

GENERAL NOTES

CONSTRUCTION SHALL CONFORM TO ALL CODES AND REGULATIONS HAVING JURISDICTION IN DISTRICT OF MONTGOMERY COUNTY.
ALL TRADES PERFORMING WORK SHALL MEET OR EXCEED CODE REQUIREMENTS WITH REGARD TO MATERIALS, CONSTRUCTION, AND INSTALLATION METHODS.

ALL TRADE (PLUMBING, ELECTRICAL AND MECHANICAL) DWGS ARE SCHEMATIC EACH APPLICABLE CONTRACTOR TO INTRODUCE NEW WORK AND TIE INTO EX. WHERE APPROPRIATE IN MOST EFFICIENT MANNER WHILE COMPLYING WITH ALL CODES.

THESE DRAWINGS HAVE BEEN DEVELOPED IN COORDINATION WITH PROJECT SPECIFICATIONS. THE DRAWINGS AND SPECIFICATIONS SHALL BE USED TO COMPLEMENT EACH OTHER.

REVIEW CONTRACT DOCUMENTS AND FIELD DIMENSIONS AND CONDITIONS. CONFIRM THAT WORK IS BUILDABLE AS SHOWN. PROMPTLY REPORT ANY ERRORS, CONFLICTS, OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION. IF THE CONTRACTOR FAILS TO NOTIFY ARCHITECT OF A KNOWN NONCONFORMITY, THEN THE CONTRACTOR IS TO PAY SUCH COSTS AND DAMAGES TO THE OWNER AS WOULD HAVE BEEN AVOIDED IF NOTIFICATION HAD BEEN PERFORMED.

COORDINATE WORK WITH THE OWNER/TENANT, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES, AND USE OF ELEVATORS. MINIMIZE DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS.

CONTRACTOR SHALL ENSURE THAT CONTRACTOR EMPLOYEES AND SUBCONTRACTORS SHALL COMPLY WITH ALL BUILDING RULES AND REGULATIONS.

OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT.

INCLUDE THESE IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
COORDINATE WITH TELECOMMUNICATIONS, DATA, AND SECURITY SYSTEM INSTALLATION.

MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES.

WORK AREAS TO BE SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH TENANT AND LANDLORD TO ENSURE SECURITY.

PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.

DURING CONSTRUCTION, EACH TRADE SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY THEIR WORK.

REVISIONS

No.	DESCRIPTION	DATE	BY
A	DESIGN PERMIT SET	06/12/2024	

OWNER INFORMATION

4505 Warren St NW,
Washington, DC 20016

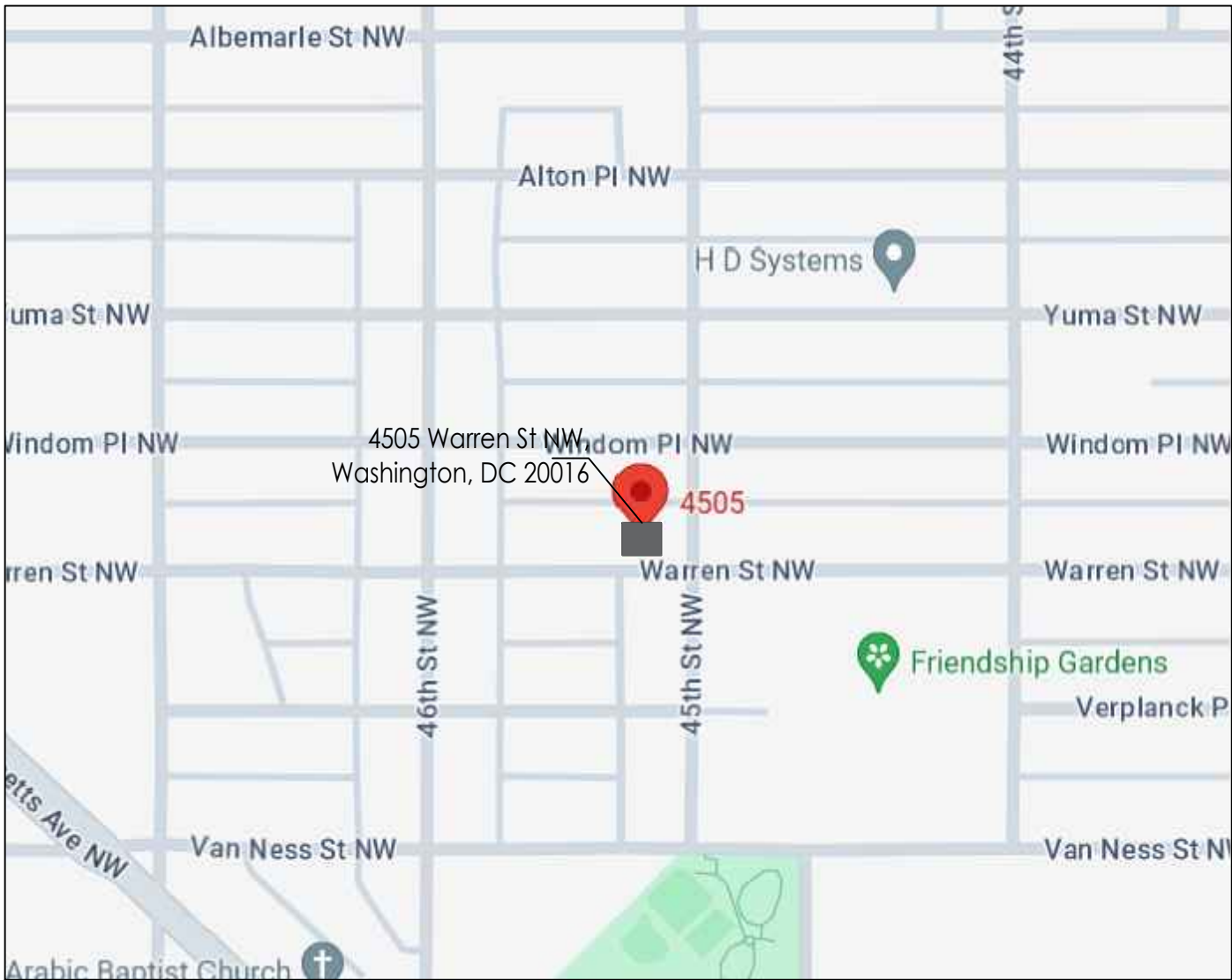
PROPERTY INFORMATION

EXISTING CONDITION

SDF 2 STORY + BASEMENT
SQUARE: 3,335 SF
JURISDICTION: MONTGOMERY COUNTY
LOT: 7,872 SF.
BUILT: 1999
PARCEL #: 0702891931

PROJECT: OUTDOOR KITCHEN ON EXISTING GARAGE
- NEW ROOF ON STOOP AREA

VICINITY MAP



APPLICABLE CODES

DISTRICT OF COLUMBIA
2017 INTERNATIONAL BUILDING CODE
2017 INTERNATIONAL RESIDENTIAL CODE
2017 INTERNATIONAL EXISTING BUILDING CODE
2017 INTERNATIONAL PLUMBING CODE
2017 INTERNATIONAL ENERGY CONSERVATION CODE
2017 DC ELECTRICAL CODE

IRC 2017 DESIGN CRITERIA

Floor Live Load 40 spf
Roof Live Load 30 spf
Dead Loads 10 spf
Ground Snow Load 30 spf
Wind Speed Exposure 115 mph
Seismic Design Category B
Weathering Severe
Frost Line Depth 30"
Termite Area Moderate to Heavy
Decay Area Slight to Moderate
Winter Design Temperature 13 F
Ice Shield Underlayment Yes, Required
Flood Hazard July 18, 1975 / September 29, 2006
Air Freezing Index 300
Mean Annual Temperature 55 F

DRAWING INDEX

G100 COVER SHEET
A100 ARCHITECTURAL OUTDOOR KITCHEN AND
SUSPENDED ROOF
ME100 M.E. - PLAN / OUTDOOR KITCHEN SERVICES

SCOPE WORK.
NEW OUTDOOR KITCHEN ON EXISTING
GARAGE, KITCHEN FACE TO THE PROPERTY.
NEW SUSPENDED ROOF ON STOOP AREA

GENERAL NOTE

1. PROVIDE TEMPORARY SUPPORT & SHORING AS REQUIRED BEFORE NEW WORK IS IN PLACE.
2. RECYCLE MATERIALS PER GOOD WASTE MANAGEMENT PRACTICES.
3. PROVIDE DUST ENCLOSURE AND LIMIT INTRUSIONS OUTSIDE OF THE WORK AREA.
4. DEMOLISH FINISH CEILINGS, WALLS, ETC. AS REQUIRED FOR UTILITY CONNECTIONS, WIRING, STRUCTURAL MEMBERS, ETC. PER CONTRACTORS NECESSITY IN AREAS OF HOME NOT TO BE RENOVATED. PATCH TO MATCH EXISTING AS REQUIRED.
5. PROTECT FINISHES TO REMAIN FROM DAMAGE. REPAIR EXPEDIENTLY TO MATCH EXISTING IF DAMAGED.
6. CONTRACTOR TO REPAIR/ REPLACE ALL DETERIORATED CMU/ BRICK UNITS AS NEEDED.
7. CONTRACTORS SHALL VERIFY ALL DIMENSION, GRADES, ANY OTHER SITE CONDITIONS WITH THE PROPOSED PLANS. SCHEDULE PRIOR TO COMMENCING WITH THE WORK.
8. IT IS THE CONTRACTORS RESPONSIBILITY TO MAKE SURE THE CORRECT SET OF PLANS, "CONSTRUCTION SET", ARE BEING USED.
9. ALL DIMENSIONS NOTED ± ARE TO BE ADJUSTED AS REQUIRED PER FIELD

- CONDITION.
10. NEW WALL DIMENSIONS GIVEN FINISH TO FINISH, UNLESS NOTED OTHERWISE.
 11. ALL WALL INFILLS (NEW) ALONG EXISTING WALLS TO MATCH EXISTING.
 12. PATCH & REPAIR ALL FINISHES, SUBSTRATES, ETC. IN ALL AREAS AFFECTED BY THE WORK & BETWEEN SPECIFIC WORK LOCATIONS.
 13. FOR STRUCTURAL CHANGE, CONTRACTOR IS TO REMOVE FLOOR AND/OR CEILING ASSEMBLIES AS REQUIRED TO MAKE AND/OR COMPLETE ALL WORK.
 14. TEMPORARILY REMOVE INFRASTRUCTURE SUCH AS LIGHTING, DUCT WORK, ETC. AS NECESSARY TO PERFORM WORK.

