

## 3320 Brown St NW

3320 Brown St Nw Washignton DC 20010

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06/21/24

SCHEMATIC DESIGN

JK<sup>A</sup>

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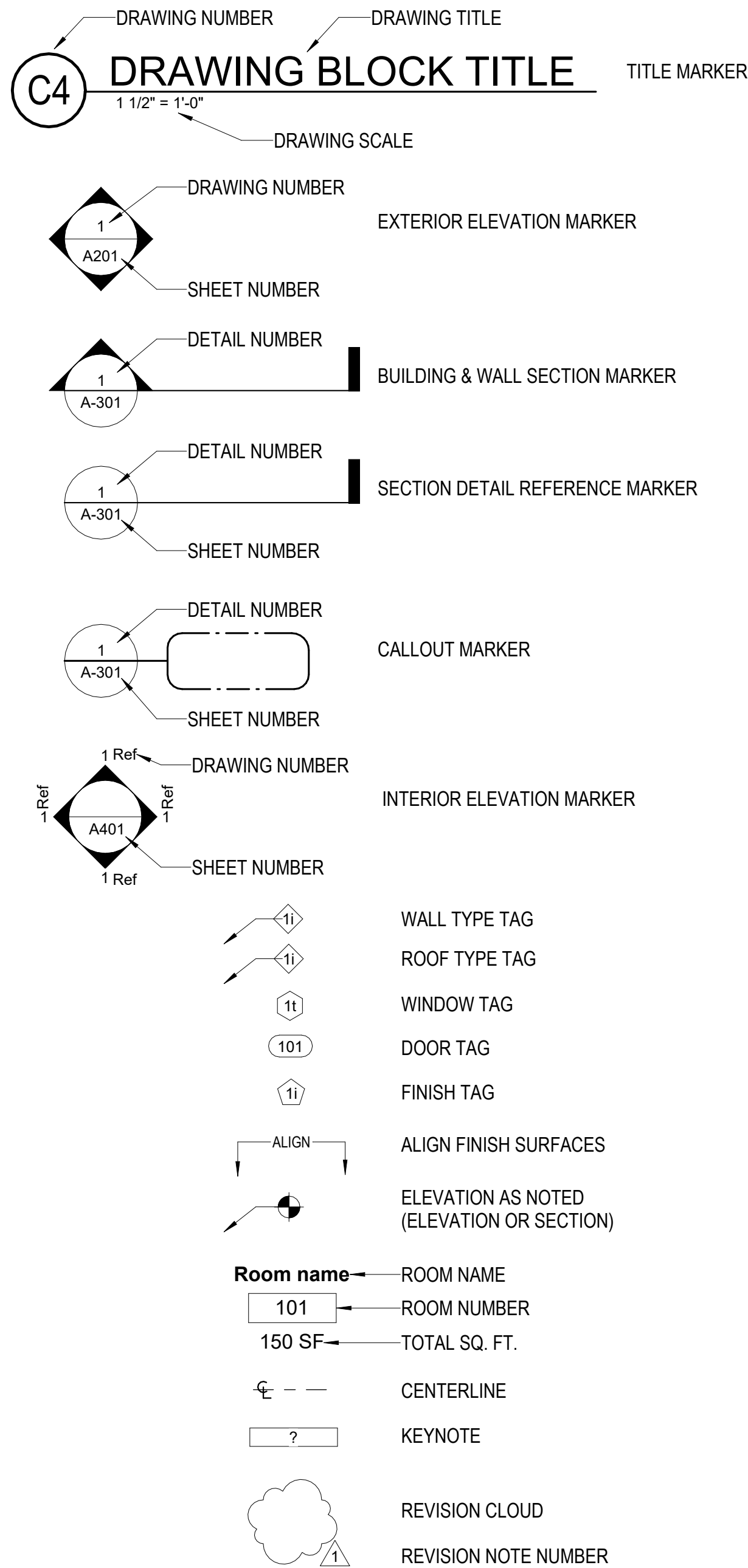
LIST OF ABBREVIATIONS

