

## GENERAL NOTES

CONSTRUCTION SHALL CONFORM TO ALL CODES AND REGULATIONS HAVING JURISDICTION IN DISTRICT OF MONTGOMERY COUNTY.

ALL TRADES PERFORMING WORK SHALL MEET OR EXCEED CODE REQUIREMENTS WITH REGARD TO MATERIALS, CONSTRUCTION, AND INSTALLATION METHODS.

ALL TRADE (PLUMBING, ELECTRICAL AND MECHANICAL) DWGS ARE SCHEMATIC EACH APPLICABLE CONTRACTOR TO INTRODUCE NEW WORK AND TIE INTO EX. WHERE APPROPRIATE IN MOST EFFICIENT MANNER WHILE COMPLYING WITH ALL CODES.

THESE DRAWINGS HAVE BEEN DEVELOPED IN COORDINATION WITH PROJECT SPECIFICATIONS. THE DRAWINGS AND SPECIFICATIONS SHALL BE USED TO COMPLEMENT EACH OTHER.

REVIEW CONTRACT DOCUMENTS AND FIELD DIMENSIONS AND CONDITIONS. CONFIRM THAT WORK IS BUILDABLE AS SHOWN. PROMPTLY REPORT ANY ERRORS, CONFLICTS, OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION. IF THE CONTRACTOR FAILS TO NOTIFY ARCHITECT OF A KNOWN NONCONFORMITY, THEN THE CONTRACTOR IS TO PAY SUCH COSTS AND DAMAGES TO THE OWNER AS WOULD HAVE BEEN AVOIDED IF NOTIFICATION HAD BEEN PERFORMED.

COORDINATE WORK WITH THE OWNER/TENANT, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES, AND USE OF ELEVATORS. MINIMIZE DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS.

CONTRACTOR SHALL ENSURE THAT CONTRACTOR EMPLOYEES AND SUBCONTRACTORS SHALL COMPLY WITH ALL BUILDING RULES AND REGULATIONS.

OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT.

INCLUDE THESE IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.

COORDINATE WITH TELECOMMUNICATIONS, DATA, AND SECURITY SYSTEM INSTALLATION.

MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES.

WORK AREAS TO BE SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH TENANT AND LANDLORD TO ENSURE SECURITY.

PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.

DURING CONSTRUCTION, EACH TRADE SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY THEIR WORK.

## REVISIONS

No.	DESCRIPTION	DATE	BY
A	DESIGN PERMIT SET	06/12/2024	

## GENERAL NOTE

1. PROVIDE TEMPORARY SUPPORT & SHORING AS REQUIRED BEFORE NEW WORK IS IN PLACE.
2. RECYCLE MATERIALS PER GOOD WASTE MANAGEMENT PRACTICES.
3. PROVIDE DUST ENCLOSURE AND LIMIT INTRUSIONS OUTSIDE OF THE WORK AREA.
4. DEMOLISH FINISH CEILINGS, WALLS, ETC. AS REQUIRED FOR UTILITY CONNECTIONS, WIRING, STRUCTURAL MEMBERS, ETC. PER CONTRACTORS NECESSITY IN AREAS OF HOME NOT TO BE RENOVATED. PATCH TO MATCH EXISTING AS REQUIRED.
5. PROTECT FINISHES TO REMAIN FROM DAMAGE. REPAIR EXPEDITIALLY TO MATCH EXISTING IF DAMAGED.
6. CONTRACTOR TO REPAIR/ REPLACE ALL DETERIORATED CMU/ BRICK UNITS AS NEEDED.
7. CONTRACTORS SHALL VERIFY ALL DIMENSION, GRADES, ANY OTHER SITE CONDITIONS WITH THE PROPOSED PLANS. SCHEDULE PRIOR TO COMMENCING WITH THE WORK.
8. IT IS THE CONTRACTORS RESPONSIBILITY TO MAKE SURE THE CORRECT SET OF PLANS, "CONSTRUCTION SET", ARE BEING USED.
9. ALL DIMENSIONS NOTED ± ARE TO BE ADJUSTED AS REQUIRED PER FIELD

## OWNER INFORMATION

4505 Warren St NW,

Washington, DC 20016

## PROPERTY INFORMATION

### EXISTING CONDITION

SDF 2 STORY + BASEMENT

SQUARE: 3,335 SF

JURISDICTION: MONTGOMERY COUNTY

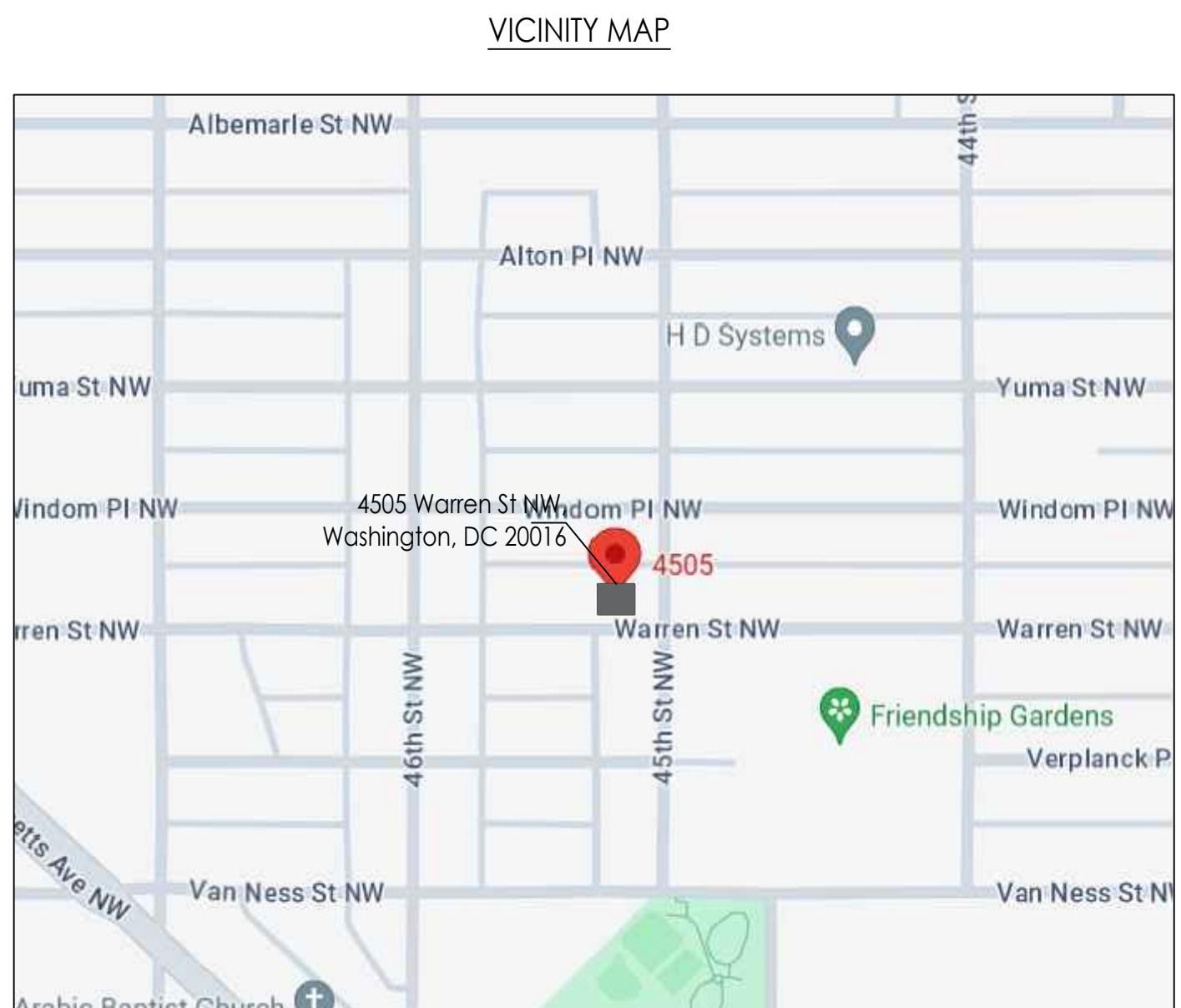
LOT: 7,872 SF.