STRUCTURAL NOTES

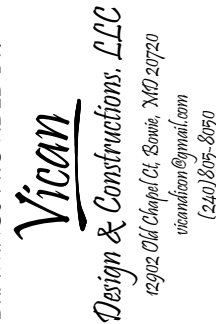
- A. ALL JOISTS, BEAMS AND POSTS SHALL BE SPRUCE-PINE-FIR NO.1/NO.2 PER "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, NFPA. ALL STUDS SHALL BE SPRUCE-PINE-FIR STUD-GRADE. ALL WOOD MEMBERS SHALL BE MANUFACTURED TO COMPLY WITH PS20 OF "AMERICAN SOFTWOOD LUMBER STANDARDS" AND SHALL HAVE 19% MAXIMUM MOISTURE CONTENT.

- B. MINIMUM MEMBER PROPERTIES SHALL BE AS FOLLOWS:
1. WOOD LINTELS, JOISTS AND BEAMS
 - a. FLEXURE: Fb = 875 PSI
 - b. SHEAR: Fv = 135 PSI
 - c. MODULUS OF ELASTICITY = 1,400,000
 2. WALL STUDS: STUD GRADE
 - a. FLEXURE: Fb = 675 PSI
 - b. COMPRESSION PARALLEL: Fc = 725 PSI
 - c. MODULUS OF ELASTICITY = 1,200,000
- C. ALL FRAMING EXPOSED TO WEATHER OR DESIGNATED "P.T." IS TO BE PRESSURE TREATED SOUTHER PINE NO.2 PER NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION NFPA. ALL WOOD MEMBERS SHALL BE MANUFACTURED TO COMPLY WITH PS20 OF "AMERICAN SOFTWOOD LUMBER STANDARDS". MINIMUM MEMBERS SHALL BE MANUFACTURED IN ACCORDANCE WITH TABLE 4B IN THE 'NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.
- D. PROVIDE SIMPSON STRONG-TIE (OR APPROVED EQUAL) POST CAPS AT ALL BEAM-ON-POST BEARING LOCATIONS, U.N.O.
- E. PARALLEL STRAND LUMBER (P.S.L.) SHALL BE INSTALLED AND FASTENED PER THE MANUFACTURER'S RECOMMENDATIONS. MINIMUM MEMBER PROPERTIES SHALL BE AS FOLLOWS FOR P.S.L. POSTS:
- a. FLEXURE: Fb = 2,400 PSI
 - b. COMPRESSION: Fe = 2,500 PSI
 - c. MODULUS OF ELASTICITY = 1,800,000

GNARL CONTRACTOR:



DRAWINGS PROVIDED BY:



NO.	DESCRIPTION	BY	DATE
A	DESIGN PERMIT SET		06/12/2024

SHEET TITLE:

COVER SHEET

PROJECT DESCRIPTION:

4505 Warren St NW,
Washington, DC 20016

DATE:

06/12/2024

SCALE:

N/S

SHEET

G100

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A100	ARCHITECTURAL OUTDOOR KITCHEN AND SUSPENDED ROOF
ME100	M.E. - PLAN / OUTDOOR KITCHEN SERVICES

SCOPE WORK.

- CONVERT GARAGE TO STORAGE
- NEW OUTDOOR KITCHEN ON EXISTING GARAGE, KITCHEN FACE TO THE PROPERTY.
- NEW SUSPENDED ROOF ON STOOP AREA

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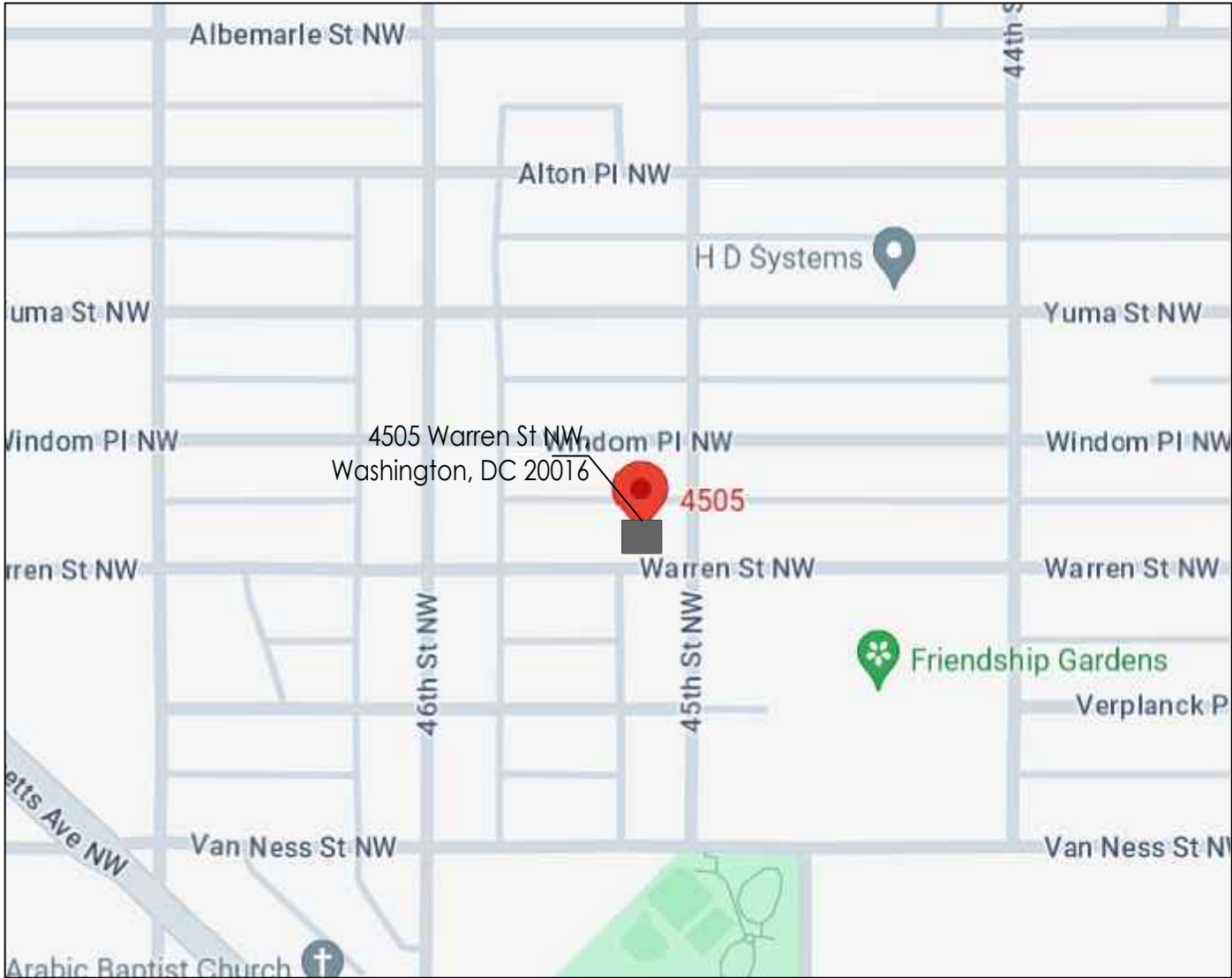
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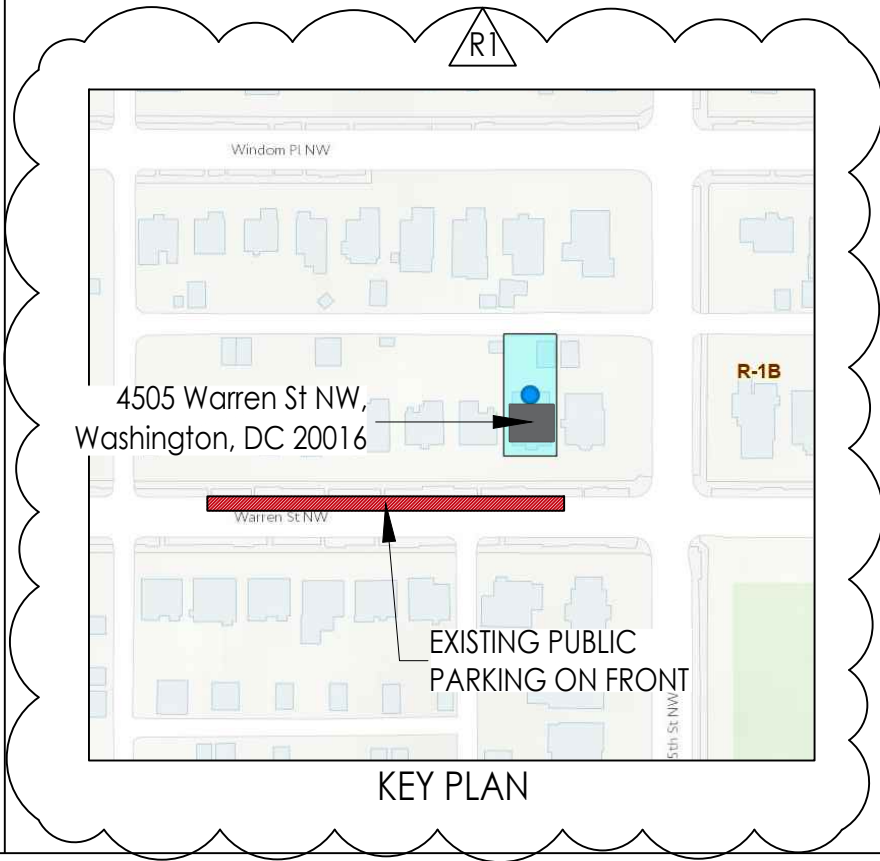


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Seismic Design	Category B
Weathering	Severe
Frost Line Depth	30"
Termite Area	Moderate to Heavy
Decay Area	Slight to Moderate
Winter Design Temperature	13 F
Ice Shield Underlayment	Yes, Required
Flood Hazard	July 18, 1975 / September 29, 2006
Air Freezing Index	300
Mean Annual Temperature	55 F



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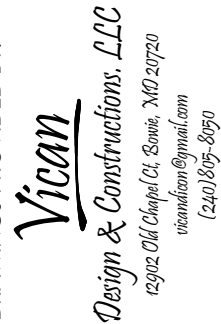
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GNARL CONTRACTOR:



DRAWINGS PROVIDED BY:



NO.	DESCRIPTION	BY	DATE.
A	DESIGN PERMIT SET		06/12/2024
1	REVIEW		07/15/2024

SHEET TITLE:

COVER SHEET

PROJECT DESCRIPTION:

4505 Warren St NW,
Washington, DC 20016

DATE:

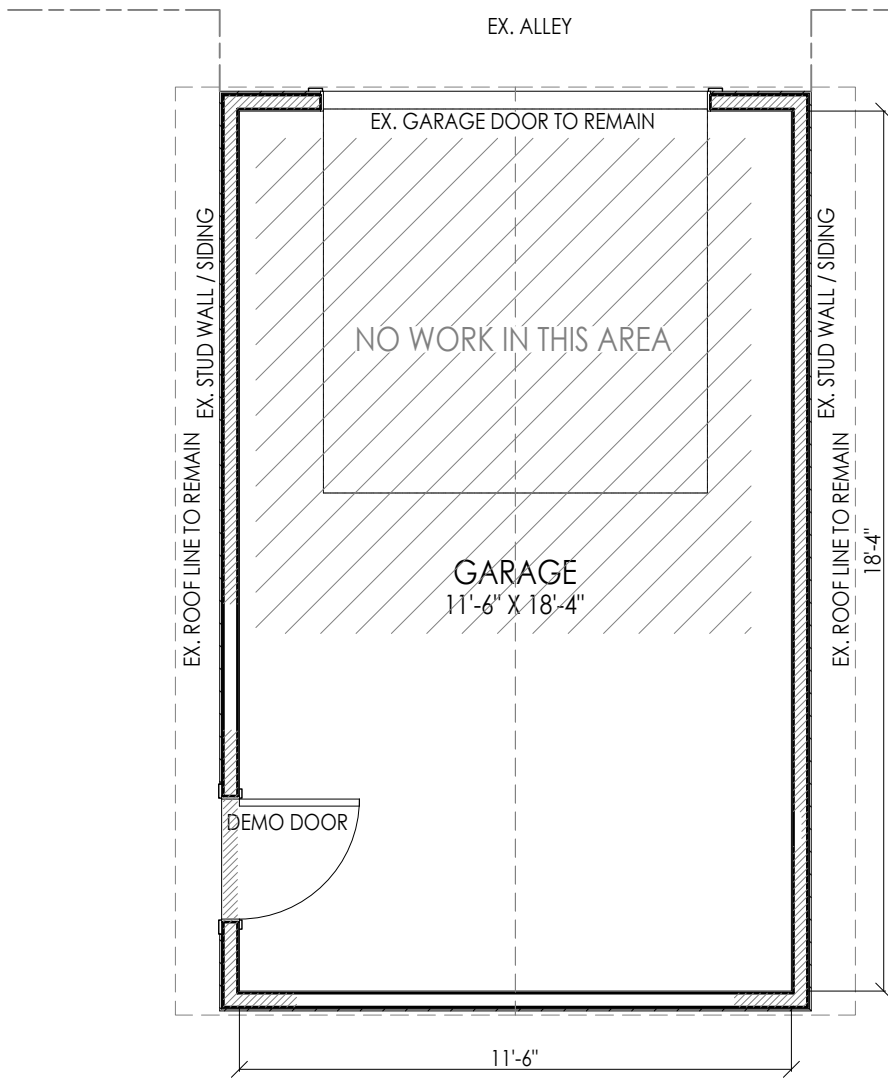
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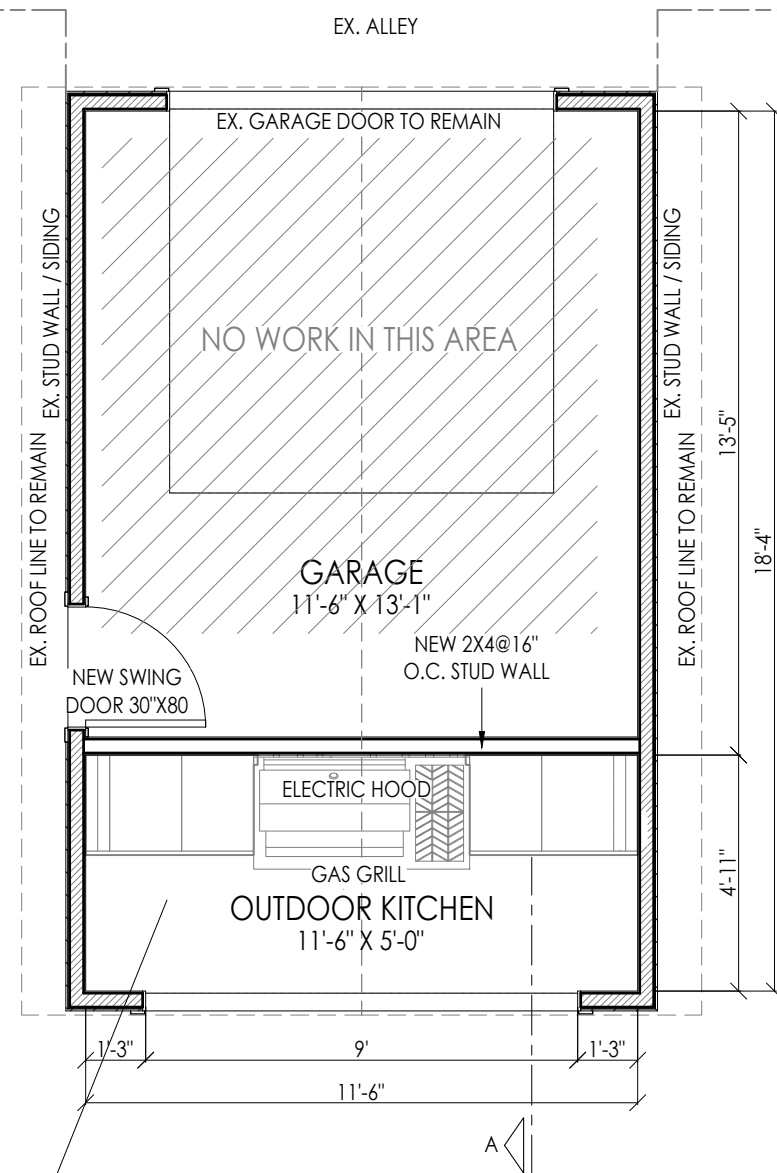
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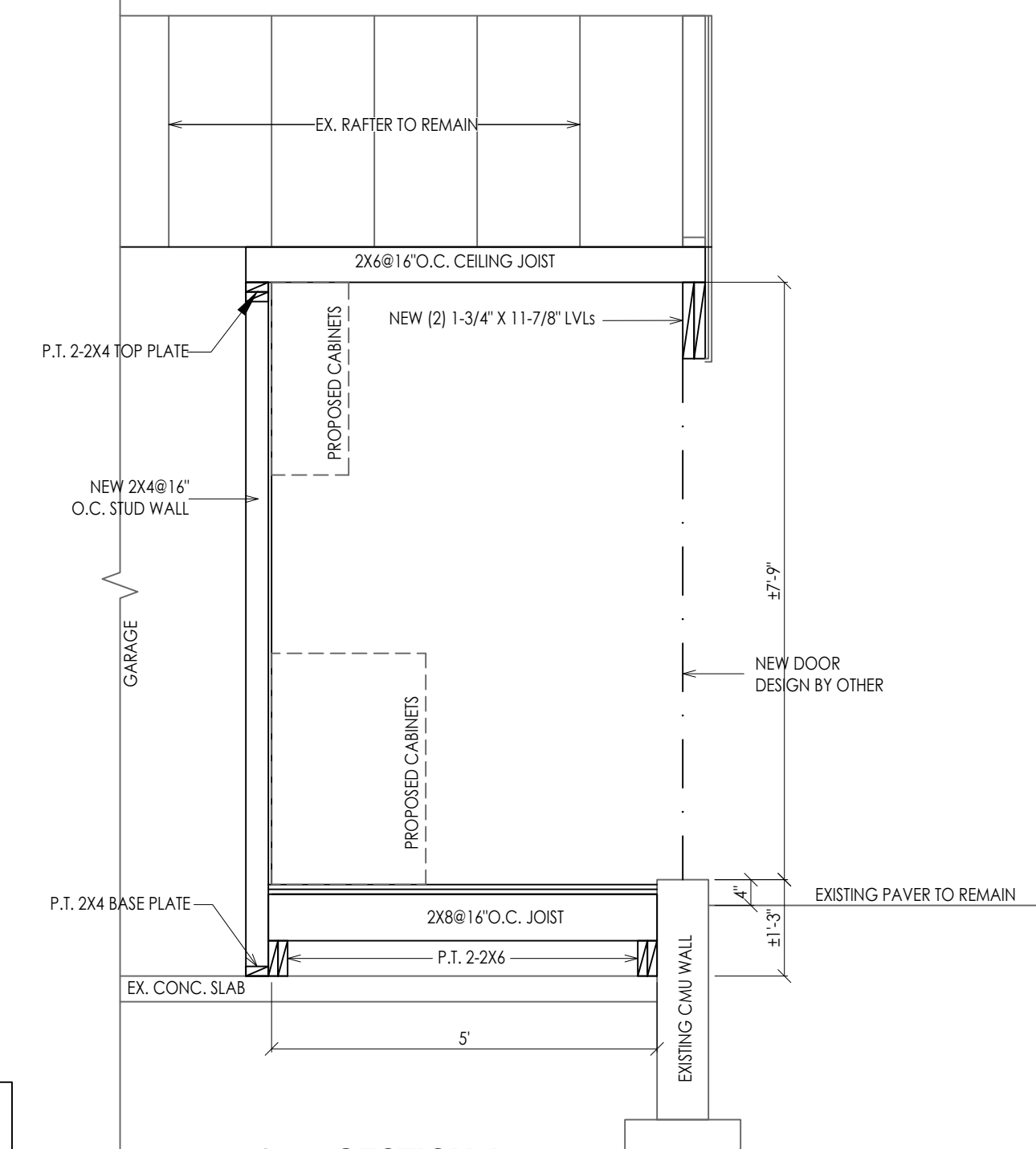
G100



