

DRAWING LIST

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DESIGN PROFESSIONALS

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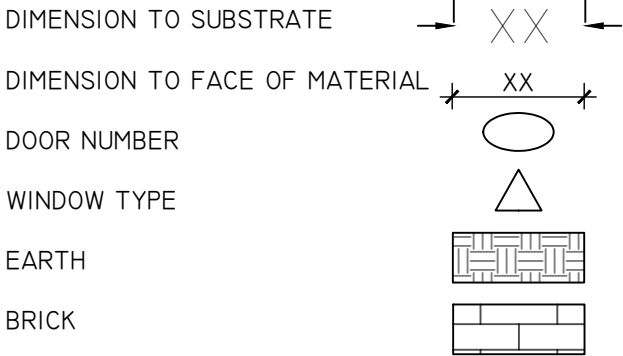
STRUCTURAL ENGINEER
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MEP ENGINEER

LIST OF ABBREVIATIONS

- ABV ABOVE
- BO BY OWNER
- CLR CLEAR
- CLG CEILING
- FO FINISHED OPENING
- GC GENERAL CONTRACTOR
- EX EXISTING
- EXT EXTERIOR
- FLR FLOOR
- GYP GYPSUM BOARD
- INT INTERIOR
- MO MASONRY OPENING
- PTD PAINTED
- RO ROUGH OPENING
- TBD TO BE DETERMINED
- TYP TYPICAL UNLESS NOTED OTHERWISE
- VIF VERIFY IN FIELD

SYMBOLS



PROJECT DESCRIPTION:

REMOVING EXISTING TWO REAR ADDITIONS. ADDING A TWO STORY ADDITION WITH BASEMENT AT THE REAR AND SIDE OF THE HOUSE. ADDING AN ACCESSORY DWELLING UNIT IN PART OF THE BASEMENT. RENOVATING 1ST FLOOR OF EXISTING HOUSE. 2ND FLOOR ADDITION IS UNFINISHED.

GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT CITY, COUNTY, AND STATE BUILDING CODES INCLUDING THE 2017 IBC, DCMR 2013-I2B, AND ALL OTHER APPLICABLE CODES TO EACH TRADE INCLUDING:.
 - TITLE I2 DCMR, DC CONSTRUCTION CODES SUPPLEMENT (2017),
 - 2017 DISTRICT OF COLUMBIA BUILDING CODE,
 - 2017 DISTRICT OF COLUMBIA GREEN CONSTRUCTION CODE,
 - 2017 DISTRICT OF COLUMBIA ENERGY CONSERVATION CODE,
 - 2017 DISTRICT OF COLUMBIA FIRE CODE,
 - 2017 DISTRICT OF COLUMBIA MECHANICAL CODE,
 - 2017 DISTRICT OF COLUMBIA PLUMBING
 - 2017 EXISTING BUILDING CODE,
 - 2017 ICC FUEL GAS CODE,
 - 2017 ICC RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS,
 - 2017 ICC SWIMMING POOL AND SPA CODE
 - 2017 NATIONAL ELECTRICAL CODE,
 - 2017 ICC BUILDING CODE,
 - 2017 ICC MECHANICAL CODE,
 - 2017 ICC PLUMBING CODE,
 - 2017 ICC PROPERTY MAINTENANCE CODE,
 - 2017 ICC FIRE CODE,
 - 2017 ICC ENERGY CONSERVATION CODE,
 - 2017 ICC GREEN CONSTRUCTION CODE
- ALL DIMENSIONS TO BE VERIFIED IN FIELD.
- ALL DIMENSIONS ARE TO FACE OF MATERIAL, TYP.
- ANY NECESSARY SUPPLEMENTAL PERMITS TO BE OBTAINED BY TRADE PROFESSIONALS UNDER CONTRACTOR COORDINATION.
- SEPARATE ALL DEMOLITION WASTE AND RECYCLE AS FEASIBLE. DIVERT GOAL OF 50% WASTE FROM LANDFILL BY RECYCLING CONSTRUCTION MATERIAL AND PACKAGING, DRYWALL REPROCESSING, DONATIONS TO COMMUNITY FORKLIFT, AND ANY OTHER MEANS FEASIBLE.
- VIF ALL STRUCTURAL LOAD BEARING WALLS BEFORE DEMOLITION AND CONTACT ARCHITECT AND STRUCTURAL ENGINEER IF EXISTING CONDITIONS DIFFER FROM DRAWINGS.
- CEMENT BOARD TO BE USED BEHIND ALL TILES.
- ALL PAINT AND PRIMER TO BE LOW VOC.
- APPLIANCES TO BE ENERGY STAR RATED.
- FIXTURES TO HAVE WATER SENSE CERTIFICATION.
- ALL BASEMENT AND WET AREA WALLS TO HAVE PURPLE OR GREEN GYP BOARD.
- TREAT FOR TERMITES AS NECESSARY AFTER DEMOLITION AND BEFORE RENOVATION OR NEW CONSTRUCTION.
- SEAL OFF CONSTRUCTION WORK ZONES FROM LIVING AREAS.
- COVER AND SEAL ALL HVAC VENTS IN WORK AREA PRIOR TO COMMENCING WORK AND KEEP SEALED DURING THE DURATION OF CONSTRUCTION.
- ALL CLOTHES WASHERS TO HAVE DRAIN PAN
- VENT ALL DRYERS AND EXHAUST VANS DIRECTLY OUTDOORS WITH MAX 1 90° TURN
- ALL TRIM TO BE MINIMUM 4" AND TO BE PRIMED AND PAINTED.
- ALL CONSTRUCTED WALLS TO HAVE BASE MOLDING AND TOE KICKS. COORDINATE PROFILE WITH OWNER.

DESIGN NOTES

CODE REQUIREMENTS - SEE SHEETS FOR SPECIFIC REQUIREMENTS

TABLE R402.1.2: INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT (SEE A)

CLIMATE ZONE	4
FENESTRATION U-FACTOR (SEE B)	.30
SKYLIGHT U-FACTOR (SEE B)	.55
GLAZED FENESTRATION SHGC (SEE B & E)	.40
CEILING R VALUE	R49
WOOD FRAME WALL R-VALUE	R19 IN CAVITY + R5 CONTINUOUS EXTERIOR OR R13 IN CAVITY + R10 CONTINUOUS ON EXTERIOR OR R15 CONTINUOUS
MASS WALL R-VALUE (SEE C)	R-15 CONTINUOUS ON EXTERIOR OR R20 CONTINUOUS ON INTERIOR
FRAME FLOOR R-VALUE	R25 + R5 CONTINUOUS
ELEVATED SLAB	R15 CONTINUOUS
BASEMENT WALL R-VALUE	R19 CAVITY + R5 CONTINUOUS EXTERIOR OR R14 CAVITY + R10 CONTINUOUS EXTERIOR OR R15 CONTINUOUS
SLAB ON GRADE(SEE D)	R10 PERIMETER INSULATION FOR A DEPTH OF 2'
CONDITIONED CRAWL SPACE	R19 CAVITY + R5 CONTINUOUS EXTERIOR OR R13 CAVITY + R10 CONTINUOUS EXTERIOR OR R15 CONTINUOUS

- A. R-VALUES ARE MINIMUMS. U-FACTORS AND SHGC ARE MAXIMUMS. WHEN INSULATION IS INSTALLED IN A VAVITY WHICH IS LESS THAN THE LABEL OR DESIGN THICKNESS OF THE INSULATION, THE INSTALLED R VALUE OF THE INSULATION SHALL NOT BE LESS THAN THE R VALUE SPECIED IN THE TABLE.
- B. THE FENESTRATION U-FACTOR COLUMN EXCLUDES SKYLIGHTS. THE SHGC COLUMN APPLIES TO ALL GLAZED FENESTRATION. "I5/ 19" MEANS R15CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R19 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL. "I5 /19" SHALL BE PERMITTED TO BE MET WITH R13 CAVITY INSULATION ON THE INTERIOR OF THE BASEMENT WALL PLUS R4 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME. "I0/ I3" MEANS R10 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R13 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL
- C. THE SECOND R VALUE APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL
- D. R5 SHALL BE ADDED TO THE REQUIRED SLAB EDGE R VALUES FOR HEATED SLABS



