



BZA APPLICATION

MODIFICATION WITHOUT HEARING to BZA CASE No. 20291 - 8/29/2024





1 NORTHWEST FACADE on NEW HAMPSHIRE Ave



2 NORTH FACADE on M St



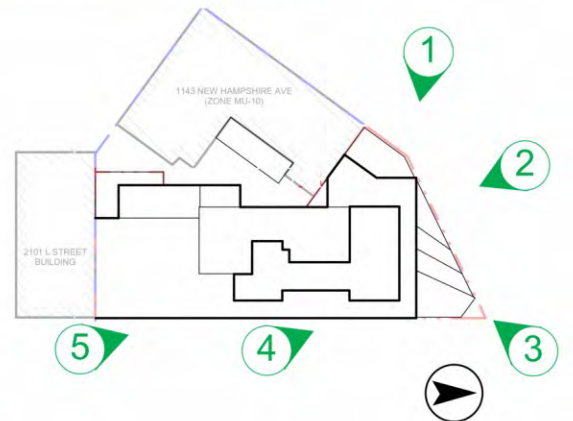
3 NORTHEAST FACADE on 21st St



4 EAST FACADE on 21st St

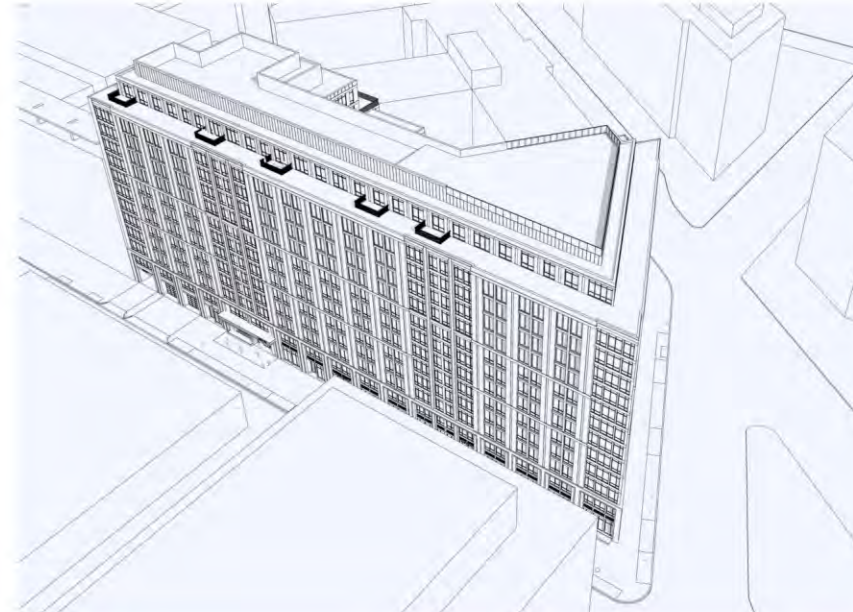


5 SOUTHEAST FACADE on 21st St





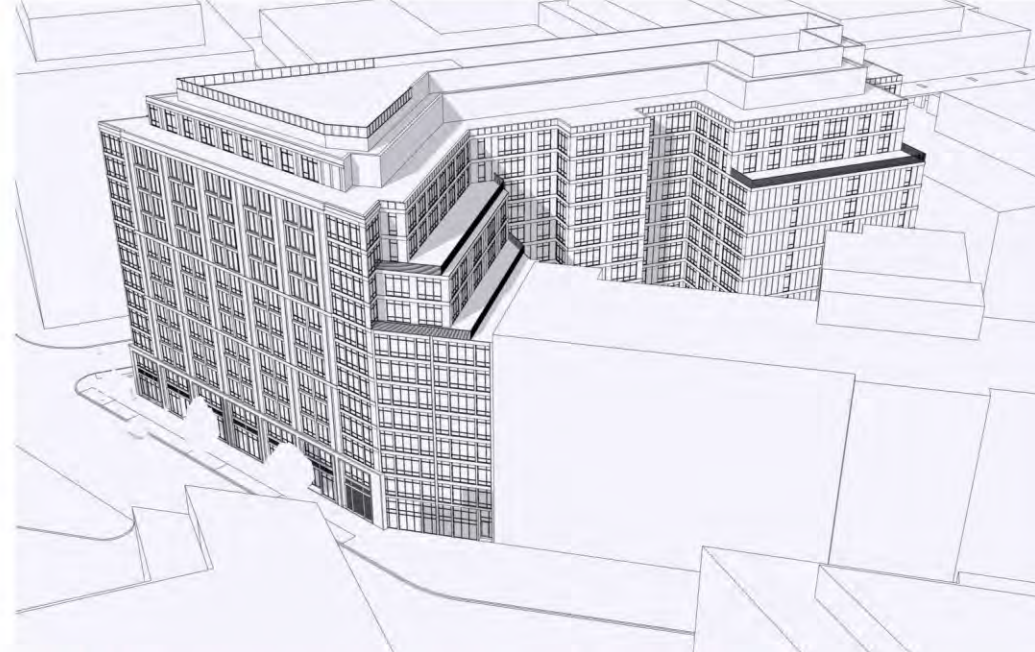
1 NORTHEAST FACADE on 21st St



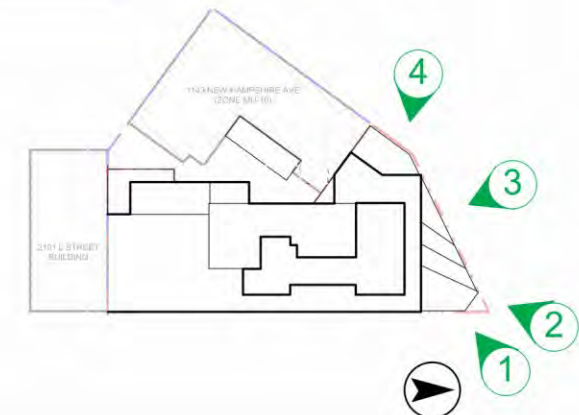
2 NORTHEAST AERIAL VIEW on 21st St

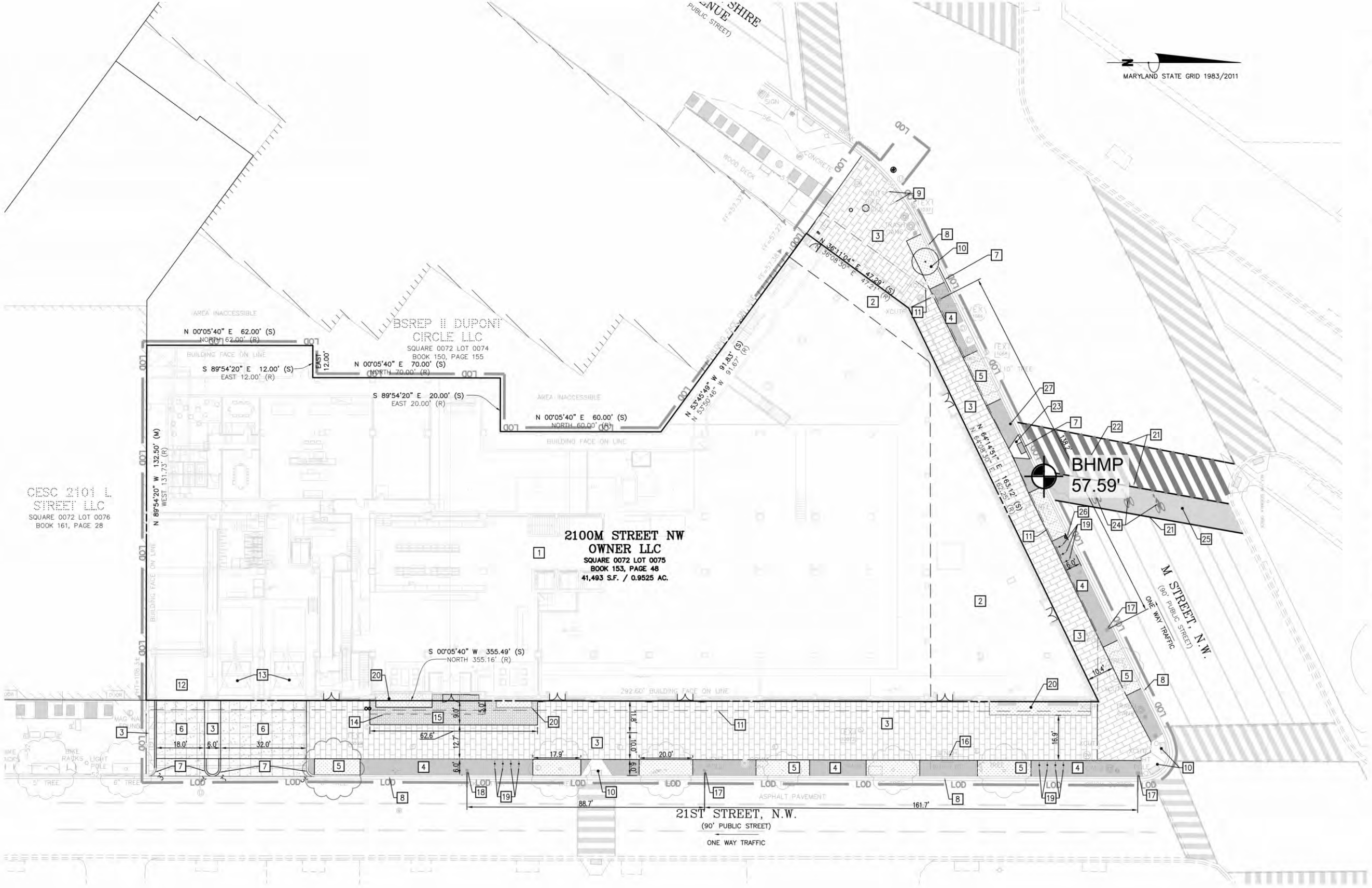


3 NORTH FACADE on M St



4 NORTHWEST AERIAL VIEW on NEW HAMPSHIRE Ave





SITE NARRATIVE

THIS PROJECT PROPOSES THE RENOVATION AND ADDITION TO AN EXISTING BUILDING FROM AN EIGHT (8) STORY BUILDING OFFICE BUILDING TO A TWELVE (12) STORY, 400 UNIT MULTI-FAMILY RESIDENTIAL BUILDING WITH 3 FLOORS OF UNDERGROUND PARKING AND 1 PENTHOUSE STORY. THE EXISTING BUILDING IS LOCATED AT 2100 M STREET NW, LOT 0075 IN SQUARE 0072.

PAVEMENT LEGEND:

- VEHICULAR RATED CONCRETE PAVING
- COBBLE STONE PAVERS
- CONCRETE PAVING

SITE KEYNOTES

- LIMITS OF BUILDING RENOVATION. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
- LIMITS OF BUILDING ADDITION. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
- NEW LONDON PAVESIDE SIDEWALK. SEE DDOT DETAIL 605.02 ON SHEET CIV0530 FOR DETAILS.
- NEW COBBLE PAVERS IN FURNISHING ZONE. SEE LANDSCAPE DRAWINGS FOR DETAILS.
- NEW LANDSCAPING ZONE. SEE LANDSCAPE DRAWINGS FOR DETAILS.
- NEW TRAFFIC RATED CONCRETE. SEE SHEET CIV0530 FOR DETAILS.
- NEW GRANITE CURB. SEE DDOT DETAIL 606.02 ON SHEET CIV0530 FOR DETAILS.
- EXISTING 8" GRANITE CURB TO REMAIN. SEE SHEET CIV0530 FOR DETAILS.
- EXISTING BIKE RACKS TO REMAIN. SEE LANDSCAPE DRAWINGS FOR DETAILS.
- EXISTING CURB RAMP TO REMAIN. SEE SHEET CIV0530 FOR DETAILS.
- LIMITS OF EXISTING UNDERGROUND GARAGE. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
- EXISTING ENTRANCE TO GARAGE PARKING. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
- EXISTING LOADING BAY. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
- NEW CANOPY. SEE ARCHITECTURAL PLANS FOR DETAILS.
- NEW SPECIALTY PAVERS. SEE LANDSCAPE DRAWINGS FOR DETAILS.
- EXISTING BUS SHELTER TO REMAIN.
- EXISTING STREET LIGHT TO BE UPGRADED WITH LED FIXTURE PER DDOT STREET LIGHT STANDARDS AND SPECIFICATIONS.
- EXISTING LED STREET LIGHT TO REMAIN.
- NEW BIKE RACKS TO BE INSTALLED PER DDOT STANDARDS AND SPECIFICATIONS.
- NEW PLANTER. SEE LANDSCAPING PLANS FOR MORE DETAIL.
- NEW 6" WIDE WHITE SOLID THERMOPLASTIC PAVEMENT MARKING LINE FOR CROSSWALK PER DDOT STANDARDS AND SPECIFICATIONS.
- NEW 24" WIDE WHITE SOLID THERMOPLASTIC PAVEMENT MARKING LINE FOR CROSSWALK. PER DDOT STANDARDS AND SPECIFICATIONS.
- NEW ADA RAMP WITH FLARED WINGS. SEE TO SHEET CIV0530 FOR DETAILS.
- NEW WHITE BICYCLIST THERMOPLASTIC PAVEMENT MARKINGS. SEE DDOT DETAIL 605.19 ON SHEET CIV0530 FOR DETAILS.
- NEW GREEN CYCLIST PAINT PER DDOT STANDARDS AND SPECIFICATIONS.
- RELOCATED PARKING SIGN.
- NEW POLE MOUNTED CROSSWALK SIGNAL.