BUILT: 1999

PARCEL #: 0702891931

## PROJECT: OUTDOOR KITCHEN ON EXISTING GARAGE - NEW ROOF ON STOOP AREA

### VICINITY MAP



## APPLICABLE CODES

DISTRICT OF COLUMBIA

2017 INTERNATIONAL BUILDING CODE

2017 INTERNATIONAL RESIDENTIAL CODE

2017 INTERNATIONAL EXISTING BUILDING CODE

2017 INTERNATIONAL PLUMBING CODE

2017 INTERNATIONAL ENERGY CONSERVATION CODE

2017 DC ELECTRICAL CODE

## IRC 2017 DESIGN CRITERIA

Floor Live Load 40 spf

Roof Live Load 30 spf

Dead Loads 10 spf

Ground Snow Load 30 spf

Wind Speed Exposure 115 mph

Seismic Design Category B

Weathering Severe

Frost Line Depth 30"

Termite Area Moderate to Heavy

Decay Area Slight to Moderate

Winter Design Temperature 13 F

Ice Shield Underlayment Yes, Required

Flood Hazard July 18, 1975 / September 29, 2006

Air Freezing Index 300

Mean Annual Temperature 55 F

## DRAWING INDEX

G100 COVER SHEET

A100 ARCHITECTURAL OUTDOOR KITCHEN AND SUSPENDED ROOF

ME100 M.E. - PLAN / OUTDOOR KITCHEN SERVICES

SCOPE WORK.

NEW OUTDOOR KITCHEN ON EXISTING GARAGE, KITCHEN FACE TO THE PROPERTY.

NEW SUSPENDED ROOF ON STOOP AREA

GNRL. CONTRACTOR:



DRAWINGS PROVIDED BY:

Vicam  
Design & Construction, LLC  
12912 Old Chapel Ct, Suite K212070  
victoriano.vicam@gmail.com  
(240) 805-8950

NO. DESCRIPTION BY DATE

A DESIGN PERMIT SET 06/12/2024

SHEET TITLE: COVER SHEET

PROJECT DESCRIPTION: 4505 Warren St NW, Washington, DC 20016

DATE:

06/12/2024

SCALE:

N/S

SHEET:

C100

Board of Zoning Adjustment  
District of Columbia  
CASE NO. 24-210  
EXHIBIT NO. 2

## STRUCTURAL NOTES

1. ALL JOISTS, BEAMS AND POSTS SHALL BE SPRUCE-PINE-FIR NO.1/NO.2 PER "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, NFPA. ALL STUDS SHALL BE SPRUCE-PINE-FIR STUD-GRADE. ALL WOOD MEMBERS SHALL BE MANUFACTURED TO COMPLY WITH PS20 OF "AMERICAN SOFTWOOD LUMBER STANDARDS" AND SHALL HAVE 19% MAXIMUM MOISTURE CONTENT.

2. MINIMUM MEMBER PROPERTIES SHALL BE AS FOLLOWS:

1. WOOD LINTELS, JOISTS AND BEAMS

2. FLEXURE:  $F_b = 875 \text{ PSI}$

3. SHEAR:  $F_v = 135 \text{ PSI}$

4. MODULUS OF ELASTICITY = 1,400,000

5. WALL STUDS: STUD GRADE

6. FLEXURE:  $F_b = 675 \text{ PSI}$

7. COMPRESSION PARALLEL:  $F_c = 725 \text{ PSI}$

8. MODULUS OF ELASTICITY = 1,200,000

9. ALL FRAMING EXPOSED TO WEATHER OR DESIGNATED "P.T." IS TO BE PRESSURE TREATED SOUTHERN PINE NO.2 PER NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION NFPA. ALL WOOD MEMBERS SHALL BE MANUFACTURED TO COMPLY WITH PS20 OF "AMERICAN SOFTWOOD LUMBER STANDARDS". MINIMUM MEMBERS SHALL BE MANUFACTURED IN ACCORDANCE WITH TABLE 4B IN THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION".

10. PROVIDE SIMPSON STRONG-TIE (OR APPROVED EQUAL) POST CAPS AT ALL BEAM-ON-POST BEARING LOCATIONS, U.N.O.

11. PARALLEL STRAND LUMBER (P.S.L.) SHALL BE INSTALLED AND FASTENED PER THE MANUFACTURER'S RECOMMENDATIONS. MINIMUM MEMBER PROPERTIES SHALL BE AS FOLLOWS FOR P.S.L. POSTS:

12. FLEXURE:  $F_b = 2,400 \text{ PSI}$

13. COMPRESSION:  $F_e = 2,500 \text{ PSI}$

14. MODULUS OF ELASTICITY = 1,800,000

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G100 COVER SHEET  
A100 ARCHITECTURAL OUTDOOR KITCHEN AND SUSPENDED ROOF  
ME100 M.E. - PLAN / OUTDOOR KITCHEN SERVICES

## SCOPE WORK.

CONVERT GARAGE TO STORAGE

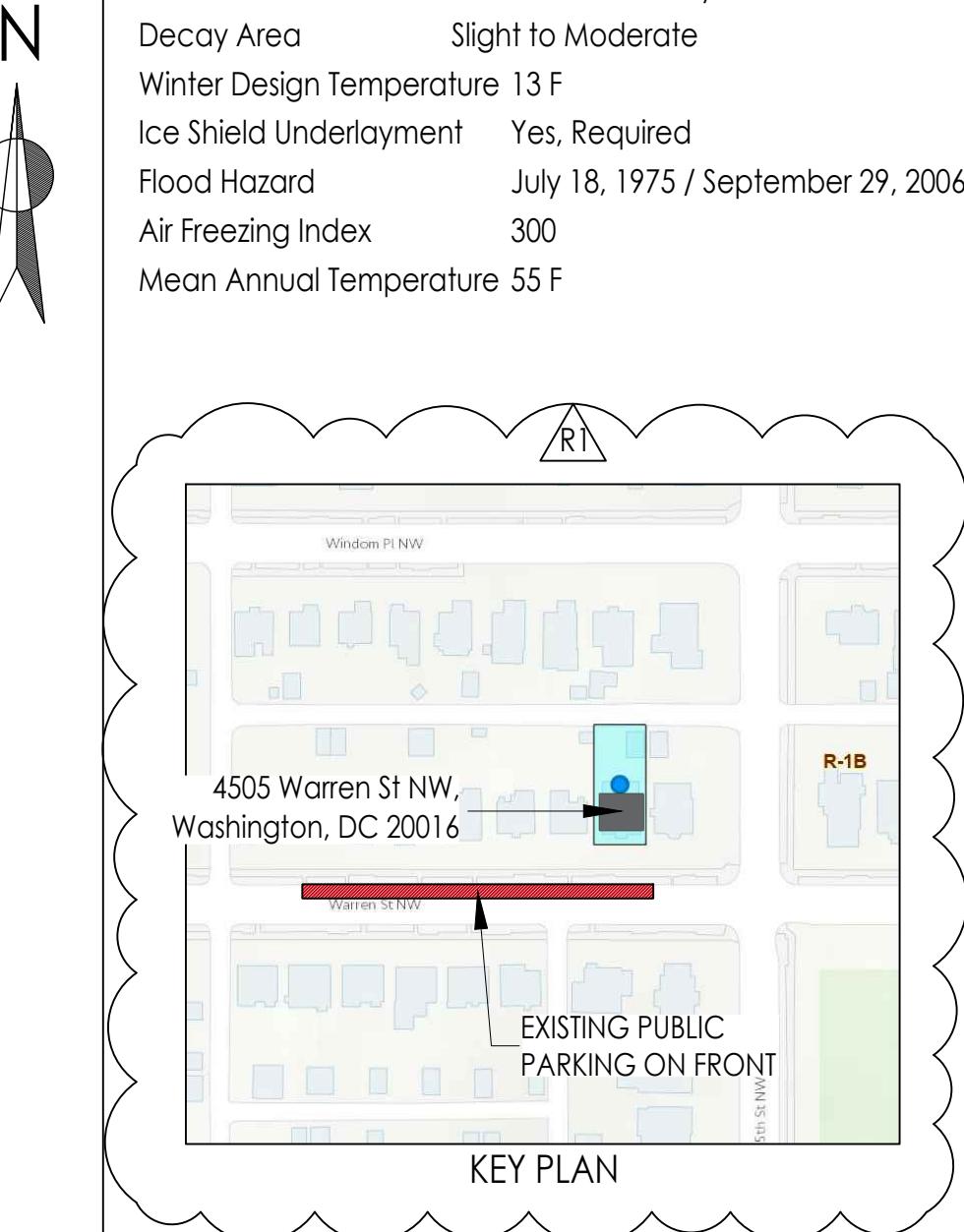
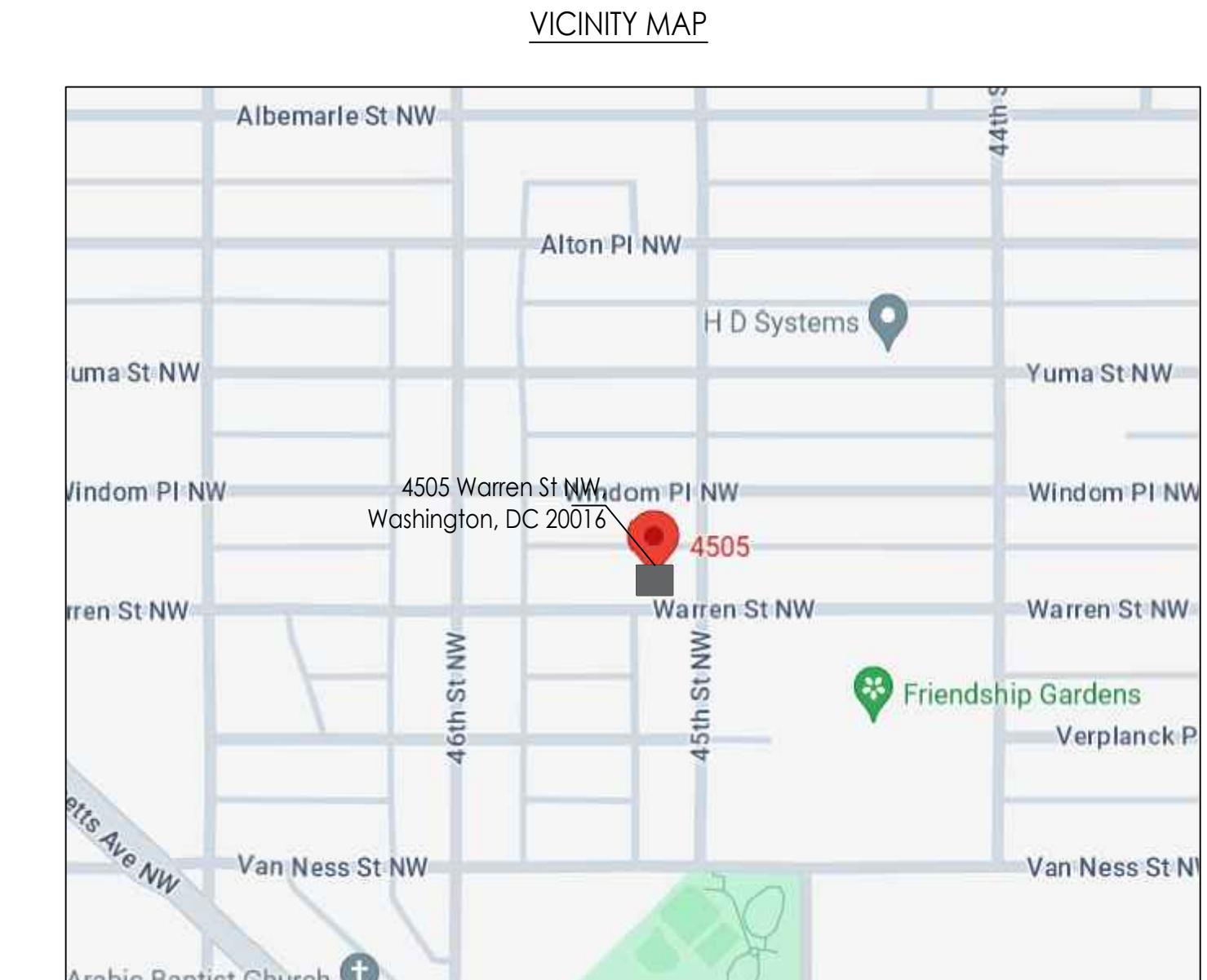
NEW OUTDOOR KITCHEN ON EXISTING GARAGE, KITCHEN FACE TO THE PROPERTY.