LIEBER RESIDENCE

RENOVATION & ADDITION PROJECT

ADDRESS: 151 D STREET SE
LOT: 0075
SQUARE: 0734
ZONE DISTRICT: RF-I
HISTORIC: CAP
USE CLASSIF R3 EX & PROPOSED
BLDG TYPE I1B EX & PROPOSED



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TITLE SHEET

Board of Zoning Adjustment
District of Columbia
CASE NO.21251
EXHIBIT NO.5

A0.0

ZONING ANALYSIS

Project	Lieber	Existing		Proposed
Address	151 D Street, SE	Lot	1,731.08	1,731.08
Square	0734	Original House	974.74	974.74
Lot	0075	Addition		187.30
Historic	Yes	Deck	-	-
ANC	6B	Accessory Building	-	-
SMD	6B01	Total	974.74	1,162.04
Zone	RF-1/CAP	Lot Coverage	56.31%	67.13%

Subtitle E	Code	Existing	Proposed	Reference	Zoning Relief
Dwelling Units	2	2	2	E302	no
ADU	No	No	No	E302	no
Min Lot Width	18	19	19	E201	no
Courts	NA	NA	NA	E203	no
Minimum Lot Area	1,800	1731.08	1731.08	E201	no
Max Lot Occupancy	60%	56.31%	67.13%	E304	Yes
Maximum Height	35	30.2	30.2	E303	no
Penthouse	12'	0	0	E303	no
Maximum Stories	3	3	3	E303	no
	No lesser or greater than ex setbacks on same block				
Front Setback		In line	In line	E305	no
Rear Yard Setback	20	37.95	27.95	E306	no
10' Extension	10	0	10	E	no
Side Yard	NA	NA	NA	E207	no
Pervious Surface	10%	0	0	E204	no
Parking	1	2	2	C 700	no
Roof Top (Arch Elements, Chimney, Solar)				E206	no

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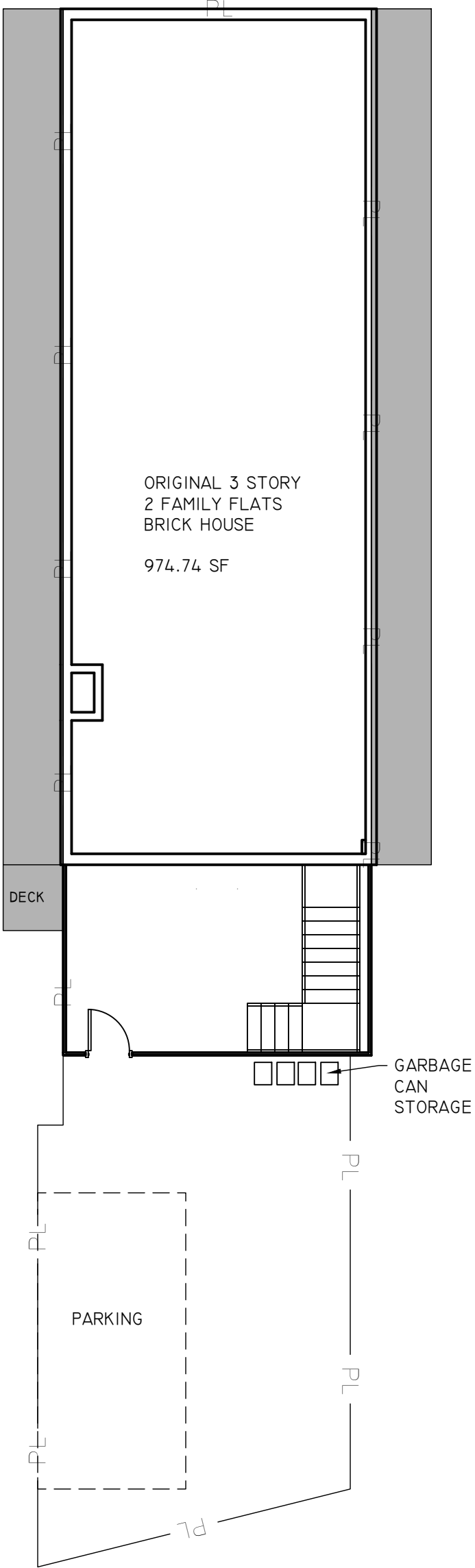
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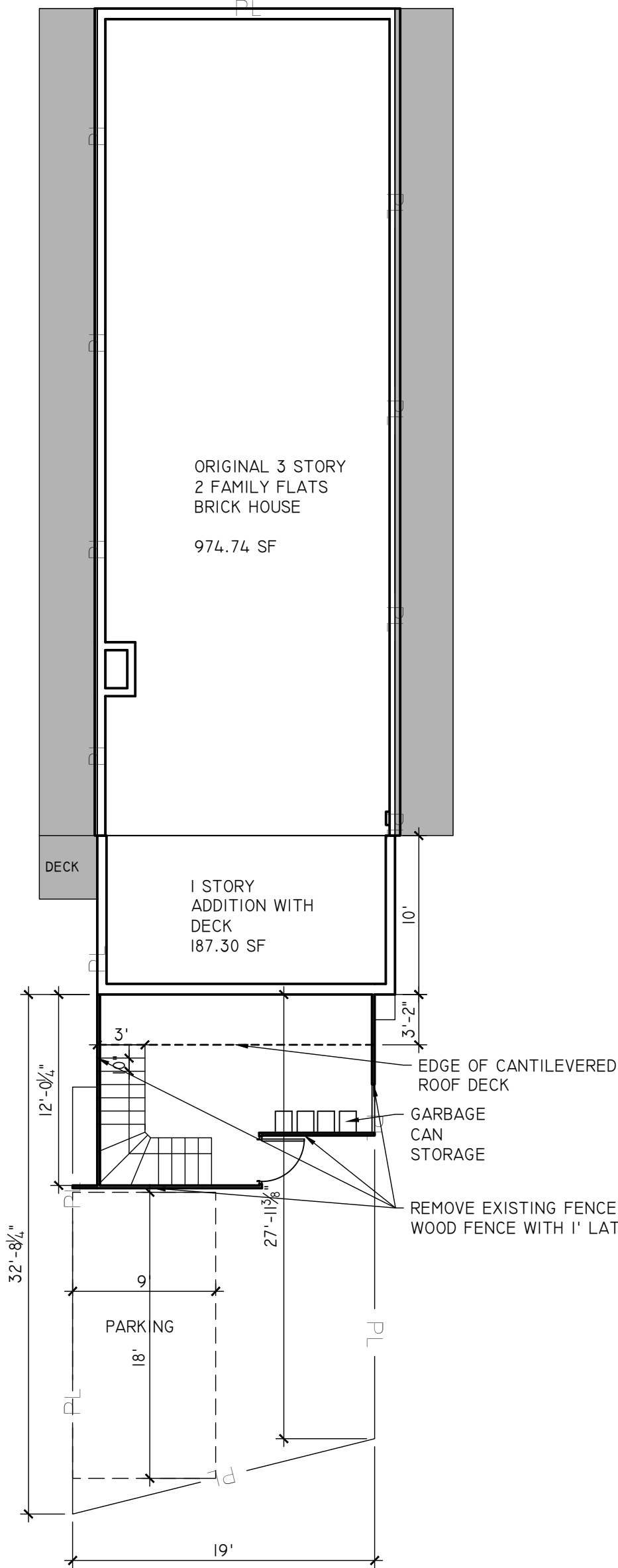
SITE
INFORMATION

