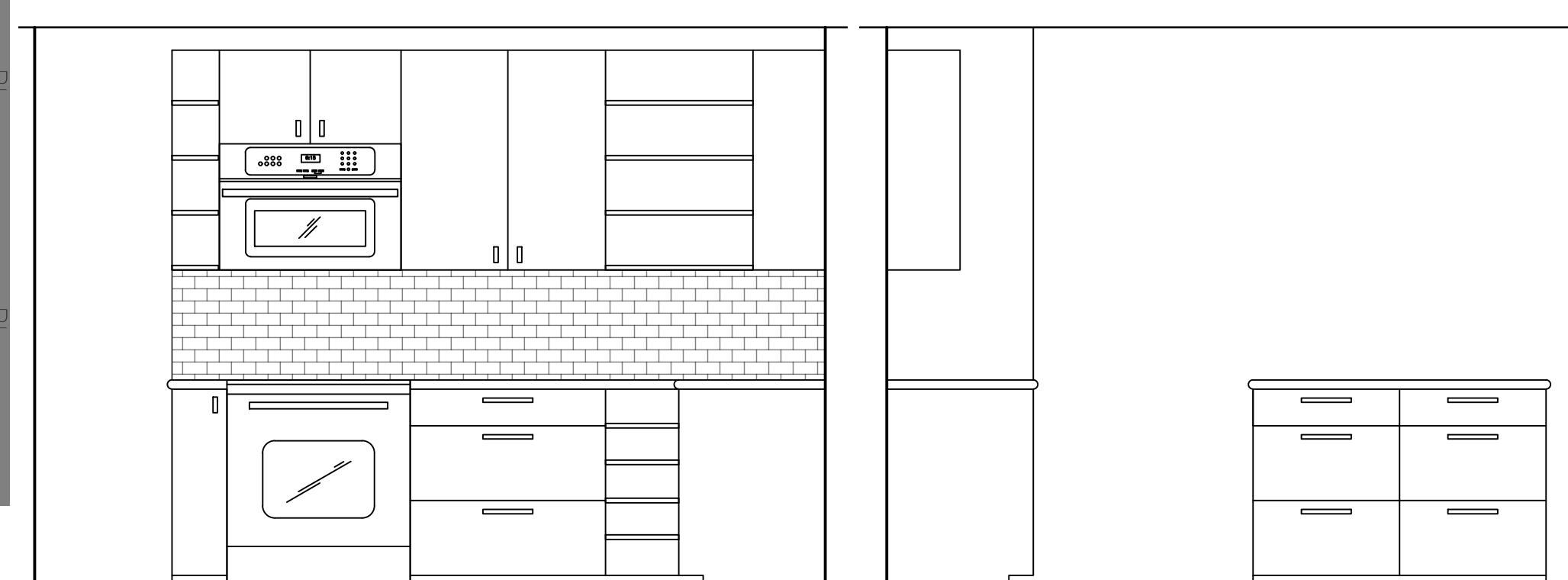
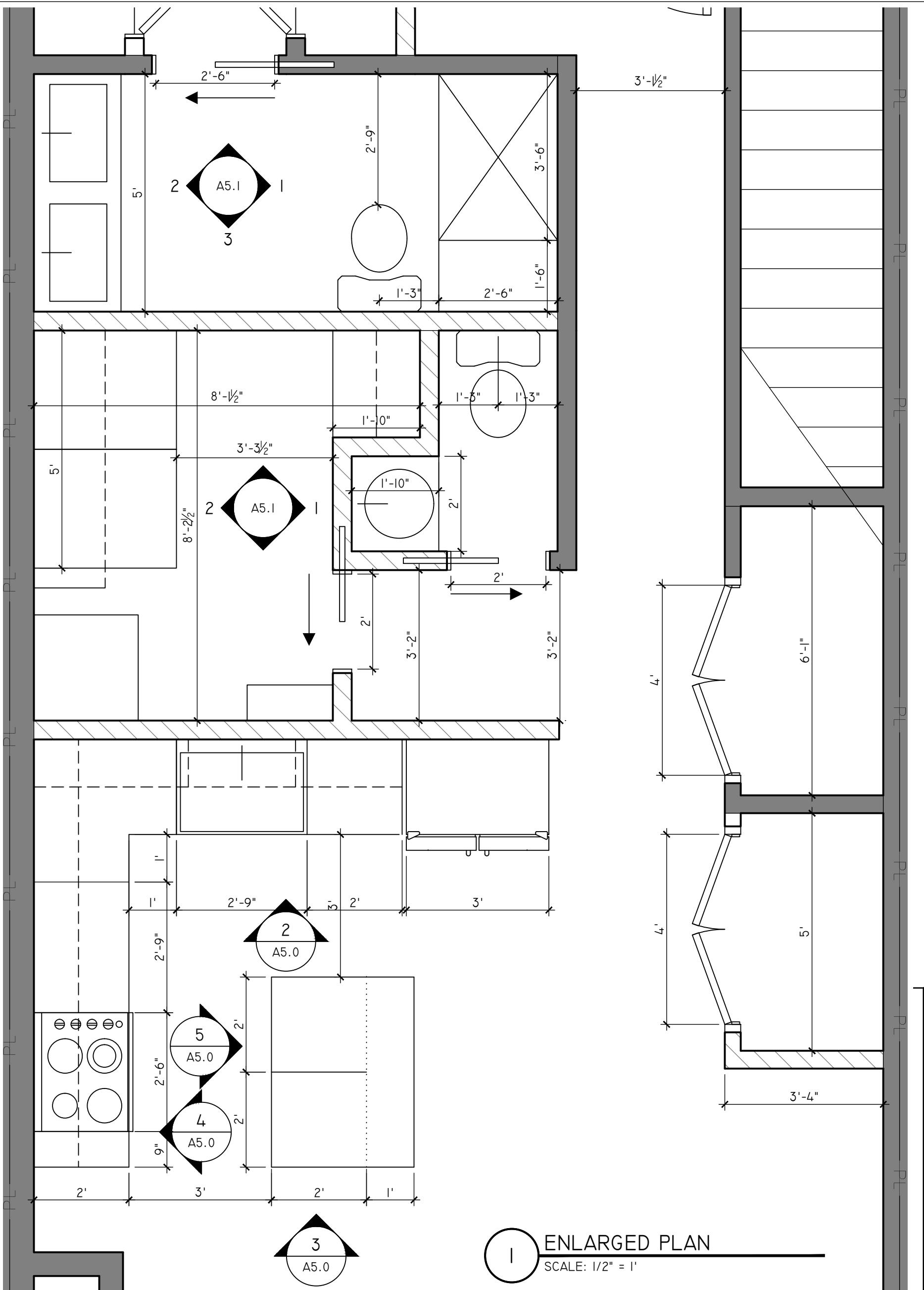
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BUILDING
SECTIONS