NEW SUSPENDED ROOF ON STOOP AREA

## GENERAL NOTE

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## PROJECT: OUTDOOR KITCHEN ON EXISTING GARAGE NEW ROOF ON STOOP AREA



10. NEW WALL DIMENSIONS GIVEN FINISH TO FINISH, UNLESS NOTED OTHERWISE.
11. ALL WALL INFILLS (NEW) ALONG EXISTING WALLS TO MATCH EXISTING.
12. PATCH & REPAIR ALL FINISHES, SUBSTRATES, ETC. IN ALL AREAS AFFECTED BY THE WORK & BETWEEN SPECIFIC WORK LOCATIONS.
13. FOR STRUCTURAL CHANGE, CONTRACTOR IS TO REMOVE FLOOR AND/OR CEILING ASSEMBLIES AS REQUIRED TO MAKE AND/OR COMPLETE ALL WORK.
14. TEMPORARILY REMOVE INFRASTRUCTURE SUCH AS LIGHTING, DUCT WORK, ETC. AS NECESSARY TO PERFORM WORK.

## STRUCTURAL NOTES

- A. ALL JOISTS, BEAMS AND POSTS SHALL BE SPRUCE-PINE-FIR NO.1/NO.2 PER "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, NFPA. ALL STUDS SHALL BE SPRUCE-PINE-FIR STUD-GRADE. ALL WOOD MEMBERS SHALL BE MANUFACTURED TO COMPLY WITH PS20 OF "AMERICAN SOFTWOOD LUMBER STANDARDS" AND SHALL HAVE 19% MAXIMUM MOISTURE CONTENT.