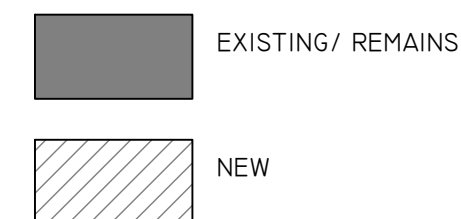
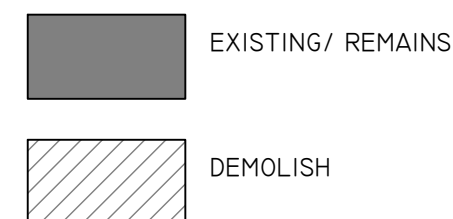
AI.0

1 EXISTING SITE PLAN
SCALE: 1/8" = 1'

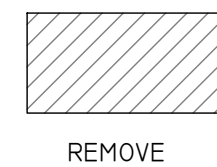
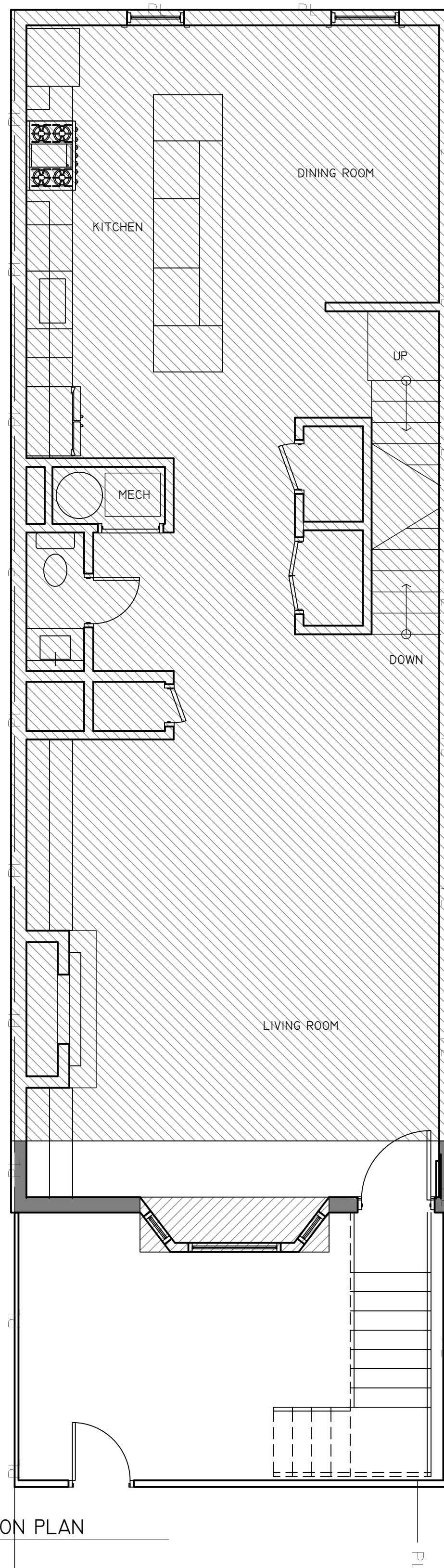


2 PROPOSED SITE PLAN
SCALE: 1/8" = 1'

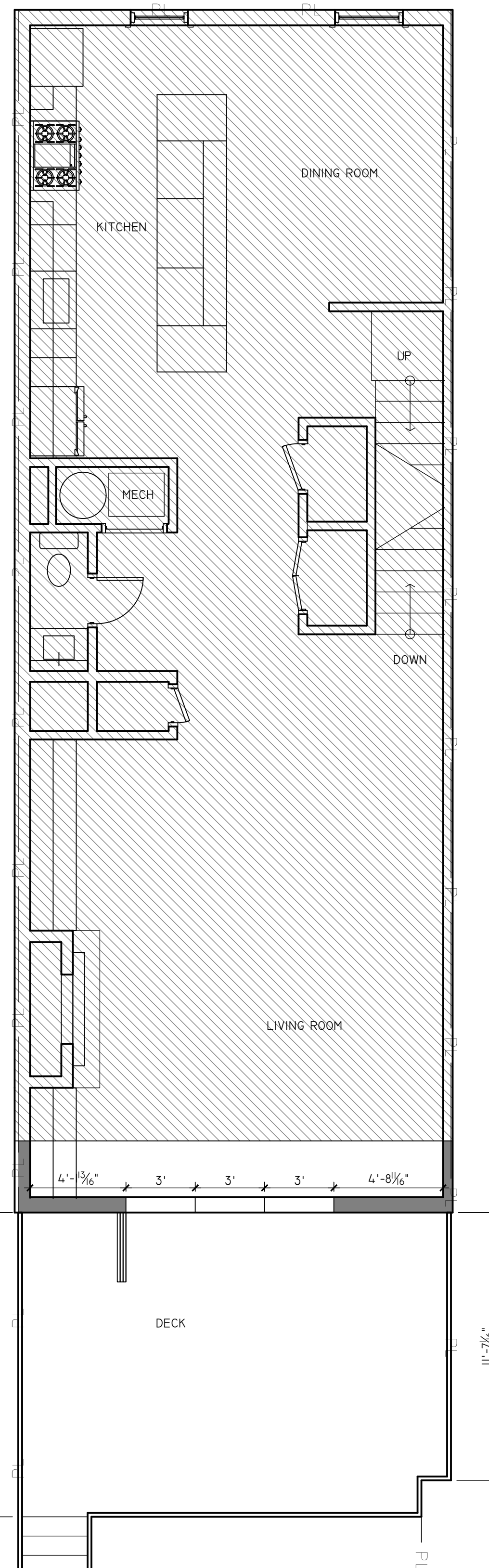




A2.1



2 PROPOSED PLAN
SCALE: 1/4" = 1'



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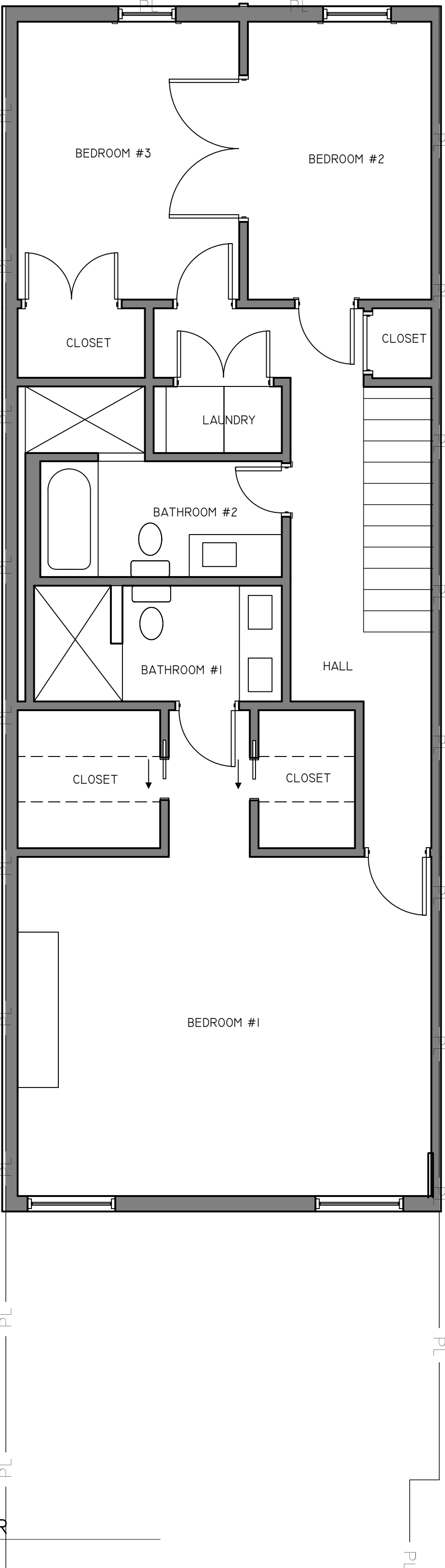
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2ND FLOOR
PLANS

A2.2

FOR REFERENCE ONLY
NO WORK BEING DONE



1 3RD FLOOR
SCALE: 1/4" = 1'