EXISTING PLAN



GARAGE LEVEL 3: EXISTING



GARAGE LEVEL 2: EXISTING

NOTES:

- 1) THE EXTERIOR ELEVATIONS, INCLUDING DOOR AND WINDOW SIZES, NUMBER, AND LOCATIONS, THE INTERIOR PARTITION LOCATIONS, THE NUMBER, SIZE, AND LOCATIONS OF DEMISING WALLS, OUTDOOR SPACE, STAIRS, BALCONY, TERRACES, AND ELEVATORS ARE PRELIMINARY AND SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. THE PARKING GARAGE LAYOUT IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.
- 2) ALL OCCUPIED OUTDOOR AREA LOCATIONS SHOWN ARE ILLUSTRATIVE; SIZE/LOCATION ARE SUBJECT TO CHANGE.

LEGEND

- PROPERTY LINE
--- SITE SETBACK
NEW ADDITION
OCCUPIED OUTDOOR SPACE
GREEN ROOF
VERTICAL PENETRATION
EXISTING ROOF
EXTERIOR AMENITY
SERVICE
MECHANICAL
PARKING AREA
RETAIL
OFFICE
RESIDENTIAL
AMENITY

APPROVED OFFICE PLAN

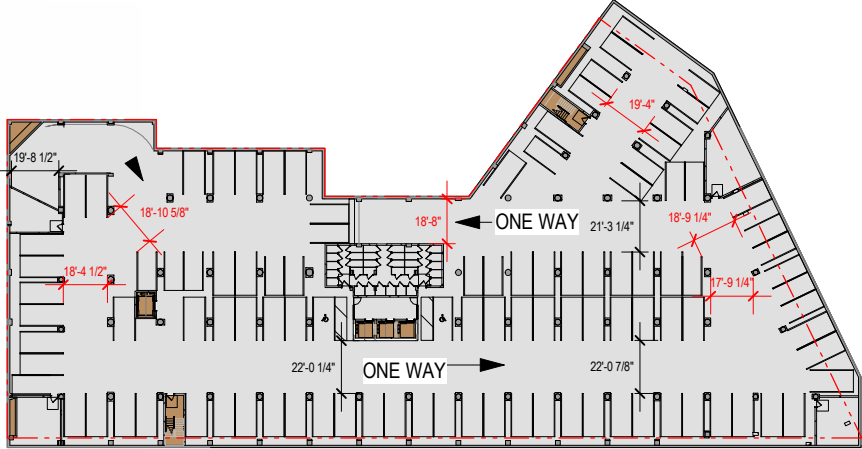


GARAGE LEVEL 3: PROPOSED

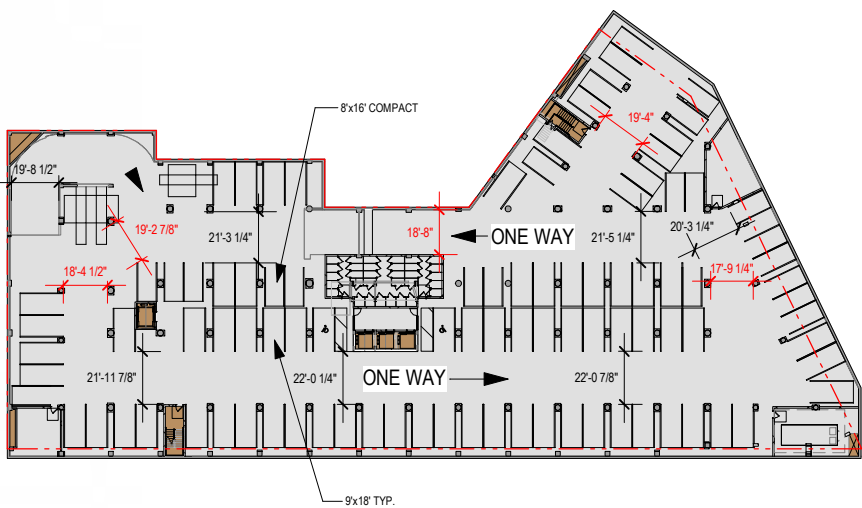


GARAGE LEVEL 2: PROPOSED

PROPOSED RESIDENTIAL PLAN



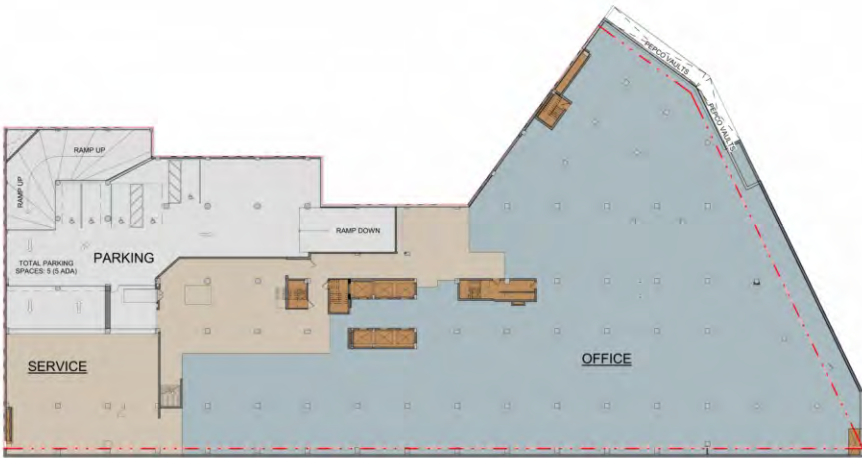
GARAGE LEVEL 3 : PROPOSED



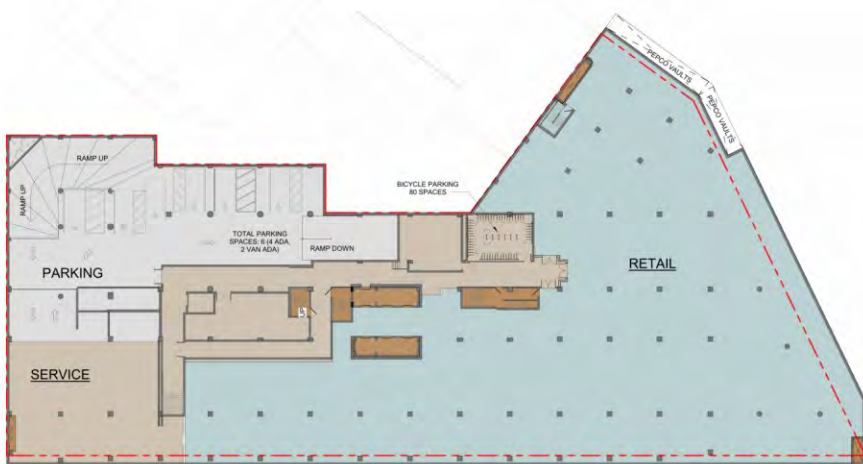
GARAGE LEVEL 2 : PROPOSED

EXISTING NON-COMPLIANT DRIVE AISLE WIDTHS, INDICATED IN RED, GRANDFATHERED CONDITION TO REMAIN

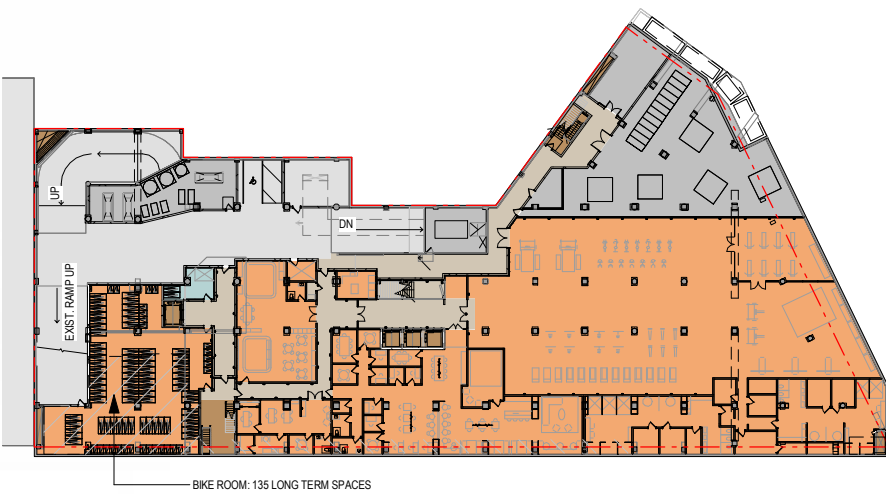
EXISTING PLAN



APPROVED OFFICE PLAN



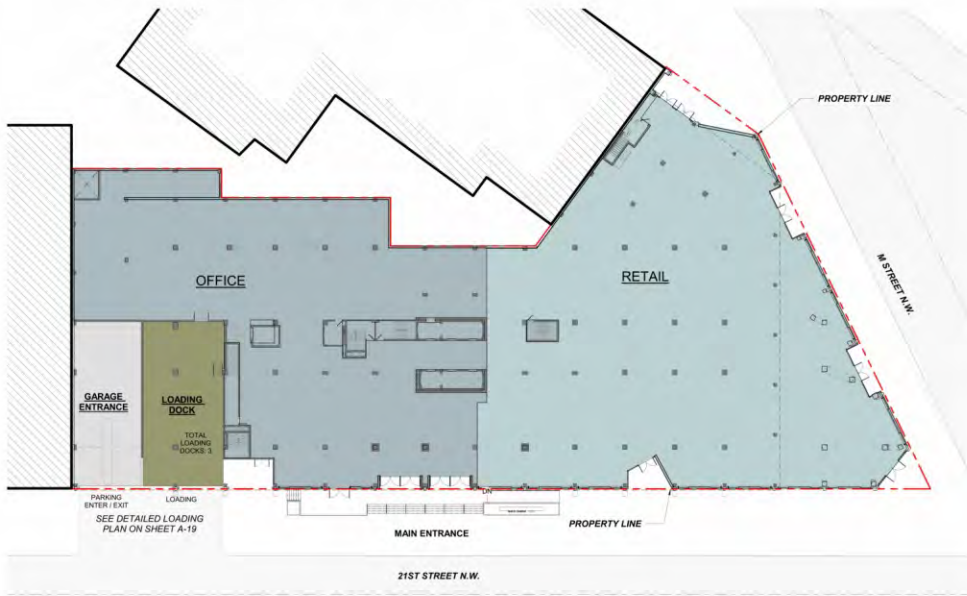
PROPOSED RESIDENTIAL PLAN



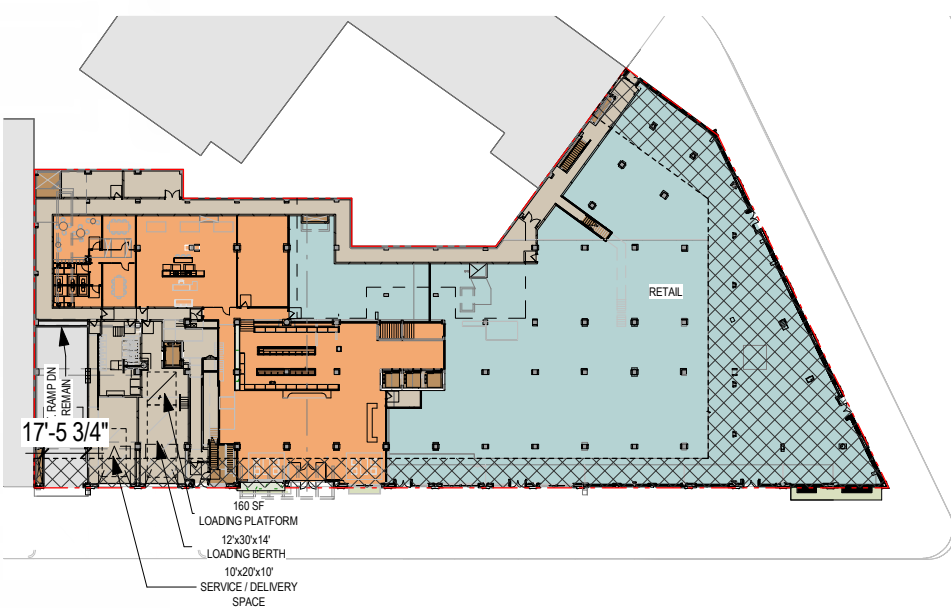
GARAGE LEVEL 1: EXISTING



GARAGE LEVEL 1: PROPOSED



GARAGE LEVEL 1 : PROPOSED



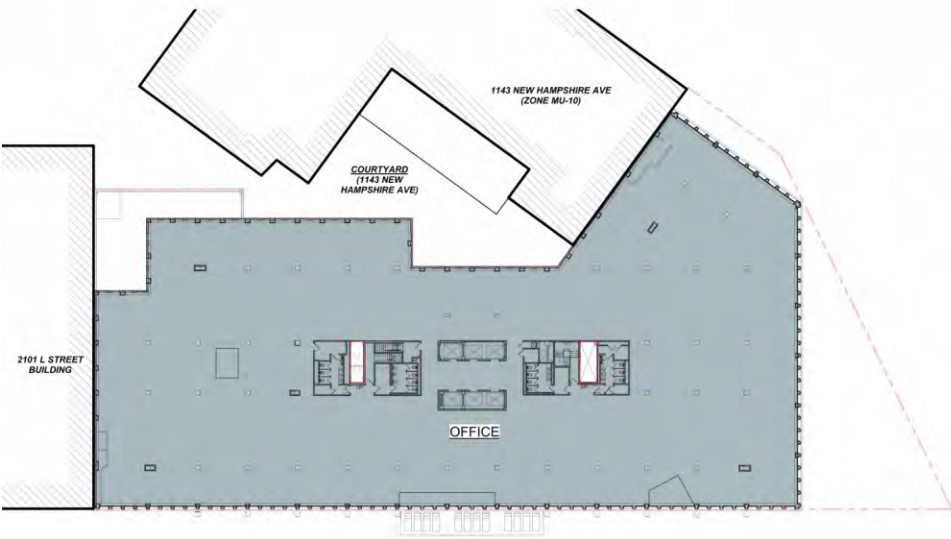
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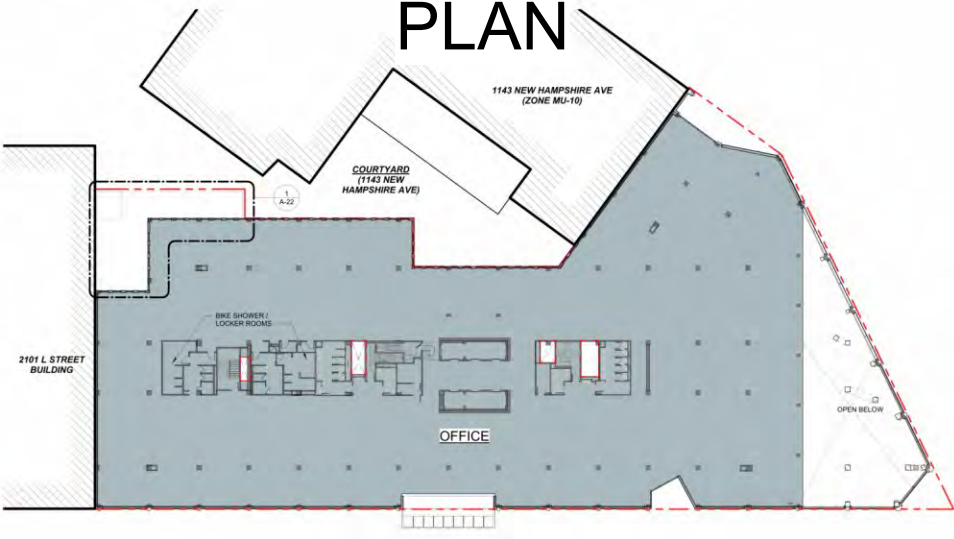
LEGEND