- B. MINIMUM MEMBER PROPERTIES SHALL BE AS FOLLOWS:
  1. WOOD LINTELS, JOISTS AND BEAMS
    - A. FLEXURE:  $F_b = 875 \text{ PSI}$
    - B. SHEAR:  $F_v = 135 \text{ PSI}$
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    - A. FLEXURE:  $F_b = 675 \text{ PSI}$
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GENERAL NOTES	OWNER INFORMATION 4505 Warren St NW, Washington, DC 20016 PROPERTY INFORMATION	APPLICABLE CODES DISTRICT OF COLUMBIA 2017 INTERNATIONAL BUILDING CODE 2017 INTERNATIONAL RESIDENTIAL CODE 2017 INTERNATIONAL EXISTING BUILDING CODE 2017 INTERNATIONAL PLUMBING CODE 2017 INTERNATIONAL ENERGY CONSERVATION CODE 2017 DC ELECTRICAL CODE
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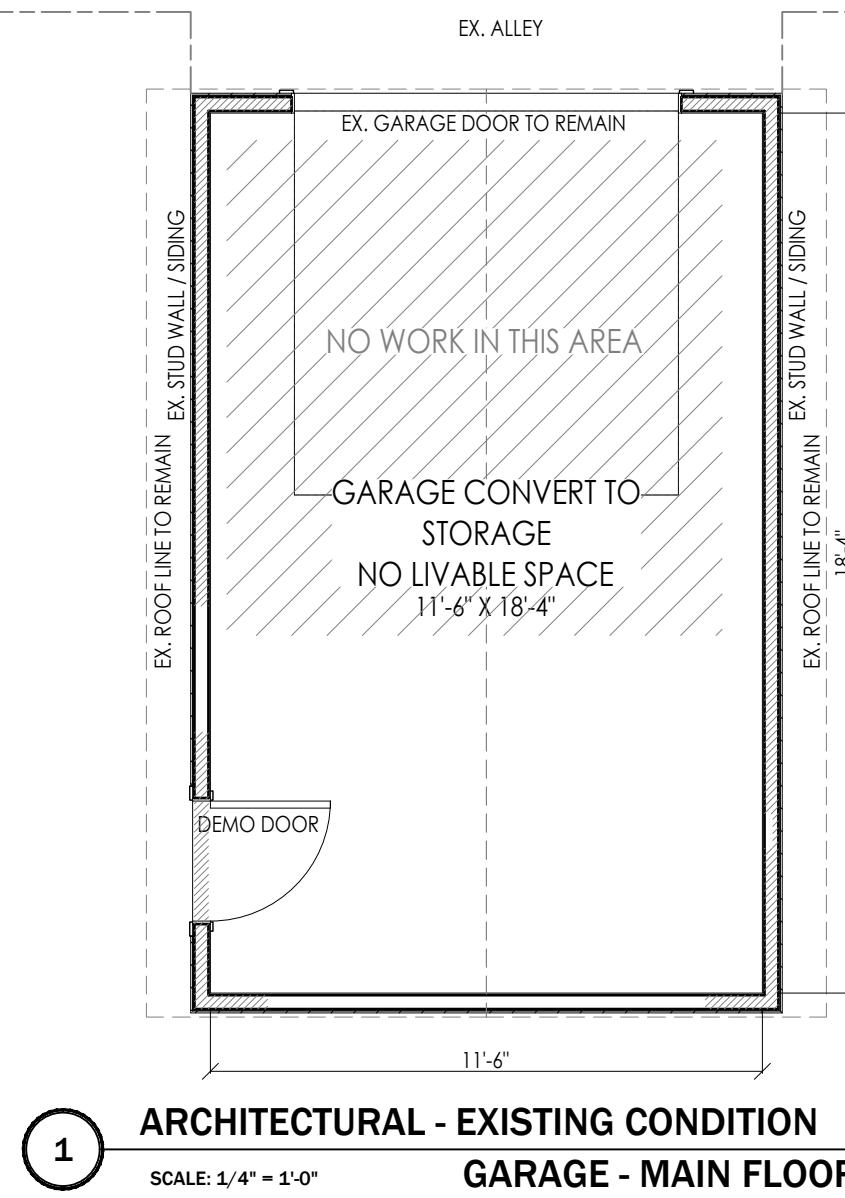
GENERAL NOTES	EXISTING CONDITION SDF 2 STORY + BASEMENT SQUARE: 3,335 SF JURISDICTION: MONTGOMERY COUNTY LOT: 7,872 SF. BUILT: 1999 PARCEL #: 0702891931	IRC 2017 DESIGN CRITERIA Floor Live Load 40 spf Roof Live Load 30 spf Dead Loads 10 spf Ground Snow Load 30 spf Wind Speed Exposure 115 mph Seismic Design Category B Weathering Severe Frost Line Depth 30" Termite Area Moderate to Heavy Decay Area Slight to Moderate Winter Design Temperature 13 F Ice Shield Underlayment Yes, Required Flood Hazard July 18, 1975 / September 29, 2006 Air Freezing Index 300 Mean Annual Temperature 55 F
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GENERAL NOTES	VICINITY MAP	KEY PLAN
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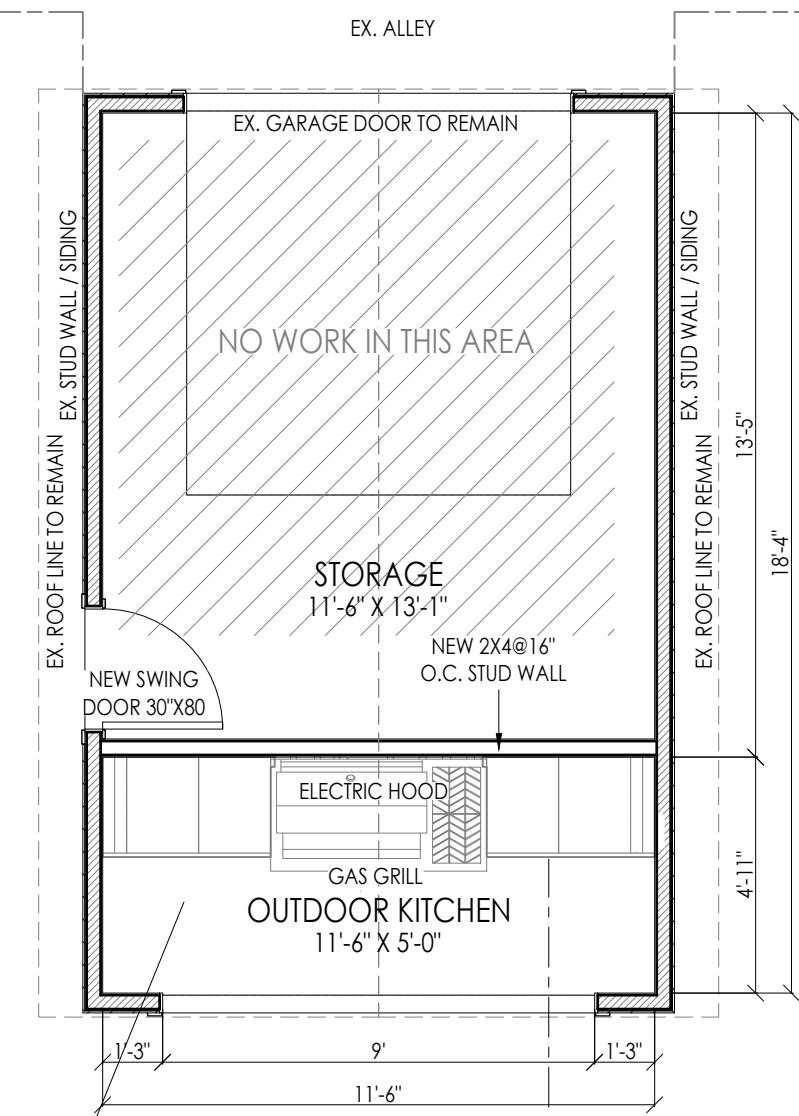
GENERAL NOTES	COVER SHEET
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GENERAL NOTES	PROJECT DESCRIPTION: 4505 Warren St NW, Washington, DC 20016
GENERAL NOTES	DATE: 07/15/2024
GENERAL NOTES	SCALE: N/S
GENERAL NOTES	SHEET: G100