A3.2





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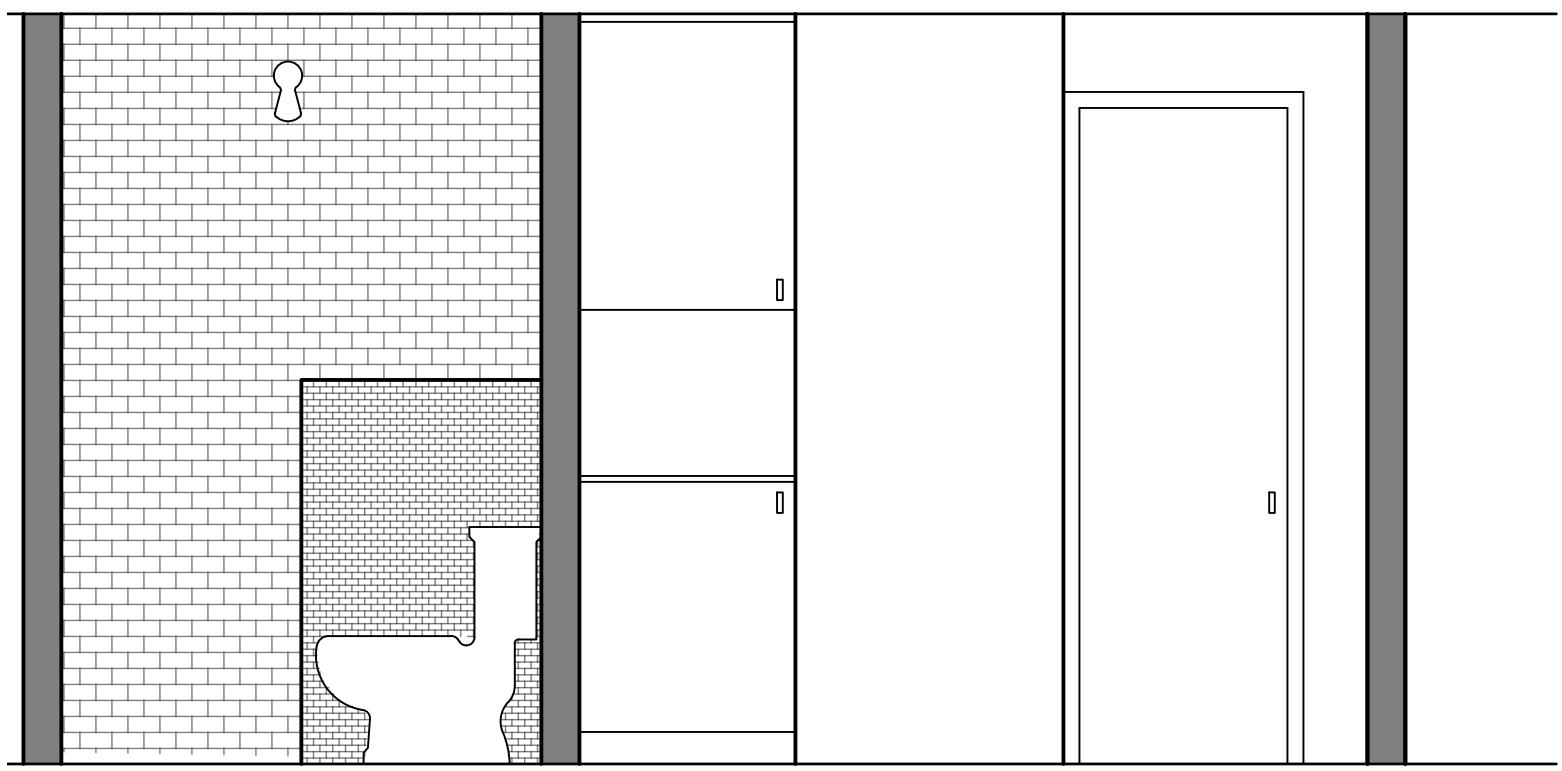
