

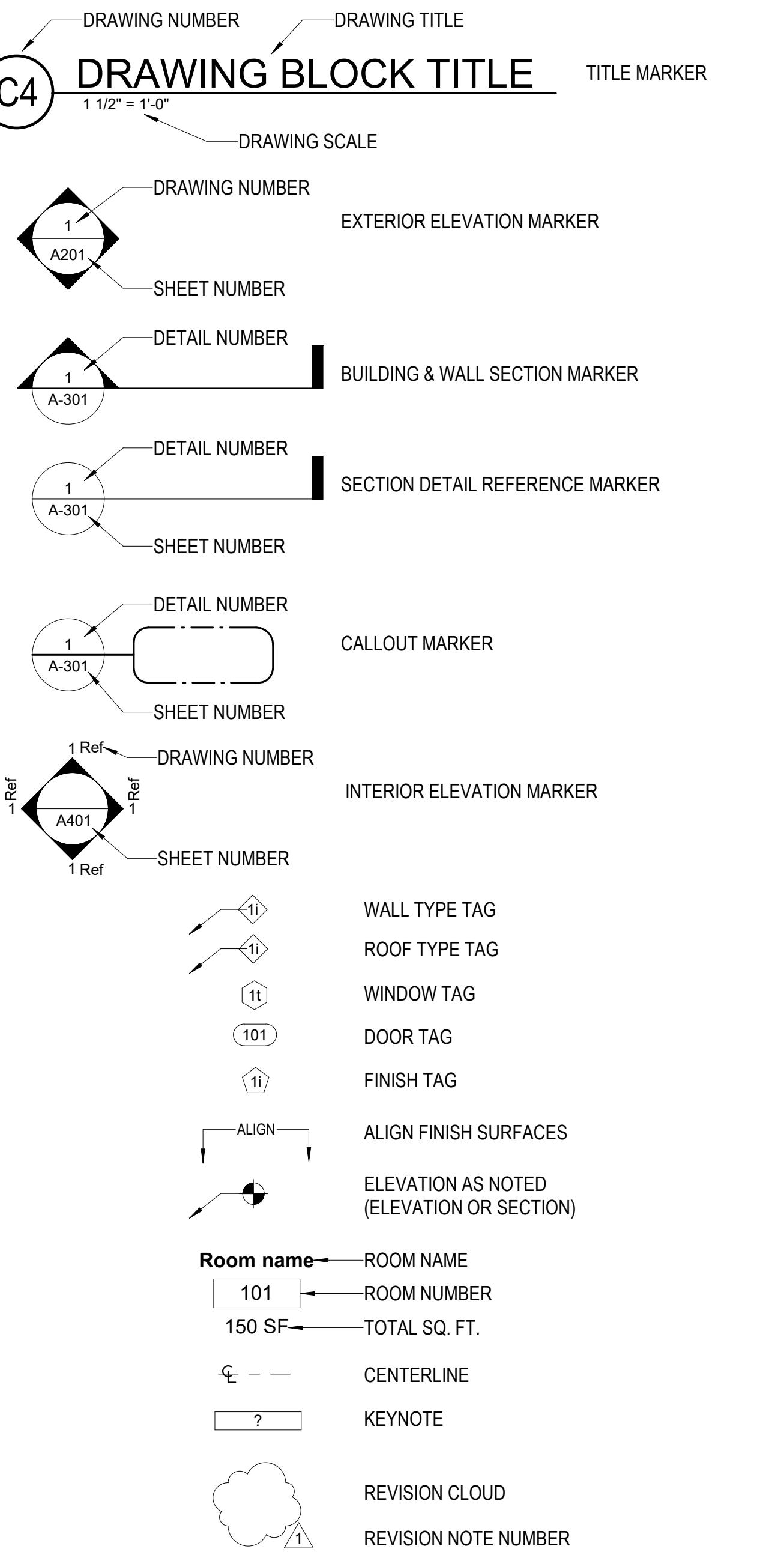
LIST OF ABBREVIATIONS

| | | | |
|--------|---|--------|---------------------------------------|
| < | Angle | MFR | Manufacturer(S) |
| @ | At | MIN | Minimum |
| # | Number | MISC | Miscellaneous |
| f | Centerline | MO | Masonry Opening |
| 1X | Diameter | MTL | Metal |
| 2X | One-inch nominal thickness | MTD | Mounted |
| ABV | Two-inch nominal thickness | MTG | Mounting |
| AC | Above | MW | Microwave Oven |
| ACOUST | Air Conditioning | N | North |
| ACT | Acoustical | NIC | Not in Contract |
| ADJ | Acoustical Ceiling Tile | NO | Number |
| AFF | Adjustable | NTS | Not to Scale |
| AHU | Above Finish Floor | OA | Overall |
| ALT | Air Handler Unit | OD | Outside Diameter |
| ALUM | Alternate | OC | On Center |
| ANOD | Aluminum | OFI | Owner Furnished, Contractor Installed |
| APPROX | Anodized | OFF | Office |
| BD | Approximate | OH | Opposite Hand |
| BTWN | Board (or Bead, if applicable) | OPNG | Opening |
| BLDG | Between | OPP | Opposite |
| BLKG | Building | PART | Partition |
| BLT | Blocking | PERF | Perforated |
| BM | Bolt | PL | Plate/Property Line |
| BOT | Beam | PLAM | Plastic Laminate |
| BRG | Bearing | PLEX | Plexiglass |
| BSENT | Basement | POLY | Plywood |
| CAB | Cabinet | PR | Polyethylene |
| CER | Ceramic | PSF | Pound Per Square Foot |
| CH | Ceiling Height | PSI | Pound Per Square Inch |
| CJ | Control Joint | PT | Pressure Treated |
| CLG | Ceiling | PTD | Painted |
| CLAD | Cladding | PVC | Polyvinyl Chloride |
| CLO | Closet | QT | Quarry Tile |
| CLR | Clear | QTY | Quantity |
| CMU | Concrete Masonry Unit | R | Riser(s) |
| COL | Column | RO | Rough Opening |
| CONC | Concrete | R- | Radius |
| CONST | Construction | RCP | Reflected Ceiling Plan |
| CORT | Continuous | RCPT | Receptacle |
| CORR | Corrugated | REF | Refrigerator |
| CPT | Carpet | REG | Register |
| CS | Cast Stone | REINF | Reinforcing |
| CSK | Countersink | REQD | Required |
| CSMT | Casement | RESIL | Resilient |
| CT | Ceramic Tile | REV | Revision |
| CTR | Center/Counter | RL | Rain Leader |
| CTR'D | Centered | RM | Room |
| CW | Cold Water | RTU | Roof Top Unit |
| DBL | Double | S | South |
| DEMO | Demolish, Demolition | S4S | Surface Four Sides |
| DET | Detail | SC | Set Core |
| DF | Dinking Fountain | SCHED | Schedule(d) |
| DH | Double Hung | SECT | Section |
| DIA | Diameter | SHT | Sheet |
| DIM | Dimension | SIM | Similar |
| DN | Down | SF | Square Feet |
| DR | Door | SPEC | Specification |
| DS | Downspout | SQ | Square |
| DW | Dishwasher | SS | Stainless Steel |
| DWG | Drawing | STD | Standard |
| E | East | STL | Steel |
| EJ | Each | STOR | Storage |
| EL | Expansion Joint | STRUCT | Structure |
| ELEC | Elevation | SURF | Surface |
| ELEV | Electric(al) | SUSP | Suspend |
| EMER | Elevator | T | Tread(s) |
| EQ | Emergency | TAG | Tongue and Groove |
| EQUIP | Equipment | TBD | To Be Determined |
| EWC | Electric Water Cooler | TEL | Telephone |
| EXIST | Existing | TEMP | Temperature |
| EXH | Exhaust | THK | Thick |
| EXP | Expansion, Exposed | TOIL | Toilet |
| EXT | Exterior | TO | Top of () |
| FA | Fire Alarm | TOP | Top |
| FBO | Owned by Owner | TYP | Type |
| FD | Floor Drain | UL | Underwriters Laboratories, Inc. |
| FND | Foundation | UNFIN | Unfinished |
| FEC | Fire Extinguisher Cabinet | UNO | Unless Noted Otherwise |
| FF | Finish Floor | UIS | Underside |
| FGL | Fiberglass | UTIL | Utility |
| FIN | Finish | VB | Vapor Barrier |
| FLASH | Flashing | VCT | Vinyl Composition Tile |
| FL | Floor | VENT | Ventilate(or) |
| FLUOR | Fluorescent | VERT | Vertical |
| FOM | Face of Masonry | VEST | Vestibule |
| FOS | Face of Structure (or Face of Soil, where applicable) | VIF | Verify in Field |
| FRP | Fiberglass reinforced plastic | VNR | Veneer |
| FRT | Fire Retardant Treated | W | West |
| FRMG | Framing | WC | Water Closet |
| FT | Feet | WD | Wood |
| FTG | Footing | WF | Wide Flange |
| FURN | Furniture/Furnish | WH | Water Heater |
| FURR | Furring | WP | Waterproofing |
| FVC | Fire Valve Cabinet | W/ | With |
| GA | Gauge | W/O | Without |
| GALV | Galvanized | WT | Weight |
| GC | General Contractor | WWM | Welded Mire Mesh |
| GFI | Ground Fault Interrupter | | |
| GL | Glass | | |
| GWB | Gypsum Wall Board | | |
| GYP | Gypsum | | |
| HB | Hose Bib | | |
| HC | Hollow Core/Handicappd | | |
| HD | Head | | |
| HDWE | Hardware | | |
| HM | Hollow Metal | | |
| HORIZ | Horizontal | | |
| HT | Height | | |
| HTR | Heater | | |
| HVAC | Heating/Ventilation/Air-Conditioning | | |
| HW | Hot Water | | |
| IG | Isolated Ground | | |
| IN | Inch | | |
| INCAN | Incandescent | | |
| INCL | Included(d) | | |
| INSUL | Insulation | | |
| INT | Interior | | |
| JAN | Janitor | | |
| JT | Joint | | |
| KIT | Kitchen | | |
| LAV | Lavatory | | |
| LEV | Level | | |
| MAS | Masonry | | |
| MAX | Maximum | | |
| MDF | Medium Density Fiberboard | | |
| MDO | Medium Density Overlay | | |
| MECH | Mechanical | | |
| MEZZ | Mezzanine | | |