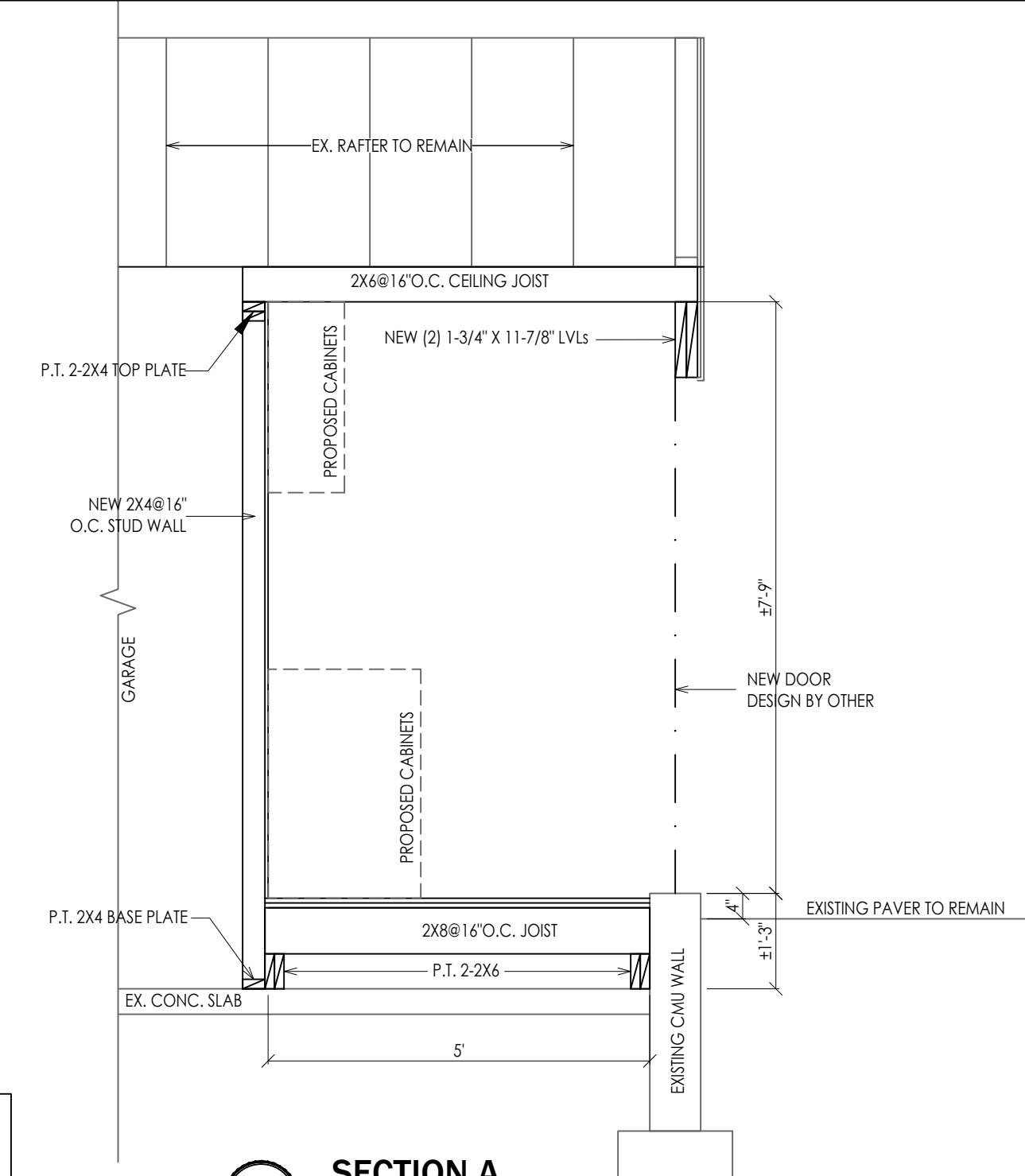




**1 ARCHITECTURAL - EXISTING CONDITION**  
SCALE: 1/4" = 1'-0" **GARAGE - MAIN FLOOR**

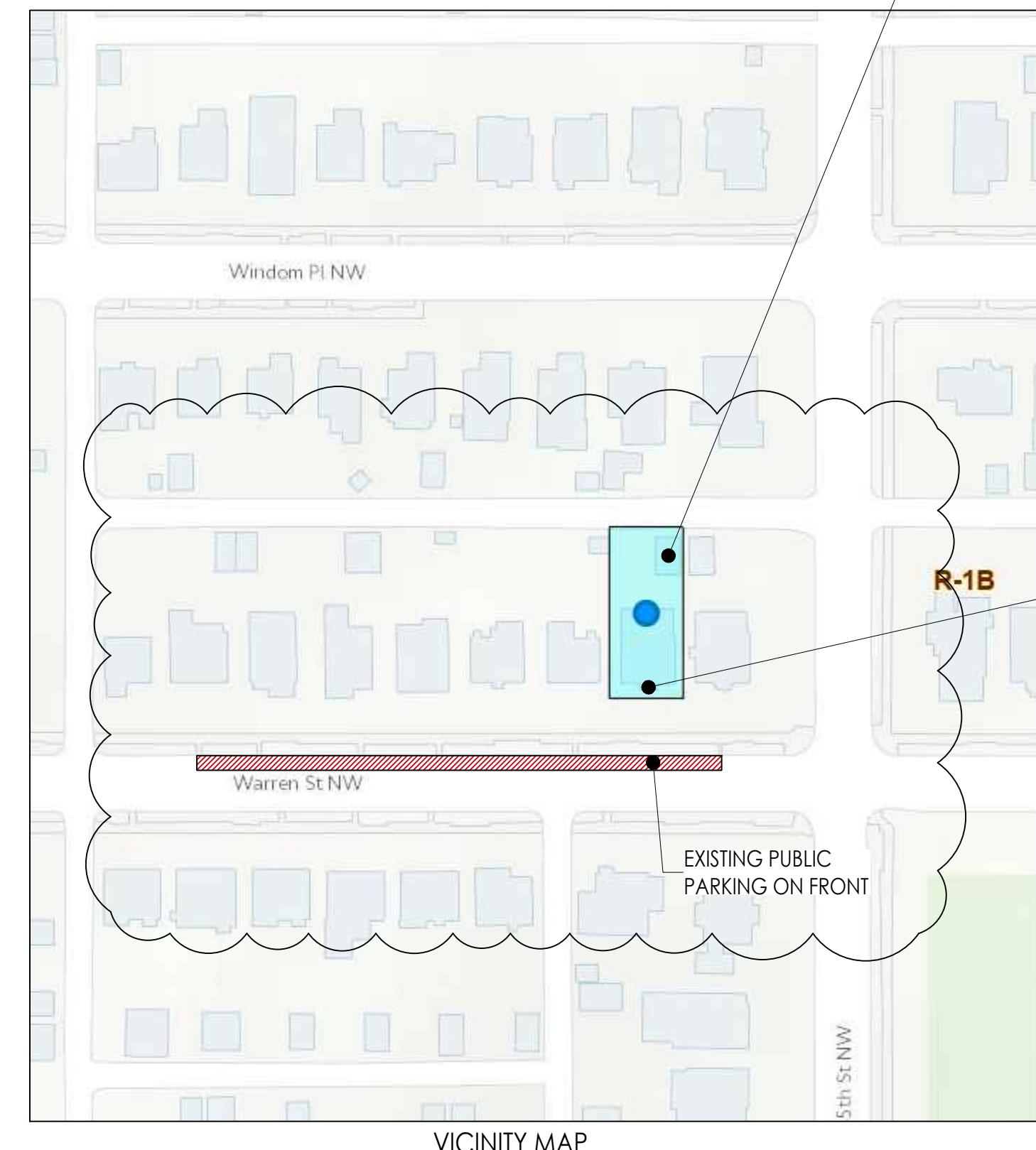


**2** ARCHITECTURAL - PROPOSED  
SCALE: 1/4" = 1'-0" GARAGE - MAIN FLOOR

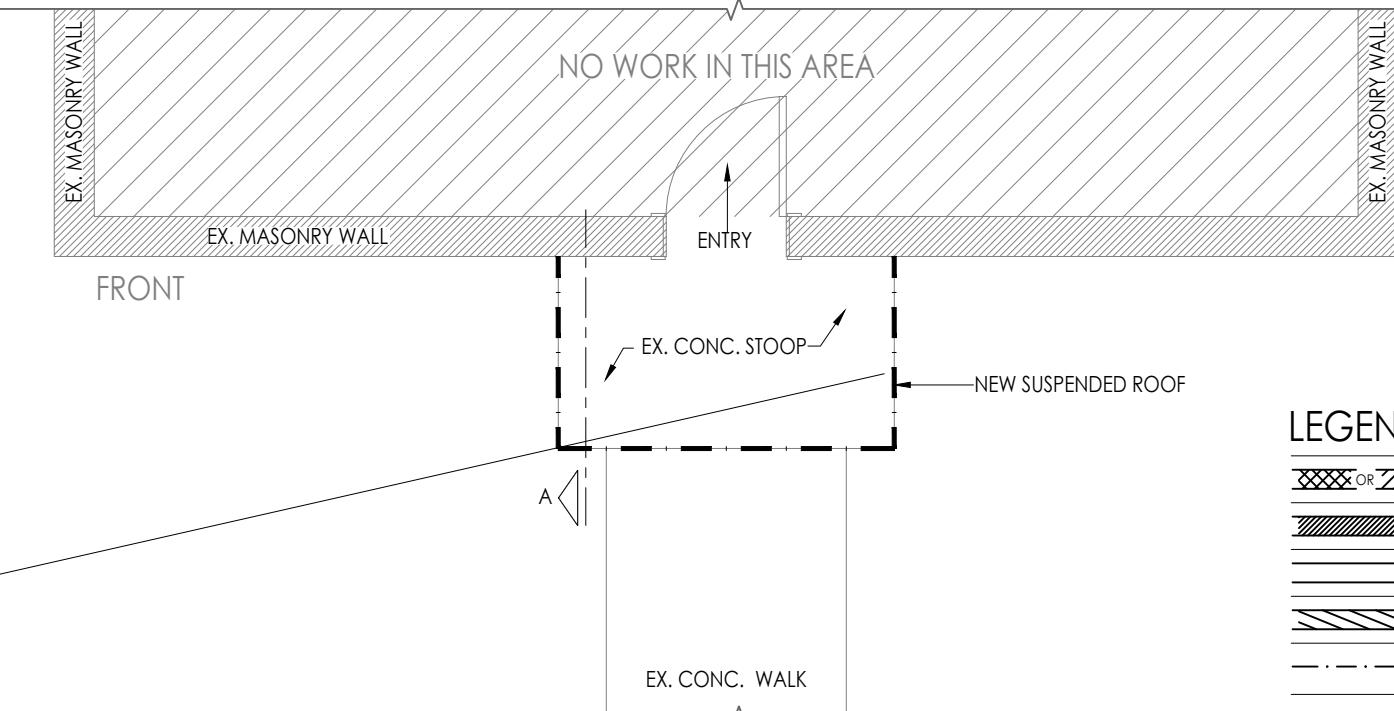


## SECTION A

SCALE: 1/2" = 1'-0"