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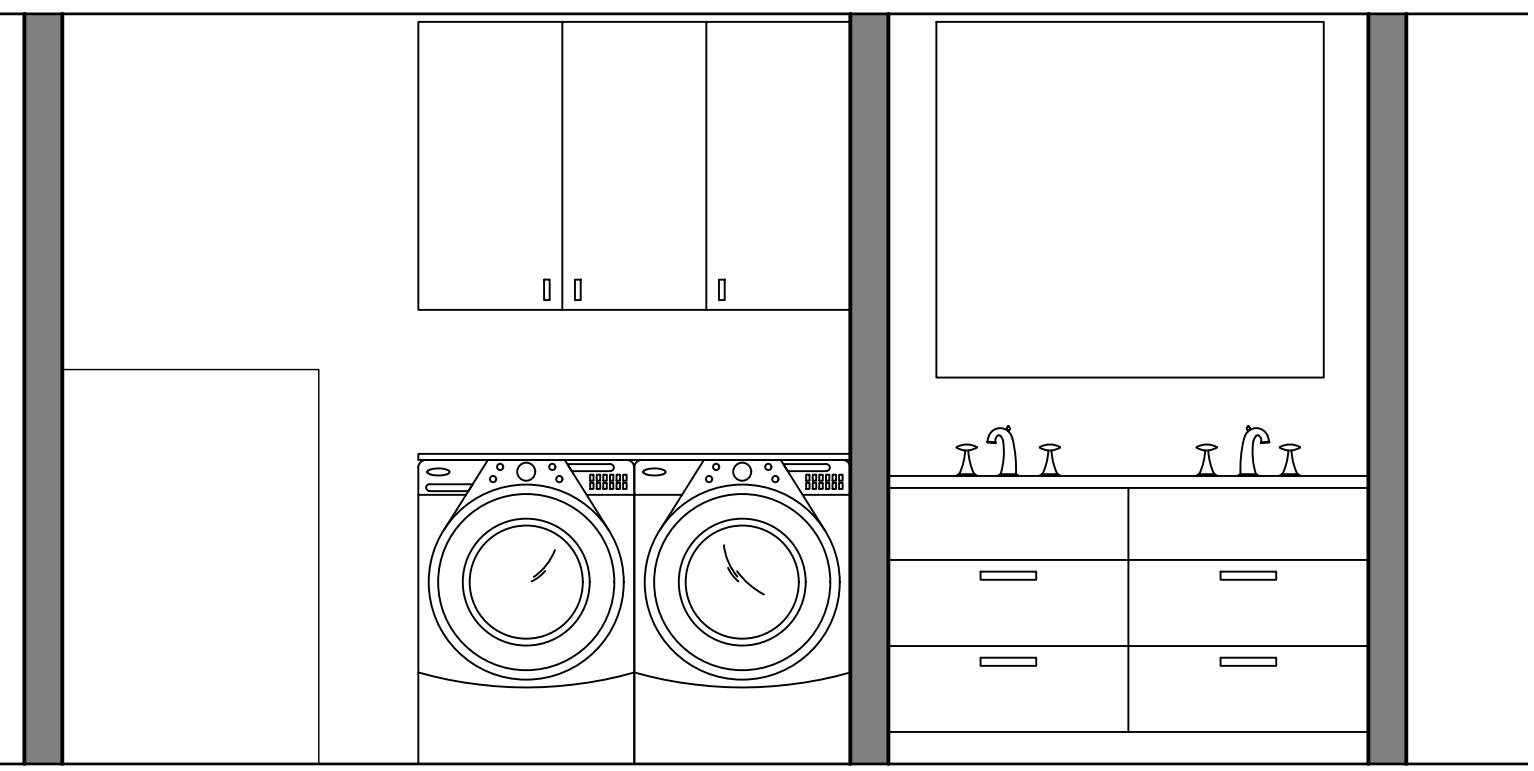
INTERIOR
PLAN AND
ELEVATIONS