<	Angle	MFR	Manufacturer(S)
@	At	MIN	Minimum
#	Number	MISC	Miscellaneous
f	Centerline	MO	Masonry Opening
1X	Diameter	MTL	Metal
2X	One-inch nominal thickness	MTD	Mounted
ABV	Two-inch nominal thickness	MTG	Mounting
AC	Above	MW	Microwave Oven
ACOUST	Air Conditioning	N	North
ACT	Acoustical	NIC	Not in Contract
ADJ	Acoustical Ceiling Tile	NO	Number
AFF	Adjacent, Adjustable	NTS	Not to Scale
AHU	Above Finish Floor	OA	Overall
ALT	Air Handler Unit	OD	Outside Diameter
ALUM	Alternate	OC	On Center
ANOD	Aluminum	OFCI	Owner Furnished, Contractor Installed
APPROX	Anodized	OFF	Office
BD	Approximate	OH	Opposite Hand
BTWN	Board (or Bead, if applicable)	OPNG	Opening
BLDG	Between	OPP	Opposite
BLKG	Building	PART	Partition
BLT	Blocking	PERF	Perforated
BM	Bolt	PL	Plate/Property Line
BOT	Beam	PLAM	Plastic Laminate
BRG	Bottom	PLEX	Plexiglass
BSMT	Bearing	PLYWD	Plywood
CAB	Basement	POLY	Polyethylene
CER	Cabinet	PR	Pair
CH	Ceramic	PSF	Pound Per Square Foot
CJ	Ceiling Height	PSI	Pound Per Square Inch
CLG	Control Joint	PT	Pressure Treated
CLAD	Ceiling	PTD	Painted
CLO	Cladding	PVC	Polyvinyl Chloride
CLR	Closet	QT	Quarry Tile
CMU	Clear	QTY	Quantity
COL	Concrete Masonry Unit	R	Riser(s)
CONC	Column	RO	Rough Opening
CONST	Concrete	R=	Radius
CONT	Construction	RCP	Reflected Ceiling Plan
CORR	Continuous	RECPT	Receptacle
CPT	Corrugated	REF	Refrigerator
CS	Carpel	REG	Register
CSK	Cast Stone	REINF	Reinforcing
CSMT	Countersink	REQD	Required
CT	Casement	RESIL	Resilient
CTR	Ceramic Tile	REV	Revision
CTRD	Center/Counter	RL	Rain Leader
CW	Centered	RM	Room
DBL	Cold Water	RTU	Roof Top Unit
DEMO	Double	S	South
DET	Demolish, Demolition	S4S	Surface Four Sides
DF	Detail	SC	Solid Core
DH	Drinking Fountain	SCHED	Schedule(d)
DIA	Double Hung	SECT	Section
DIM	Diameter	SHT	Sheet
DN	Dimension	SIM	Similar
DR	Down	SF	Square Feet
DS	Door	SPEC	Specification
DW	Downspout	SQ	Square
DWG	Dishwasher	SS	Stainless Steel
E	Drawing	STD	Standard
EA	East	STL	Steel
EJ	Expansion Joint	STOR	Storage
EL	Elevation	STRUCT	Structure
ELEC	Electric(al)	SURF	Surface
ELEV	Elevator	SUSP	Suspend
EMER	Emergency	T	Tread(s)
EQ	Equal	T&G	Tongue and Groove
EQUIP	Equipment	TBD	To Be Determined
EWC	Electric Water Cooler	TEL	Telephone
EXIST	Existing	TEMP	Temperature
EXH	Exhaust	THK	Thick
EXP	Expansion, Exposed	TOIL	Toilet
EXT	Exterior	TO	Top of (____)
FA	Fire Alarm	TYP	Typical
FBO	Furnished by Owner	UL	Underwriters Laboratories, Inc.
FD	Floor Drain	UNFIN	Unfinished
FND	Foundation	UNO	Unless Noted Otherwise
FEC	Fire Extinguisher Cabinet	U/S	Underside
FF	Finish Floor	UTIL	Utility
FGL	Fiberglass	VB	Vapor Barrier
FIN	Finish	VCT	Vinyl Composition Tile
FLASH	Flashing	VENT	Ventilate(or)
FL	Floor	VERT	Vertical
FLUOR	Fluorescent	VEST	Vestibule
FOM	Face of Masonry	VIF	Verify in Field
FOS	Face of Structure (or Face of Stud, where applicable)	VNR	Veneer
FRP	Fiberglass reinforced plastic	W	West
FRT	Fire Retardant Treated	WC	Water Closet
FRMG	Framing	WD	Wood
FTG	Feet	WF	Wide Flange
FURN	Footing	WH	Water Heater
FURR	Furniture/Furnish	WP	Waterproofing
FVC	Furring	W/	With
GA	Fire Valve Cabinet	W/O	Without
GALV	Gauge	WT	Weight
GC	Galvanized	WWM	Welded Mire Mesh
GFI	General Contractor		
GL	Ground Fault Interrupter		
GWB	Glass		
GYP	Gypsum Wall Board		
HB	Gypsum		
HC	Hose Bib		
HD	Hollow Core/Handicappd		
HDWE	Head		
HM	Hardware		
HORIZ	Hollow Metal		
HT	Horizontal		
HTR	Height		
HVAC	Heater		
HW	Heating/Ventilation/Air-Conditioning		
IG	Hot Water		
IN	Isolated Ground		
INCAN	Inch		
INCL	Incandescent		
INSUL	Include(d)		
INT	Insulation		
JAN	Interior		
JT	Janitor		
KIT	Joint		
LAV	Kitchen		
LEV	Lavatory		
MAS	Level		
MAX	Masonry		
MDF	Maximum		
MDO	Medium Density Fiberboard		
MECH	Medium Density Overlay		
MEZZ	Mechanical		
	Mezzanine		