- PROPERTY LINE
- SITE SETBACK
- NEW ADDITION
- OCCUPIED OUTDOOR SPACE
- GREEN ROOF
- VERTICAL PENETRATION
- EXISTING ROOF
- EXTERIOR AMENITY
- SERVICE
- MECHANICAL
- PARKING AREA
- RETAIL
- OFFICE
- RESIDENTIAL
- AMENITY

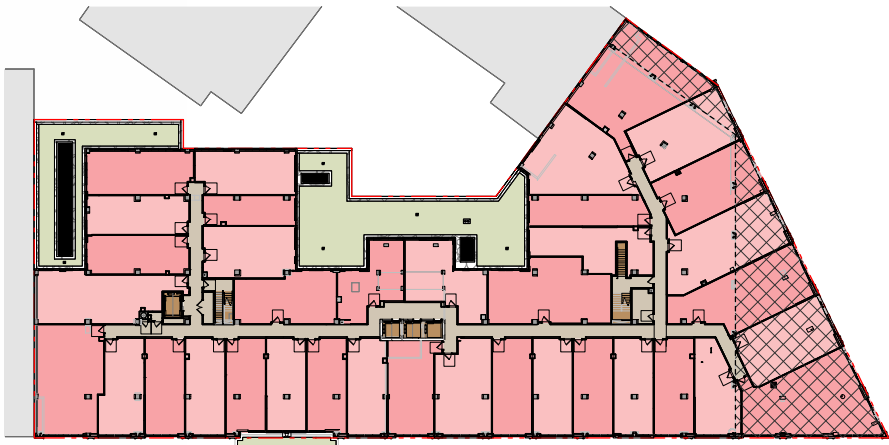
EXISTING PLAN



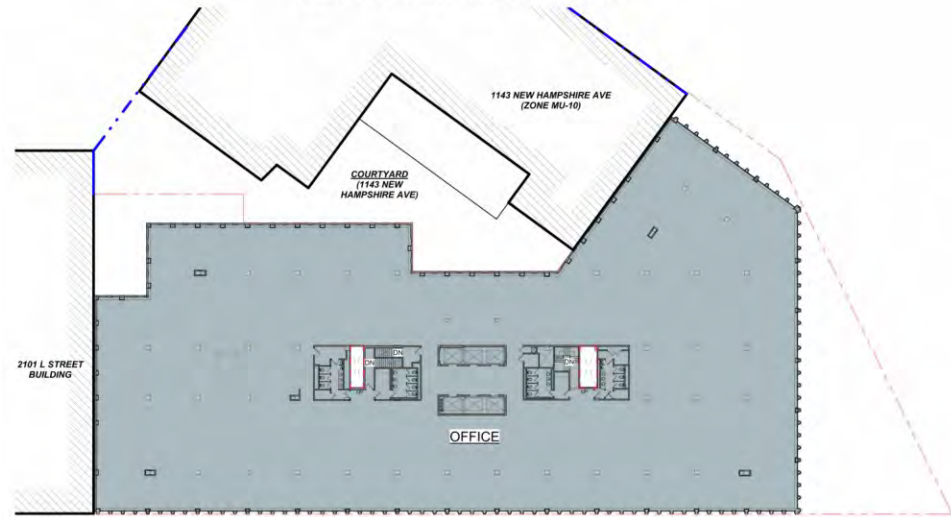
APPROVED OFFICE PLAN



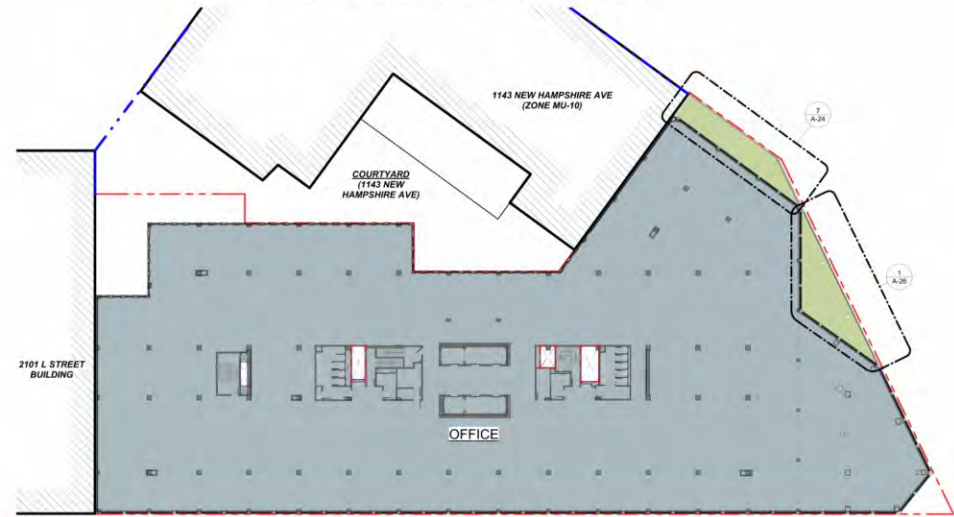
PROPOSED RESIDENTIAL PLAN



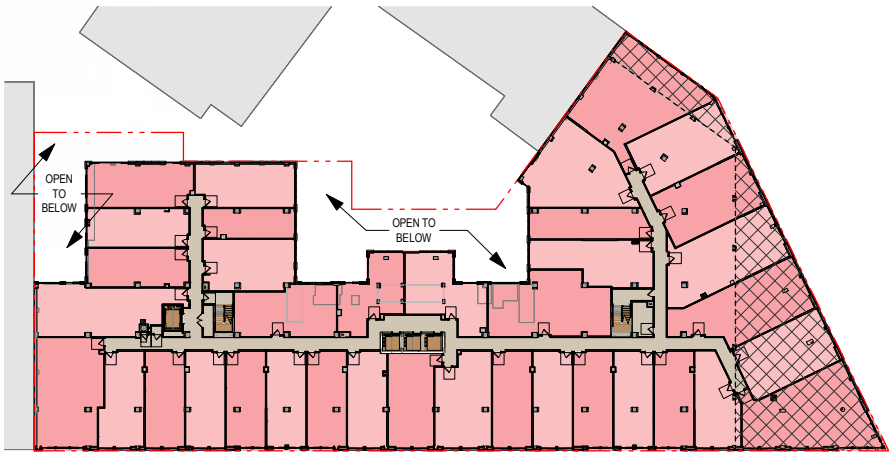
LEVEL 2: EXISTING



LEVEL 2: PROPOSED



LEVEL 2 : PROPOSED



TYP. LEVEL : EXISTING



TYP. LEVEL : PROPOSED



TYP. LEVEL : PROPOSED

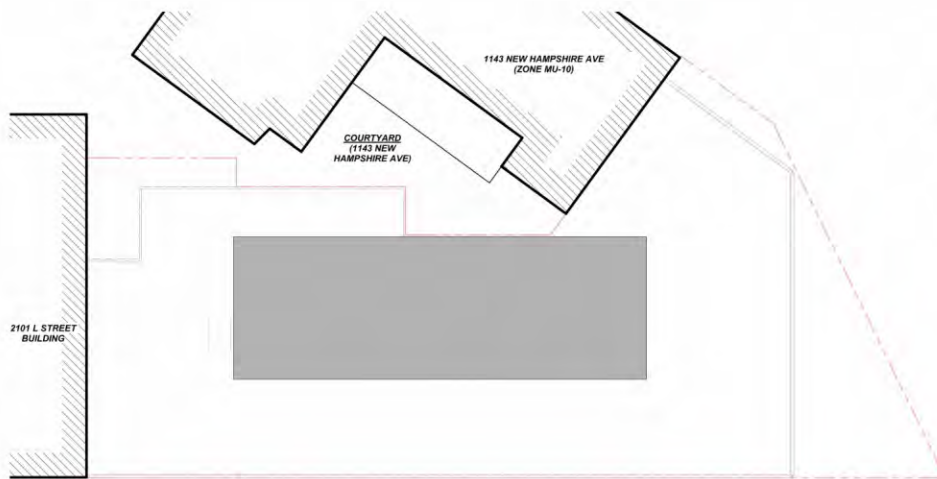
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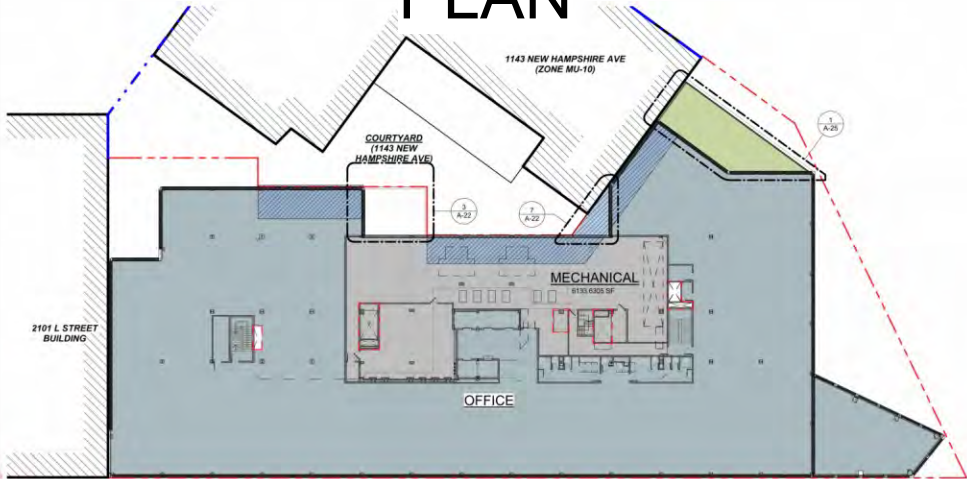
- PROPERTY LINE
--- SITE SETBACK
--- NEW ADDITION
--- OCCUPIED OUTDOOR SPACE
--- GREEN ROOF
--- VERTICAL PENETRATION
--- EXISTING ROOF
--- EXTERIOR AMENITY
- SERVICE
MECHANICAL
PARKING AREA
RETAIL
OFFICE
RESIDENTIAL
AMENITY

EXISTING PLAN



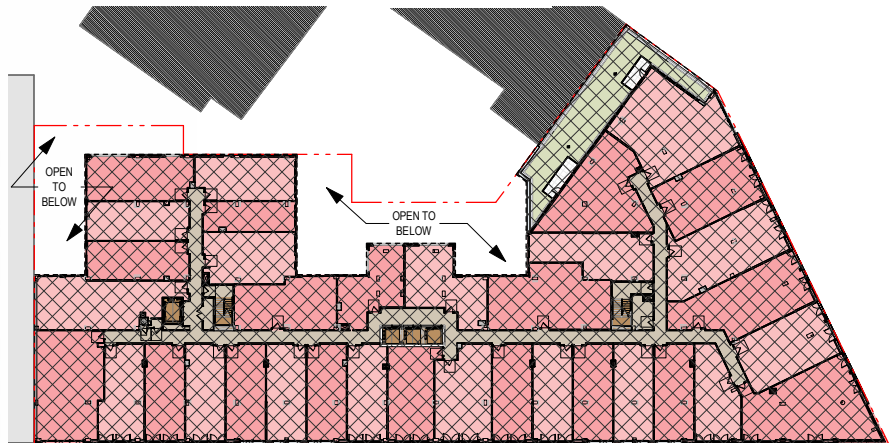
LEVEL 9: EXISTING

APPROVED OFFICE PLAN

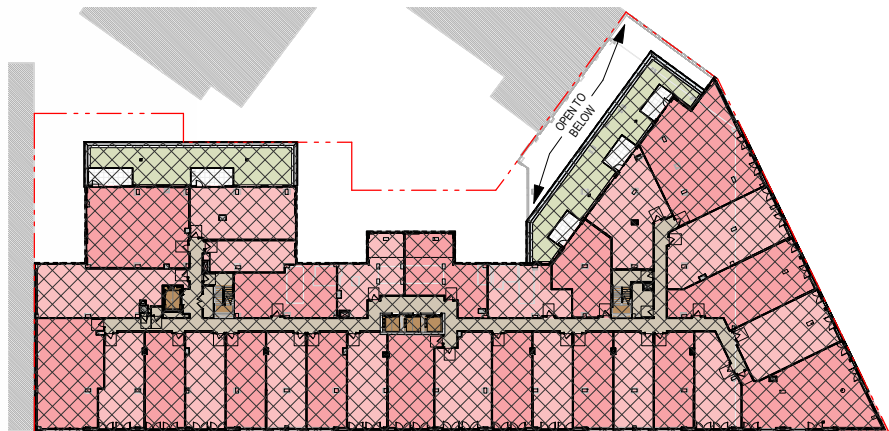


LEVEL 9: PROPOSED

PROPOSED RESIDENTIAL PLAN



NEW LEVEL 9 & 10 : PROPOSED



NEW LEVEL 11 & 12 : PROPOSED

NOTES:

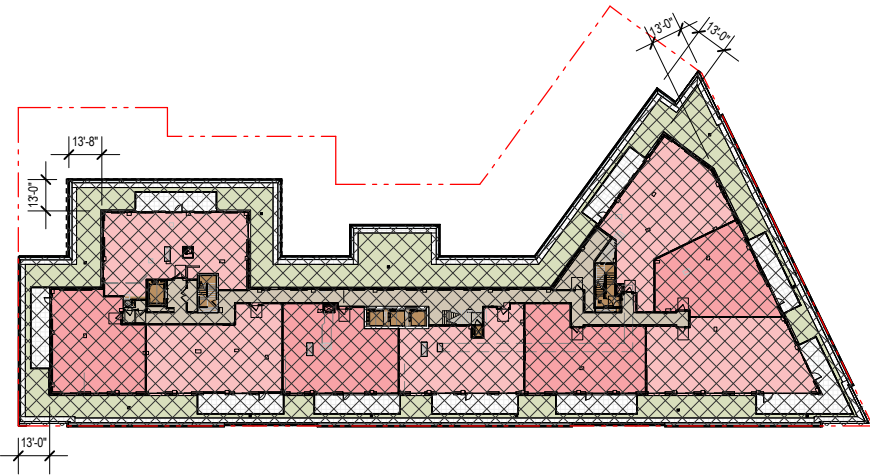
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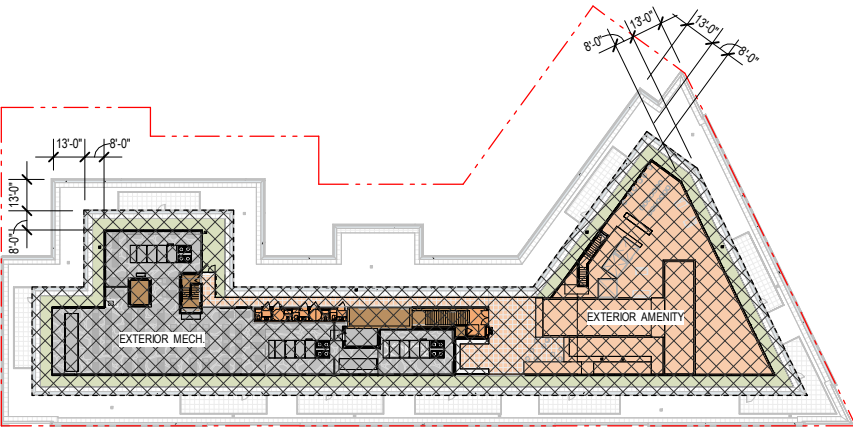
LEGEND

---	PROPERTY LINE		SERVICE
---	SITE SETBACK		MECHANICAL
	NEW ADDITION		PARKING AREA
	OCCUPIED OUTDOOR SPACE		RETAIL
	GREEN ROOF		OFFICE
	VERTICAL PENETRATION		RESIDENTIAL
	EXISTING ROOF		AMENITY
	EXTERIOR AMENITY		

PROPOSED RESIDENTIAL PLAN



PENTHOUSE LEVEL : PROPOSED



PENHOUSE ROOF LEVEL : PROPOSED

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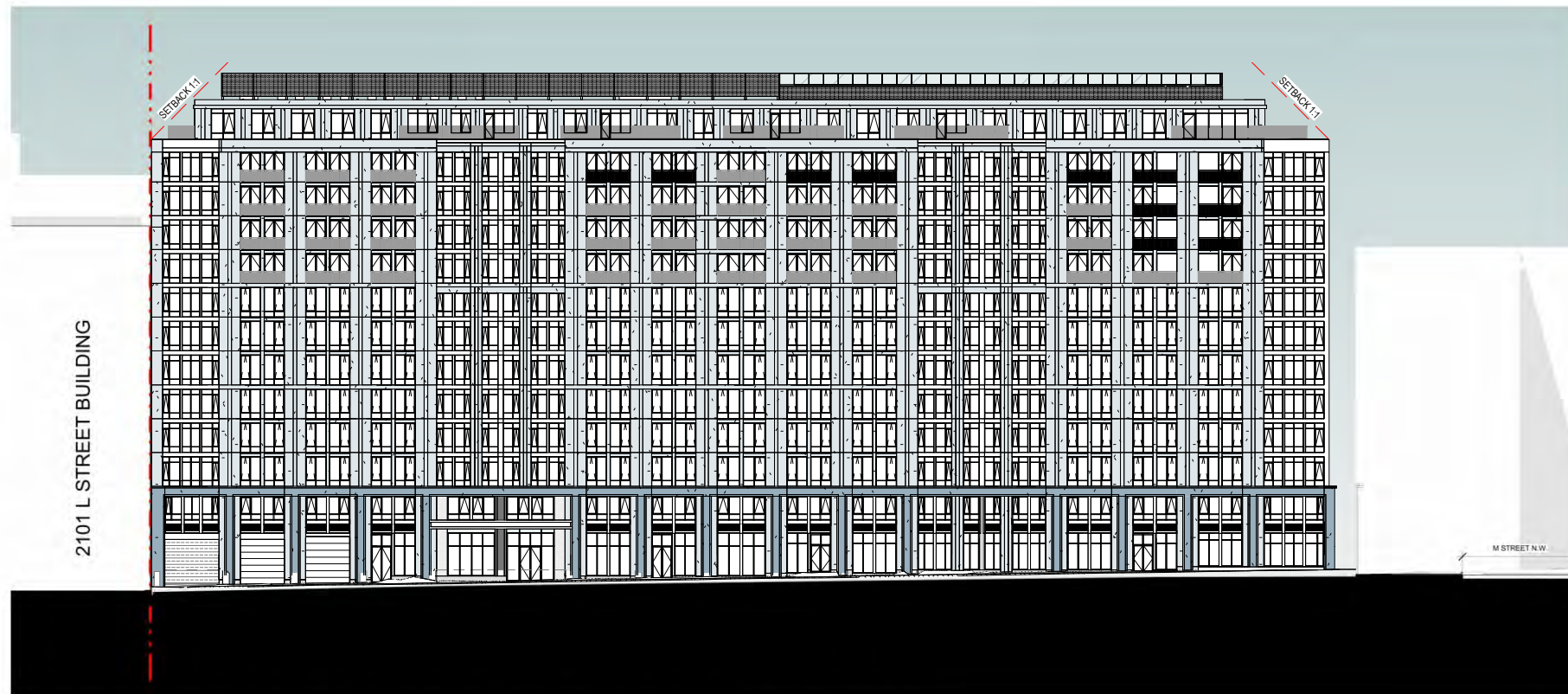
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LEGEND

	PROPERTY LINE		SERVICE
	SITE SETBACK		MECHANICAL
	NEW ADDITION		PARKING AREA
	OCCUPIED OUTDOOR SPACE		RETAIL
	GREEN ROOF		OFFICE
	VERTICAL PENETRATION		RESIDENTIAL
	EXISTING ROOF		AMENITY
	EXTERIOR AMENITY		



(1) APPROVED OFFICE - EAST ELEVATION



(1) PROPOSED RESIDENTIAL - EAST ELEVATION

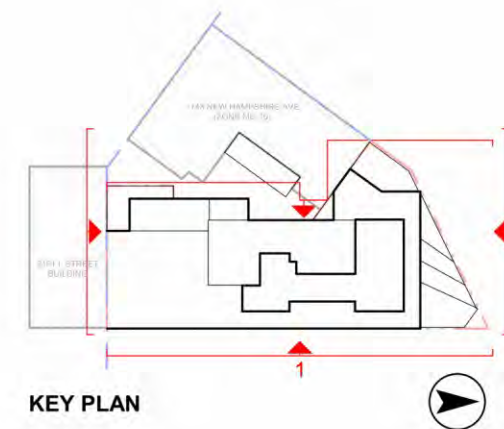
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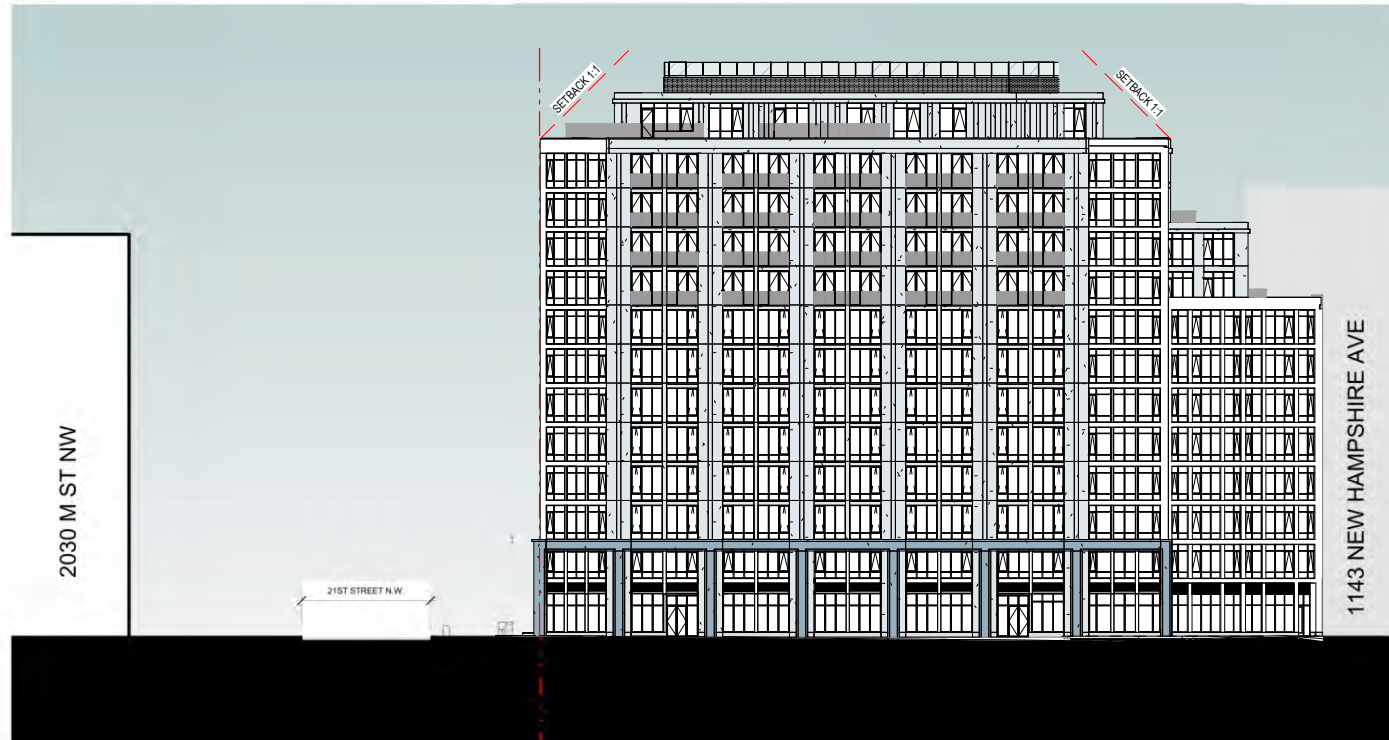
LEGEND

---	PROPERTY LINE
---	SITE SETBACK
	NEW ADDITION
	OCCUPIED OUTDOOR SPACE
	GREEN ROOF
	VERTICAL PENETRATION
	EXISTING ROOF
	SERVICE
	MECHANICAL
	PARKING AREA
	RETAIL
	OFFICE
	RESIDENTIAL
	AMENITY
	EXTERIOR AMENITY