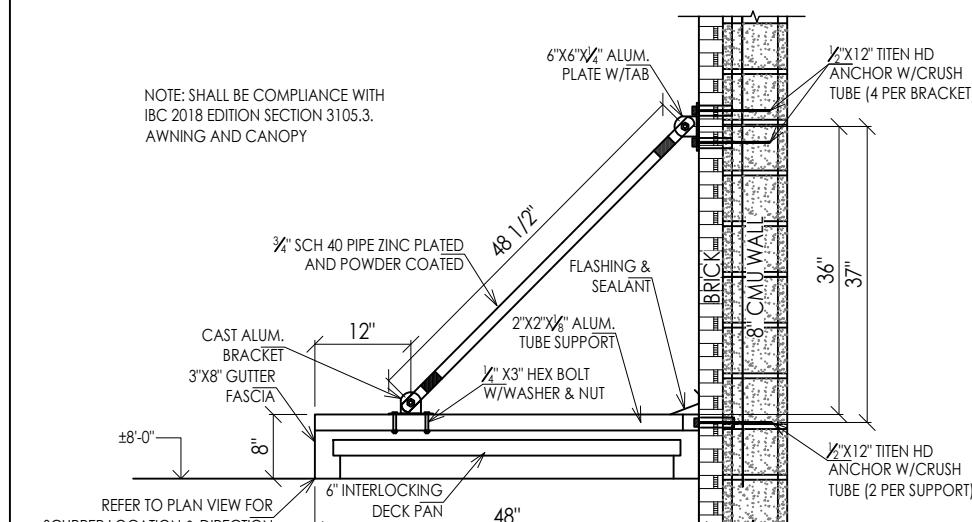


## VICINITY MAP



## SECTION A - HELIOS CONNECTION

NOTE: SHALL BE COMPLIANCE WITH  
IBC 2018 EDITION SECTION 3105.3.  
AWNINGS AND CANOPIES



## MATERIALS

- A. FRAMING: GUTTER FASCIA, TUBE, ANGLES: 6063-T5 ALLOY EXTRUDED ALUMINUM
- B. DECKING: INTERLOCKING PANELS, EXTRUDED ALUMINUM OR SHEET METAL
- C. HANGER RODS: ZINC PLATED STEEL AND POWDER COAT (PRIME AND PAINT ARE NOT ACCEPTABLE)
- D. CONNECTIONS: WALL PLATES AND CANOPY MOUNTING BRACKETS ARE TO BE ALUMINUM.
- E. HARDWARE AND FASTENERS: NUTS, BOLTS, WASHERS, CLEVIS PINS, SCREWS, ANCHORS AND PIPE SPACERS TO BE ZINC PLATED OR GALVANIZED STEEL REQUIRED TO SUIT APPLICATION AND PER PRE-ENGINEERED CANOPY LOAD REQUIREMENTS.
- F. FLASHING: SHALL BE MINIMUM 0.040-INCH ALUMINUM, FABRICATED TO PREVENT LEAKAGE AND SEALED WITH NOVAFLEX METAL ROOF SEALANT IN CLEAR OR COLOR MATCH. OTHER EQUIVALENT SEALANT IS ACCEPTABLE.
- G. FINISH: POWDER COAT FINISH PER ASTM D 3451, COMPLYING WITH FINISH MANUFACTURER'S WRITTEN INSTRUCTIONS FOR SURFACE PREPARATION INCLUDING PRETREATMENT, APPLICATION, BAKING AND MINIMUM DRY FILM THICKNESS. COLOR TO BE SELECTED FROM STANDARD COLOR LINE.
- H. DESIGN PROVIDE BY ARCHITECTURAL FABRICATION'S HELIOS CANOPIES - 817.926.7270 - 1.800.962.8027 / Email - [info@arch-fab.com](mailto:info@arch-fab.com) - Address / 2100 E Richmond Ave, Fort Worth, TX 76104

I FGFND

 OR 	EX. MASONRY WALLS
	EX. STUD WALLS
	NEW STUD WALLS
	NO DEMO WORK IN THIS AREA
	PROJECTION FOUNDATIONS, ROOF, STAIRS
	DEMO/REMOVE/REPLACE

PROJECT DESCRIPTION:  
4505 Warren St  
Washington, DC

DATE:

## SCALE:

1/4"=1'-0"

SHEET:

A100



DRAWINGS PROVIDED BY:  
Vican  
Design & Constructions, LLC  
12902 Old Chapel Ct, Bowie, MD 20720

NO.	DESCRIPTION	BY	DATE
A	DESIGN PERMIT SET		06/12/2024
1	REVIEW		07/15/2024

HEET TITLE: ARCHITECTURAL  
OUTDOOR KITCHEN AND  
SUSPENDED ROOF

## GENERAL ELECTRICAL NOTE

THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE AND THOROUGHLY SURVEY ALL EXISTING CONDITION.

THE ENTIRE ELECTRICAL INSTALLATION SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE LOCAL CODE AND CODE ENFORCING AUTHORITIES.

THE ELECTRICAL DRAWINGS SHALL BE CONSIDERED AS BEING DIAGRAMMATIC AND FOR BIDDING PURPOSES ONLY THE ATTENTION OF THE CONTRACTOR IS CALLED TO THE FACT THAT WHILE THESE DRAWINGS ARE GENERALLY TO SCALE AND ARE MADE AS ACCURATELY AS THE SCALE WILL PERMIT, ALL IMPORTANT DIMENSIONS SHALL BE DETERMINED IN THE FIELD. THEY ARE NOT TO BE CONSIDERED AS ERECTION DRAWINGS. THEY DO NOT INDICATE EVERY FITTING, ELBOW, OFFSET, PULL BOX, ETC. WHICH IS REQUIRED TO COMPLETE THE JOB.

CONTRACTOR SHALL PREPARE FIELD ERECTION DRAWINGS AS REQUIRED FOR THE USE OF HIS MECHANICS TO INSURE PROPER INSTALLATION.

ALL NEW RECEPTACLES TO BE TAMPER RESISTANT ALL 125 VOLT, 15 AND 20 AMP RECEPTACLES SHALL BE LISTED TAMPER RESISTANT RECEPTACLES PER NEC ARTICLE 406.11, TAMPER-RESISTANT RECEPTACLES IN DWELLING UNITS.

2014 NATIONAL ELECTRICAL CODE.

## NOTES

- EXISTING LIGHT FIXTURE AND LIGHTING CIRCUIT, DEVICES, RECEPTACLES, AND OUTLETS IN FULL HOUSE TO REMAIN.
- EXISTING RECEPTACLES ARE SUPPLIED BY EXISTING 120/208V- PANEL 150 AMP. THAT IS LOCATED IN BASEMENT. ALL EXISTING RECEPTACLE BRANCH CIRCUIT BREAKERS OF THE PANELBOARD ARE RATED 20A, CONDUIT, WIRING TO PANEL SHALL BE RETAINED.
- EXISTING RECEPTACLE SHALL BE RELOCATED TO A NEW LOCATION ALONG THE EXISTING WALL TO SUIT OWNER REQUIREMENTS. NEW LOCATION AND MOUNTING HEIGHT SHALL BE FIELD COORDINATED. EXISTING RECEPTACLE OUTLET BOX SHALL BE RE-PURPOSED TO SERVE AS A SPLICE POINT TO ESTABLISH CONNECTIVITY, AND THE EXISTING OUTLET BOX SHALL BE FITTED WITH A FACEPLATE COVER.
- A1 & A2 LINE SHALL BE NEW LINES.

## GENERAL PLUMBING NOTE

PLUMBING INSTALLATION SHALL COMPLY WITH ALL CODES AND UTILITY COMPANY REGULATIONS.

PLUMBING CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND PAY ALL FEES RELATIVE TO THE INSTALLATION OF HIS WORK.

CONTRACTOR PRE - BID SITE VISITS SHALL VERIFY ALL EXISTING CONDITIONS AND HE SHALL BE RESPONSIBLE FOR THE INCLUSION OF ALL REQUIRED DEMOLITION IN AREAS UNDERGOING MODIFICATION WHETHER OR NOT SUCH WORK IS INDICATE ON THE PLANS.

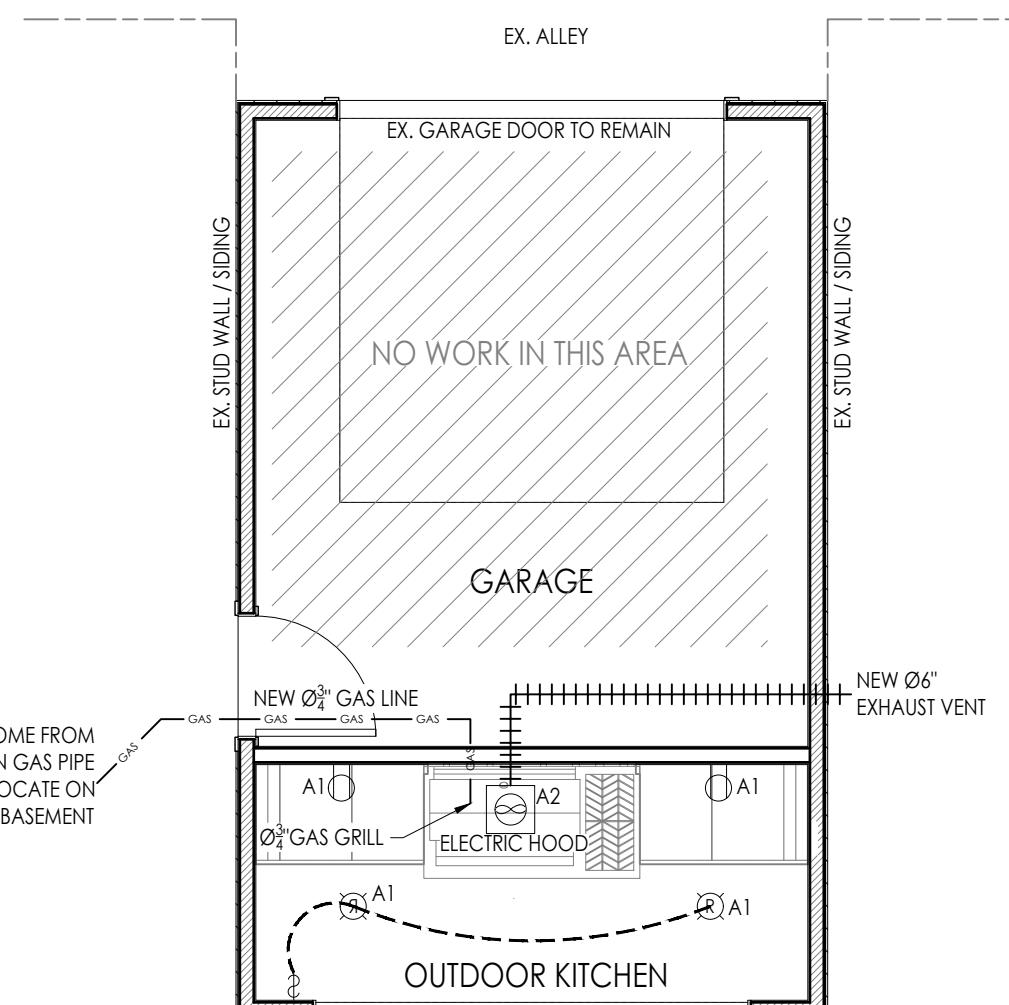
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THE PLUMBING CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF ALL OTHER CONTRACTOR BEFORE INSTALLATION OF HIS WORK IN CHASES, CEILING SPACE AND OTHER AREAS WHERE CONFLICTS MY OCCUR.