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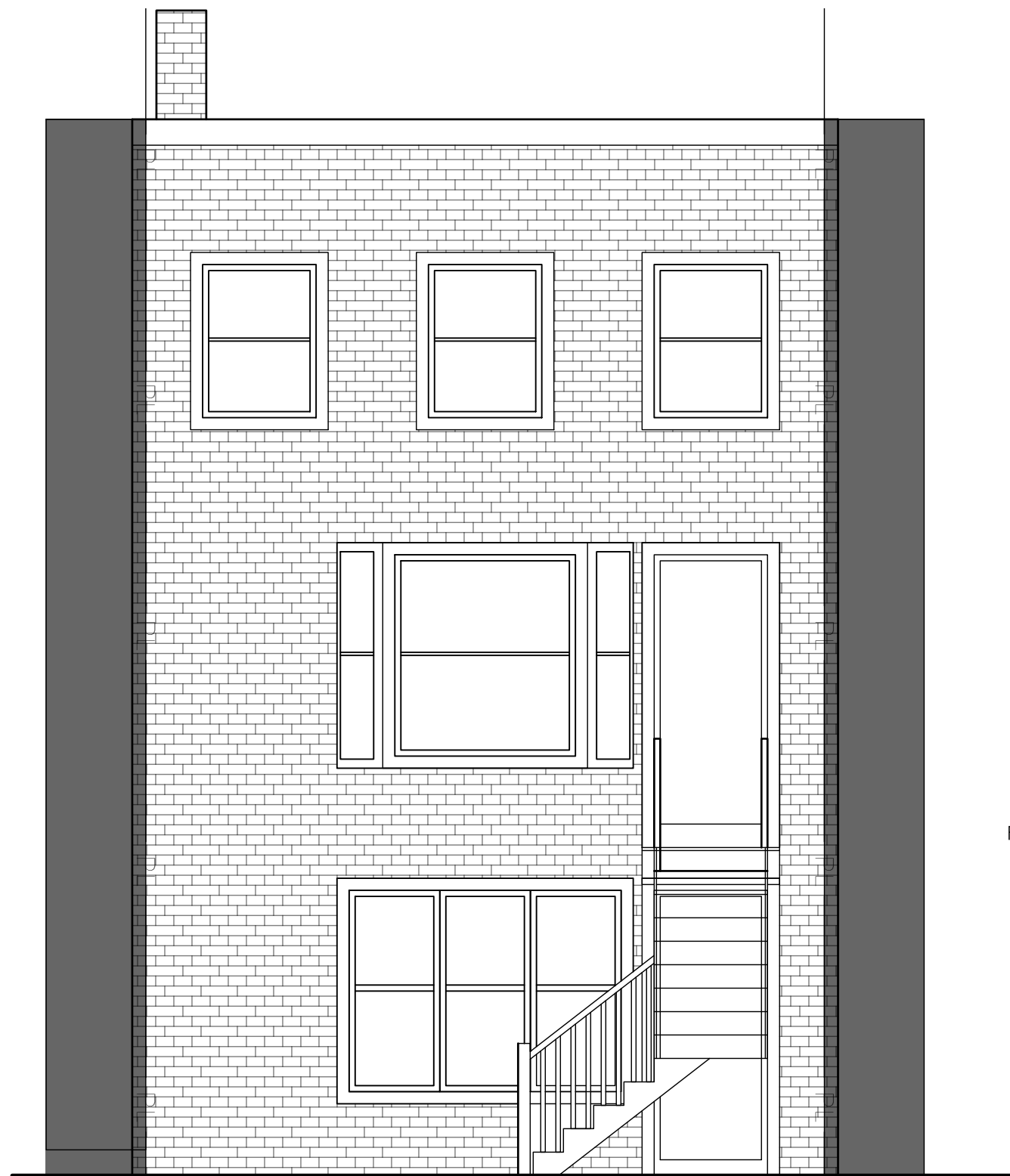
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MD: 16049
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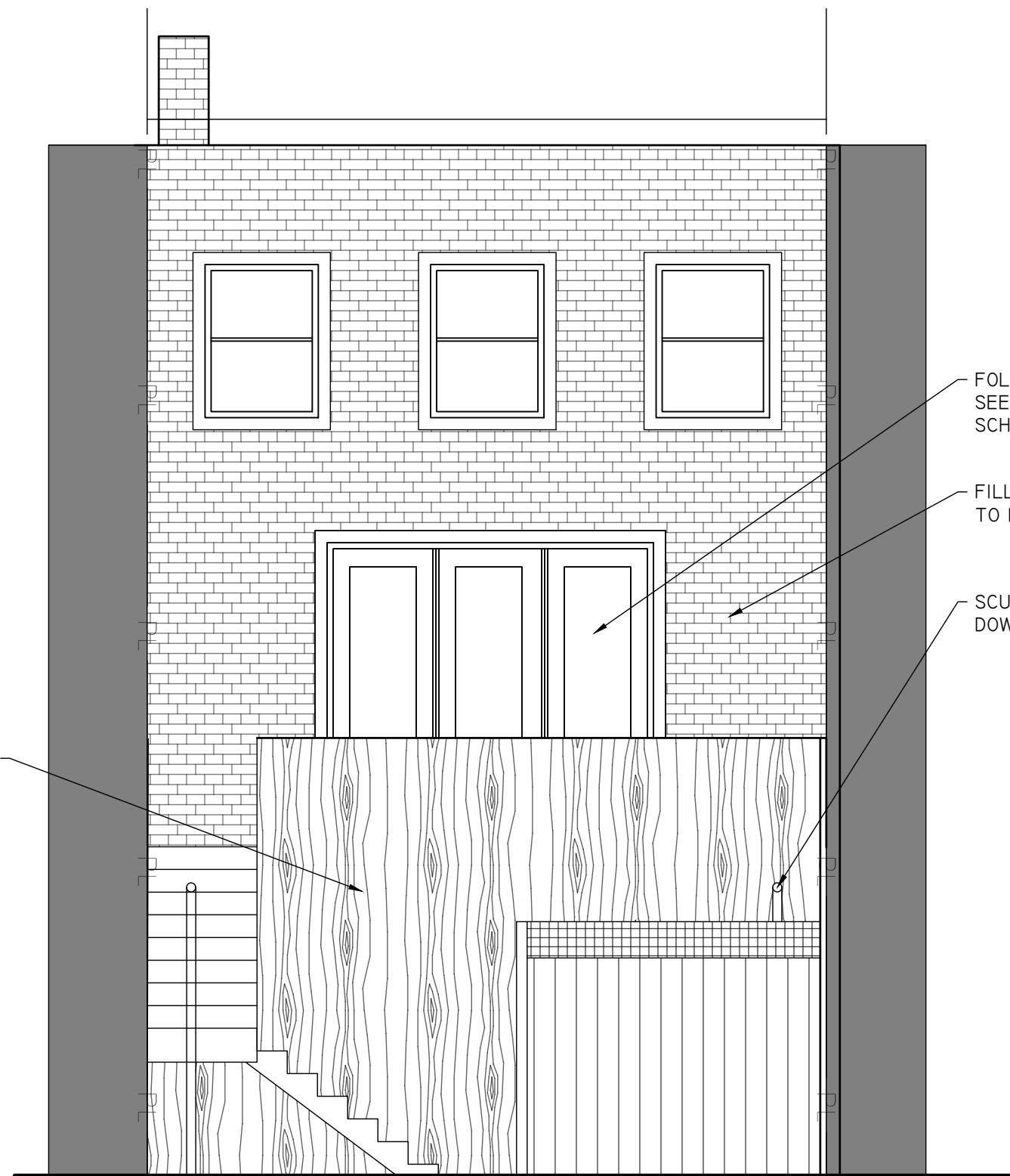
3RD FLOOR
PLANS

A2.3



1 EXISTING ELEVATION
SCALE 1/4"= 1'

PARKLEX OR VERTICAL
WOOD BOARD CLADDING.
EXTEND 3' ABOVE DECK
FLOOR TO CREATE SOLID
GUARDRAIL.