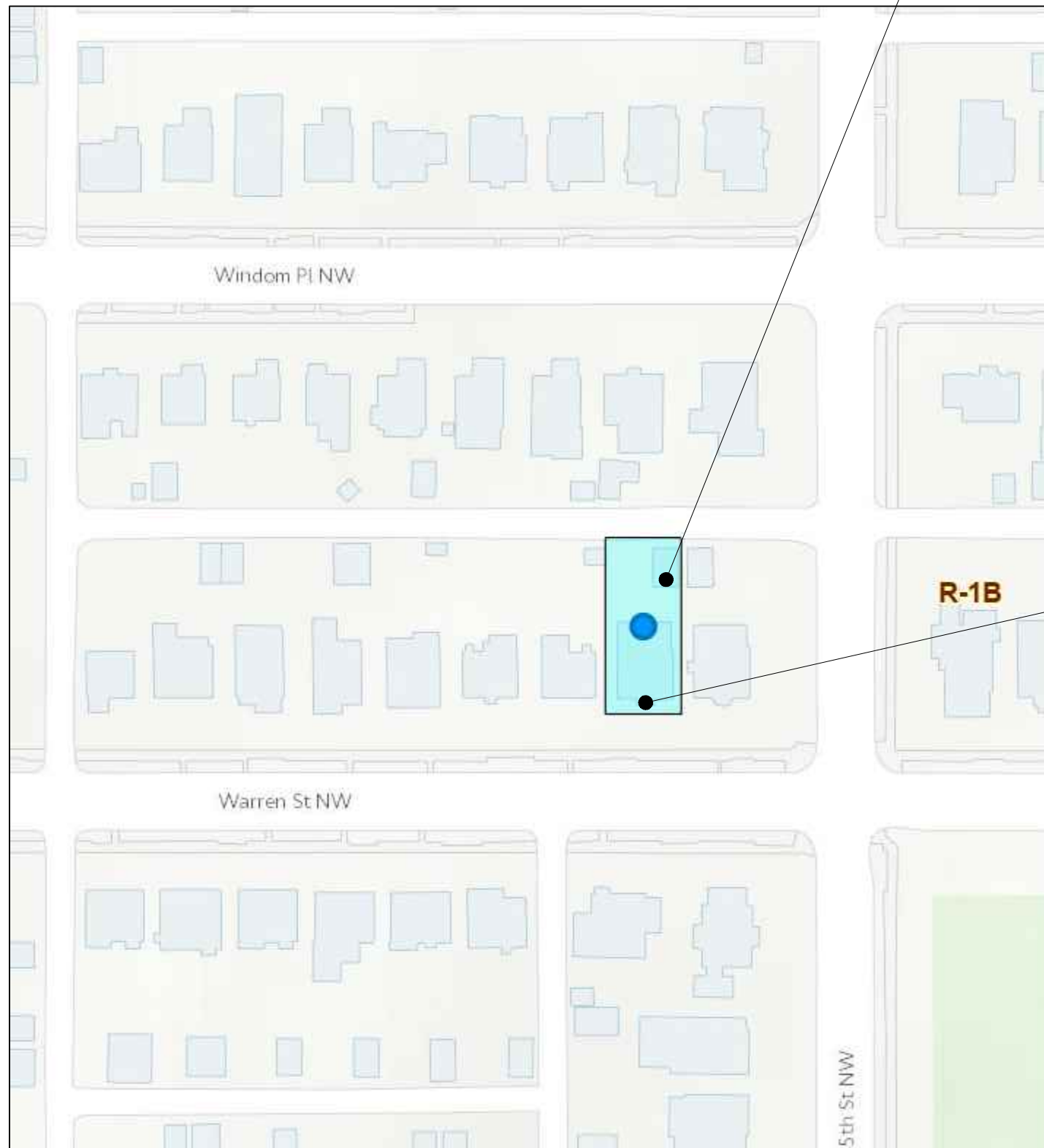
1 ARCHITECTURAL - EXISTING CONDITION
SCALE: 1/4" = 1'-0" GARAGE - MAIN FLOOR



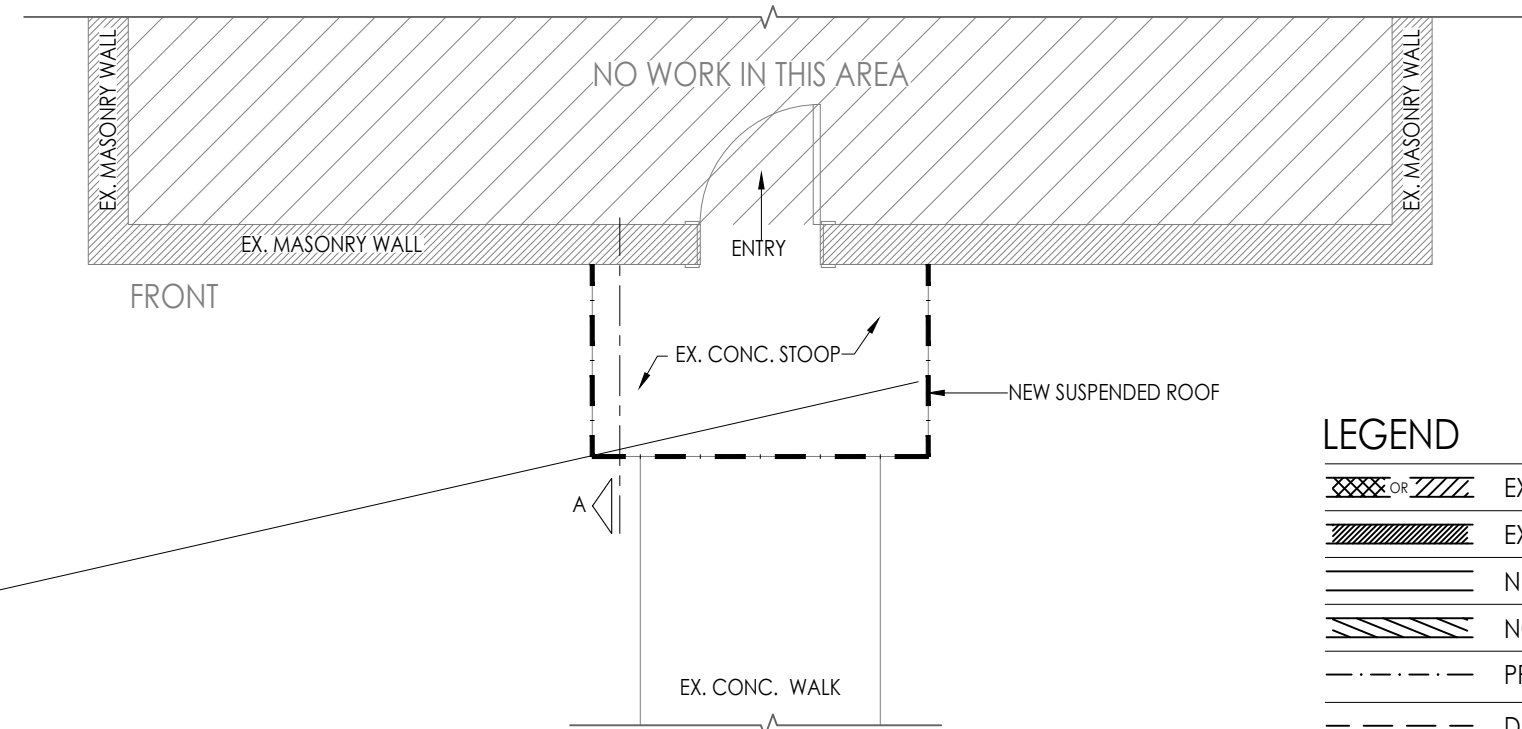
2 ARCHITECTURAL - PROPOSED
SCALE: 1/4" = 1'-0" GARAGE - MAIN FLOOR



A SECTION A
SCALE: 1/2" = 1'-0"

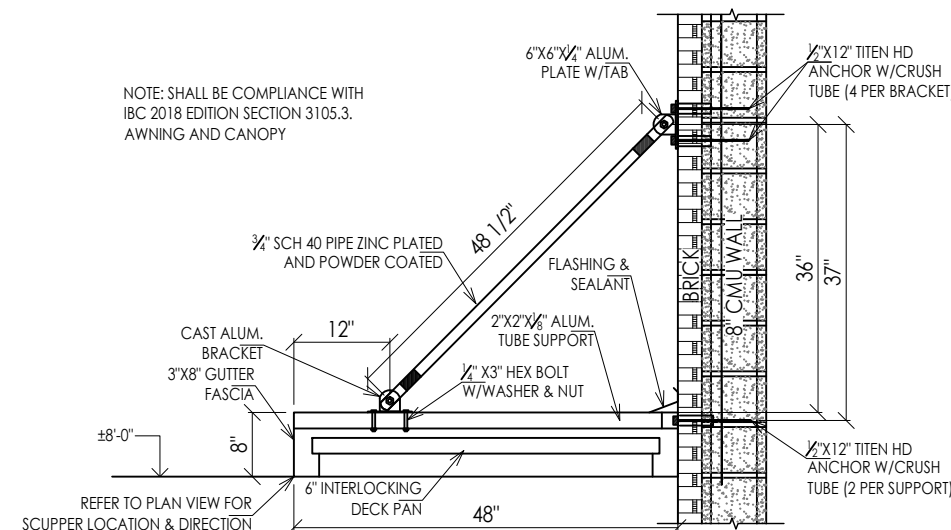


VICINITY MAP



LEGEND

- EX. MASONRY WALLS
- EX. STUD WALLS
- NEW STUD WALLS
- NO DEMO WORK IN THIS AREA
- PROJECTION FOUNDATIONS, ROOF, STAIRS
- DEMO/REMOVE/REPLACE



NOTE: SHALL BE COMPLIANCE WITH IBC 2018 EDITION SECTION 3105.3. AWNING AND CANOPY

SECTION A - HELIOS CONNECTION
Esc.: 1/2"=1'-0"

MATERIALS

- A. FRAMING: GUTTER FASCIA, TUBE, ANGLES: 6063-T5 ALLOY EXTRUDED ALUMINUM
- B. DECKING: INTERLOCKING PANELS, EXTRUDED ALUMINUM OR SHEET METAL
- C. HANGER RODS: ZINC PLATED STEEL AND POWDER COAT (PRIME AND PAINT ARE NOT ACCEPTABLE)
- D. CONNECTIONS: WALL PLATES AND CANOPY MOUNTING BRACKETS ARE TO BE ALUMINUM.
- E. HARDWARE AND FASTENERS: NUTS, BOLTS, WASHERS, CLEVIS PINS, SCREWS, ANCHORS AND PIPE SPACERS TO BE ZINC PLATED OR GALVANIZED STEEL REQUIRED TO SUIT APPLICATION AND PER PRE-ENGINEERED CANOPY LOAD REQUIREMENTS.
- F. FLASHING: SHALL BE MINIMUM 0.040-INCH ALUMINUM, FABRICATED TO PREVENT LEAKAGE AND SEALED WITH NOVAFLEX METAL ROOF SEALANT IN CLEAR OR COLOR MATCH. OTHER EQUIVALENT SEALANT IS ACCEPTABLE.
- G. FINISH: POWDER COAT FINISH PER ASTM D 3451, COMPLYING WITH FINISH MANUFACTURER'S WRITTEN INSTRUCTIONS FOR SURFACE PREPARATION INCLUDING PRETREATMENT, APPLICATION, BAKING AND MINIMUM DRY FILM THICKNESS. COLOR TO BE SELECTED FROM STANDARD COLOR LINE.
- H. DESIGN PROVIDE BY ARCHITECTURAL FABRICATION'S HELIOS CANOPIES / 817.926.7270 - 1.800.962.8027 / Email - info@arch-fab.com - Address / 2100 E Richmond Ave. Fort Worth, TX 76104.