(2) APPROVED OFFICE - NORTH ELEVATION



(2) PROPOSED RESIDENTIAL - NORTH ELEVATION

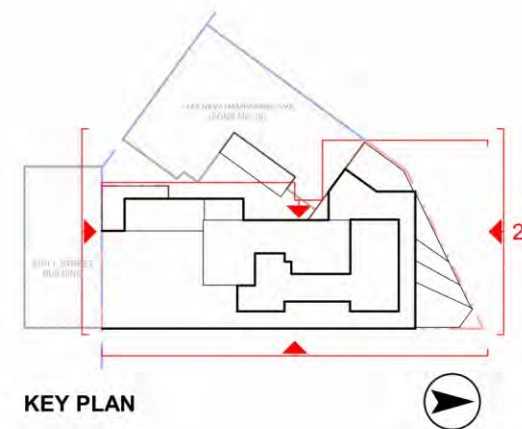
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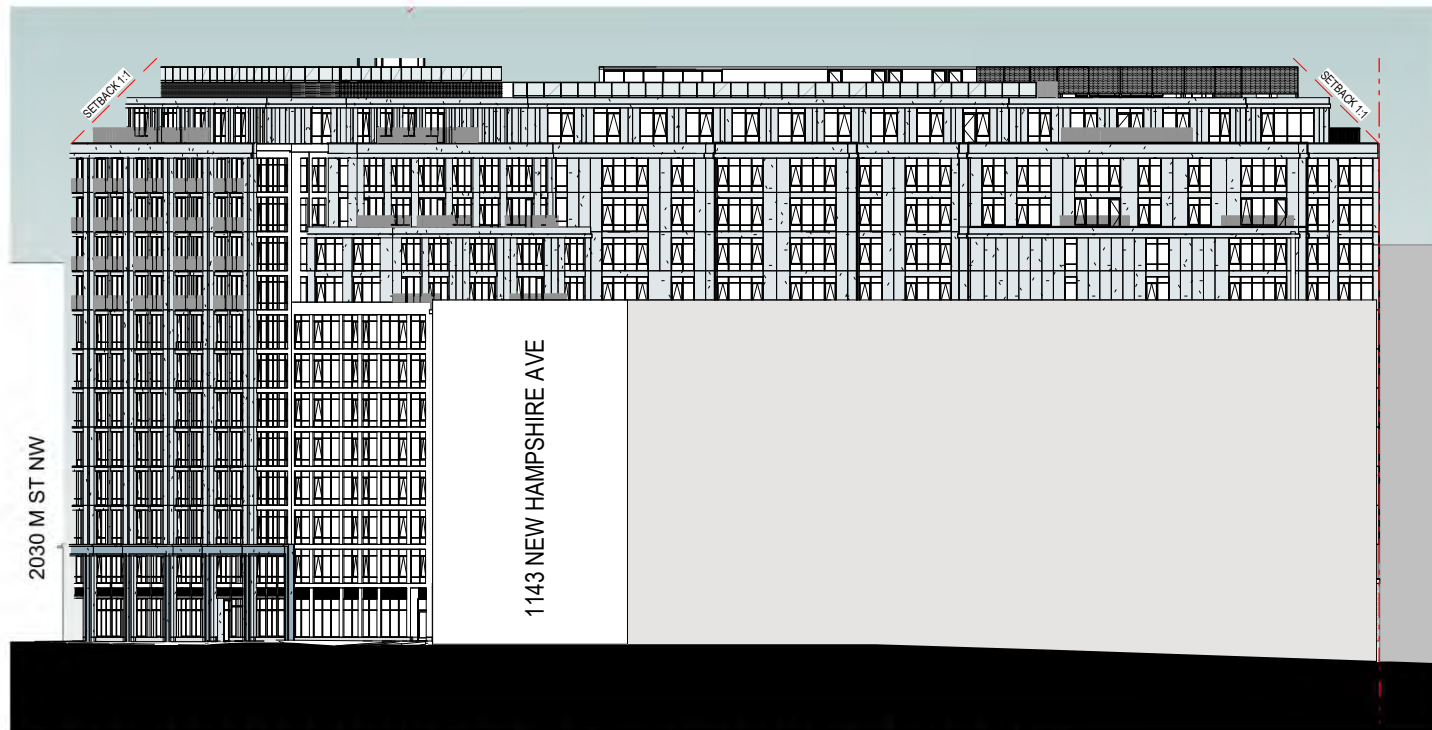
- PROPERTY LINE
- SITE SETBACK
- NEW ADDITION
- OCCUPIED OUTDOOR SPACE
- GREEN ROOF
- VERTICAL PENETRATION
- EXISTING ROOF
- SERVICE
- MECHANICAL
- PARKING AREA
- RETAIL
- OFFICE
- RESIDENTIAL
- AMENITY
- EXTERIOR AMENITY



KEY PLAN



(3) APPROVED OFFICE - WEST ELEVATION



(3) PROPOSED RESIDENTIAL - WEST ELEVATION

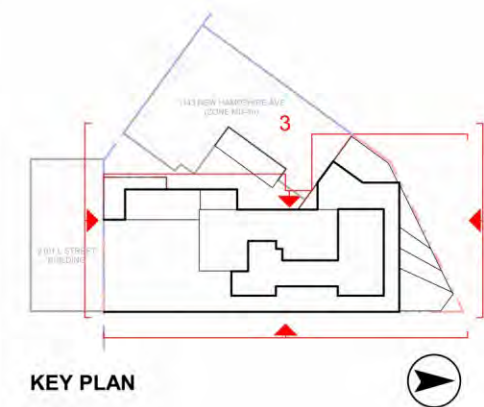
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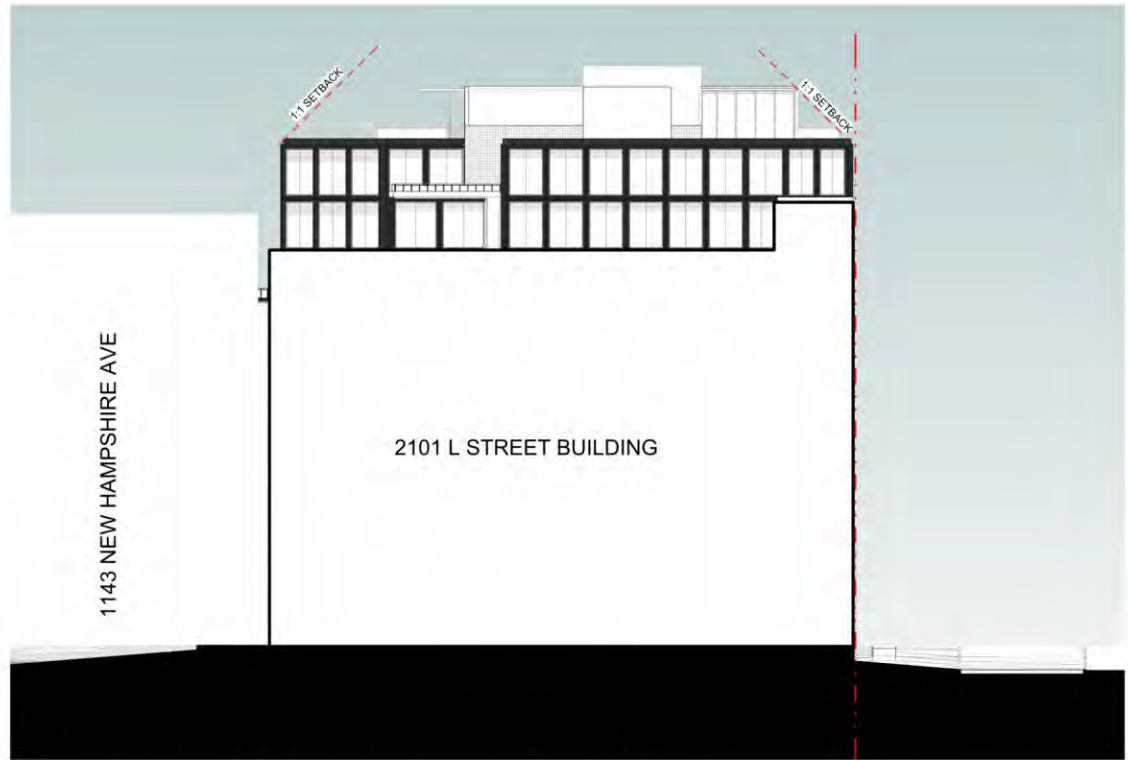
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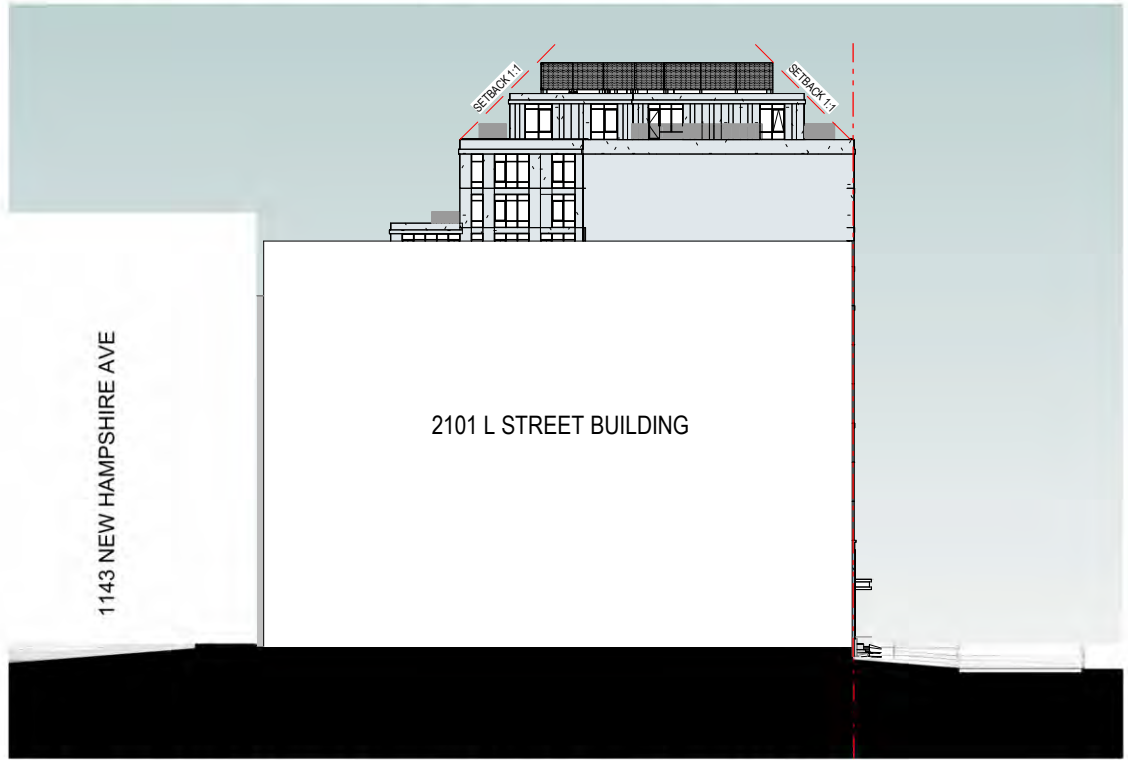
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- OCCUPIED OUTDOOR SPACE
- GREEN ROOF
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- EXISTING ROOF
- SERVICE
- MECHANICAL
- PARKING AREA
- RETAIL
- OFFICE
- RESIDENTIAL
- AMENITY
- EXTERIOR AMENITY



KEY PLAN



(4) APPROVED OFFICE - SOUTH ELEVATION



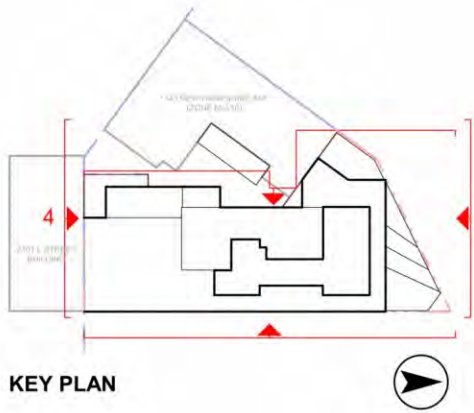
(4) PROPOSED RESIDENTIAL - SOUTH ELEVATION

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- LEGEND**
- PROPERTY LINE
 - SITE SETBACK
 - NEW ADDITION
 - OCCUPIED OUTDOOR SPACE
 - GREEN ROOF
 - VERTICAL PENETRATION
 - EXISTING ROOF
 - SERVICE
 - MECHANICAL
 - PARKING AREA
 - RETAIL
 - OFFICE
 - RESIDENTIAL
 - AMENITY
 - EXTERIOR AMENITY



APPROVED ZONING TABULATIONS (BZA Order No.20291)

ZONING SUMMARY: D-5

TOTAL SITE AREA: +/- 41,196 SF

ZONING REGULATION	EXISTING	REQUIRED/ALLOWED	PROPOSED
Maximum Building Height	90' - 0"	130' - 0"	130' - 0"

Maximum FAR

EXISTING TOTAL GFA	EXISTING AREAS BY USE	PROPOSED TOTAL GFA	PROPOSED AREAS BY USE
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PENTHOUSE	NA	NA	7,807 GSF	7,807 SF OFFICE
LEVEL 11	NA	NA	24,470 GSF	24,470 SF OFFICE
LEVEL 10	NA	NA	26,464 GSF	26,464 SF OFFICE
LEVEL 9	NA	NA	33,893 GSF	33,893 SF OFFICE
LEVEL 8	34,810 GSF	34,810 SF OFFICE	35,934 GSF	35,934 SF OFFICE
LEVEL 7	34,810 GSF	34,810 SF OFFICE	36,831 GSF	36,831 SF OFFICE
LEVEL 6	34,810 GSF	34,810 SF OFFICE	36,831 GSF	36,831 SF OFFICE
LEVEL 5	34,810 GSF	34,810 SF OFFICE	37,754 GSF	37,754 SF OFFICE
LEVEL 4	34,810 GSF	34,810 SF OFFICE	37,754 GSF	37,754 SF OFFICE
LEVEL 3	34,810 GSF	34,810 SF OFFICE	37,754 GSF	37,754 SF OFFICE
LEVEL 2	34,810 GSF	34,810 SF OFFICE	34,778 GSF	34,778 SF OFFICE
LEVEL 1	28,764 GSF	1,148 SF LOADING 2,362 SF PARKING 11,389 SF RETAIL 13,865 SF OFFICE	33,192 GSF	2,267 SF LOADING 1,894 SF PARKING 19,440 SF RETAIL 9,591 SF OFFICE

GARAGE LVL 1	44,072 GSF	8,619 SF PARKING 27,811 SF OFFICE 7,642 SF SERVICE	44,072 GSF	8,600 SF PARKING 27,001 SF RETAIL 8,471 SF SERVICE
GARAGE LVL 2	44,600 GSF	44,600 SF PARKING	44,600 GSF	44,600 SF PARKING
GARAGE LVL 3	44,600 GSF	44,600 SF PARKING	44,600 GSF	44,600 SF PARKING