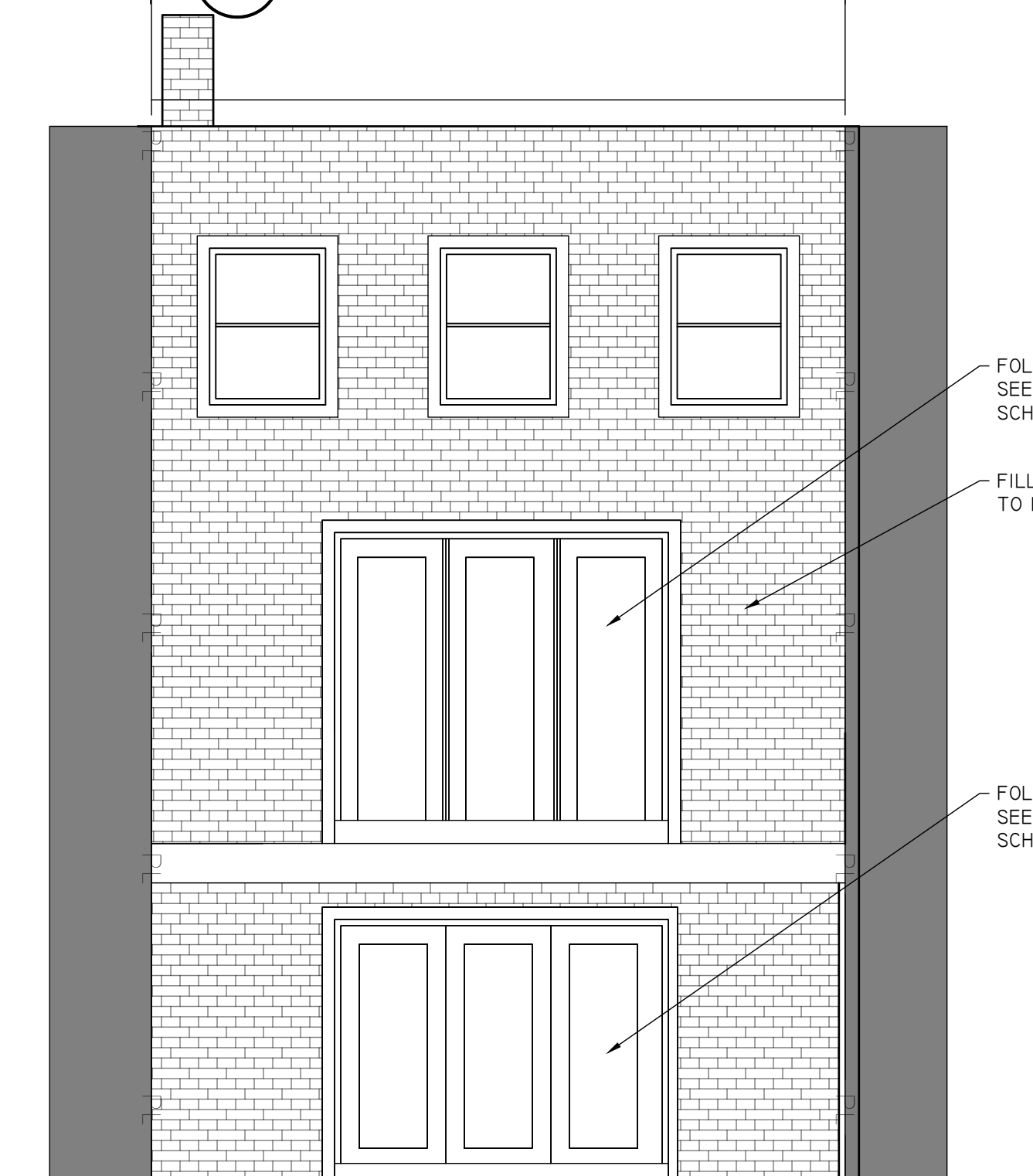


2 PROPOSED ELEVATION
SCALE 1/4"= 1'

Door Schedule	Width	Height	Type	Location
1	Interior	Replace existing bedroom door		1st Floor
2	Interior	30"	68"	Single Folding 1st Floor
3	Interior	30"	68"	Single Folding 1st Floor
4	Interior	30"	68"	Pocket 1st Floor
5	Interior	24"	68"	Pocket 1st Floor
6	Interior	24"	68"	Pocket 1st Floor
7	Interior	48"	68"	Dbl Swing 1st Floor
8	Interior	48"	68"	Dbl Swing 1st Floor
9	Exterior	9'	7'	Folding 1st Floor
10	Exterior	9'	7'	Folding 2nd Floor

ALL INTERIOR DOORS SOLID WOOD TO MATCH EXISTING INTERIOR DOORS

EXTERIOR FOLDING DOORS: BASIS OF DESIGN LACANTINA
WOOD INTERIOR CLAD EXTERIOR, UVALUE .30, SHGC .30, DOUBLE PANED, ARGON
FILLED, LOW E GLASS.



3 PROPOSED ELEVATION
SCALE 1/4"= 1'

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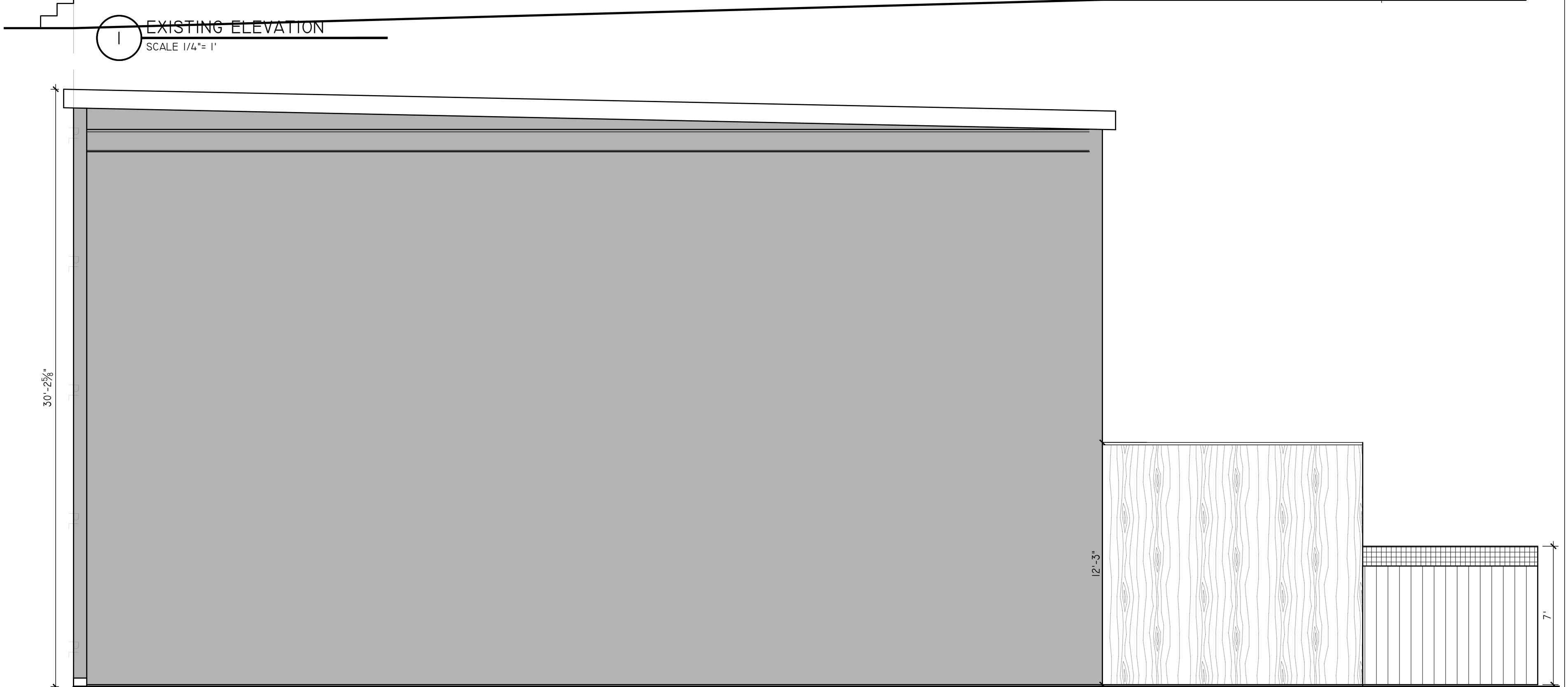
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REAR
ELEVATIONS