GNARL CONTRACTOR:



DRAWINGS PROVIDED BY:

Vican
Design & Construction, LLC
12345 Old Chapel Ct, Bowie, MD 20720
vican@vicanllc.com
(202) 275-8591

NO.	DESCRIPTION	BY	DATE
A	DESIGN PERMIT SET		06/12/2024

SHEET TITLE:
ARCHITECTURAL
OUTDOOR KITCHEN AND
SUSPENDED ROOF

PROJECT DESCRIPTION:
4505 Warren St NW,
Washington, DC 20016

DATE:

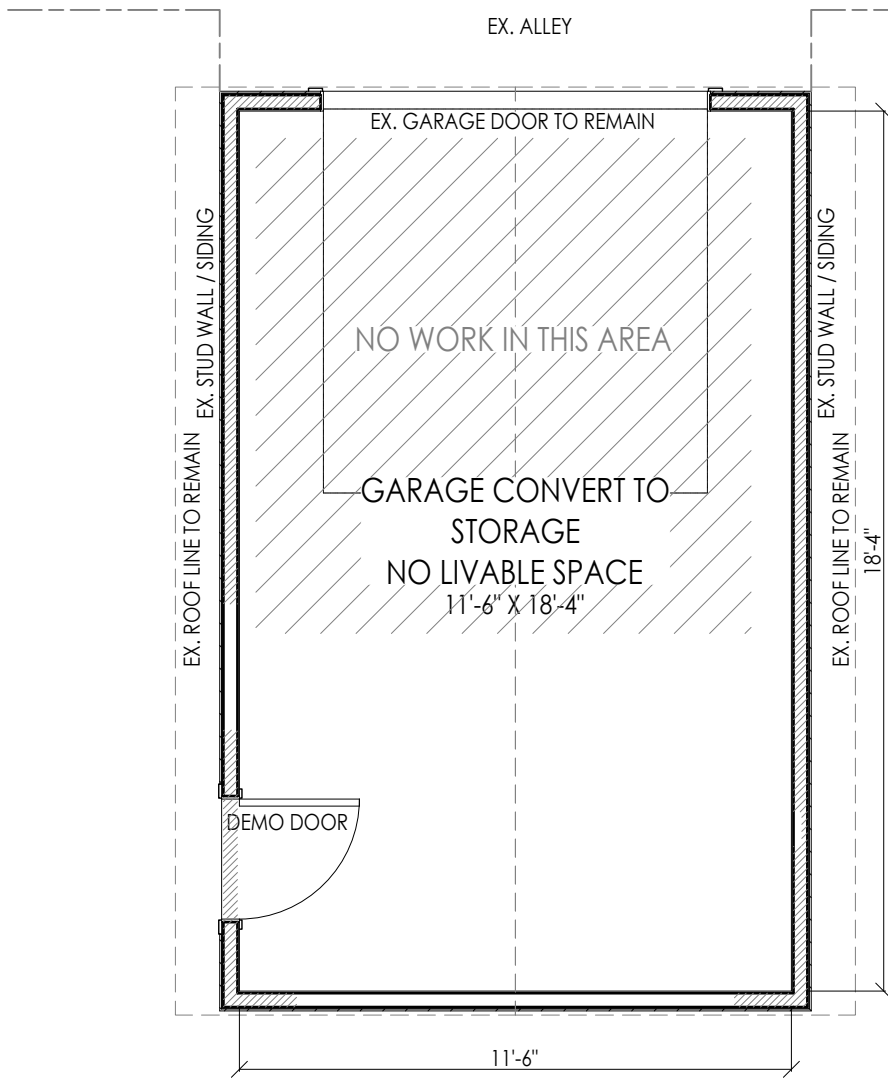
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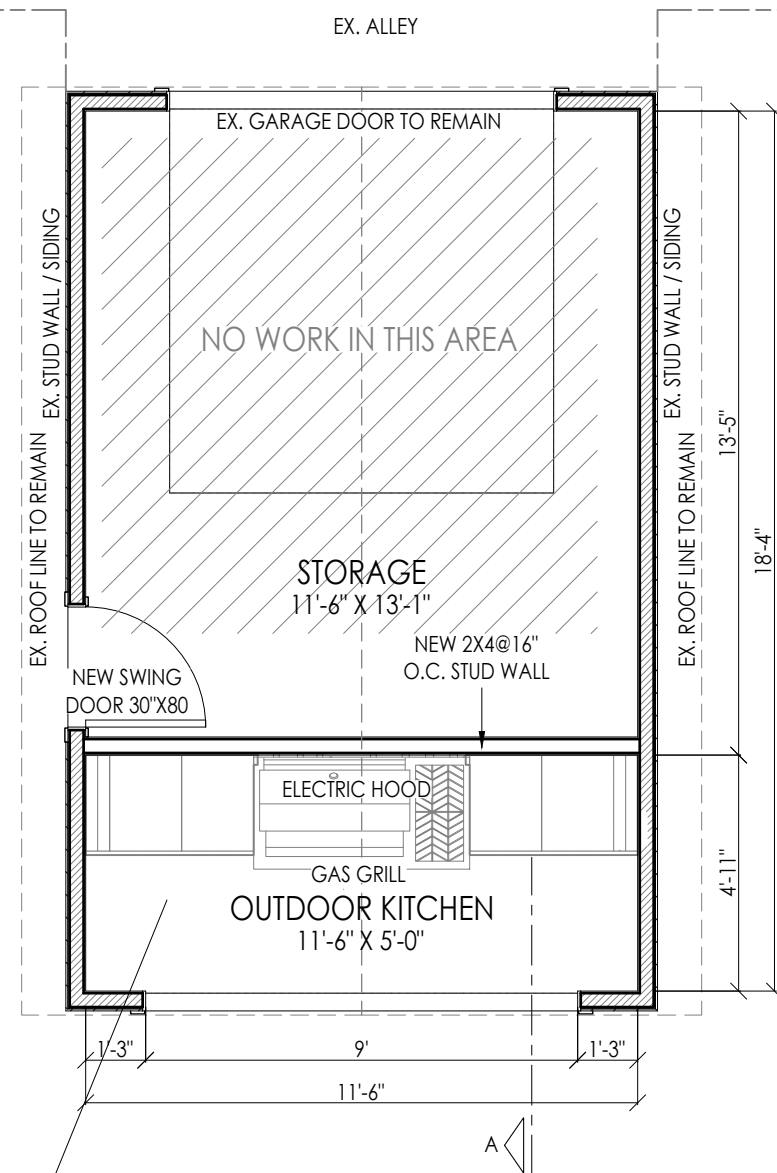
1/4"=1'-0"

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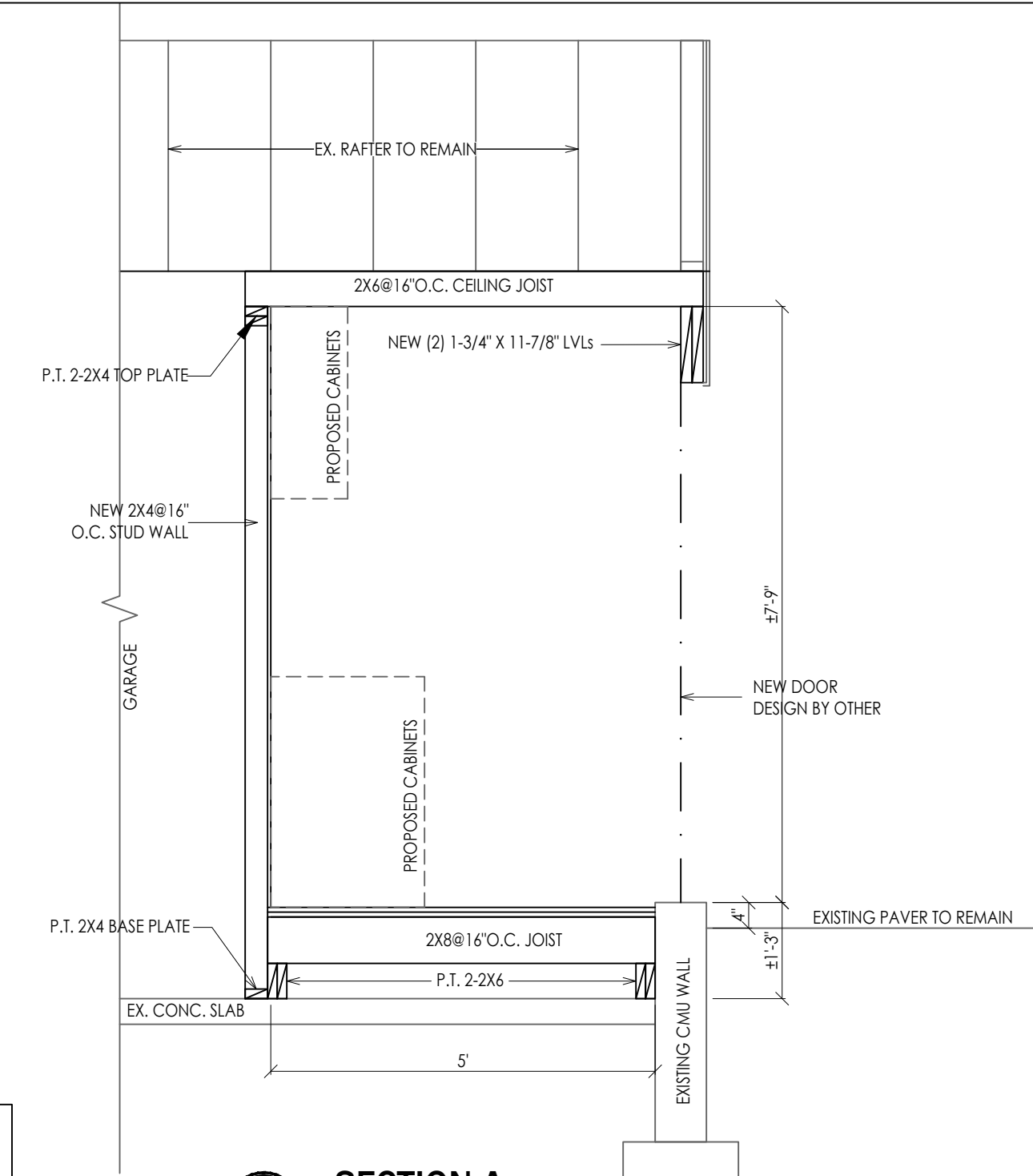
A100