TOTAL SF BY USE ***W/O GARAGE LVL'S & PH	EXISTING AREAS BY USE	PROPOSED AREAS BY USE
PARKING	2,362 SF	1,894 SF
LOADING	1,148 SF	2,267 SF
RETAIL	11,389 SF	19,440 SF
OFFICE	257,535 SF	352,054 SF

Green Area Ratio GAR:	.20	.20
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Maximum Lot Occupancy:	89.85 %	100%	97.13%
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TOTAL EXISTING (PENTHOUSE AND GARAGE LEVELS EXCLUDED) = 272,434 GFA	IGNORED FOR ZONING PURPOSES
TOTAL PROPOSED (PENTHOUSE AND GARAGE LEVELS EXCLUDED) = 375,655 GFA	

	REQUIRED/ALLOWED	PROPOSED
Rear Yard Minimum	27.1' based on 130' BLDG. Ht	Provided (1/2 21 st St NW)
Side Yard Minimum:	not required (4' min)	not provided
Court-Open: Min. Width	commercial: 2 1/2"/ft (12' min)	See Diagram Sheet A-21
Court-Closed: Min. Width (width same as open)	commercial: 250sf min., or 2 x width squared	See Diagram Sheet A-21
Roof Structures (2)		
Gross Floor Area	0.4 FAR = 16,478 GSF	7,807 GSF
Number: 1 per core or stairwell	2	2 (See A-21)
Maximum Height	20'	varies (max 20')
Setbacks	Equal to Height of Roof Structure	varies (see A-21)

PARKING	EXISTING	REQUIRED/ALLOWED	PROPOSED
Off-Street Parking (SEE A-7 & A-8)	271		265
Existing Counts	(292 with vault spaces)	165 spaces (1958 zoning)	(286 with vault spaces)
GARAGE LEVEL 1	005		006
GARAGE LEVEL 2	140		135
GARAGE LEVEL 3	147		145
TOTAL # ADA SPACES	018		006
TOTAL # VALET SPACES	076		075
TOTAL # NON-ADA SPACES	177		184
TOTAL # VAULT SPACES	021		021

EXISTING (SEE A-7 & A-8)			
Retail / Service (11,390 SF)	1 per 750 sf	11	
Office (257,535 SF)	1 per 1,800 sf	142	
TOTAL		153	271

PROPOSED (SEE A-7 & A-8) *** NEW OVERBUILD SF			
Retail / Service (8,051 SF)	1.33 per 1,000 sf	11	
Office (102,326 SF)	0.5 per 1,000 sf	51	
TOTAL (50% reduction due to metro proximity)		62 / 2 = 31	
TOTAL SPACES REQUIRED		153 + 31 = 184	265

Off-Street Loading		REQUIRED (ZR-58)	PROVIDED (SEE A-19)
EXISTING (SEE A-19)	Retail / Service(5,000 SF)	Berths:	LEGAL Non-Conformity
	Office (>200,000 SF)	Berths: 3 @ 30' Platforms: 3 @ 100 SF Service/delivery space: 1 @ 20'	Berths: (2) 30' BAYS Platforms: ~300 SF Service/delivery space: NONE
PROPOSED (SEE A-19)	Retail / Service (20,000 - 100,000 SF)	Berths: 2 @ 30' Platforms: 2 @ 100 SF Service/delivery space: 1 @ 20'	N/A
	Office (>200,000 SF)	Berths: 3 @ 30' Platforms: 3 @ 100 SF Service/delivery space: 1 @ 20'	Berths: (3) 30' BAYS Platforms: 3 @ 100 SF Service/delivery space: NONE

Bicycle Parking	Short Term Spaces	Long Term Spaces
***not required but provided	Formula	Formula
Office 359,861 GSF	1 per 40,000sf = 9 spaces	1 per 2,500sf = 141 spaces
Retail 19,440 GSF	1 per 3,500sf = 6 spaces	1 per 10,000sf = 2 spaces
Total	15 spaces	143/2 = 72 spaces
	Exterior TBD, >15 spaces	80 spaces (see A-8)

- Notes:
- 1- The Maximum building height is based on 110 ft if R.O.W. determining height is <110 ft. wide; 130 ft if > 110 ft. wide
 - 2- The FAR is calculated based on record lot area. The FAR for each lot is compliant with DCMR Title 11 Chapter 2517.
 - 3- Occupied Outdoor Spaces, ramp going to the parking levels, and mechanical shafts above ground floor are not included in GFA
 - 4- Parking spaces located partially in public space do not count towards total parking for zoning purposes.

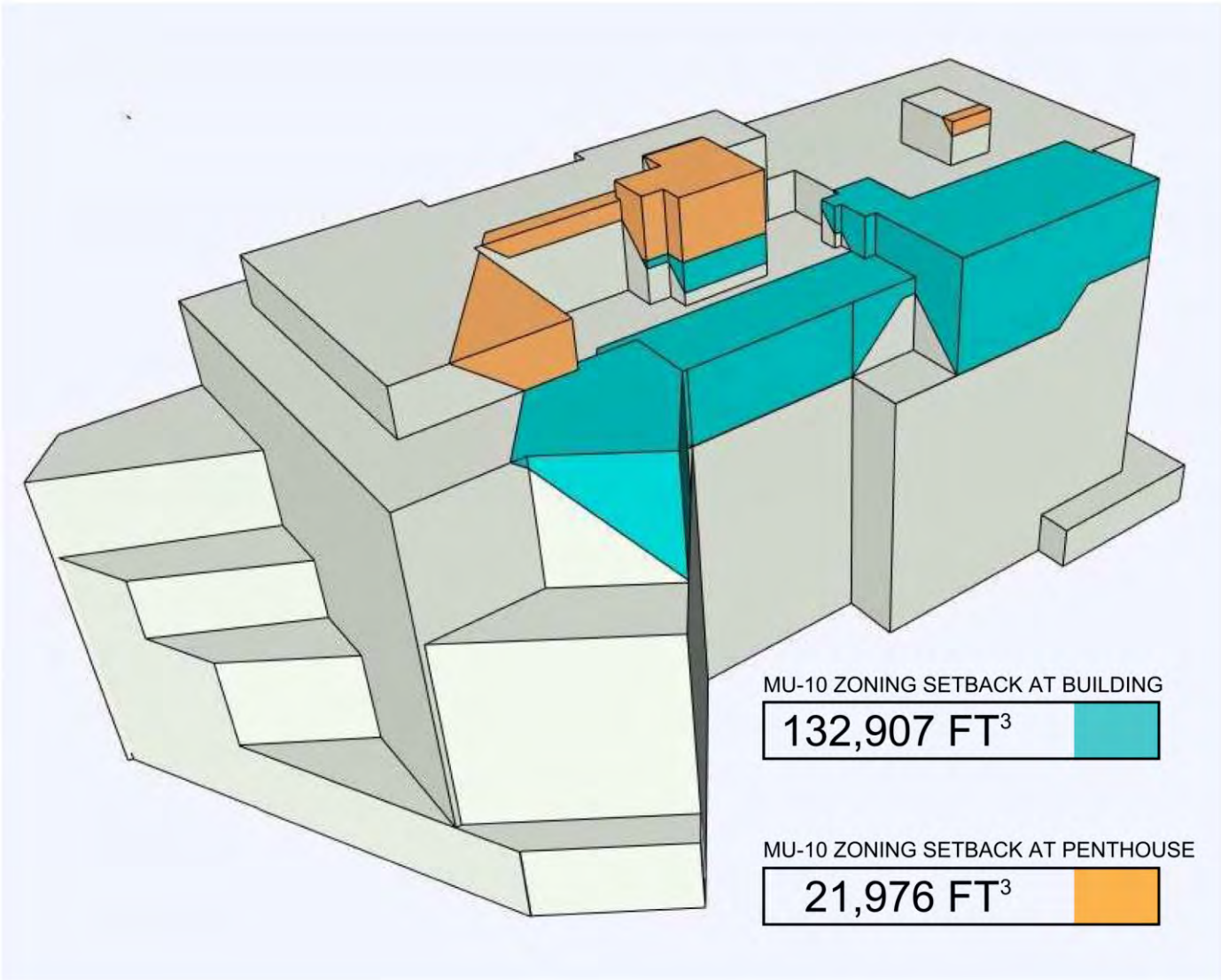
PROPOSED ZONING TABULATIONS

ZONING SUMMARY: D-5				
TOTAL SITE AREA: +/- 41,196 SF				
ZONING REGULATION		EXISTING	REQUIRED/ALLOWED	PROPOSED
Maximum Building Height		90' - 0"	130' - 0"	130' - 0"
Maximum FAR				
EXISTING TOTAL GFA		EXISTING AREAS BY USE	PROPOSED TOTAL GFA	PROPOSED AREAS BY USE
PENTHOUSE	NA	NA	17,983 GSF	17,983 SF RESIDENTIAL
LEVEL 12	NA	NA	31,505 GSF	31,505 SF RESIDENTIAL
LEVEL 11	NA	NA	31,505 GSF	31,505 SF RESIDENTIAL
LEVEL 10	NA	NA	34,911 GSF	34,911 SF RESIDENTIAL
LEVEL 9	NA	NA	34,911 GSF	34,911 SF RESIDENTIAL
LEVEL 8	34,810 GSF	34,810 SF OFFICE	36,668 GSF	36,668 SF RESIDENTIAL
LEVEL 7	34,810 GSF	34,810 SF OFFICE	36,668 GSF	36,668 SF RESIDENTIAL
LEVEL 6	34,810 GSF	34,810 SF OFFICE	36,668 GSF	36,668 SF RESIDENTIAL
LEVEL 5	34,810 GSF	34,810 SF OFFICE	36,668 GSF	36,668 SF RESIDENTIAL
LEVEL 4	34,810 GSF	34,810 SF OFFICE	36,668 GSF	36,668 SF RESIDENTIAL
LEVEL 3	34,810 GSF	34,810 SF OFFICE	36,668 GSF	36,668 SF RESIDENTIAL
LEVEL 2	34,810 GSF	34,810 SF OFFICE	36,391 GSF	36,391 SF RESIDENTIAL
LEVEL 1	28,764 GSF	1,148 SF LOADING 2,362 SF PARKING 11,389 SF RETAIL 13,865 SF OFFICE	39,582 GSF	6,777 SF LOADING 1,419 SF PARKING 19,969 SF RETAIL 11,417 SF RESIDENTIAL
GARAGE LVL 1	44,072 GSF	8,619 SF PARKING 27,811 SF OFFICE 7,642 SF SERVICE	44,072 GSF	6,891 SF PARKING 25,424 SF RESI. 11,757 SF SERVICE
GARAGE LVL 2	44,600 GSF	44,600 SF PARKING	44,600 GSF	44,600 SF PARKING
GARAGE LVL 3	44,600 GSF	44,600 SF PARKING	44,600 GSF	44,600 SF PARKING
TOTAL SF BY USE ***W/O GARAGE LVL'S & PH		EXISTING AREAS BY USE	PROPOSED AREAS BY USE	
PARKING		2,362 SF	1,419 SF	
LOADING		1,148 SF	6,777 SF	
RETAIL		11,389 SF	19,969 SF	
OFFICE		257,535 SF	NONE	
RESIDENTIAL		NONE	400,648 SF	
Green Area Ratio GAR:			.20	.20
Maximum Lot Occupancy:			89.85 %	100%
TOTAL EXISTING (PENTHOUSE AND GARAGE LEVELS EXCLUDED) = 272,434 GFA			TOTAL PROPOSED (0.4 FAR PENTHOUSE AND GARAGE LEVELS EXCLUDED) = 430,318 GFA	
			IGNORED FOR ZONING PURPOSES	

Rear Yard Minimum		REQUIRED/ALLOWED not required	PROPOSED NA
Side Yard Minimum:		not required (4' min)	not provided
Court-Open: Min. Width		residential: 4"/ft (10' min)	See Diagram Sheet A-19
Court-Closed: Min. Width (width same as open)		residential: 350sf min., or 2 x width squared	See Diagram Sheet A-19
Roof Structures (2)			
Gross Floor Area		0.4 FAR = 16,478 GSF	17,983 GSF
Number: 1 per core or stairwell		2	1
Maximum Height		20'	varies (max 20')
Setbacks		Equal to Height of Roof Structure	Equal to Height of Roof Structure
PARKING		EXISTING	REQUIRED/ALLOWED
Off-Street Parking (See A-6 & A-7)		271	
Existing Counts		(292 with vault spaces)	165 spaces (1958 zoning)
GARAGE LEVEL 1		005	001
GARAGE LEVEL 2		140	097
GARAGE LEVEL 3		147	104
EXISTING (See A-6 & A-7)			
Retail / Service (11,390 SF)		1 per 750 sf	11
Office (257,535 SF)		1 per 1,800 sf	142
TOTAL			153
PROPOSED (See A-6 & A-7) *** NEW OVERBUILD SF			
Retail (19,969 SF)		1.33 per 1,000 sf in excess of 3,000 sf	23
Residential (400 Units)		1 per 3 units in excess of 4 units	132
TOTAL (50% reduction due to metro proximity)		155 / 2 = 78	
TOTAL SPACES REQUIRED		78	178 + 24 vault spaces
Off-Street Loading		REQUIRED (ZR-58)	PROVIDED (See A-7)
EXISTING		Berths: Berths: 3 @ 30' Platforms: 3 @ 100 SF Service/delivery space: 1 @ 20'	Berths: (2) 30' BAYS Platforms: ~300 SF Service/delivery space: NONE
PROPOSED (SEE A-7)		Retail / Service (5,000 - 20,000 SF) Residential (>50 dwelling units)	Berth: 1 @ 30' Platform: 1 @ 100 SF Service/delivery space: None Berth: 1 @ 30' Platform: 1 @ 100 SF Service/delivery space: 1 @ 20'
Bicycle Parking			
		Short Term Spaces	Long Term Spaces
		Formula Proposed	Formula Proposed
Residential (400 Units)		1 per 20 dwelling units = 20 spaces	1 per 3 dwelling units = 133 spaces
Retail (19,969 SF)		1 per 3,500 sf = 6 spaces	1 per 10,000 sf = 2 spaces
TOTAL		26 spaces proposed (See A-5)	50% reduction after 50 spaces: 50+(135-50)/2 = 93 93 spaces*** required 135 spaces proposed (See A-7) per DDOT Regulations (Chapter 12 of Title 18)