A3.0



1 EXISTING ELEVATION
SCALE 1/4"= 1'



2 PROPOSED ELEVATION
SCALE 1/4"= 1'

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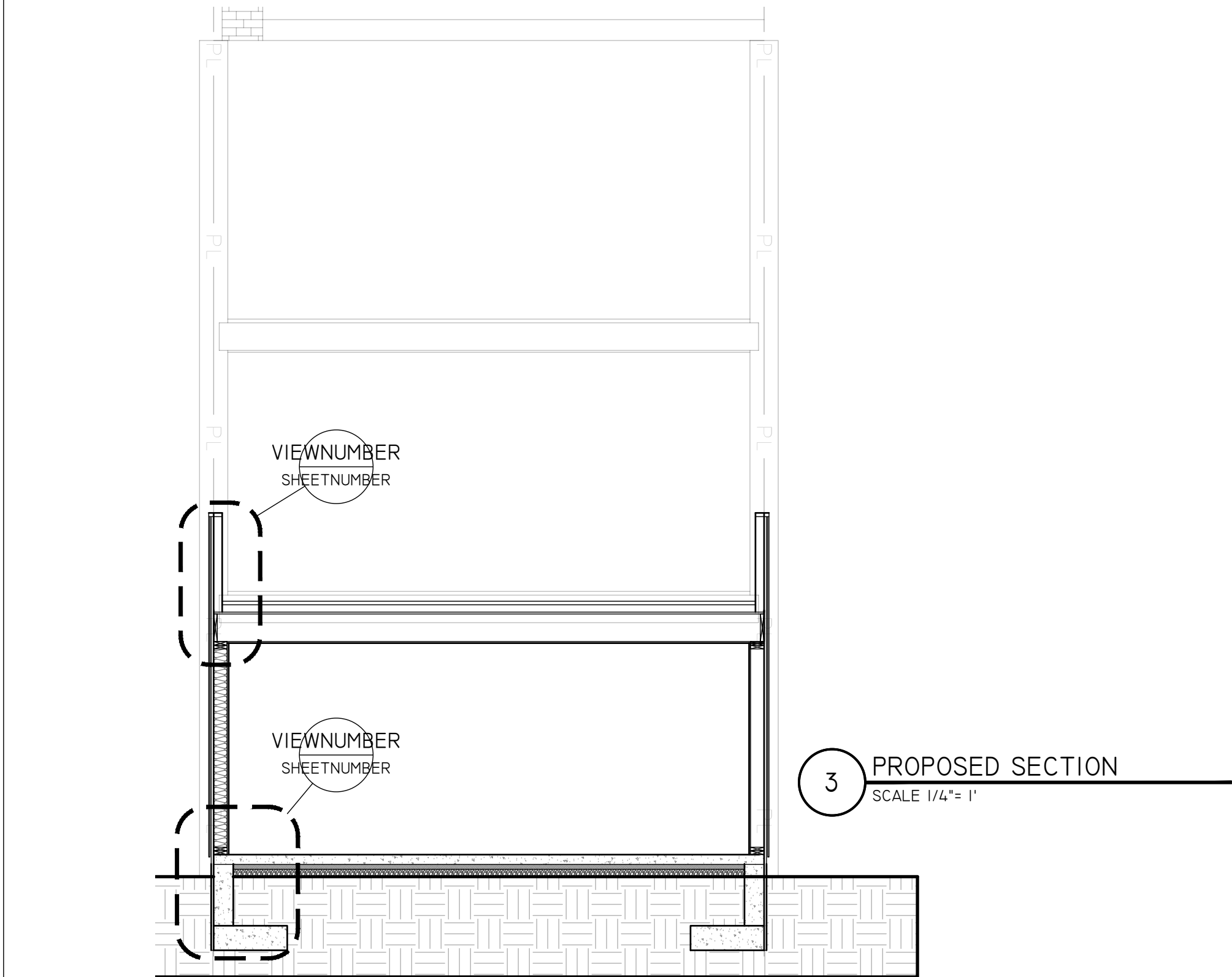
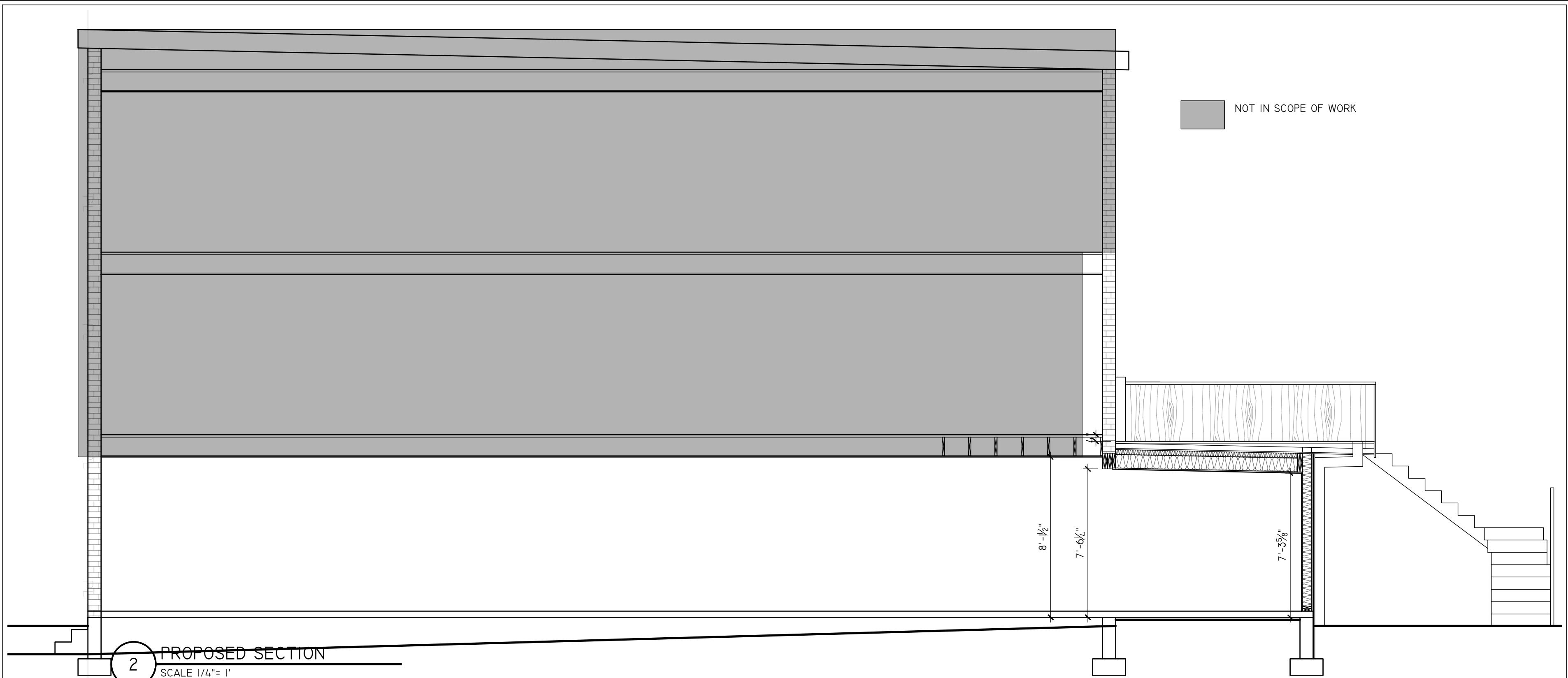
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SIDE
ELEVATION