1 ARCHITECTURAL - EXISTING CONDITION
SCALE: 1/4" = 1'-0" GARAGE - MAIN FLOOR



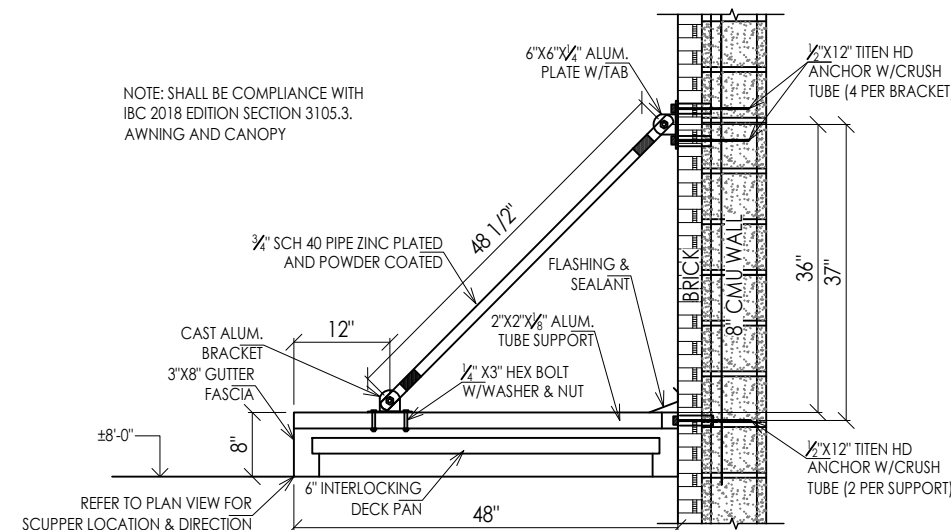
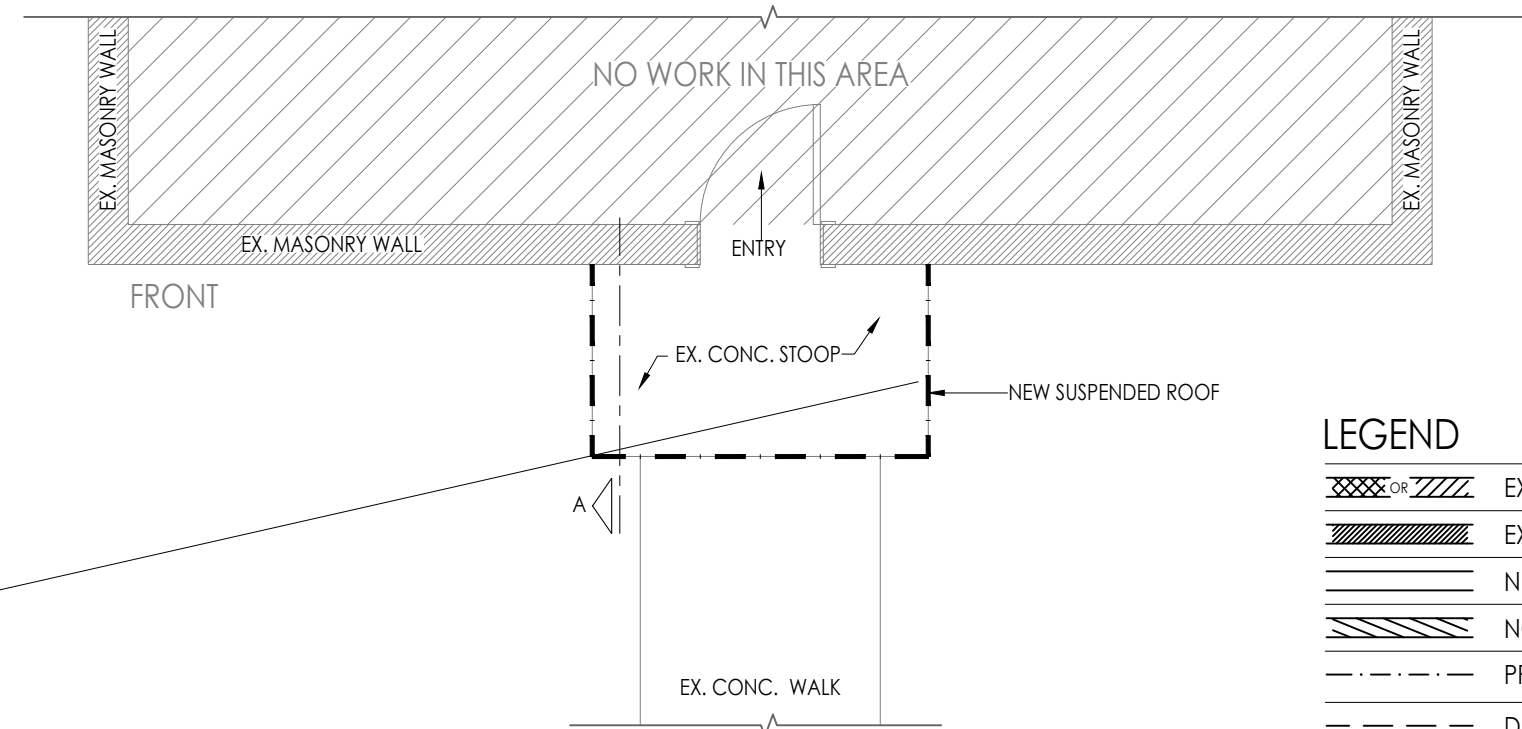
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PROJECT DESCRIPTION:
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DATE:

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SHEET:

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GENERAL ELECTRICAL NOTE

THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE AND THOROUGHLY SURVEY ALL EXISTING CONDITION.

THE ENTIRE ELECTRICAL INSTALLATION SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE LOCAL CODE AND CODE ENFORCING AUTHORITIES.

THE ELECTRICAL DRAWINGS SHALL BE CONSIDERED AS BEING DIAGRAMMATIC AND FOR BIDDING PURPOSES ONLY THE ATTENTION OF THE CONTRACTOR IS CALLED TO THE FACT THAT WHILE THESE DRAWINGS ARE GENERALLY TO SCALE AND ARE MADE AS ACCURATELY AS THE SCALE WILL PERMIT, ALL IMPORTANT DIMENSIONS SHALL BE DETERMINED IN THE FIELD. THEY ARE NOT TO BE CONSIDERED AS ERECTION DRAWINGS. THEY DO NOT INDICATE EVERY FITTING, ELBOW, OFFSET, PULL BOX, ETC. WHICH IS REQUIRED TO COMPLETE THE JOB. CONTRACTOR SHALL PREPARE FIELD ERECTION DRAWINGS AS REQUIRED FOR THE USE OF HIS MECHANICS TO INSURE PROPER INSTALLATION.

ALL NEW RECEPTACLES TO BE TAMPER RESISTANT ALL 125 VOLT, 15 AND 20 AMP RECEPTACLES SHALL BE LISTED TAMPER RESISTANT RECEPTACLES PER NEC ARTICLE 406.11, TAMPER-RESISTANT RECEPTACLES IN DWELLING UNITS, 2014 NATIONAL ELECTRICAL CODE.

NOTES

- EXISTING LIGHT FIXTURE AND LIGHTING CIRCUIT, DEVICES, RECEPTACLES, AND OUTLETS IN FULL HOUSE TO REMAIN.
- EXISTING RECEPTACLES ARE SUPPLIED BY EXISTING 120/208V- PANEL 150 AMP. THAT IS LOCATED IN BASEMENT. ALL EXISTING RECEPTACLE BRANCH CIRCUIT BREAKERS OF THE PANELBOARD ARE RATED 20A, CONDUIT, WIRING TO PANEL SHALL BE RETAINED.
- EXISTING RECEPTACLE SHALL BE RELOCATED TO A NEW LOCATION ALONG THE EXISTING WALL TO SUIT OWNER REQUIREMENTS. NEW LOCATION AND MOUNTING HEIGHT SHALL BE FIELD COORDINATED. EXISTING RECEPTACLE OUTLET BOX SHALL BE RE-PURPOSED TO SERVE AS A SPLICE POINT TO ESTABLISH CONNECTIVITY, AND THE EXISTING OUTLET BOX SHALL BE FITTED WITH A FACEPLATE COVER.
- A1 & A2 LINE SHALL BE NEW LINES.

GENERAL PLUMBING NOTE

PLUMBING INSTALLATION SHALL COMPLY WHIT ALL CODES AND UTILITY COMPANY REGULATIONS.

PLUMBING CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND PAY ALL FEES RELATIVE TO THE INSTALLATION OF HIS WORK .

CONTRACTOR PRE - BID SITE VISITS SHALL VERIFY ALL EXISTING CONDITIONS AND HE SHALL BE RESPONSIBLE FOR THE INCLUSION OF ALL REQUIRED DEMOLITION IN AREAS UNDERGOING MODIFICATION WHETHER OR NOT SUCH WORK IS INDICATE ON THE PLANS.