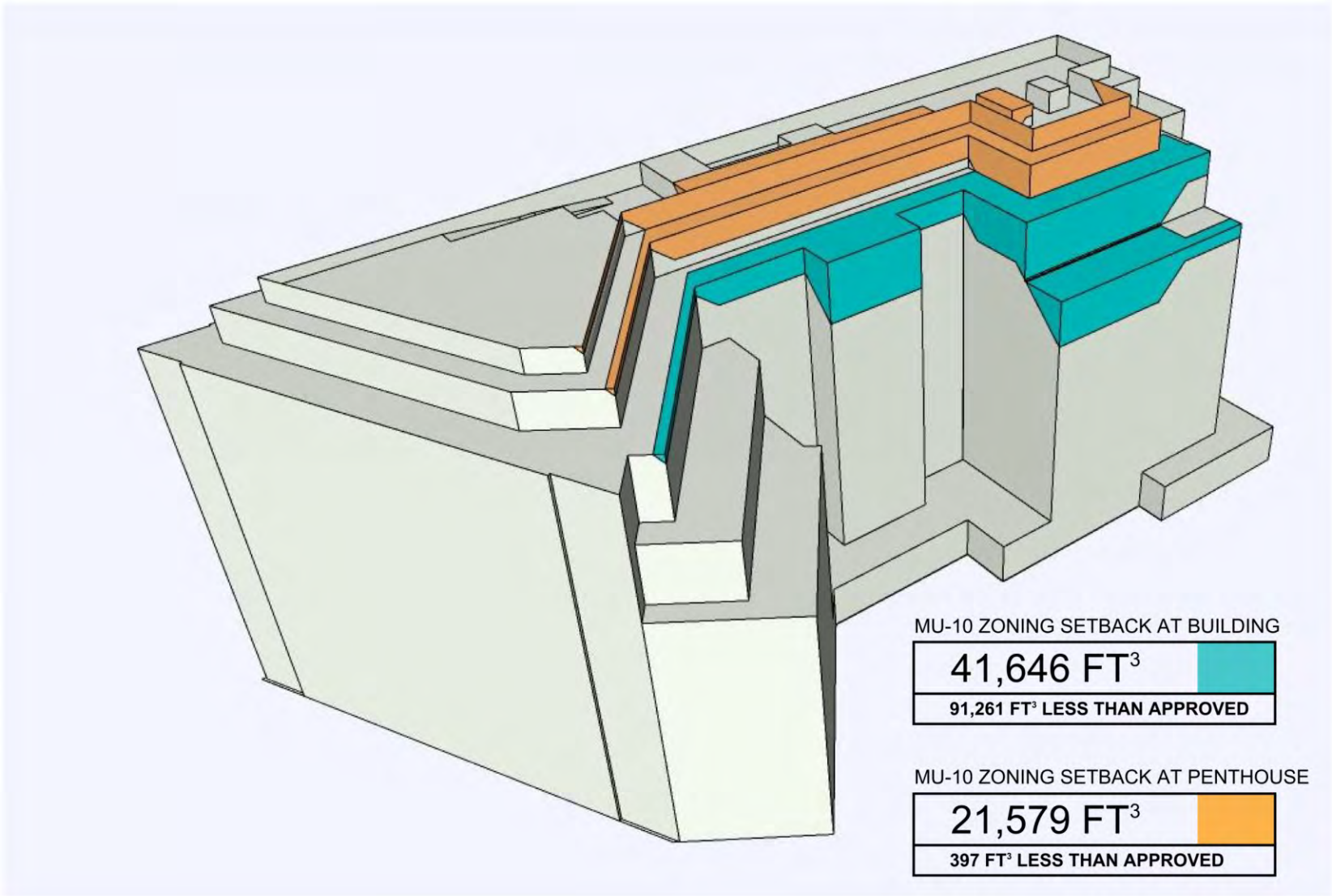
APPROVED SETBACK

OFFICE BUILDING, BZA 2020



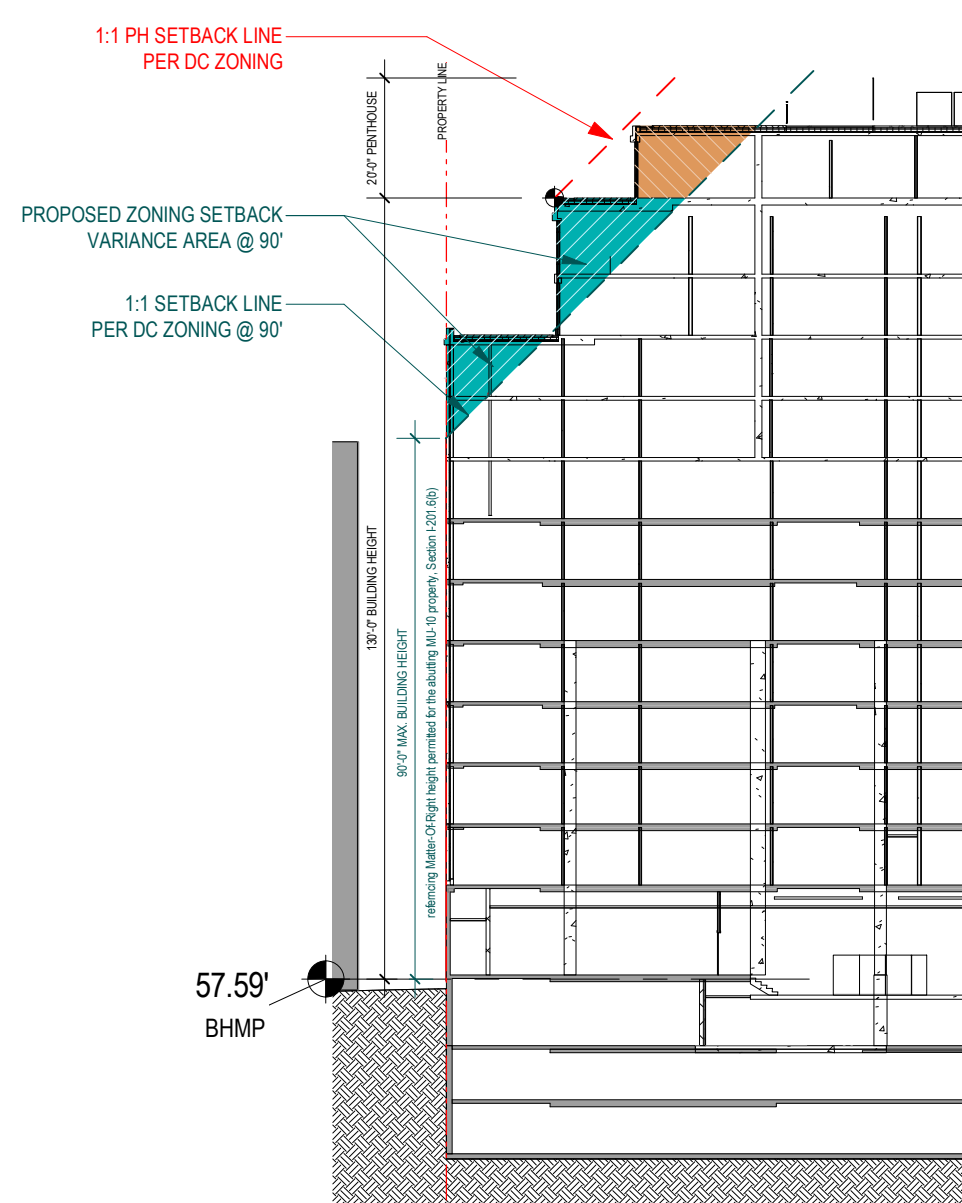
PROPOSED SETBACK

RESIDENTIAL BUILDING

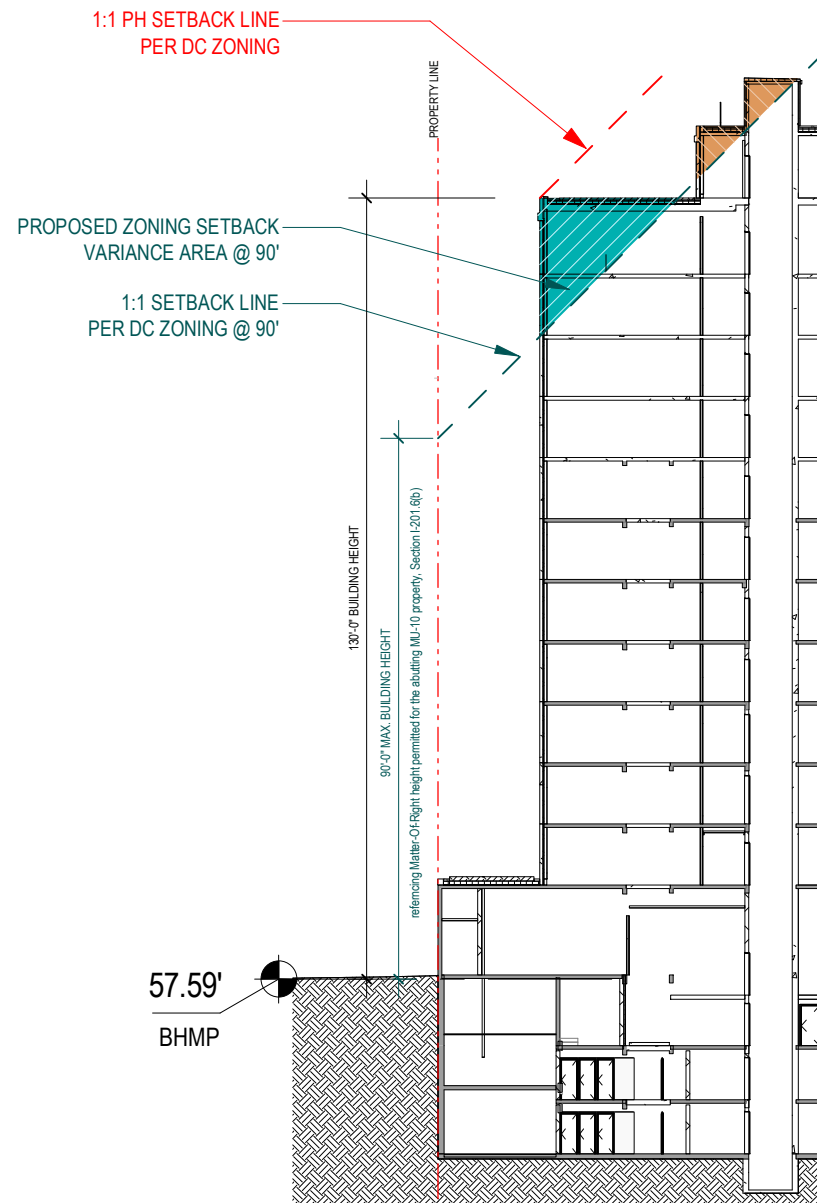


NOTES:

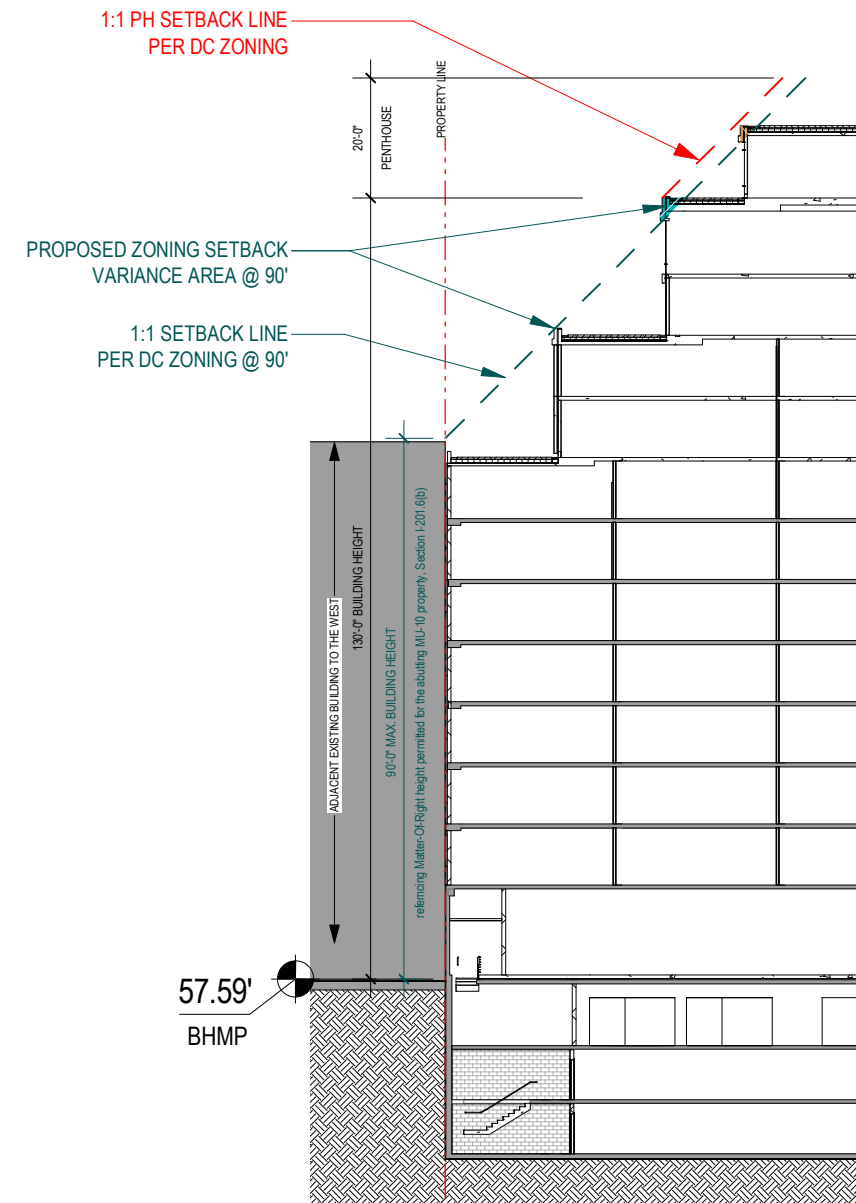
THE PENTHOUSE FULLY COMPLIES WITH SUB C CHAPTER 15 AND IS SETBACK 1:1 FROM THE EDGE OF THE ROOF, MEASURED FROM A POINT WHERE A LINE EXTENDING FROM THE TOP OF THE ROOF INTERSECTS WITH THE OUTSIDE FACE OF THE BUILDING ENCLOSING WALL. NO PENTHOUSE SETBACK RELIEF IS REQUIRED. THE ORANGE ONLY INDICATES PORTIONS OF THE PENTHOUSE THAT EXTEND INTO THE 1:1 SETBACK FROM THE ADJACENT PROPERTY AS REQUIRED BY SUBTITLE I, SEC. 201.6.