GENERAL NOTES

- OMISSIONS OR CONFLICTS IN THE DRAWINGS AND ANY RESTRICTIONS RELATED TO THE EXECUTION OF THE WORK, IN THE CASE OF CONFLICTS BETWEEN DRAWINGS, OR NOTES AND DRAWINGS, IT SHALL BE ASSUMED THE STRICTEST CONDITION OR REQUIREMENT HAS BEEN INCLUDED IN THE COST AND SCOPE OF THE WORK.
- ISSUE COMPLETE SETS OF THE CONTRACT DOCUMENTS TO EACH OF THE SUBCONTRACTORS FOR COORDINATION OF THEIR WORK WITH OTHER TRADES AND DESCRIPTION OF SCOPE.
- APPLY FOR, OBTAIN AND PAY FOR ALL PERMITS, FEES, INSPECTIONS AND APPROVALS BY LOCAL AUTHORITIES HAVING JURISDICTIONS OVER THE PROJECT. PROVIDE COPIES OF ALL CODES IN FORCE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PROVIDING PROTECTION FOR ALL NEW AND EXISTING WORK, WHICH ARE SUBJECT TO POTENTIAL DAMAGE BY WORK OF OTHER TRADES. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL ABOVE CEILING WORK AND SHALL DURING LAYOUT, SUBMIT COORDINATION SHOP DRAWINGS OF ALL CEILING HEIGHT, FIXTURES, CONDUIT, PIPING, SPRINKLER LINES AND DUCT WORK IDENTIFYING ANY POTENTIAL CONFLICTS. CONTRACTOR SHALL RELOCATE ITEMS AS REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR RELOCATIONS OF ITEMS, TO AVOID CONFLICTS WHILE MAINTAINING THE DESIGN INTENT.
- GC SHALL DEFINE SCOPE, SCHEDULE AND COST IMPLICATIONS WITH OWNER REGARDING ANY WORK BEING DONE BY OUTSIDE CONTRACTORS AND SUBCONTRACTORS.
- COORDINATE SCHEDULING PROVISIONS FOR INSTALLATION, LOCATIONS AND THE ACTUAL INSTALLATION OF ITEMS FURNISHED BY OWNER OR BY OTHERS. FACILITATE WORK WITH ALL TRADES ON THE PROJECT NOT UNDER CONTRACT TO THE CONTRACTOR (I.E., TELEPHONE, COMPUTER INSTALLERS, ETC.).
- VERIFY DIMENSIONS IN THE FIELD. TO THE EXTENT THAT DIMENSIONS CANNOT BE VERIFIED OR THAT THE DIMENSIONS WOULD CAUSE A DELAY IN THE PROGRESS OF THE WORK, CONTRACTOR SHALL GUARANTEE DIMENSIONS TO HIS SUBCONTRACTOR FOR COORDINATION. DO NOT SCALE DRAWINGS.
- SUBMIT FOR CONSIDERATION SAMPLES AND PRODUCT LITERATURE AND OTHER PERTINENT DATA OF ANY PROPOSED SUBSTITUTIONS.
- PERFORM ALL WORK AND INSTALL MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS AND IN A MANNER CONSISTENT WITH INDUSTRY STANDARDS OF WORKMANSHIP.
- EXAMINE ALL SURFACES TO DETERMINE THAT THEY ARE SOUND, DRY, CLEAN AND READY TO RECEIVE FINISHES OR MILLWORK PRIOR TO INSTALLATION. START OF INSTALLATION SHALL IMPLY ACCEPTANCE OF SUBSTRATE AND SHALL NOT BE GROUNDS FOR CLAIMS AGAINST MANUFACTURER OR CONTRACTOR FOR MATERIALS.
- INSTALL AND MAINTAIN ALL NECESSARY COVERINGS, PROTECTIVE ENCLOSURES, TEMPORARY DOORS AND PARTITIONS AND DUST BARRIERS TO PROTECT ALL OCCUPANTS AND EXISTING WORK AND FINISHES TO REMAIN. REPAIR AND REPLACE ANY DAMAGES CAUSED BY IMPROPER PROTECTION AT NO ADDITIONAL COST TO OWNER.
- PROVIDE TO OWNER ANY MANUFACTURER/ PRODUCT LITERATURE, MAINTENANCE REQUIREMENTS AND/ OR SCHEDULES.

SYMBOLS LEGEND



PROPERTY INFORMATION

| | |
|--------------|--|
| ADDRESS | 502 Constitution Avenue NE |
| SSL | 0838 0037 |
| NEIGHBORHOOD | 009 - Capital Hill |
| USE CODE | 024 - Residential-Conversion (Less Than 5 units) |
| TAX CLASS | 1 - Residential |
| WARD | 6 |

| | | | |
|---------------------|---------------------------|---------------------------|--------------------|
| ZONING - Title DCMR | | | |
| ZONING | RFI/CAP | USES | Residential |
| OCCUPANCY GROUP | R-3 | LOT AREA | 1,630 s.f. |
| A | ALLOWED | EXISTING | PROPOSED |
| FRONT YARD: | Match Adjacent Properties | Match Adjacent Properties | No Change |
| REAR YARD: | 20' | 45'-9 1/2" | 34'-2 1/2" |
| SIDE YARD: | N/A | N/A | N/A |
| HEIGHT: | 40' | 36'-8 1/4' | No Change |
| Story: | 3 | 3 | No Change |
| LOT OCC.: | 60% (978 S.F.) | 51.5% (840 S.F.) | 67.3% (1,097 S.F.) |

| | | | |
|---|------------------------------------|--------------------|-----|
| BUILDING CODE - DC CONSTRUCTION CODE 2017 | | | |
| PROPOSED USE: | Single Family Residential Dwelling | CONSTRUCTION TYPE: | V-B |
| EXITS: | 1 | ELEVATOR: | No |
| SPRINKLERED: | No | | |

PROJECT TEAM

| | |
|------------|----------------------------------|
| OWNER: | Square Fifteen Development, LLC. |
| ARCHITECT: | Jonathan Kuhn Architect |
| Architect: | 508 Kennedy Street NW #313 |

| | |
|------------|-------------------------------------|
| Architect: | Robert Bailey 225.252.0816 |
| Architect: | Contact: Jonathan Kuhn 202.494.5061 |

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Bailey Residence
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Washington DC 20002
ISSUE RECORD
20.JUNE.2024
Schematic Design
REVISION SCHEDULE
NO. 1 DATE
1

PROJECT INFO
SHEET NAME
A001
SCALE
1/4" = 1'-0"
SHEET NO.
A001
Sheet 1 of 1
Adjustment
Building or Column
CASE NO.21188
EXHIBIT NO.10

PROJECT DESCRIPTION

Fully renovation to existing 3-story plus cellar row dwelling.
2-story plus cellar addition at rear.