ALL EXISTING LINES AND CONDITIONS SHOW ON THE DRAWINGS HAVE BEEN SHOW IN GOOD FAITH, HOWEVER, THERE IS NO IMPLIED GUARANTEE AS TO THEIR SIZE, LOCATION, ELEVATION, COMPLIANCE WITH CURRENT CODES OR CONDITIONS. THE CONTRACTOR SHALL INVESTIGATE ALL EXISTING CONDITIONS AND SHALL MODIFY THE PROPOSED WORK AS REQUIRED OR DIRECTED.

## LEGEND

	RECEPTACLE
	GROUND FAULT CIRCUIT INTERRUPTER
	SINGLE-POLE SWITCH
	RECESSED LIGHTING 13W
	SMOKE DETECTOR HARDWIRED WITH BATTERY BACKUP
	EXISTING SANITARY PIPE
	NEW SANITARY PIPE
	EXISTING COLD WATER
	NEW COLD WATER
	EXISTING HOT WATER
	NEW HOT WATER
	GAS LINE
	NO WORK IN THIS AREA
	POINT OF CONNECTION BETWEEN NEW AND EXISTING



3 ELECTRIC AND GAS LINE - PROPOSED  
GARAGE - MAIN FLOOR

SCALE: 1/4" = 1'-0"



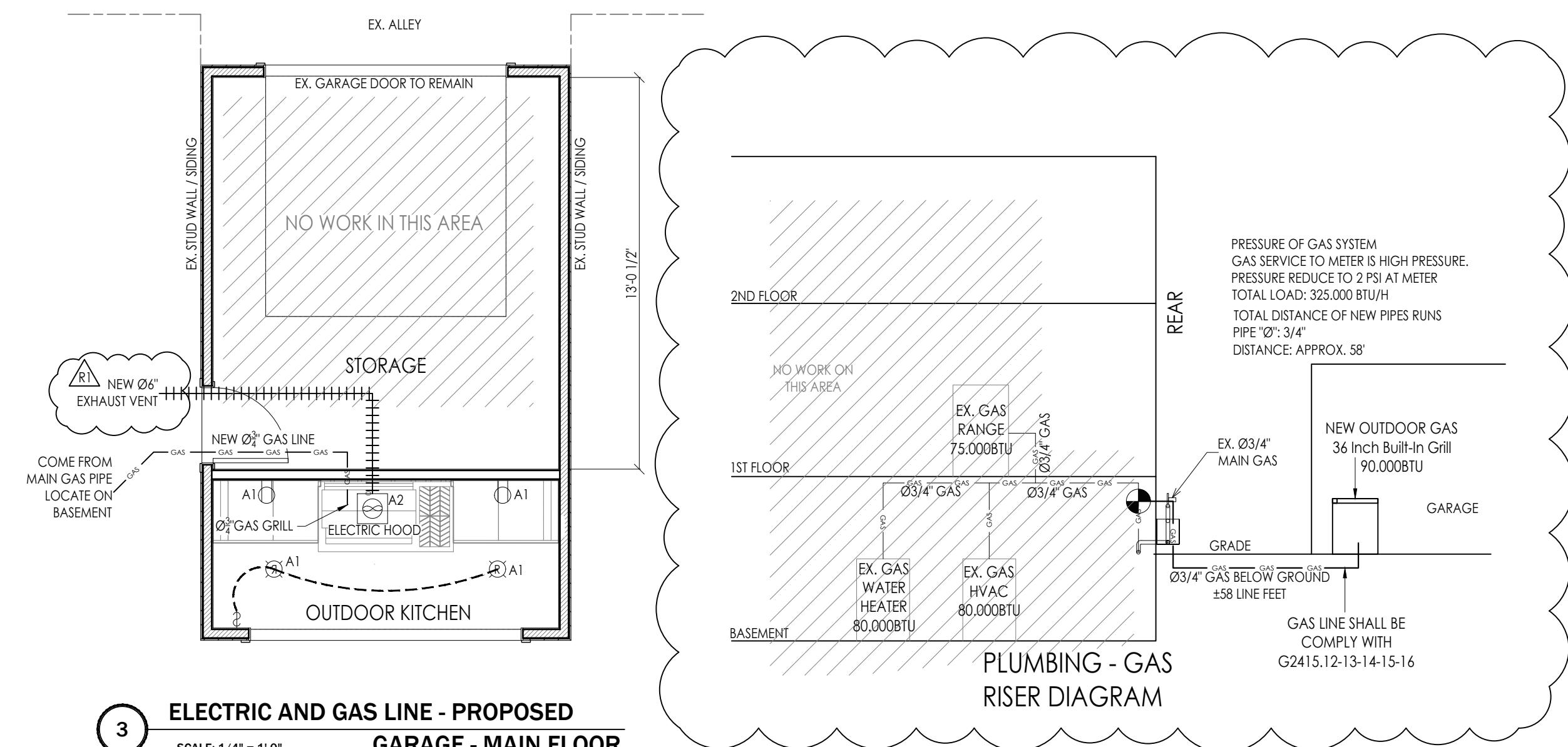
Design & Construction, LLC  
12912 Old Chapel Cl. Suite K220720  
vicanconstruction@gmail.com  
(240)815-2850

NO. DESIGN PERMIT SET	BY	DATE
A		06/12/2024

SHEET TITLE:	M.E. PLAN
	OUTDOOR KITCHEN SERVICES

PROJECT DESCRIPTION:	4505 Warren St NW, Washington, DC 20016
----------------------	--

DATE:	06/12/2024
SCALE:	1/4"=1'-0"
SHEET:	ME100



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RECEPTACLES SHALL BE LISTED TAMPER RESISTANT RECEPTACLES PER NEC ARTICLE 406.11  
TAMPER-RESISTANT RECEPTACLES IN DWELLING UNITS

#### 1AMI ER-RESISTANT RECEPICTACLES IN 2014 NATIONAL ELECTRICAL CODE

## NOTES

1. EXISTING LIGHT FIXTURE AND LIGHTING CIRCUIT, DEVICES, RECEPTACLES, AND OUTLETS IN FULL HOUSE TO REMAIN.
2. EXISTING RECEPTACLES ARE SUPPLIED BY EXISTING 120/208V- PANEL 150 AMP. THAT IS LOCATED IN BASEMENT. ALL EXISTING RECEPTACLE BRANCH CIRCUIT BREAKERS OF THE PANELBOARD ARE RATED 20A, CONDUIT, WIRING TO PANEL SHALL BE RETAINED.
3. EXISTING RECEPTACLE SHALL BE RELOCATED TO A NEW LOCATION ALONG THE EXISTING WALL TO SUIT OWNER REQUIREMENTS. NEW LOCATION AND MOUNTING HEIGHT SHALL BE FIELD COORDINATED. EXISTING RECEPTACLE OUTLET BOX SHALL BE RE-PURPOSED TO SERVE AS A SPLICE POINT TO ESTABLISH CONNECTIVITY, AND THE EXISTING OUTLET BOX SHALL BE FITTED WITH A FACEPLATE COVER.
4. A1 & A2 LINE SHALL BE NEW LINES.

## GENERAL PLUMBING NOTE

PLUMBING INSTALLATION SHALL COMPLY WITH ALL CODES AND UTILITY COMPANY REGULATIONS.