GENERAL NOTES

- OMISSIONS OR CONFLICTS IN THE DRAWINGS AND ANY RESTRICTIONS RELATED TO THE EXECUTION OF THE WORK. IN THE CASE OF CONFLICTS BETWEEN DRAWINGS, OR NOTES AND DRAWINGS, IT SHALL BE ASSUMED THE STRICTEST CONDITION OR REQUIREMENT HAS BEEN INCLUDED IN THE COST AND SCOPE OF THE WORK.
- ISSUE COMPLETE SETS OF THE CONTRACT DOCUMENTS TO EACH OF THE SUBCONTRACTORS FOR COORDINATION OF THEIR WORK WITH OTHER TRADES AND DESCRIPTION OF SCOPE.
- APPLY FOR, OBTAIN AND PAY FOR ALL PERMITS, FEES, INSPECTIONS AND APPROVALS BY LOCAL AUTHORITIES HAVING JURISDICTIONS OVER THE PROJECT. PROVIDE COPIES OF ALL CODES IN FORCE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PROVIDING PROTECTION FOR ALL NEW AND EXISTING WORK IN PLACE WHEN SUBJECT TO POTENTIAL DAMAGE BY WORK OF OTHER TRADES. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL ABOVE CEILING WORK AND SHALL DURING LAYOUT, SUBMIT COORDINATION SHOP DRAWINGS OF ALL CEILING HEIGHT, FIXTURES, CONDUIT, PIPING, SPRINKLER LINES AND DUCT WORK IDENTIFYING ANY POTENTIAL CONFLICTS. CONTRACTOR SHALL REROUTE ITEMS AS REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR RELOCATIONS OF ITEMS, TO AVOID CONFLICTS WHILE MAINTAINING THE DESIGN INTENT.
- GC SHALL DEFINE SCOPE, SCHEDULE AND COST IMPLICATIONS WITH OWNER REGARDING ANY WORK BEING DONE BY OUTSIDE CONTRACTORS AND SUBCONTRACTORS.
- COORDINATE SCHEDULING PROVISIONS FOR INSTALLATION, LOCATIONS AND THE ACTUAL INSTALLATION OF ITEMS FURNISHED BY OWNER OR BY OTHERS. FACILITATE WORK WITH ALL TRADES ON THE PROJECT NOT UNDER CONTRACT TO THE CONTRACTOR (I.E., TELEPHONE, COMPUTER INSTALLERS, ETC.).
- VERIFY DIMENSIONS IN THE FIELD. TO THE EXTENT THAT DIMENSIONS CANNOT BE VERIFIED OR THE VERIFICATION OF DIMENSIONS WOULD CAUSE A DELAY IN THE PROGRESS OF THE WORK, CONTRACTOR SHALL GUARANTEE DIMENSIONS TO HIS SUBCONTRACTOR FOR COORDINATION. DO NOT SCALE DRAWINGS.
- SUBMIT FOR CONSIDERATION SAMPLES AND PRODUCT LITERATURE AND OTHER PERTINENT DATA OF ANY PROPOSED SUBSTITUTIONS.
- PERFORM ALL WORK AND INSTALL MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS AND IN A MANNER CONSISTENT WITH INDUSTRY STANDARDS OF WORKMANSHIP.
- EXAMINE ALL SURFACES TO DETERMINE THAT THEY ARE SOUND, DRY, CLEAN AND READY TO RECEIVE FINISHES OR MILLWORK PRIOR TO INSTALLATION. START OF INSTALLATION SHALL IMPLY ACCEPTANCE OF SUBSTRATE AND SHALL NOT BE GROUNDS FOR CLAIMS AGAINST IMPROPER PERFORMANCE OF INSTALLED MATERIALS.
- INSTALL AND MAINTAIN ALL NECESSARY COVERINGS, PROTECTIVE ENCLOSURES, TEMPORARY DOORS AND PARTITIONS AND DUST BARRIERS TO PROTECT ALL OCCUPANTS AND EXISTING WORK AND FINISHES TO REMAIN. REPAIR AND REPLACE ANY DAMAGES CAUSED BY IMPROPER PROTECTION AT NO ADDITIONAL COST TO OWNER.
- PROVIDE TO OWNER ANY MANUFACTURER/ PRODUCT LITERATURE, MAINTENANCE REQUIREMENTS AND/ OR SCHEDULES.

SYMBOLS LEGEND



PROPERTY INFORMATION

ADDRESS:	3320 BROWN ST NW WASHINGTON DC 20010-1811
SSL:	2611- 0804
NEIGHBORHOOD:	036 - Mount Pleasant
USE CODE:	041 - Store-Small (1 Story)
TAX CLASS:	2 - Commercial
WARD:	1

ZONING - Title DCMR	
ZONING:	RF-1
USES:	Store-Small 1-Story
OCCUPANCY GROUP:	A
LOT AREA:	832 SF