DRAWING INDEX

| | |
| --- | --- |
| PROJECT INFO | |

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JK_A

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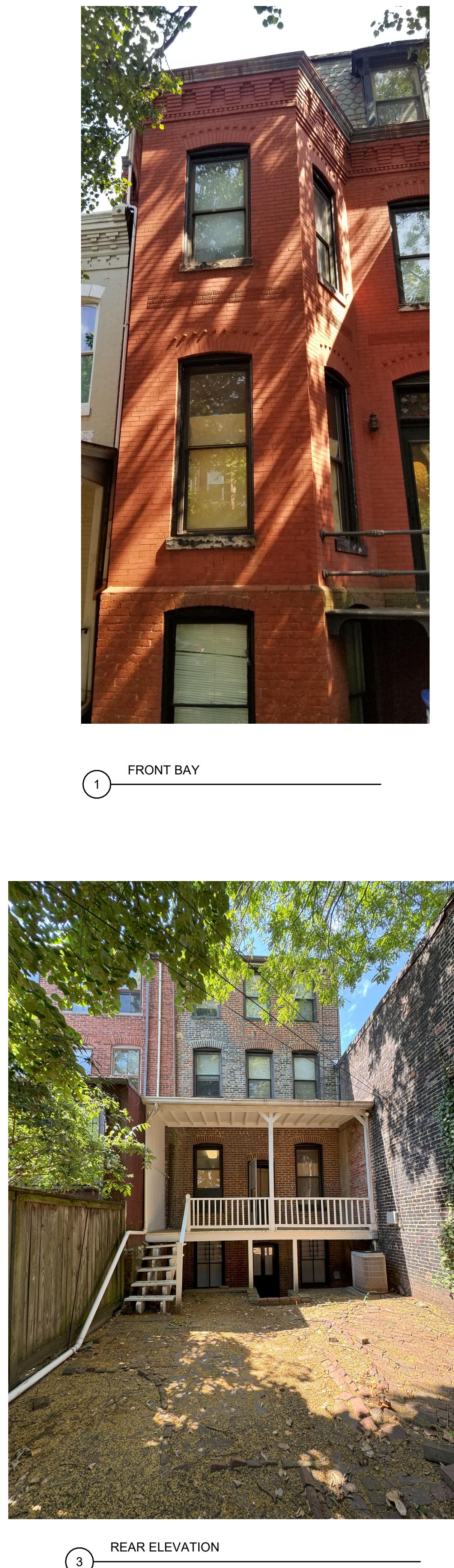
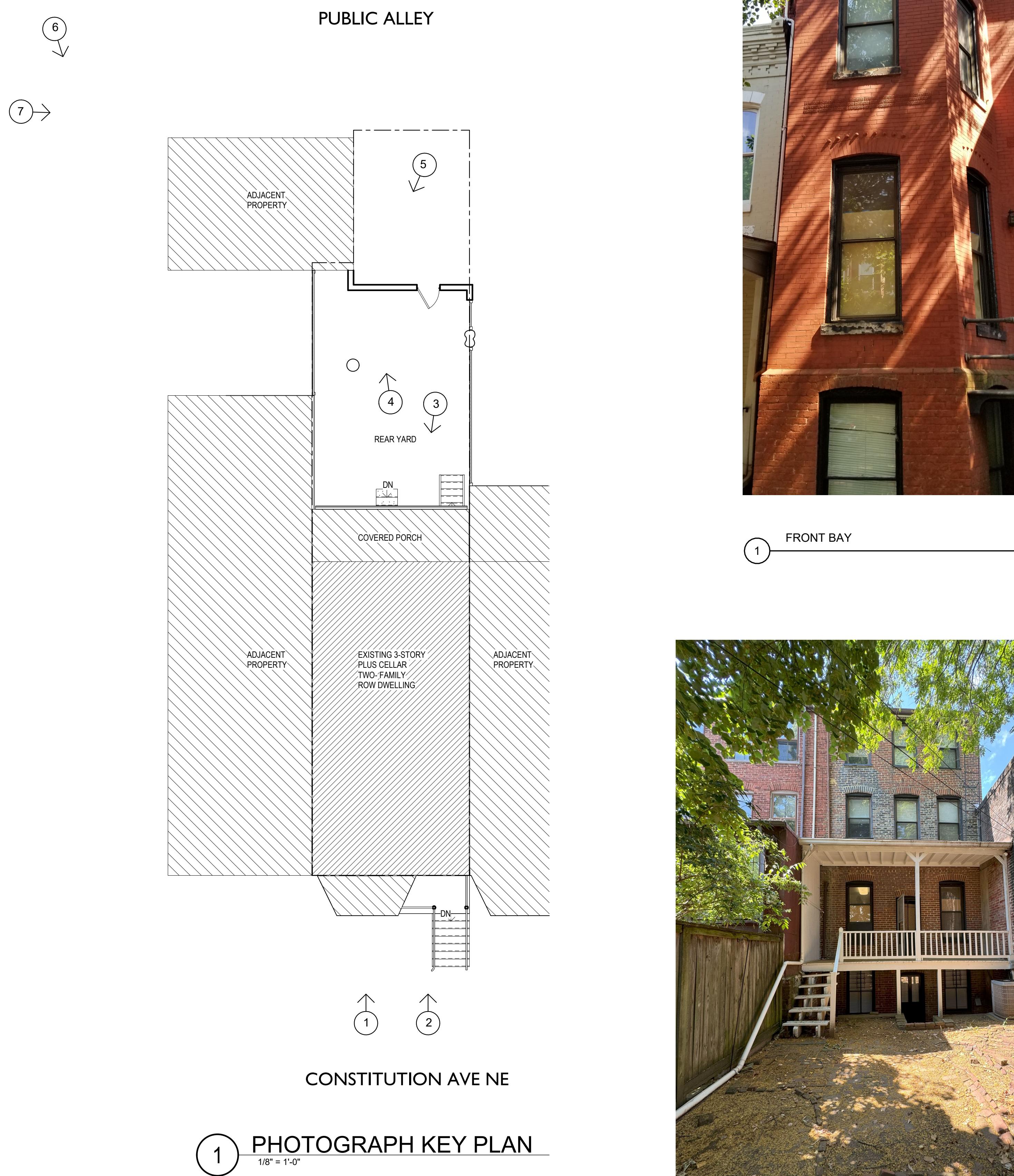
SEAL

SHEET NAME
PHOTOGRAPH AND
KEP MAP

SCALE
1/8" = 1'-0"

SHEET NO.

A004





5 REAR GATE & PARKING AREA



6 ADJACENT PROPERTY'S 2-STORY CARRIAGE HOUSE



7 ADJACENT PROPERTY AND PUBLIC ALLEY

JK_A

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SEAL

SHEET NAME
PHOTOGRAPHS

SCALE

SHEET NO.