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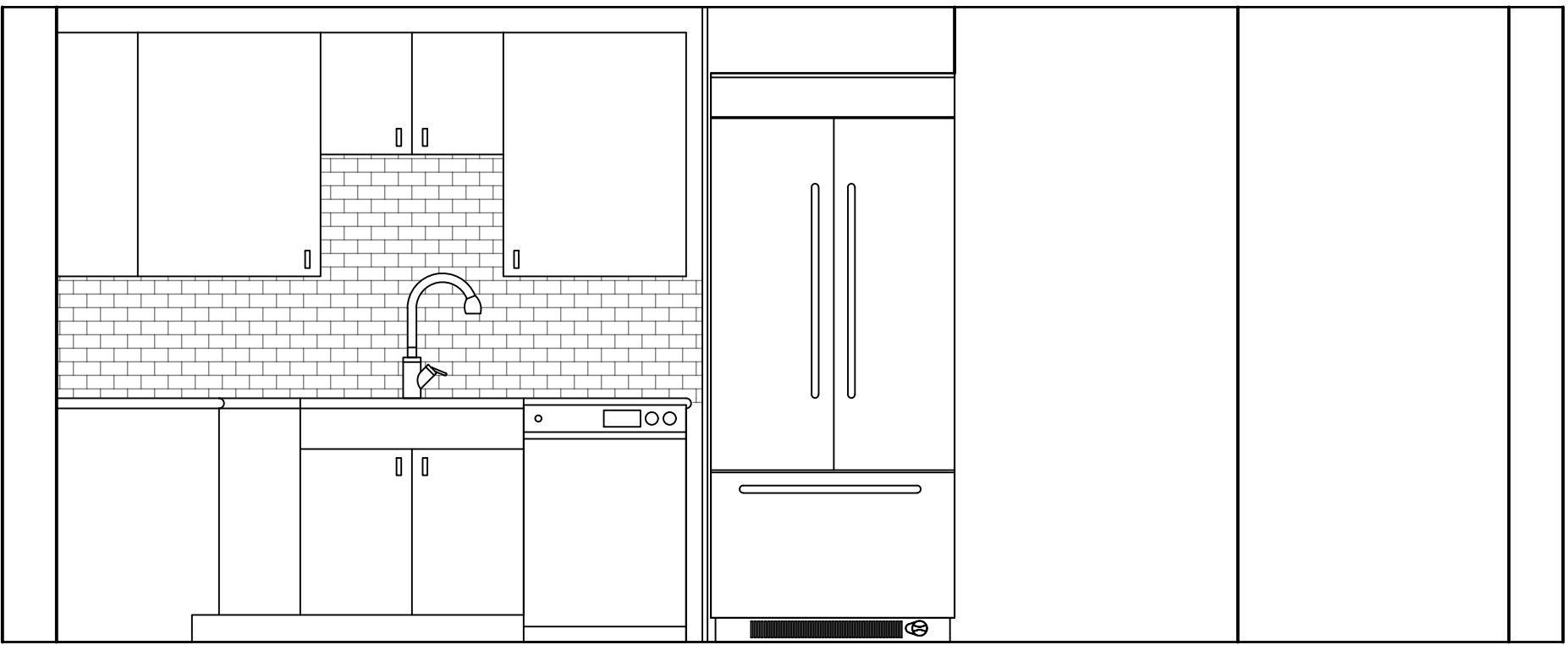
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BUILDING
SECTIONS

A3.2



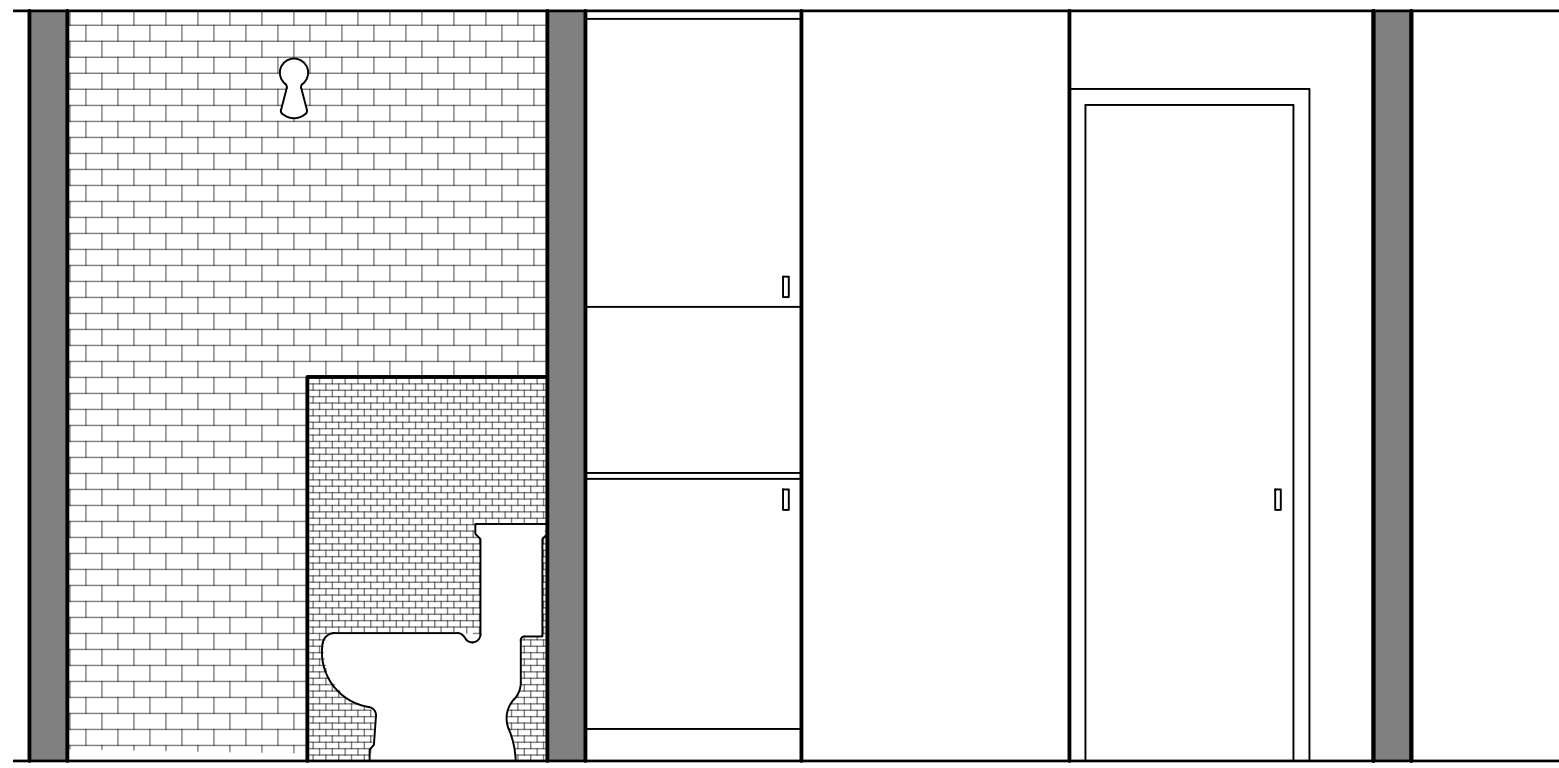
A line drawing of a kitchen layout. On the left, there is a wall unit consisting of upper and lower cabinets. The upper cabinets have two doors with vertical handles. The lower cabinets have two doors with vertical handles. A countertop runs along the top of the lower cabinets. To the right of the wall unit is a built-in oven and refrigerator unit. The oven has a single door with a vertical handle. The refrigerator has two doors with vertical handles. Below the oven and refrigerator is a small storage unit with a single door and a horizontal handle. The entire kitchen unit is shown within a larger room layout, which includes a dining area with a table and chairs, and a living area with a sofa and armchair.