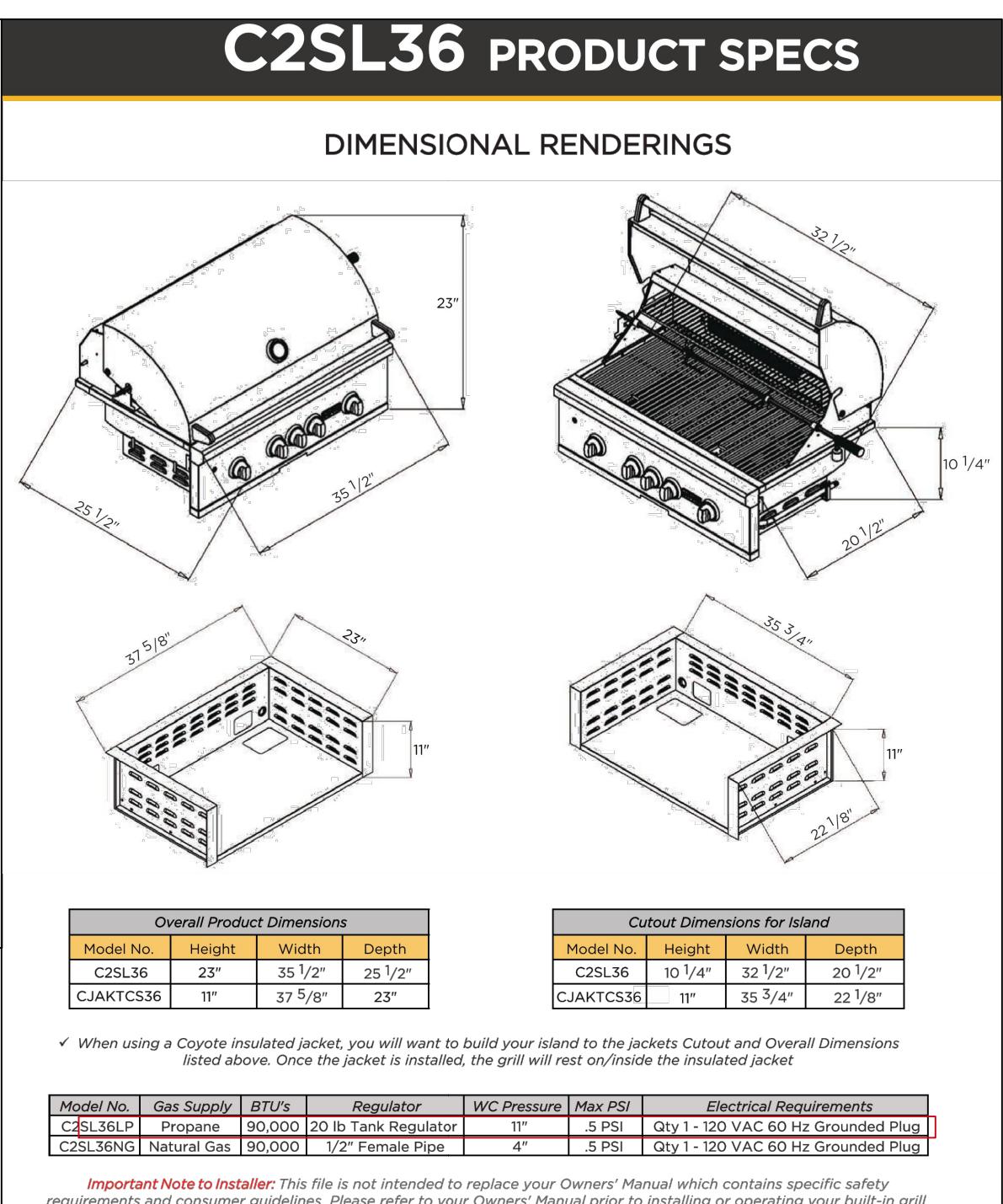
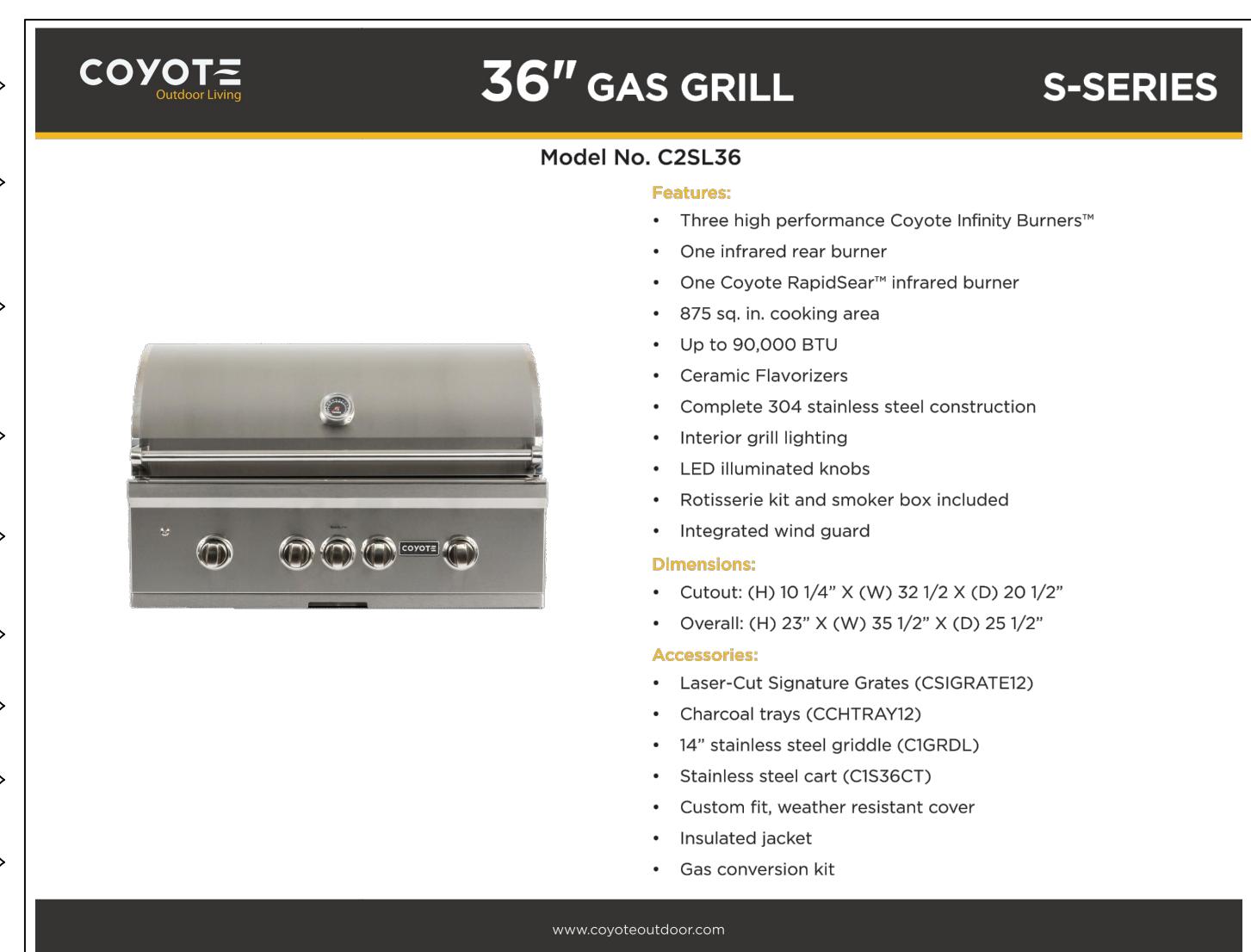
PLUMBING CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND PAY ALL FEES  
RELATIVE TO THE INSTALLATION OF HIS WORK .

CONTRACTOR PRE - BID SITE VISITS SHALL VERIFY ALL EXISTING CONDITIONS AND HE SHALL BE RESPONSIBLE FOR THE INCLUSION OF ALL REQUIRED DEMOLITION IN AREAS UNDERGOING MODIFICATION WHETHER OR NOT SUCH WORK IS INDICATED ON THE PLANS.

THE PLUMBING CONTRACTOR SHALL VERIFY POINT OF CONNECTIONS TO AND ELEVATIONS OF EXISTING PIPING PRIOR TO INSTALLATION OF NEW PIPING.

THE PLUMBING CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF ALL OTHER CONTRACTOR BEFORE INSTALLATION OF HIS WORK IN CHASES, CEILING SPACE AND OTHER AREAS WHERE CONFLICTS MY OCCUR.

ALL EXISTING LINES AND CONDITIONS SHOW ON THE DRAWINGS HAVE BEEN SHOW IN GOOD FAITH, HOWEVER, THERE IS NO IMPLIED GUARANTEE AS TO THEIR SIZE, LOCATION, ELEVATION, COMPLIANCE WITH CURRENT CODES OR CONDITIONS, THE CONTRACTOR SHALL INVESTIGATE ALL EXISTING CONDITIONS AND SHALL MODIFY THE PROPOSED WORK AS REQUIRED OR DIRECTED.



GNARL, CONTRACTOR:

DRAWINGS PROVIDED BY:  
Vican  
Design & Constructions, LLC  
42902 Old Chapel CL Bowie, MD 20720  
vicondcon@gmail.com

HEET TITLE: M.E - PLAN  
OUTDOOR KITCHEN  
SERVICES

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PROJECT DESCRIPTION:  
4505 Warren St NW,  
Washington, DC 20016

DATE:

SCALE:

1/4"=1'-0"

SHEET:

ME100