A005

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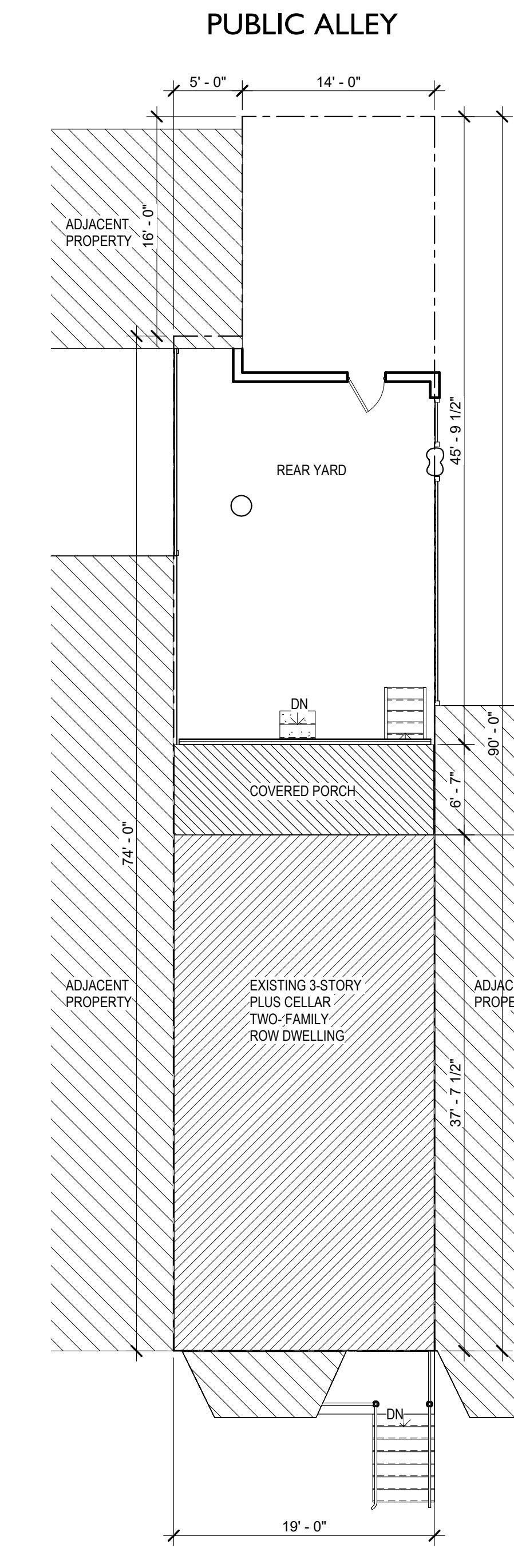
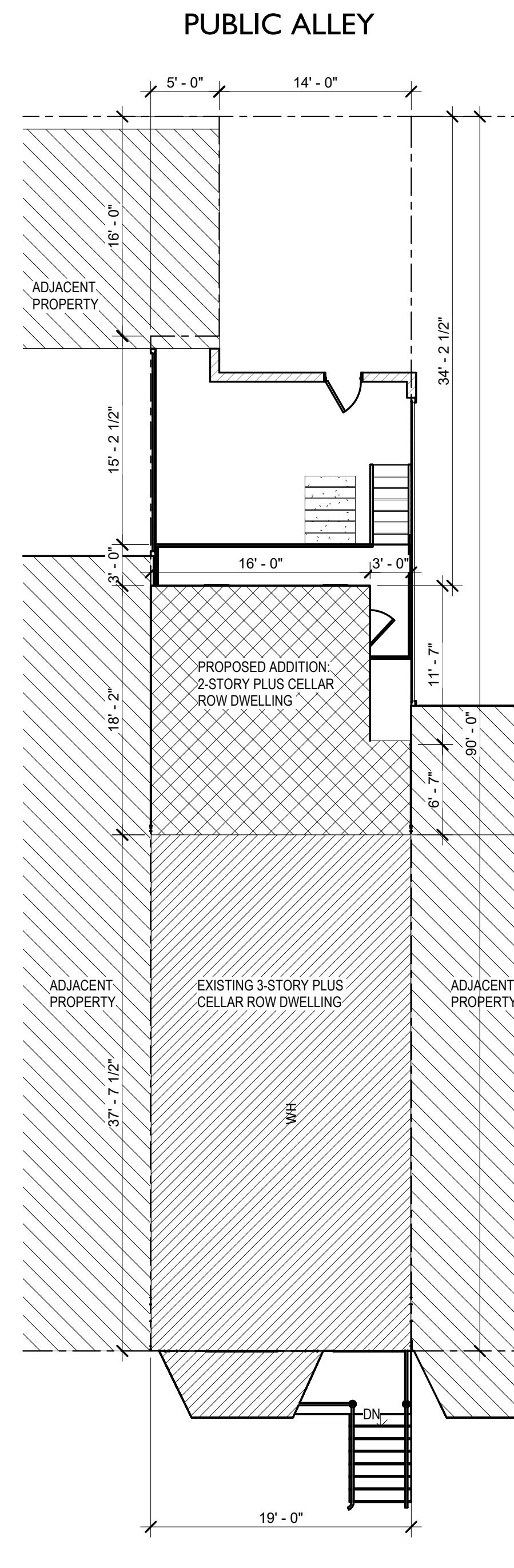
SEAL

SHEET NAME
ARCHITECTURAL SITE
PLANS

SCALE
1/8" = 1'-0"

SHEET NO.

A100



PROJECT DESCRIPTION

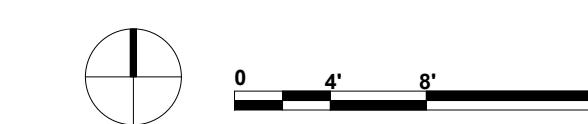
Fully renovation to existing 3-story plus cellar row dwelling.
2-story plus cellar addition at rear.

PROPERTY INFORMATION

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| ADDRESS: | 502 Constitution Avenue NE |
| SSL: | 0838 0037 |
| NEIGHBORHOOD: | 009 - Capital Hill |
| USE CODE: | 024 - Residential-Conversion (Less Than 5 units) |
| TAX CLASS: | 1 - Residential |
| WARD: | 6 |

| ZONING - Title DCMR | | | |
|---------------------|----------------|-----------|--------------------|
| ZONING: | RF1/CAP | USES: | Residential |
| OCCUPANCY GROUP: | R-3 | LOT AREA: | 1,630 s.f. |
| HEIGHT: | 40' | Story: | 3 |
| LOT OCC.: | 60% (978 S.F.) | EXISTING: | 51.5% (840 S.F.) |
| | | PROPOSED: | 67.3% (1,097 S.F.) |

| A | ALLOWED | EXISTING | PROPOSED |
|-------------|---------------------------|---------------------------|--------------------|
| FRONT YARD: | Match Adjacent Properties | Match Adjacent Properties | No Change |
| REAR YARD: | 20' | 45' 9 1/2" | 34' 2 1/2" |
| SIDE YARD: | N/A | N/A | N/A |
| HEIGHT: | 40' | 36'-8 1/4" | No Change |
| Story: | 3 | 3 | No Change |
| LOT OCC.: | 60% (978 S.F.) | 51.5% (840 S.F.) | 67.3% (1,097 S.F.) |