This technical line drawing illustrates a kitchen unit configuration. The upper section features a wall-mounted oven with a control panel displaying various cooking functions. Below the oven is a countertop with a brick-patterned backsplash. The base unit consists of a built-in oven on the left and a set of drawers on the right, all equipped with horizontal handles. The drawing is presented in a clean, minimalist style with black outlines on a white background.

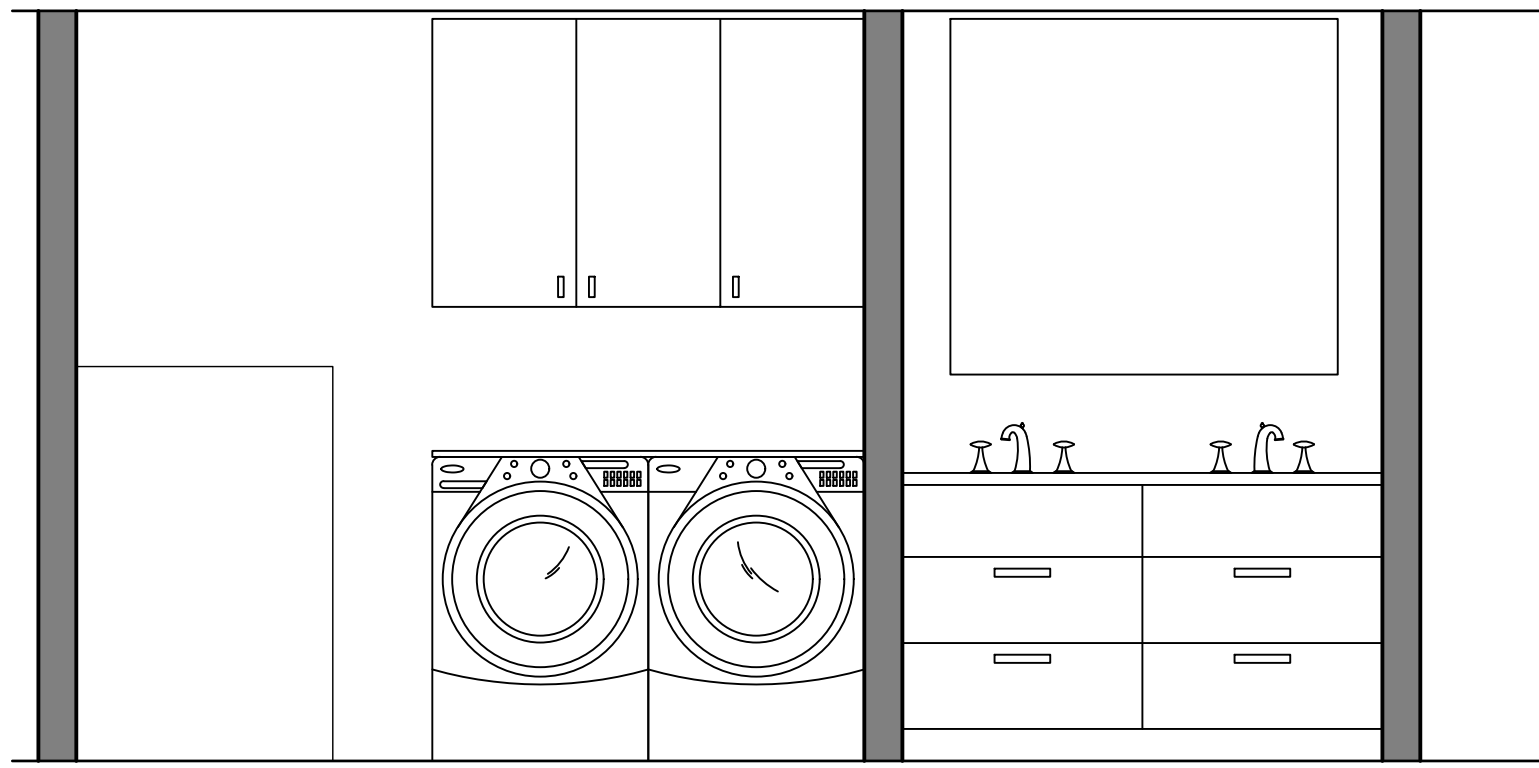
5 SINK ELEVATION
SCALE: 1/2" = 1'

A5.0

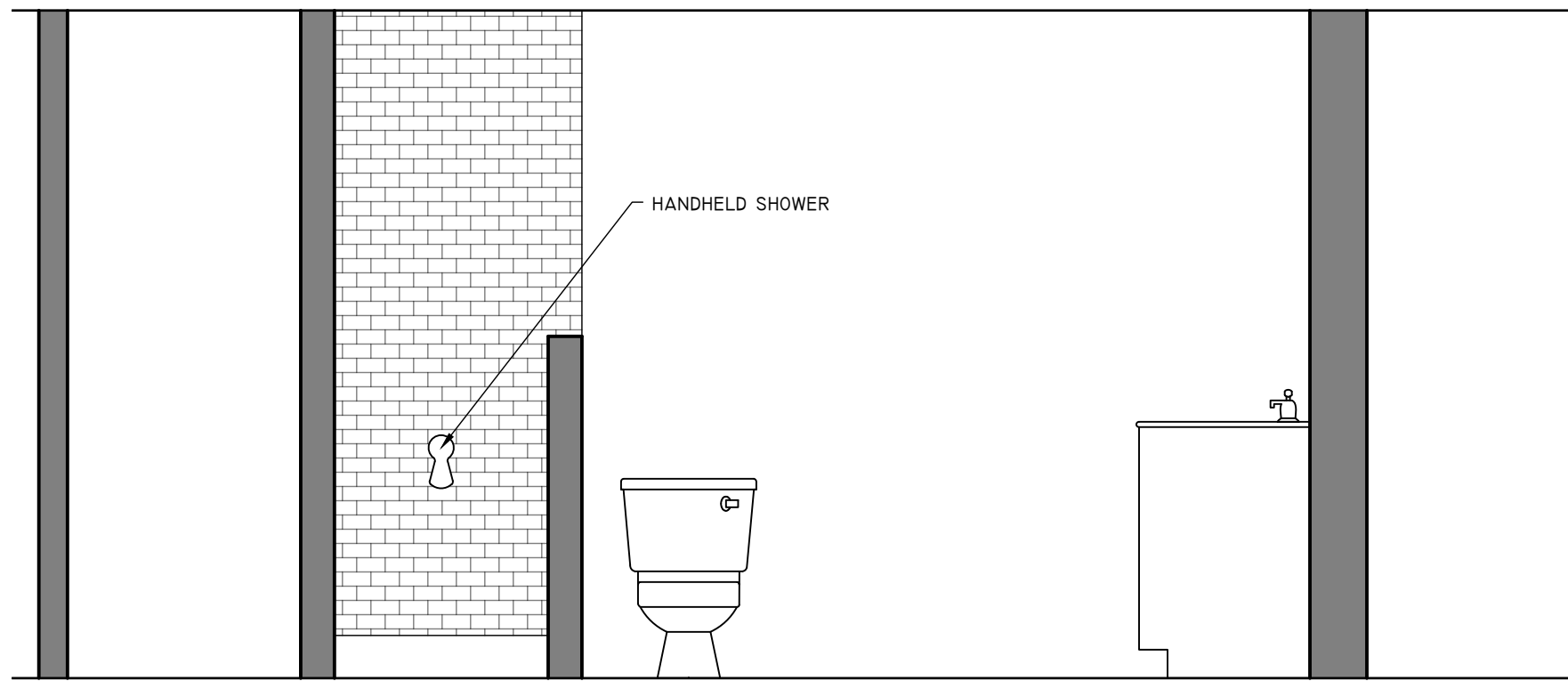
A5.0



1 SHOWER/ STORAGE ELEVATION
SCALE: 1/2" = 1'



2 LAUNDRY/ VANITY ELEVATION
SCALE: 1/2" = 1'



3 DOG SHOWER ELEVATION
SCALE: 1/2" = 1'

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INTERIOR
ELEVATIONS

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