A5.0



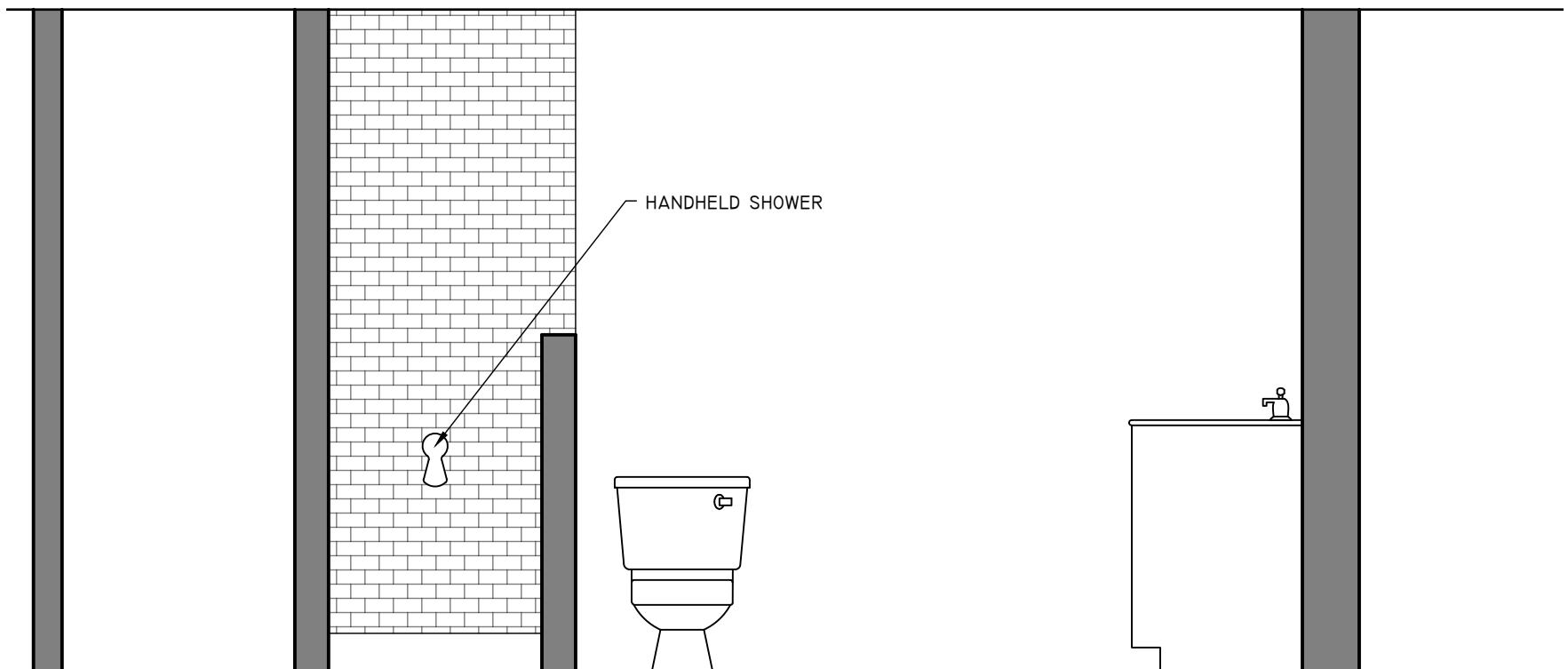
1 SHOWER/ STORAGE ELEVATION

SCALE: 1/2" = 1'



2 LAUNDRY/ VANITY ELEVATION

SCALE: 1/2" = 1'



3 DOG SHOWER ELEVATION

SCALE: 1/2" = 1'

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INTERIOR
ELEVATIONS