2 EXISTING SITE PLAN
1/8" = 1'-0"

1 PROPOSED SITE PLAN
1/8" = 1'-0"

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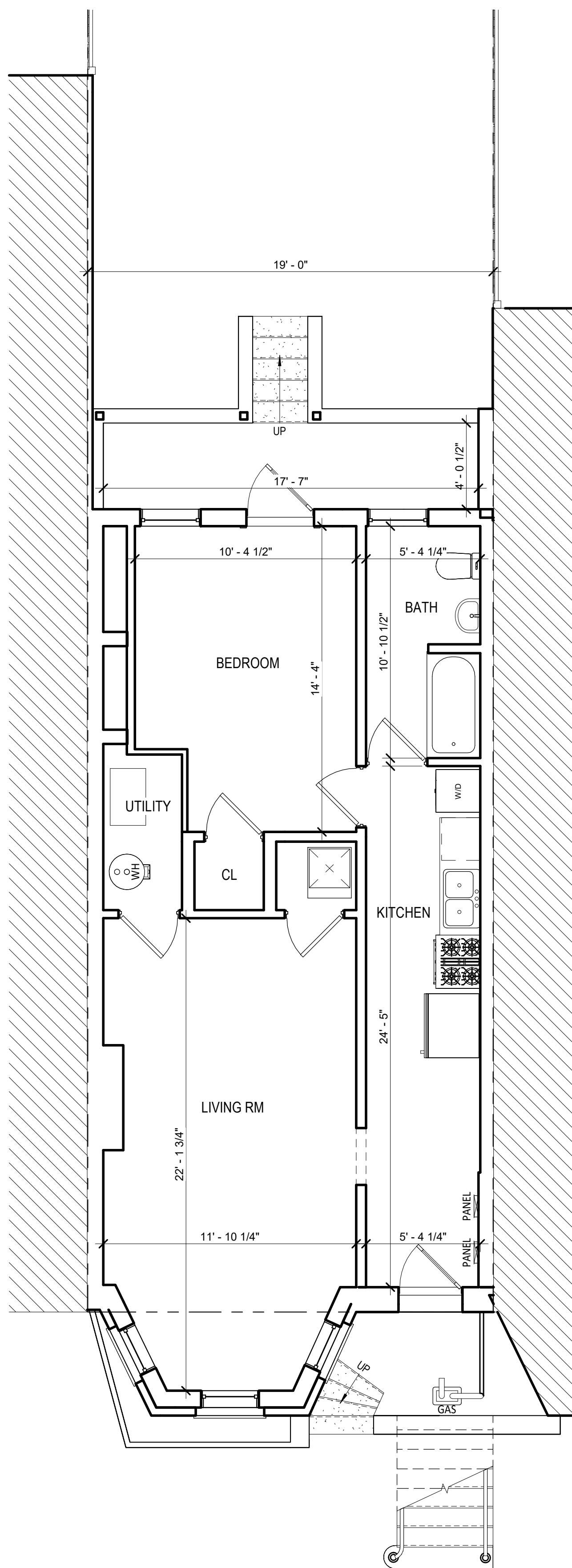
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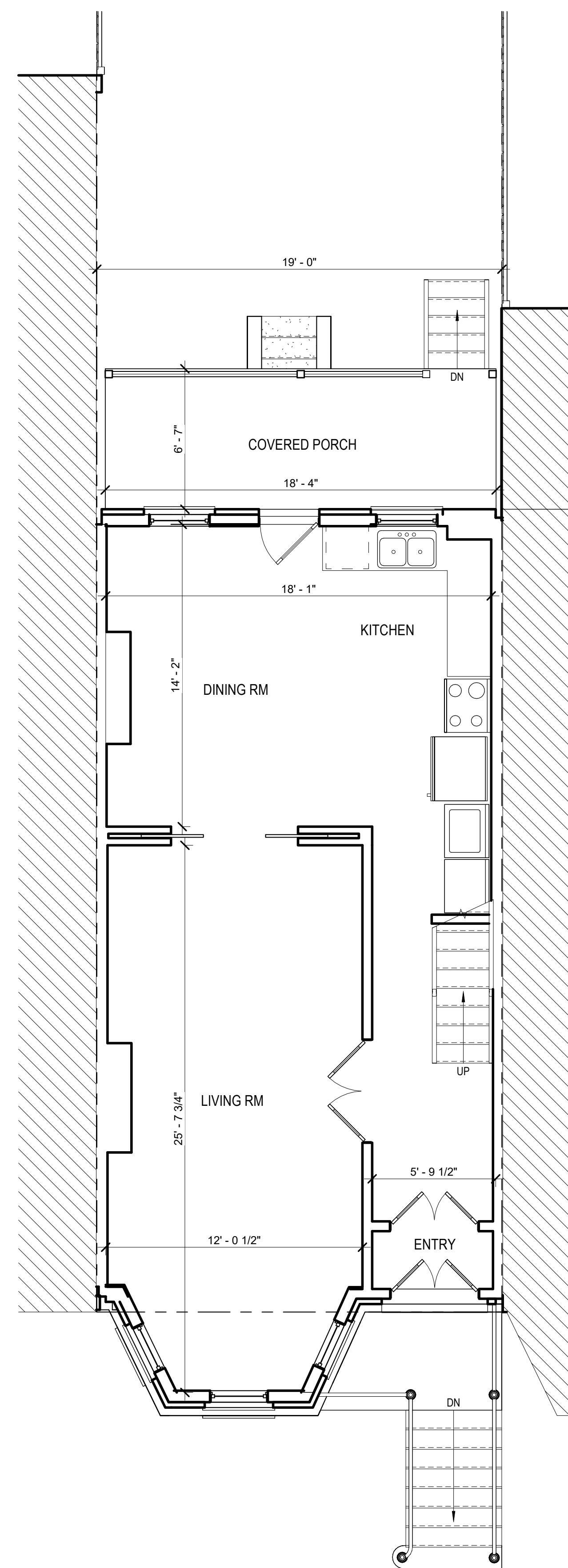
SHEET NAME
EXISTING FLOOR
PLANS

SCALE
1/4" = 1'-0"
SHEET NO.

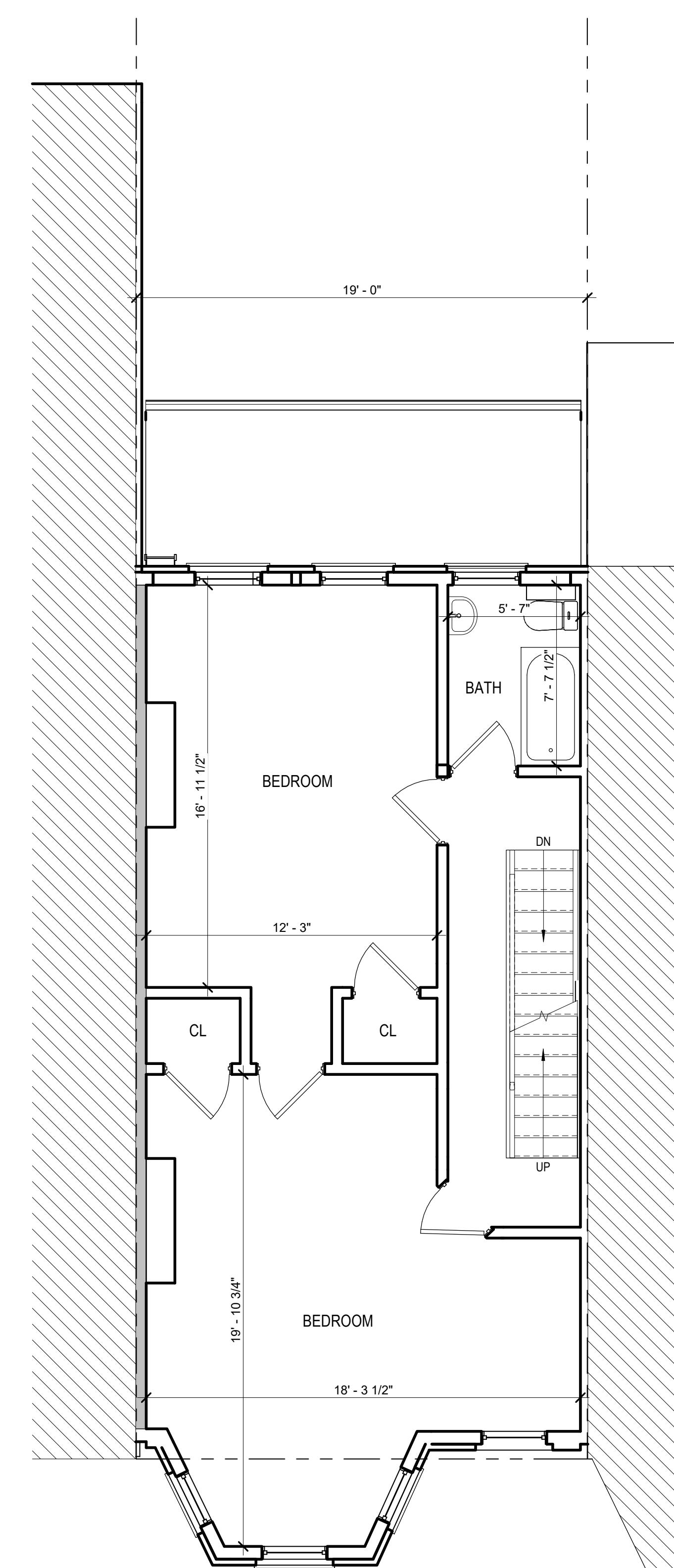
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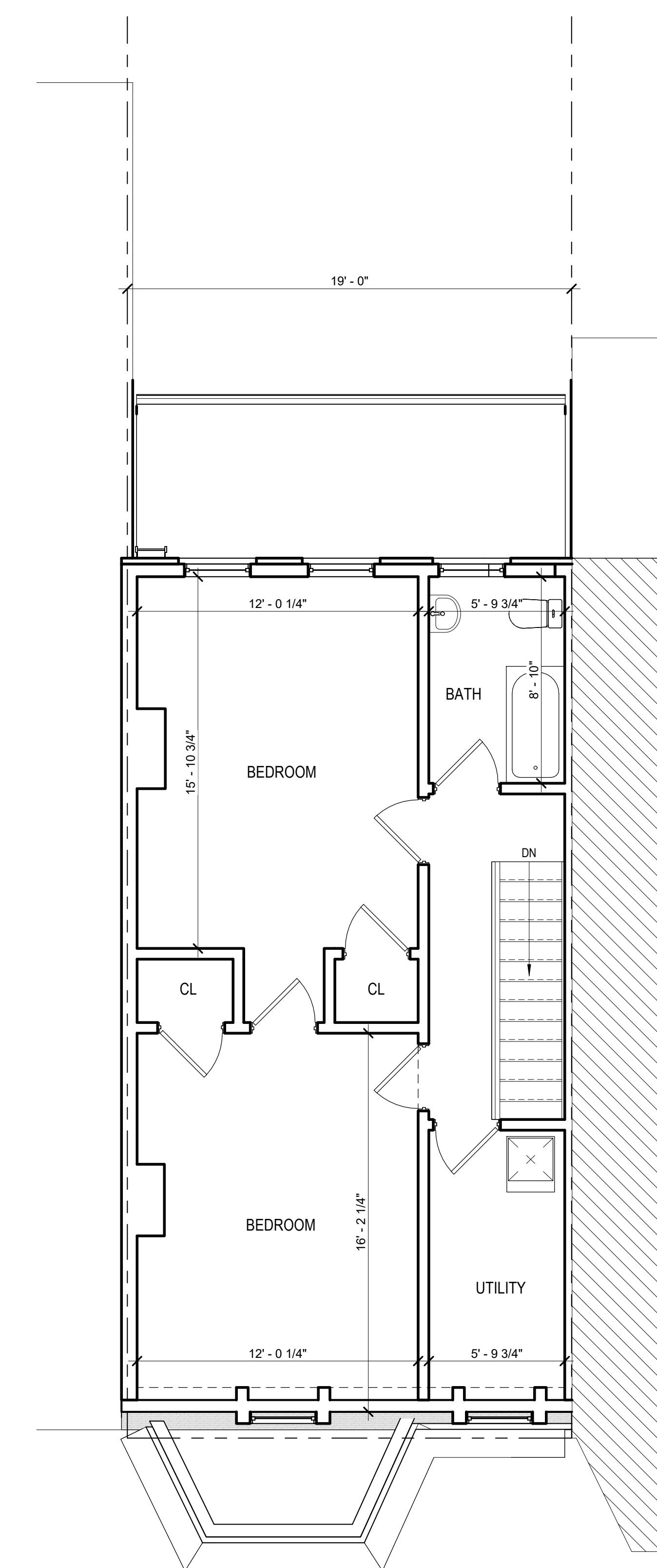
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1/4" = 1'-0"