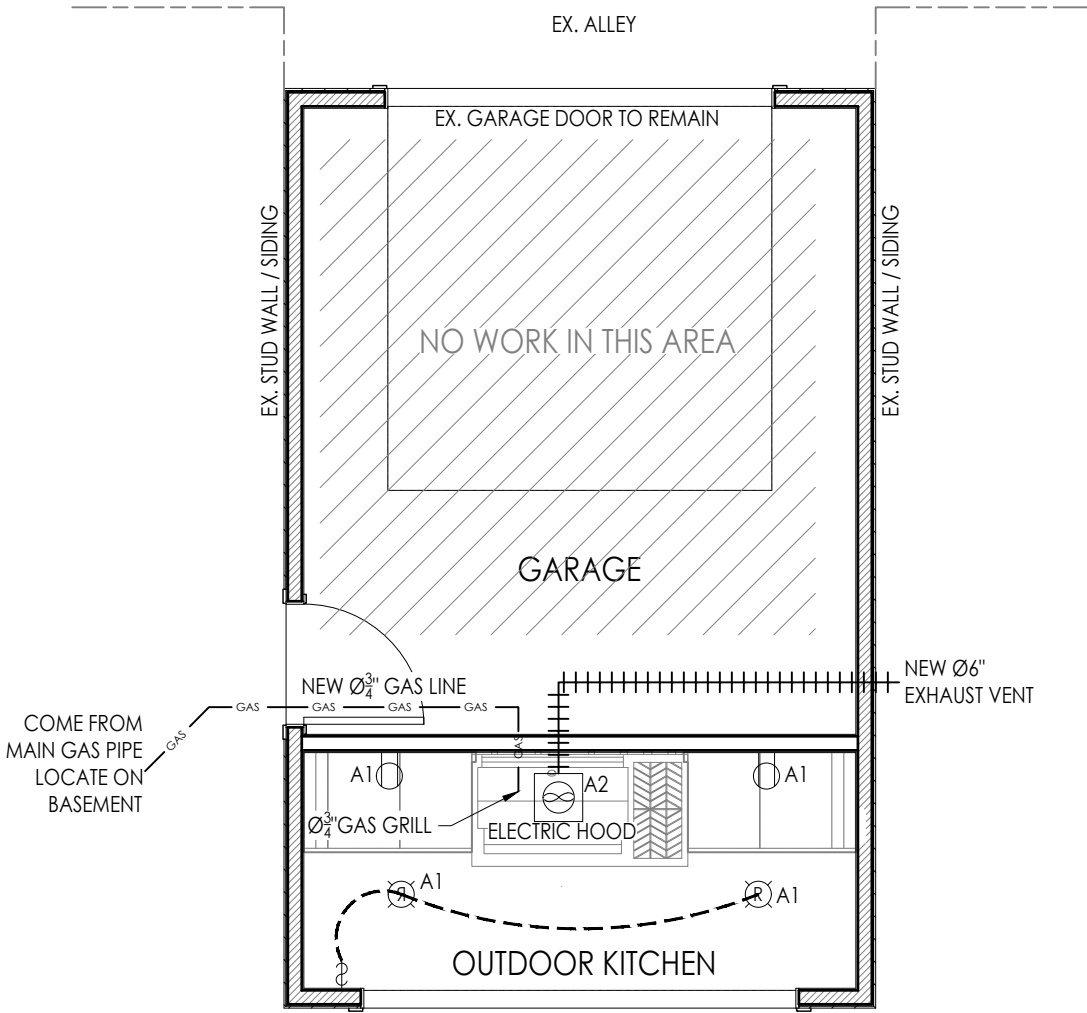
THE PLUMBING CONTRACTOR SHALL VERIFY POINT OF CONNECTIONS TO AND ELEVATIONS OF EXISTING PIPING PRIOR TO INSTALLATION OF NEW PIPING.

THE PLUMBING CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF ALL OTHER CONTRACTOR BEFORE INSTALLATION OF HIS WORK IN CHASES, CEILING SPACE AND OTHER AREAS WHERE CONFLICTS MY OCCUR.

ALL EXISTING LINES AND CONDITIONS SHOW ON THE DRAWINGS HAVE BEEN SHOW IN GOOD FAITH, HOWEVER, THERE IS NO IMPLIED GUARANTEE AS TO THEIR SIZE, LOCATION, ELEVATION, COMPLIANCE WITH CURRENT CODES OR CONDITIONS, THE CONTRACTOR SHALL INVESTIGATE ALL EXISTING CONDITIONS AND SHALL MODIFY THE PROPOSED WORK AS REQUIRED OR DIRECTED.

LEGEND

	RECEPTACLE
	GROUND FAULT CIRCUIT INTERRUPTER
	SINGLE-POLE SWITCH
	RECESSED LIGHTING 13W
	SMOKE DETECTOR HARDWIRED WITH BATTERY BACKUP
	EXISTING SANITARY PIPE
	NEW SANITARY PIPE
	EXISTING COLD WATER



3 ELECTRIC AND GAS LINE - PROPOSED
SCALE: 1/4" = 1'-0" GARAGE - MAIN FLOOR

	NEW COLD WATER
	EXISTING HOT WATER
	NEW HOT WATER
	GAS LINE
	NO WORK IN THIS AREA
	POINT OF CONNECTION BETWEEN NEW AND EXISTING

GNARL CONTRACTOR:



DRAWINGS PROVIDED BY:



NO.	DESCRIPTION	BY	DATE
A	DESIGN PERMIT SET		06/12/2024

SHEET TITLE:
M.E - PLAN
OUTDOOR KITCHEN
SERVICES

PROJECT DESCRIPTION:
4505 Warren St NW,
Washington, DC 20016

DATE:

06/12/2024

SCALE:

1/4"=1'-0"

SHEET:

ME100

GENERAL ELECTRICAL NOTE

THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE AND THOROUGHLY SURVEY ALL EXISTING CONDITION.

THE ENTIRE ELECTRICAL INSTALLATION SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE LOCAL CODE AND CODE ENFORCING AUTHORITIES.

THE ELECTRICAL DRAWINGS SHALL BE CONSIDERED AS BEING DIAGRAMMATIC AND FOR BIDDING PURPOSES ONLY THE ATTENTION OF THE CONTRACTOR IS CALLED TO THE FACT THAT WHILE THESE DRAWINGS ARE GENERALLY TO SCALE AND ARE MADE AS ACCURATELY AS THE SCALE WILL PERMIT, ALL IMPORTANT DIMENSIONS SHALL BE DETERMINED IN THE FIELD. THEY ARE NOT TO BE CONSIDERED AS ERECTION DRAWINGS. THEY DO NOT INDICATE EVERY FITTING, ELBOW, OFFSET, PULL BOX, ETC. WHICH IS REQUIRED TO COMPLETE THE JOB. CONTRACTOR SHALL PREPARE FIELD ERECTION DRAWINGS AS REQUIRED FOR THE USE OF HIS MECHANICS TO INSURE PROPER INSTALLATION.

ALL NEW RECEPTACLES TO BE TAMPER RESISTANT ALL 125 VOLT, 15 AND 20 AMP RECEPTACLES SHALL BE LISTED TAMPER RESISTANT RECEPTACLES PER NEC ARTICLE 406.11, TAMPER-RESISTANT RECEPTACLES IN DWELLING UNITS, 2014 NATIONAL ELECTRICAL CODE.

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- A1 & A2 LINE SHALL BE NEW LINES.

GENERAL PLUMBING NOTE

PLUMBING INSTALLATION SHALL COMPLY WHIT ALL CODES AND UTILITY COMPANY REGULATIONS.