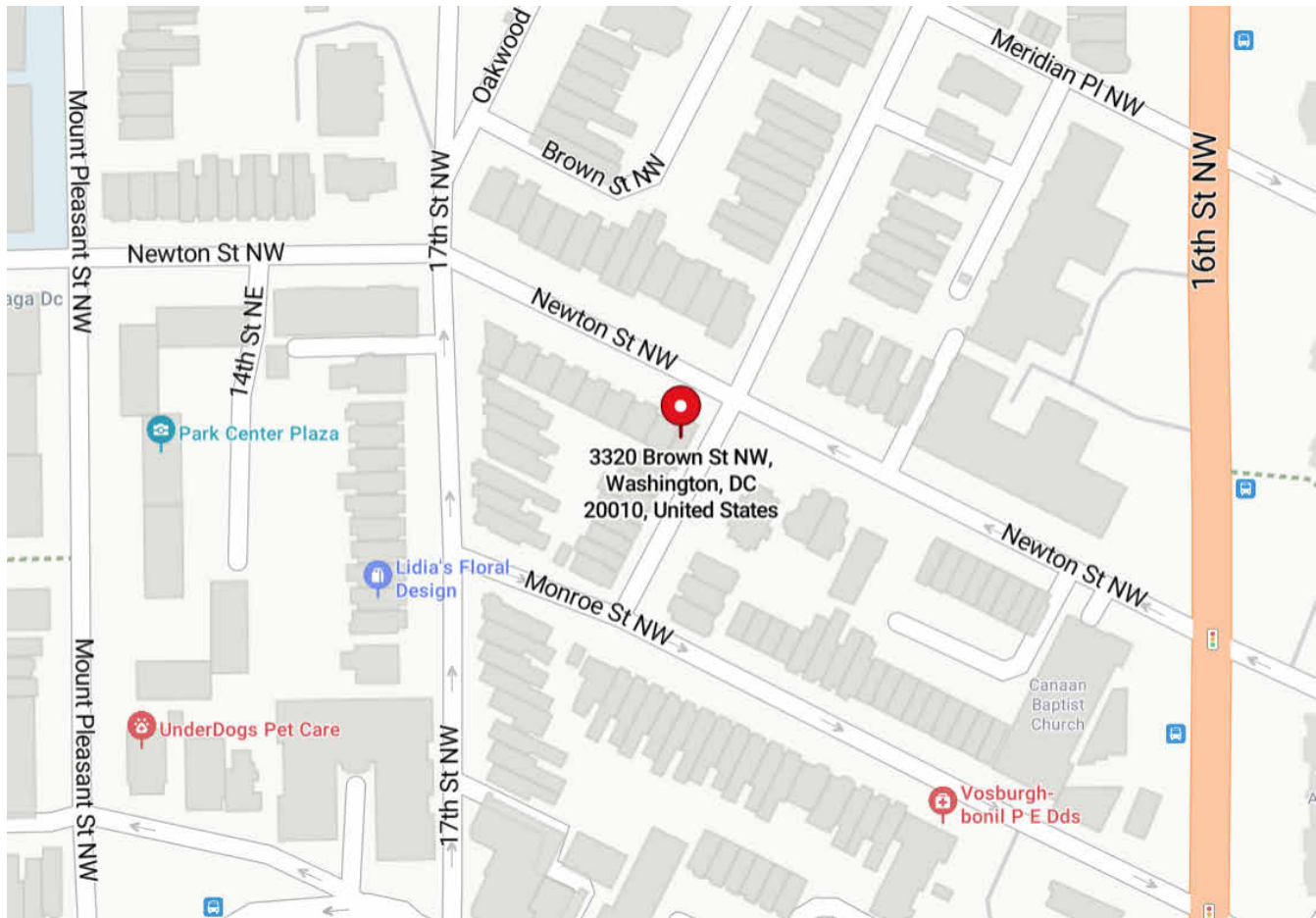
A	ALLOWED	EXISTING	PROPOSED
FRONT YARD:	SAME AS BLOCK	0' - 0"	NO CHANGE
REAR YARD:	20' -0"	0' - 0"	NO CHANGE
SIDE YARD:	5' - 0"	SIDE 1 ( 0' - 0") SIDE 2 ( 12' - 4")	NO CHANGE
HEIGHT:	35' - 0"	18' - 2"	NO CHANGE
LOT OCC.:	40% (332.8 SF)	77.5% (644.96 SF)	NO CHANGE

BUILDING CODE - DC CONSTRUCTION CODE 2017	
PROPOSED USE:	COMMERCIAL
CONSTRUCTION TYPE:	V-B
FLOOR AREA:	509.23 SF
EXITS:	1
ELEVATOR:	NO
SPRINKLERED:	NO

APPLICABLE CODES

2017 DC Construction Codes  
2015 International Residential Code  
2015 International Existing Building Code  
2015 International Energy Conservation Code  
2015 International Mechanical Code  
2015 International Plumbing Code  
2014 National Electric Code  
DC Law 8-36 District of Columbia Environmental Policy Act of 1989  
DCMR Title 11 - Zoning Regulations  
DCMR Title 12 - Construction Codes Supplement (2017)  
DCMR Title 13 - Electrical and Mechanical

VICINITY MAP



PROJECT TEAM

OWNER:

Daniel Cidon  
403 W Rosenary LN  
Falls Church VA 22046

Contact: dancidon@gmai.com

ARCHITECT:

Jonathan Kuhn Architect  
508 Kennedy Street NW #313  
Washington, DC 20011

Contact: Jonathan Kuhn 202.494.5061

MEP ENGINEER:

STRUCTURAL ENGINEER:

PROJECT DESCRIPTION

INTERIOR AND EXTERIOR RENOVATION TO EXISTING SEMI-DETACHED STRUCTURE (CONVERTING TO MULTIPURPOSE). INTERIOR RENOVATIONS INCLUDE NEW FIXTURES, FINISHES AND LOFT STORAGE AREA. EXTERIOR ALTERATIONS INCLUDE REMOVAL OF SECURITY BARS, NEW WINDOWS, NEW FOLDING DOOR, EXTERIOR PAINT.

DRAWING INDEX

PROJECT INFO

A000	COVER SHEET
A001	PROJECT INFO

ARCHITECTURAL

D101	EXISTING FLOOR PLAN AND ELEVATIONS
D102	EXISTING CONDITIONS

ARCHITECTURAL

A101	PROPOSED FLOOR PLAN AND ELEVATIONS
A102	PROPOSED USES DIAGRAMS

OFFICIAL STAMPS

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ISSUE RECORD

06/21/24

SCHEMATIC DESIGN

REVISION SCHEDULE

NO. DATE  
1

SEAL

SHEET NAME

PROJECT INFO

SCALE

1/4" = 1'-0"

SHEET NO.