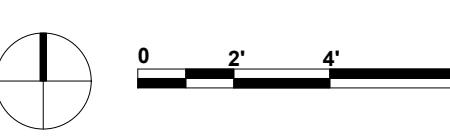
2 EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"



3 EXISTING SECOND FLOOR PLAN
1/4" = 1'-0"



4 EXISTING THIRD FLOOR PLAN
1/4" = 1'-0"



D101

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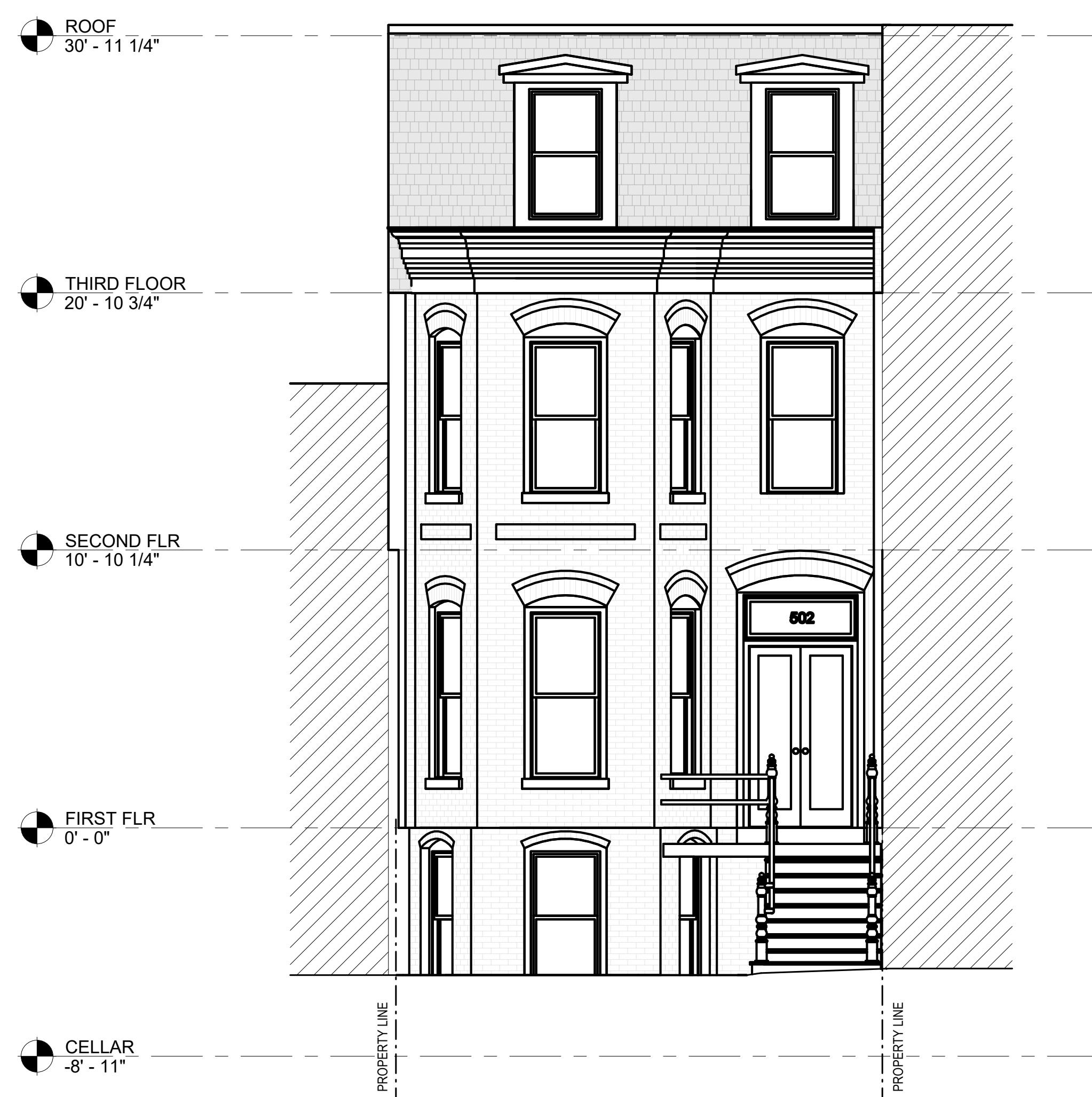
SEAL

SHEET NAME
EXISTING
ELEVATIONS

SCALE
1/4" = 1'-0"

SHEET NO.