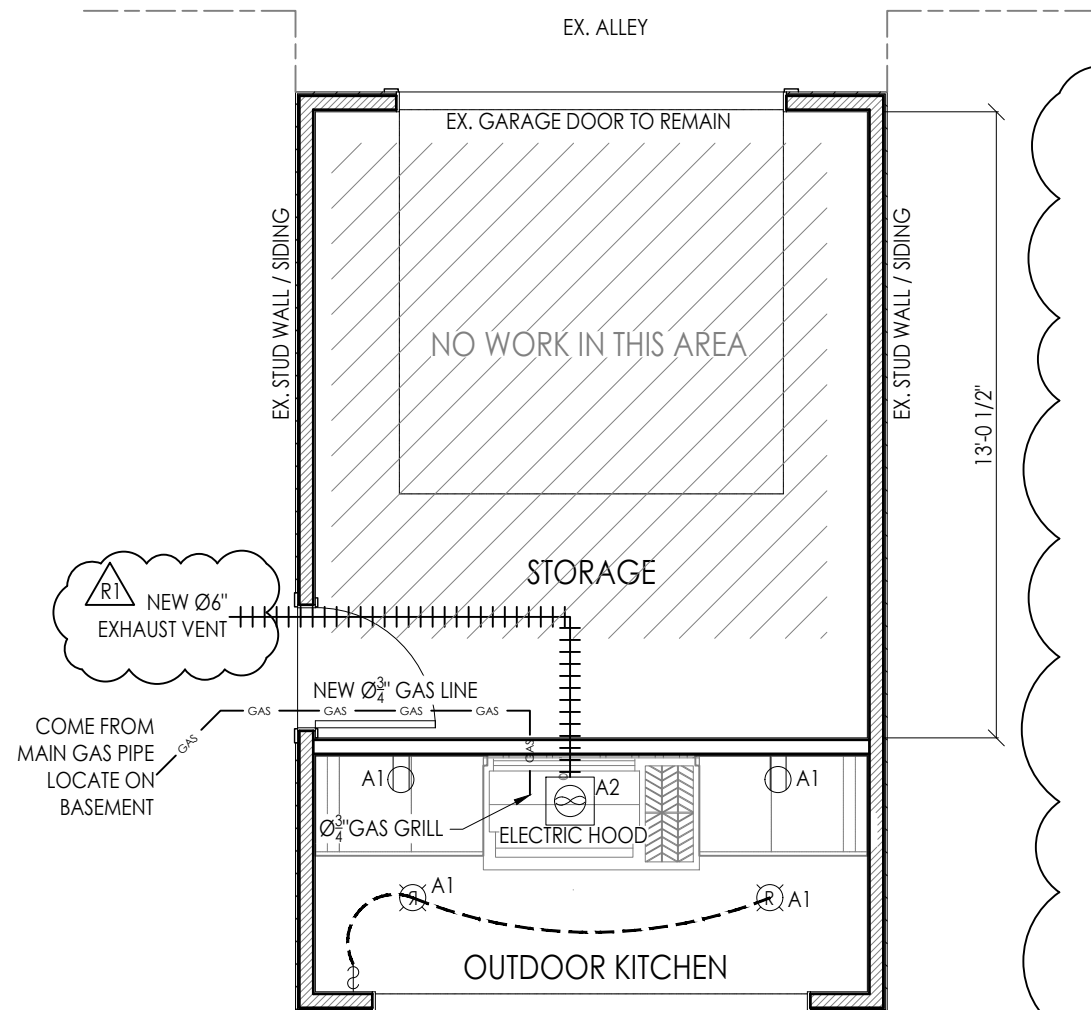
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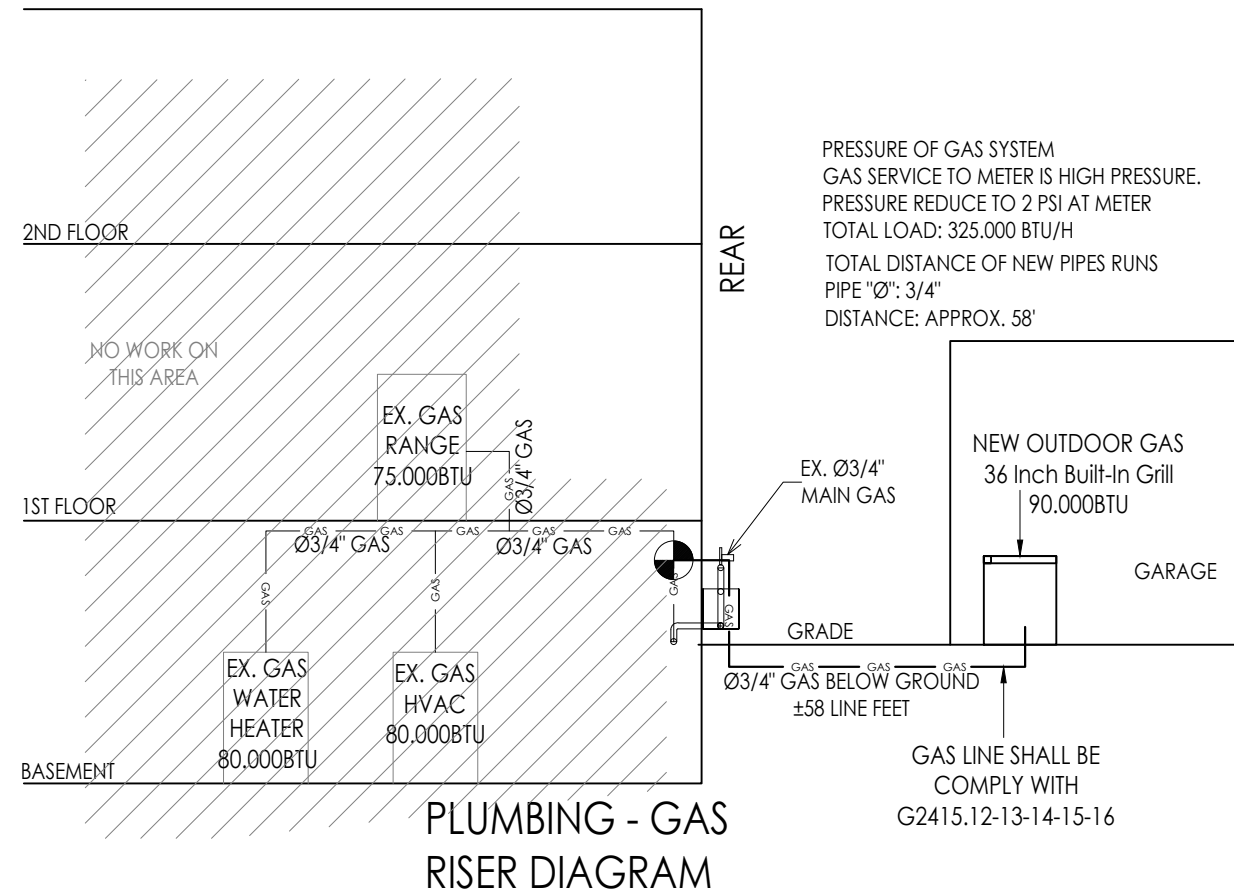
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3 ELECTRIC AND GAS LINE - PROPOSED GARAGE - MAIN FLOOR

SCALE: 1/4" = 1'-0"



COYOTE
Outdoor Living

36" GAS GRILL

S-SERIES

Model No. C2SL36

Features:

- Three high performance Coyote Infinity Burners™
- One infrared rear burner
- One Coyote RapidSear™ infrared burner
- 875 sq. in. cooking area
- Up to 90,000 BTU
- Ceramic Flavorizers
- Complete 304 stainless steel construction
- Interior grill lighting
- LED illuminated knobs
- Rotisserie kit and smoker box included
- Integrated wind guard

Dimensions:

- Cutout: (H) 10 1/4" X (W) 32 1/2 X (D) 20 1/2"
- Overall: (H) 23" X (W) 35 1/2" X (D) 25 1/2"

Accessories:

- Laser-Cut Signature Grates (CSIGRATE12)
- Charcoal trays (CCHTRAY12)
- 14" stainless steel griddle (CIGRDL)
- Stainless steel cart (CIS36CT)
- Custom fit, weather resistant cover
- Insulated jacket
- Gas conversion kit



www.coyoteoutdoor.com

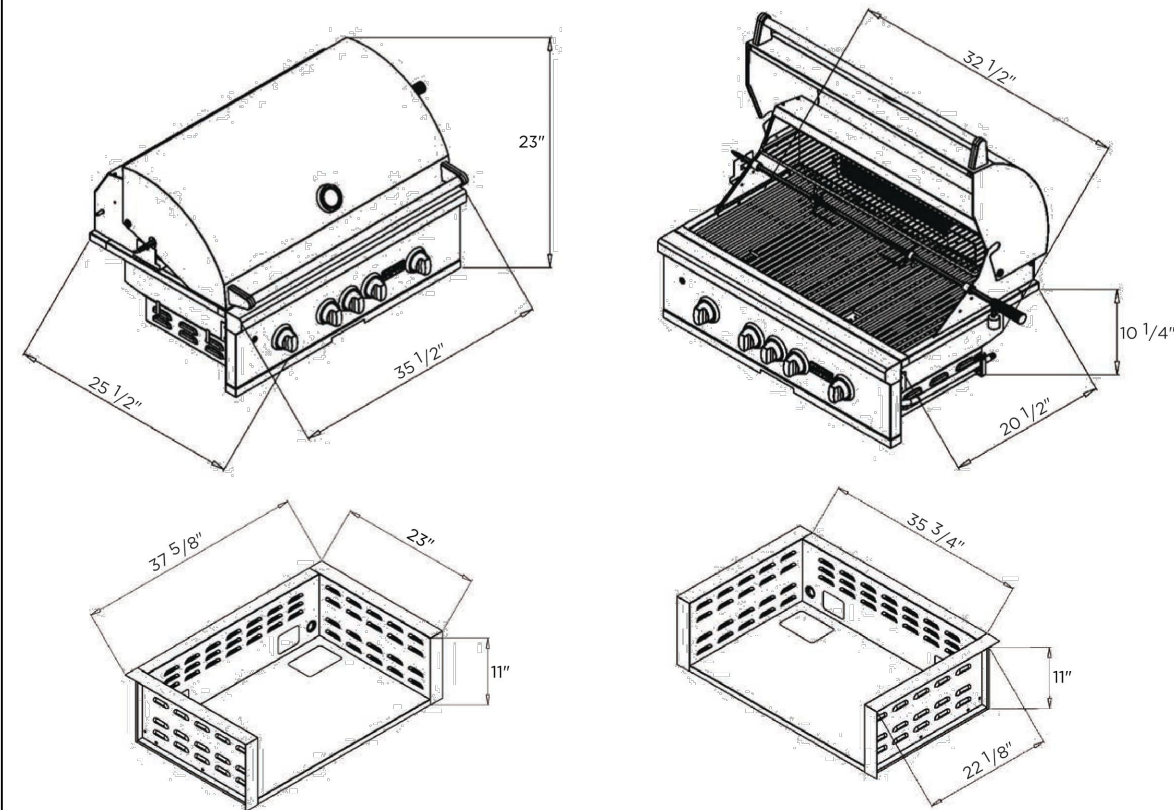
LEGEND

	RECEPTACLE
	GFCI GROUND FAULT CIRCUIT INTERRUPTER
	SINGLE-POLE SWITCH
	RECESSED LIGHTING 13W
	SMOKE DETECTOR HARDWIRED WITH BATTERY BACKUP
	EXISTING SANITARY PIPE
	NEW SANITARY PIPE
	EXISTING COLD WATER

	NEW COLD WATER
	EXISTING HOT WATER
	NEW HOT WATER
	GAS LINE
	NO WORK IN THIS AREA
	POINT OF CONNECTION BETWEEN NEW AND EXISTING

C2SL36 PRODUCT SPECS

DIMENSIONAL RENDERINGS



Overall Product Dimensions			
Model No.	Height	Width	Depth
C2SL36	23"	35 1/2"	25 1/2"
CJAKTCS36	11"	37 5/8"	23"

Cutout Dimensions for Island			
Model No.	Height	Width	Depth
C2SL36	10 1/4"	32 1/2"	20 1/2"
CJAKTCS36	11"	35 3/4"	22 1/8"

✓ When using a Coyote insulated jacket, you will want to build your island to the jackets Cutout and Overall Dimensions listed above. Once the jacket is installed, the grill will rest on/inside the insulated jacket

Model No.	Gas Supply	BTU's	Regulator	WC Pressure	Max PSI	Electrical Requirements
C2SL36LP	Propane	90,000	20 lb Tank Regulator	11"	.5 PSI	Qty 1 - 120 VAC 60 Hz Grounded Plug
C2SL36NG	Natural Gas	90,000	1/2" Female Pipe	4"	.5 PSI	Qty 1 - 120 VAC 60 Hz Grounded Plug

Important Note to Installer: This file is not intended to replace your Owners' Manual which contains specific safety requirements and consumer guidelines. Please refer to your Owners' Manual prior to installing or operating your built-in grill.

GNARL CONTRACTOR:



DRAWINGS PROVIDED BY:

Vican
Design & Constructions, LLC
10302 Old Chapel Ct, Bowie, MD 20720
vicanllc@gmail.com
(202) 895-8950

NO.	DESCRIPTION	BY	DATE
A	DESIGN PERMIT SET		06/12/2024
1	REVIEW		07/15/2024

SHEET TITLE:

M.E - PLAN
OUTDOOR KITCHEN
SERVICES

PROJECT DESCRIPTION:

4505 Warren St NW,
Washington, DC 20016

DATE:

07/15/2024

SCALE:

1/4"=1'-0"

SHEET:

ME100