A001



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NO. DATE

SEAL

SHEET NAME

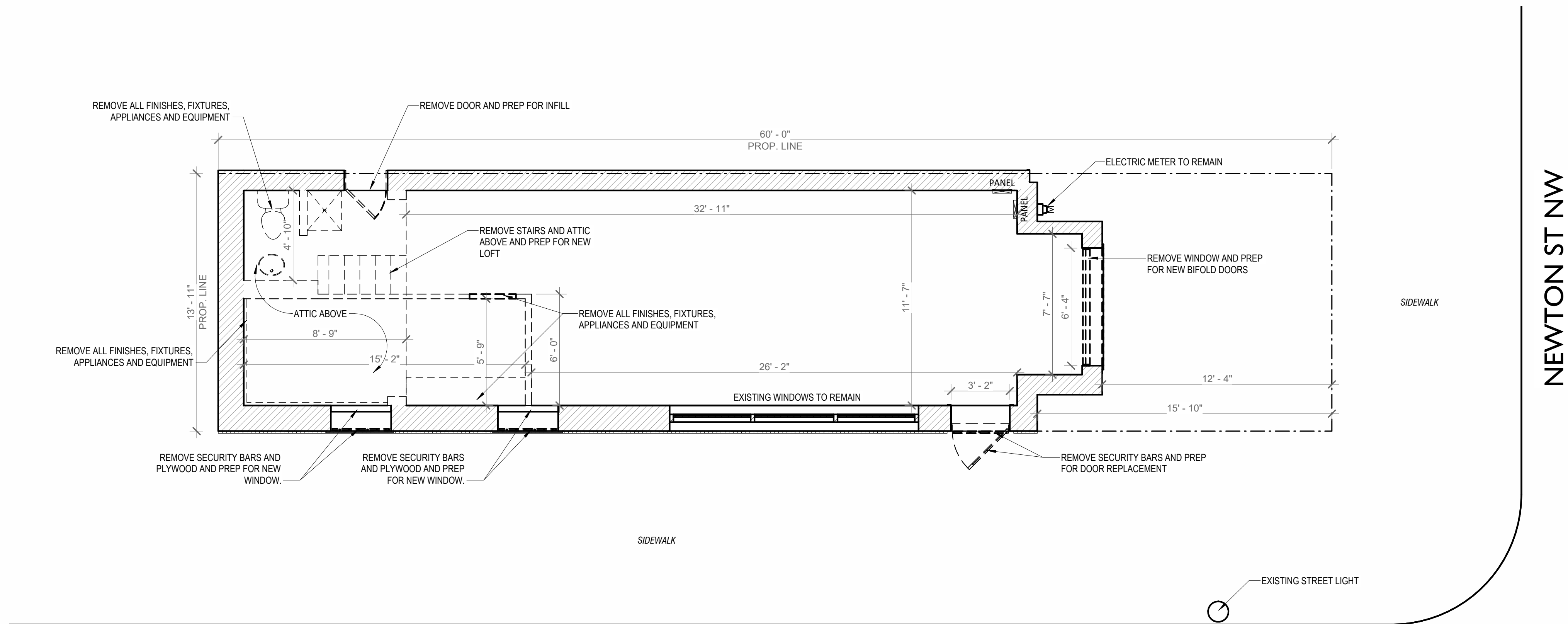
EXISTING FLOOR  
PLAN AND  
ELEVATIONS

SCALE

1/4" = 1'-0"

SHEET NO.

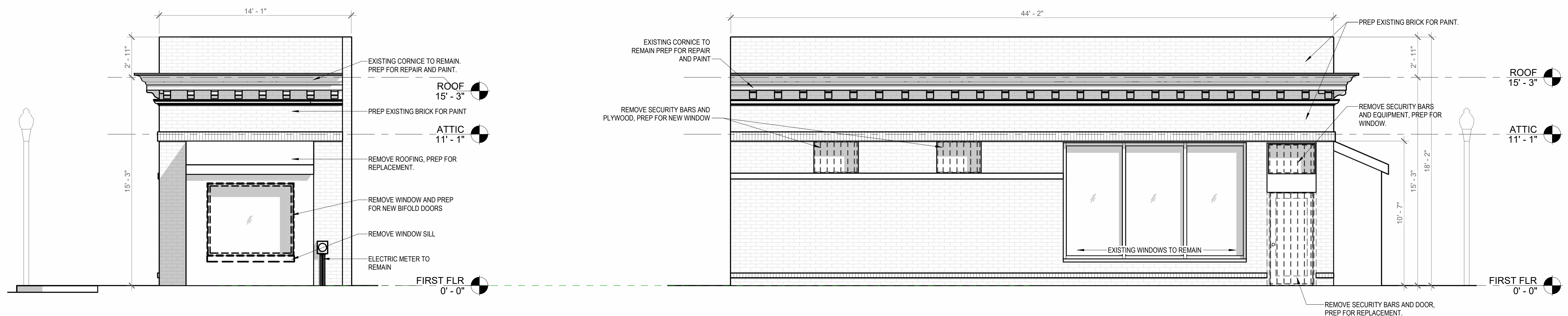
DI01



BROWN ST NW

## 1 EXISTING FIRST FLOOR PLAN

1/4" = 1'-0"



## 2 EXISTING FRONT ELEVATION

1/4" = 1'-0"

## 3 EXISTING SIDE ELEVATION

1/4" = 1'-0"