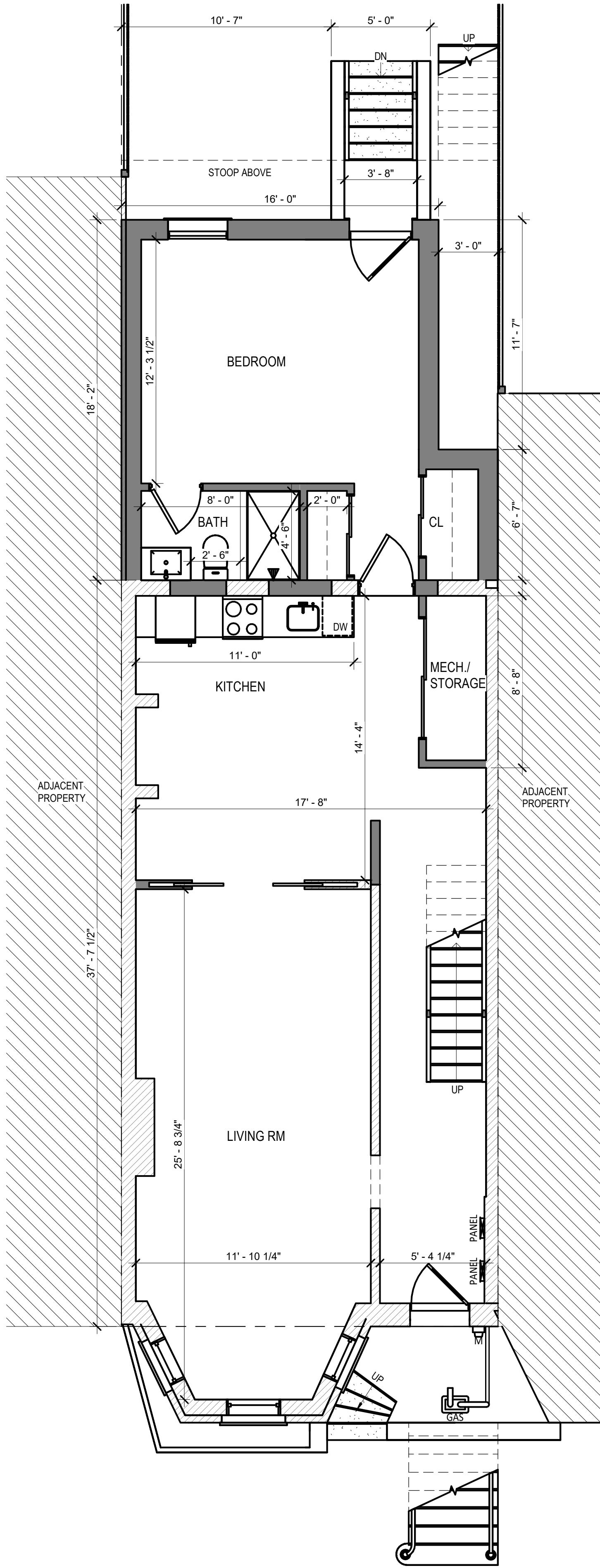
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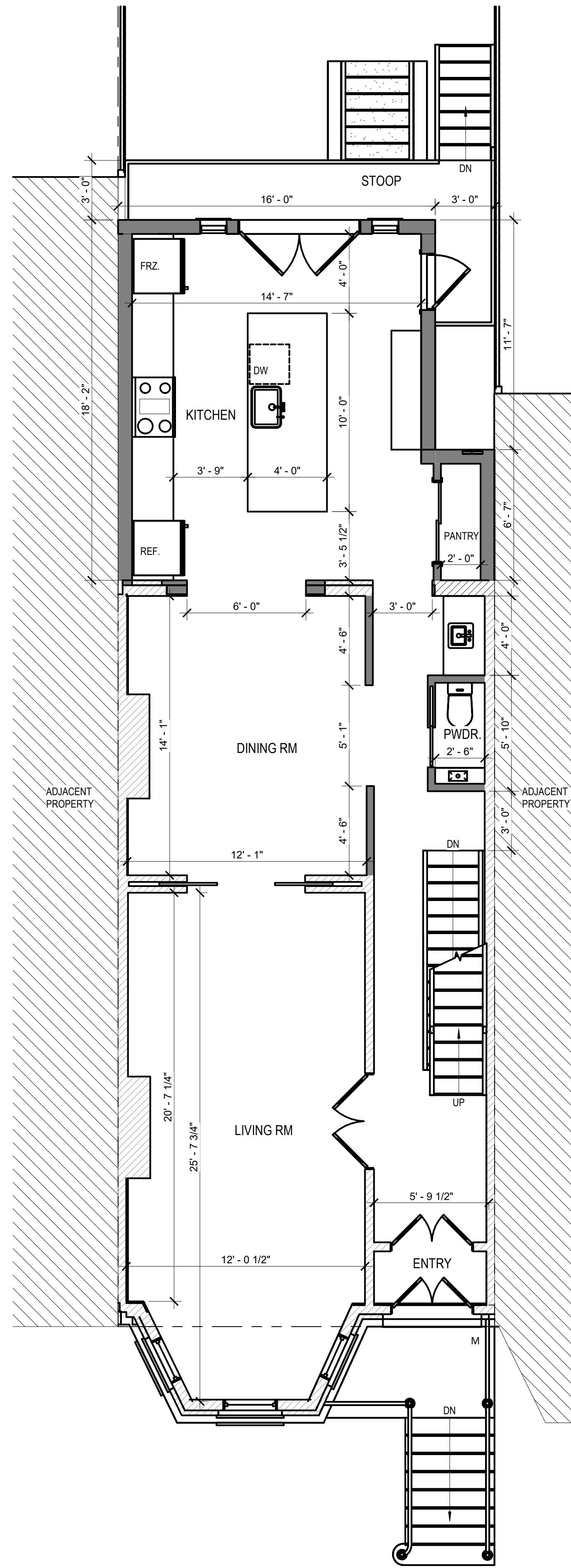
1 EXISTING FRONT ELEVATION
1/4" = 1'-0"



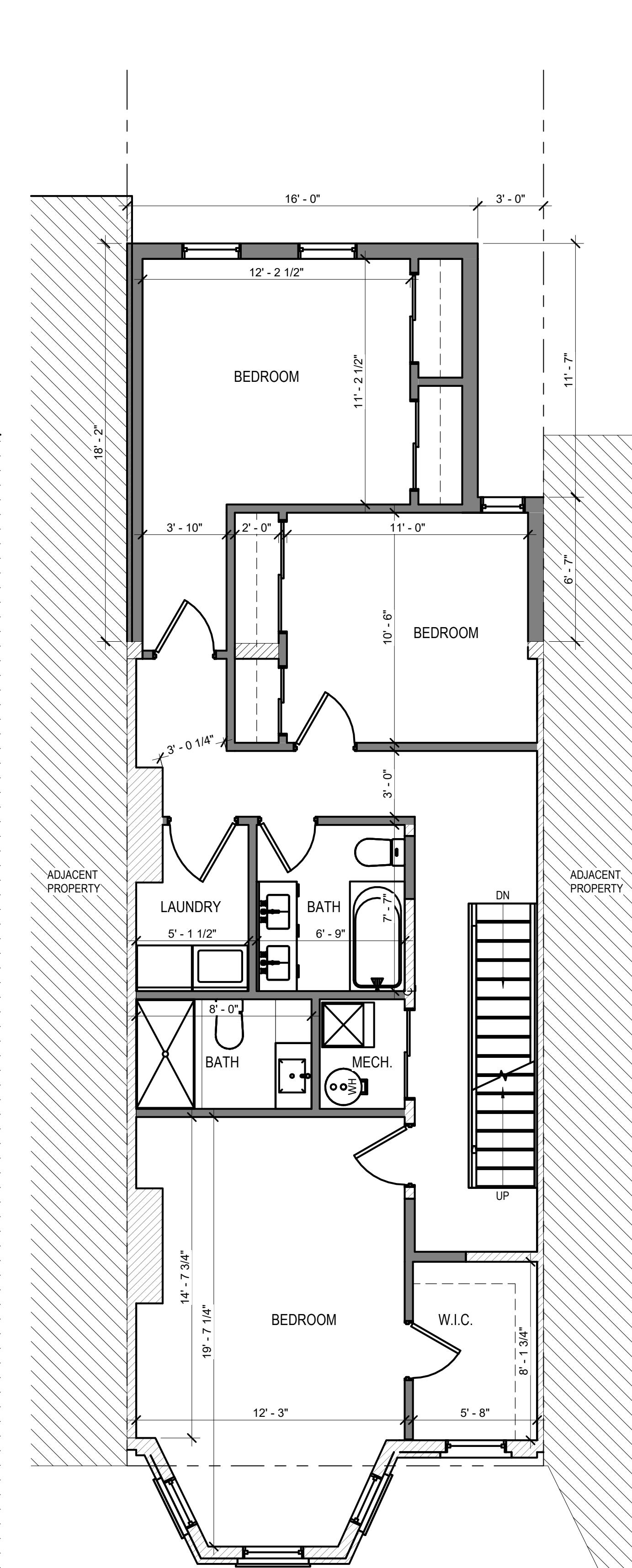
2 EXISTING REAR ELEVATION
1/4" = 1'-0"