(1) BZA - W. SETBACK SECTION 1

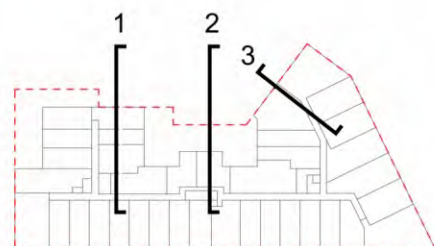


(2) BZA - W. SETBACK SECTION 2



(3) BZA - W. SETBACK SECTION 3

- MU-10 ZONING SETBACK AT BUILDING
- MU-10 ZONING SETBACK AT PENTHOUSE



CLOSED COURT -1-
(FROM 2ND TO 11TH FLOOR)

CLOSED COURT -2-
(FROM 2ND TO 9TH FLOOR)

**EXISTING
CLOSED COURT**
(FROM 2ND TO 9TH FLOOR)

CLOSED COURT -1-
(FROM 2ND TO 11TH FLOOR)

OPEN COURT -3-
(FROM 9TH TO 11TH FLOOR)

OPEN COURT -4-
(FROM 11TH FLOOR TO ROOF)

COURT HEIGHT: 70'-6"
REQUIRED:
MIN COURT WIDTH (4"/ft): 23'-6"
MIN COURT AREA: 1,107 SQ. FT.
PROVIDED:
COURT WIDTH: 29'-10"
COURT AREA: 2,947 SQ. FT.

COURT HEIGHT: 73'-0"
REQUIRED:
MIN COURT WIDTH (2.5"/ft): 15'-2"
MIN COURT AREA: 462 SQ. FT.
PROVIDED:
COURT WIDTH: 21'-25"
COURT AREA: 1,382 SQ. FT.

EXISTING COURT HEIGHT: 73'-0"
REQUIRED FOR CONVERSION TO RESI:
MIN ADDED COURT WIDTH (4"/ft): 24'-3"
MIN ADDED COURT AREA: 1,183.9 SQ. FT.
PROVIDED FOR CONVERSION TO RESI:
ADDED COURT WIDTH: 21'-0"
ADDED COURT AREA: 1,794 SQ. FT.
ADDED HEIGHT TO EXIST. COURT: 18'-2"
REQUIRED FOR ADDED HEIGHT:
MIN ADDED COURT WIDTH (4"/ft): 15'-0"
MIN ADDED COURT AREA: 350 SQ. FT.
PROVIDED FOR THE ADDED HEIGHT:
ADDED COURT WIDTH: 21'-0"
ADDED COURT AREA: 1,794 SQ. FT.

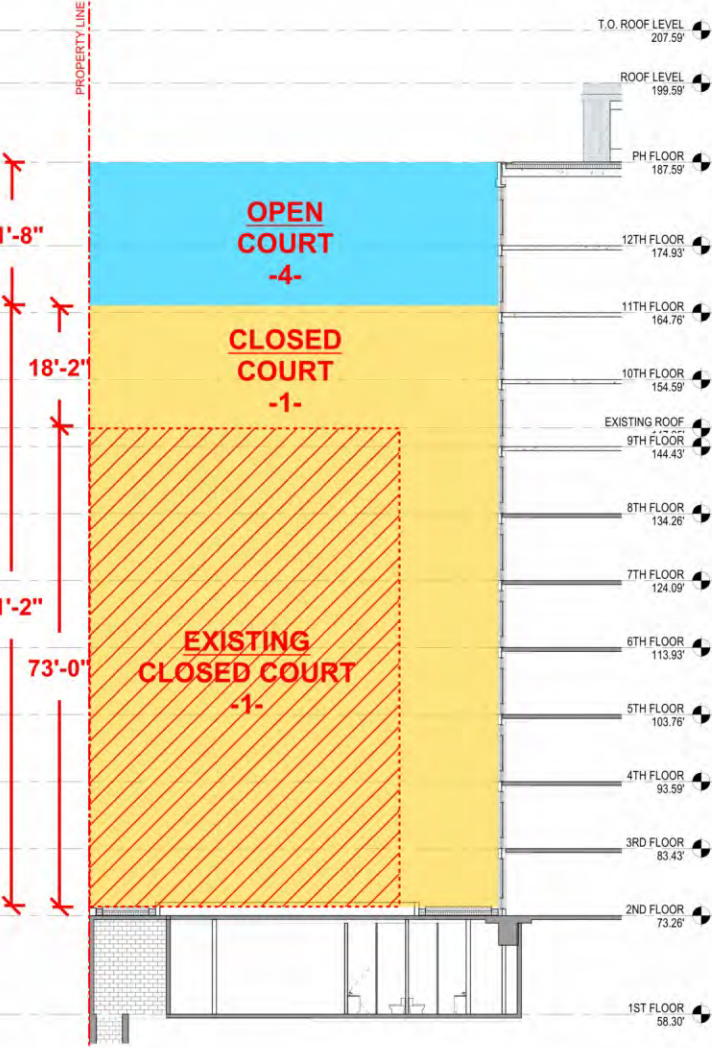
COURT HEIGHT: 20'-8"
REQUIRED:
MIN COURT WIDTH (4"/ft): 10'-0"
PROVIDED:
COURT WIDTH: 29'-10"

COURT HEIGHT: 21'-8"
REQUIRED:
MIN COURT WIDTH (4"/ft): 10'-0"
PROVIDED:
COURT WIDTH: 36'-0"

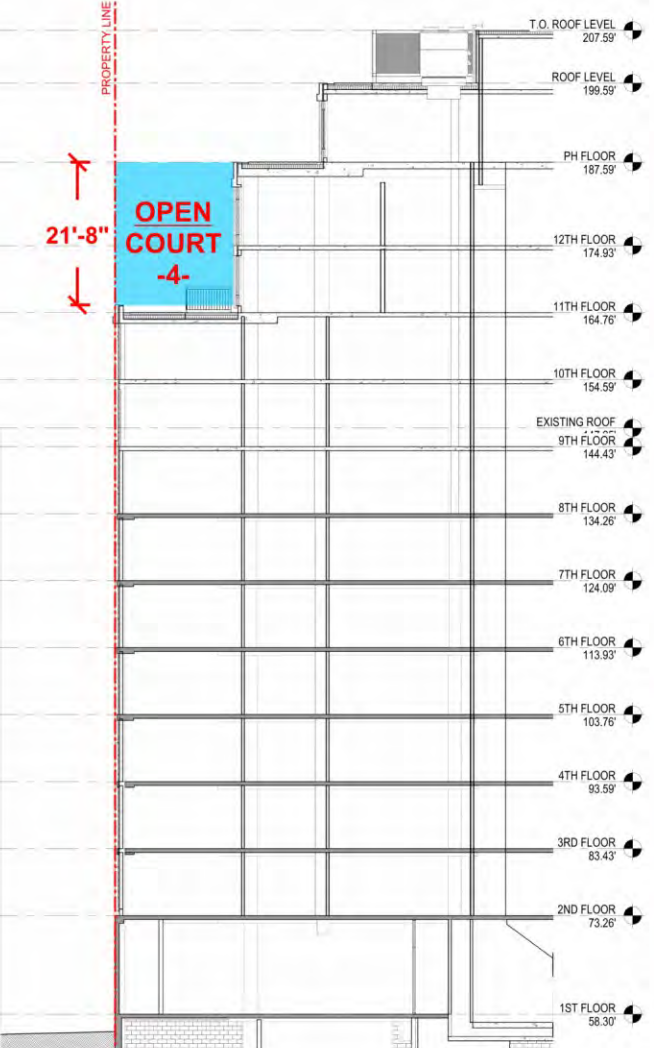
(1) 2ND TO 8TH FLOOR

(2) 9TH TO 10TH FLOOR

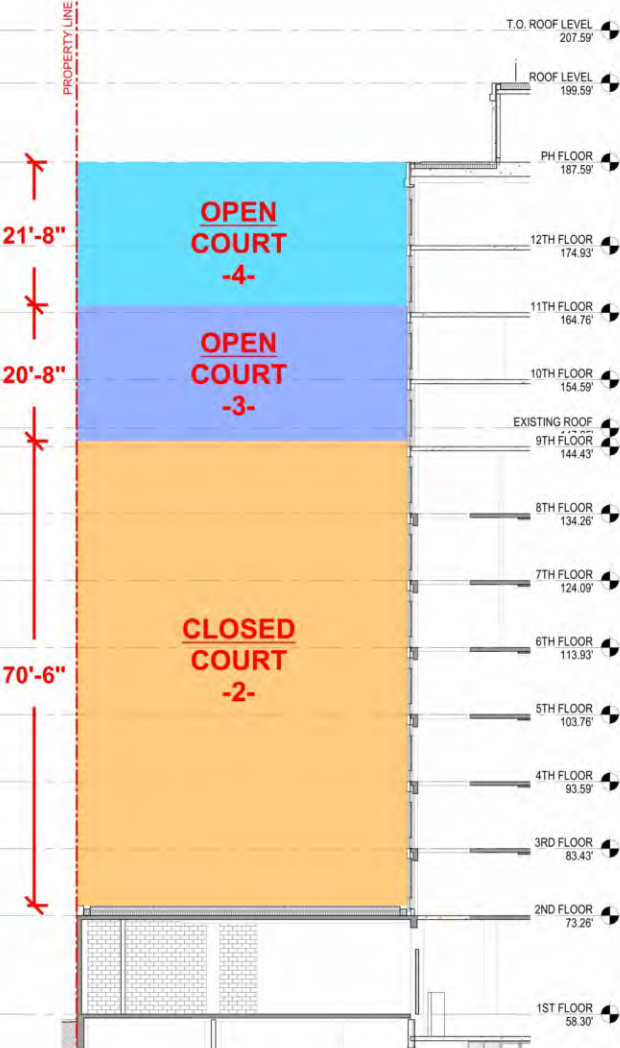
(3) 11TH TO 12TH FLOOR



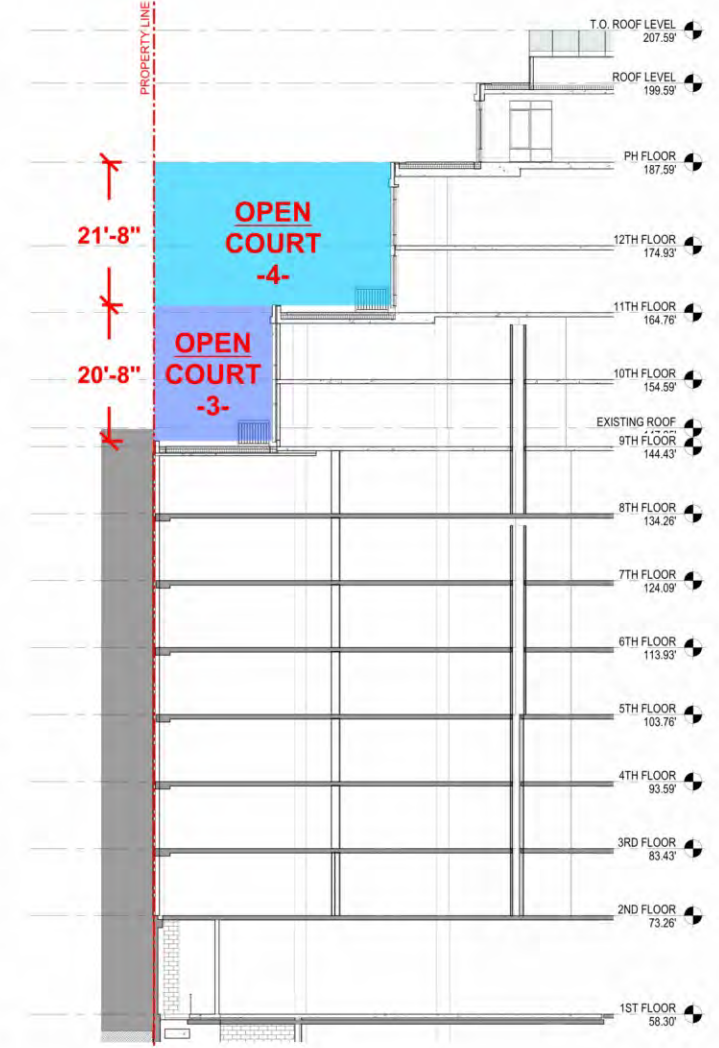
(4) SECTION A



(5) SECTION B



(6) SECTION C



(7) SECTION D