INTERIOR VIEW



INTERIOR ATTIC SPACE



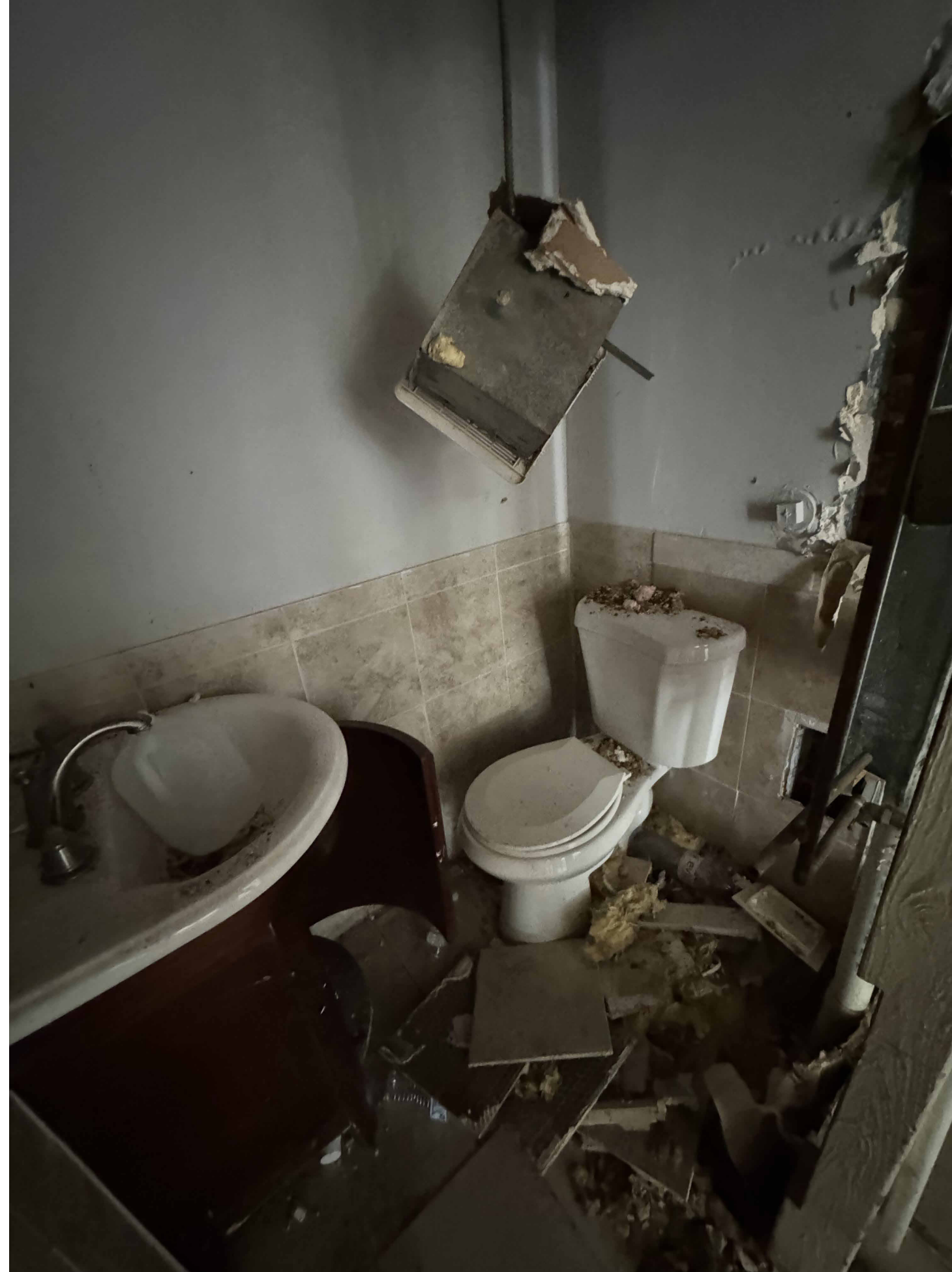
SIDE ELEVATION



SIDE ELEVATION



INTERIOR CONDITIONS



INTERIOR CONDITIONS



OFFICIAL STAMPS

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SEAL

SHEET NAME  
EXISTING  
CONDITIONS

SCALE

SHEET NO.  
DI02



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REVISION SCHEDULE

NO.	DATE
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SHEET NAME

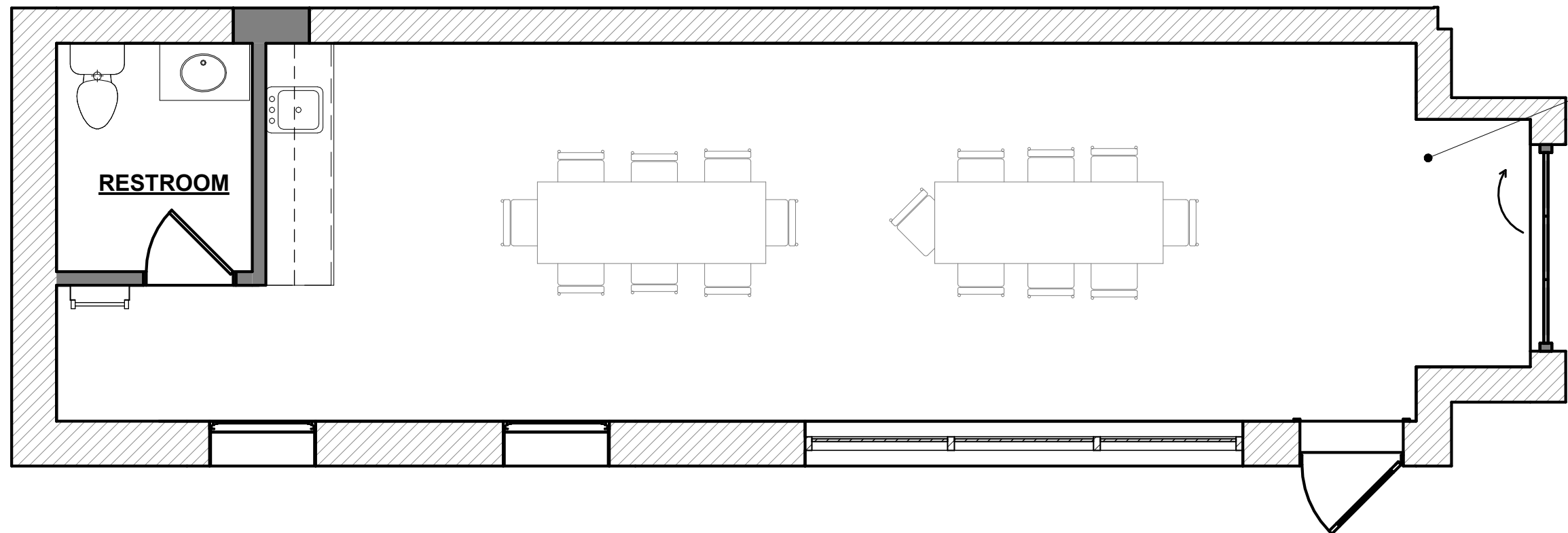
PROPOSED FLOOR  
PLAN AND  
ELEVATIONS

SHEET NO.

\* FOR SPACES WITH ONLY ONE MEAN OF EGRESS, THE MAXIMUM ALLOWABLE OCCUPANT LOAD IS 49.\*  
\* FOR OCCUPANT LOAD < 49 AND UP TO TRAVEL DISTANCE 75' ONE MEAN OF EGRESS REQUIRED PER 2017 DCBC TABLE 1006.2.1