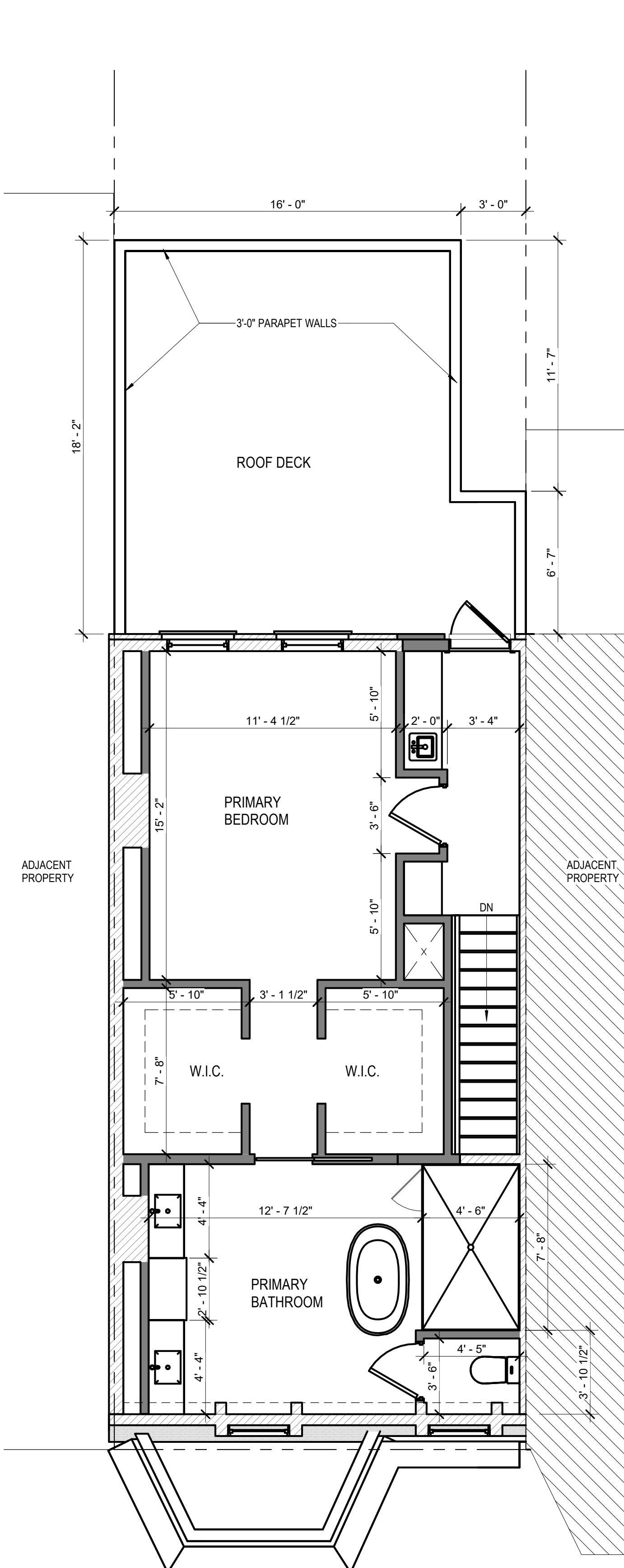
1 PROPOSED CELLAR FLOOR PLAN
1/4" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"



3 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"



4 PROPOSED THIRD FLOOR PLAN
1/4" = 1'-0"

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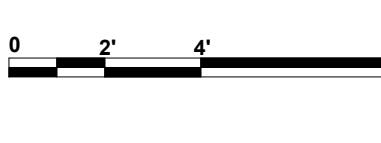
SEAL

SHEET NAME
PROPOSED FLOOR
PLANS

SCALE
1/4" = 1'-0"
SHEET NO.

A101

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PROPOSED
ELEVATIONS

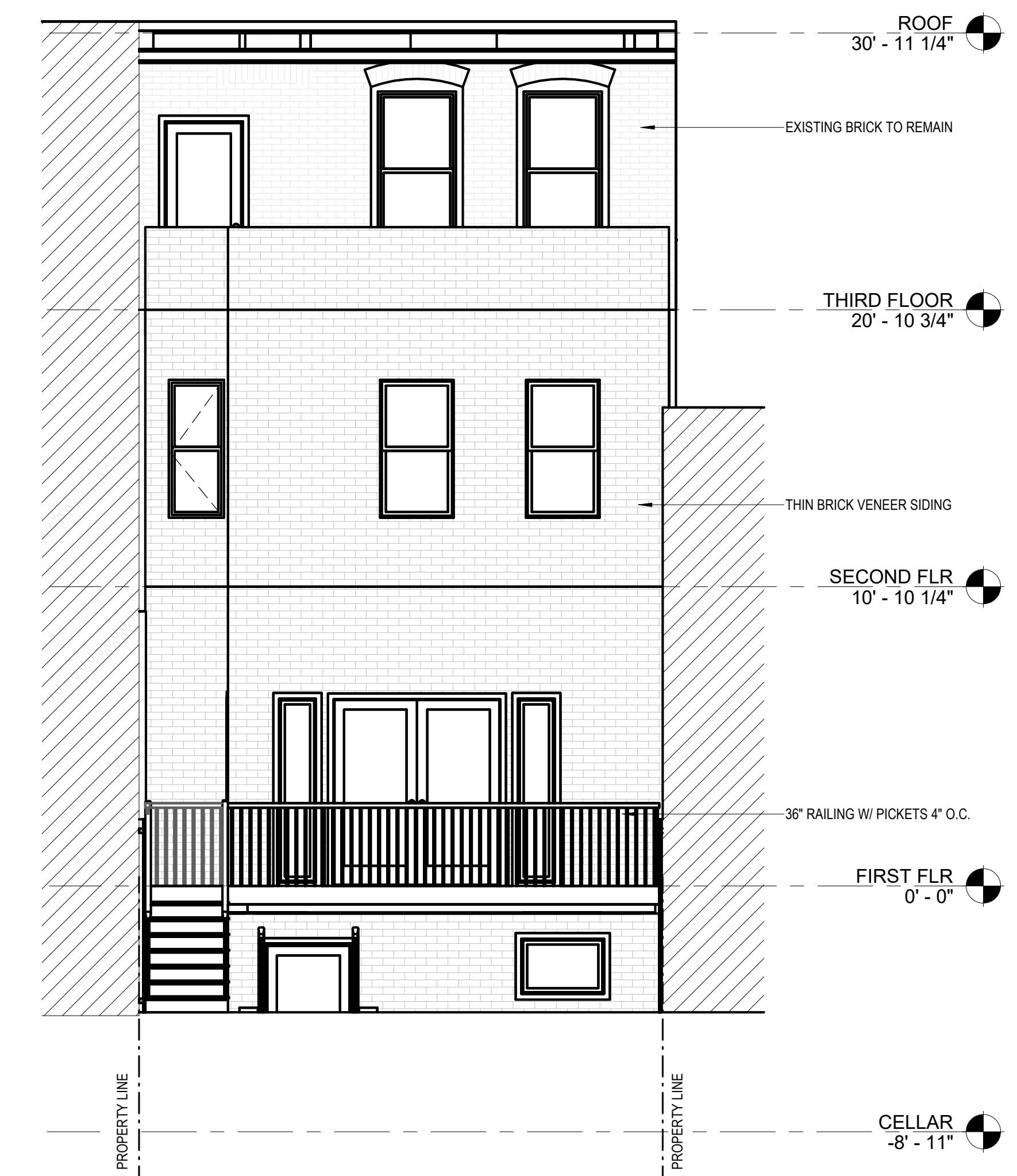
SCALE
1/4" = 1'-0"

SHEET NO.

A201



1 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION
1/4" = 1'-0"