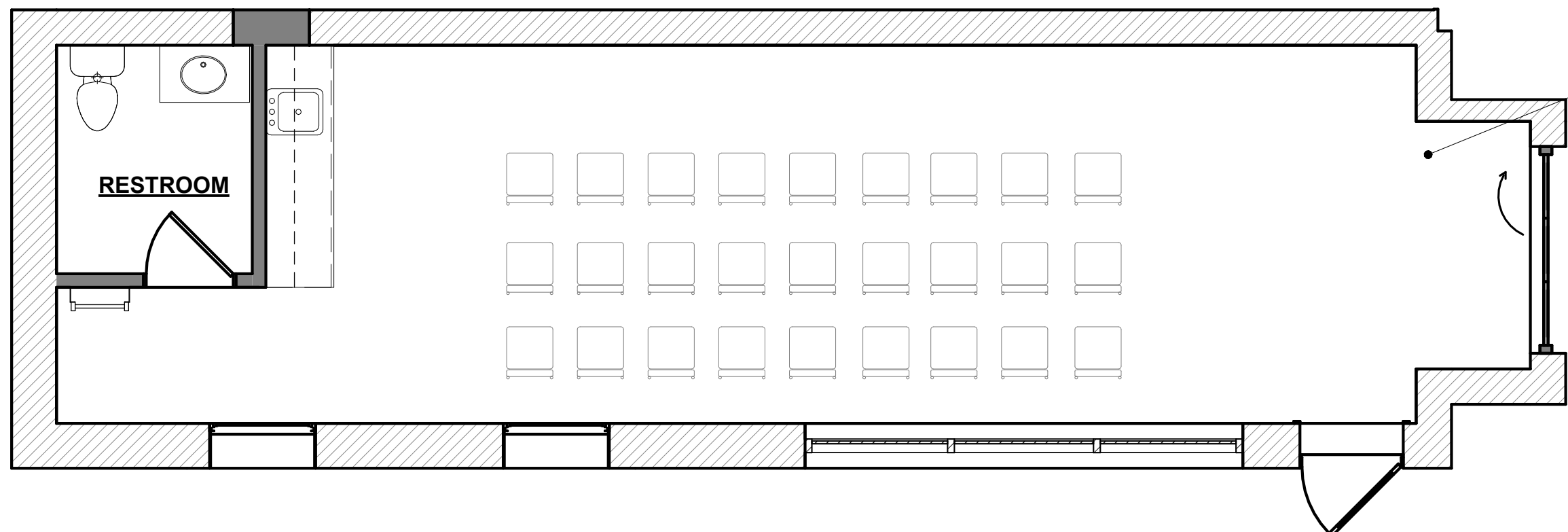






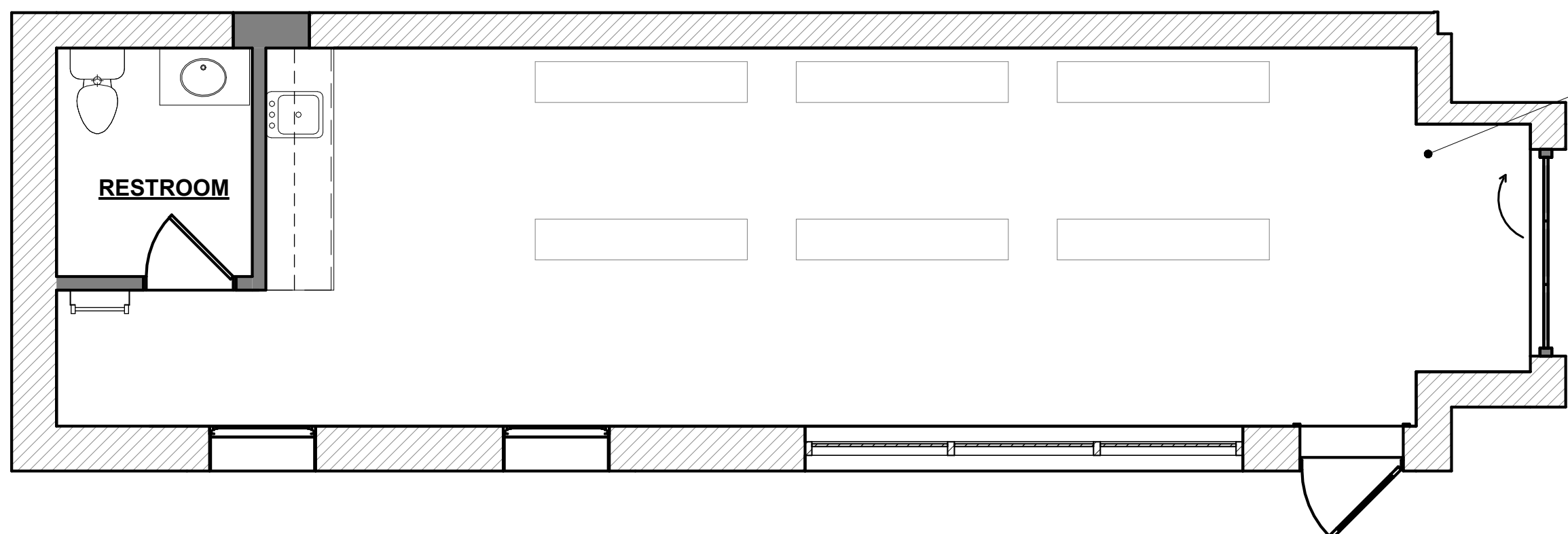
**PROPOSED PROGRAM:**

- 10-15 PEOPLE CRAFT CLASSES
- 15-30 PEOPLE WRITING WORKSHOPS
- 16-20 KIDS ACTIVITIES



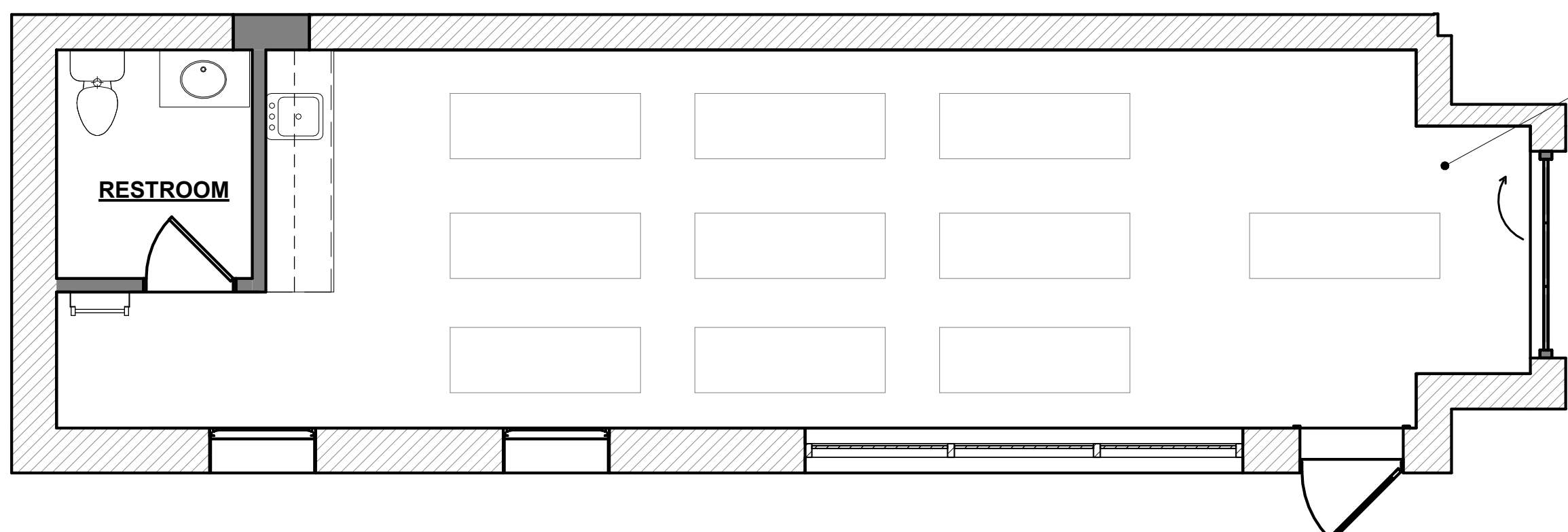
**PROPOSED PROGRAM: (UP TO 49 OCCUPANTS)**

- SEATED PRESENTATION
- SEATED MOVIE SCREENING
- MUSICAL EVENTS / PRESENTATIONS



**PROPOSED PROGRAM: (UP TO 49 OCCUPANTS)**

- BOOK FAIR
- ANTIQUE FAIR
- ART DISPLAY
- POP UP CERAMIC SHOP



**PROPOSED PROGRAM:**

- 6-10 PEOPLE YOGA CLASSES
- 10- 15 PEOPLE HITT CIRCUIT GYM CLASS
- 15-20 PEOPLE MEDITATION SESSIONS

