



EXISTING REAR FACADE, FROM REAR YARD

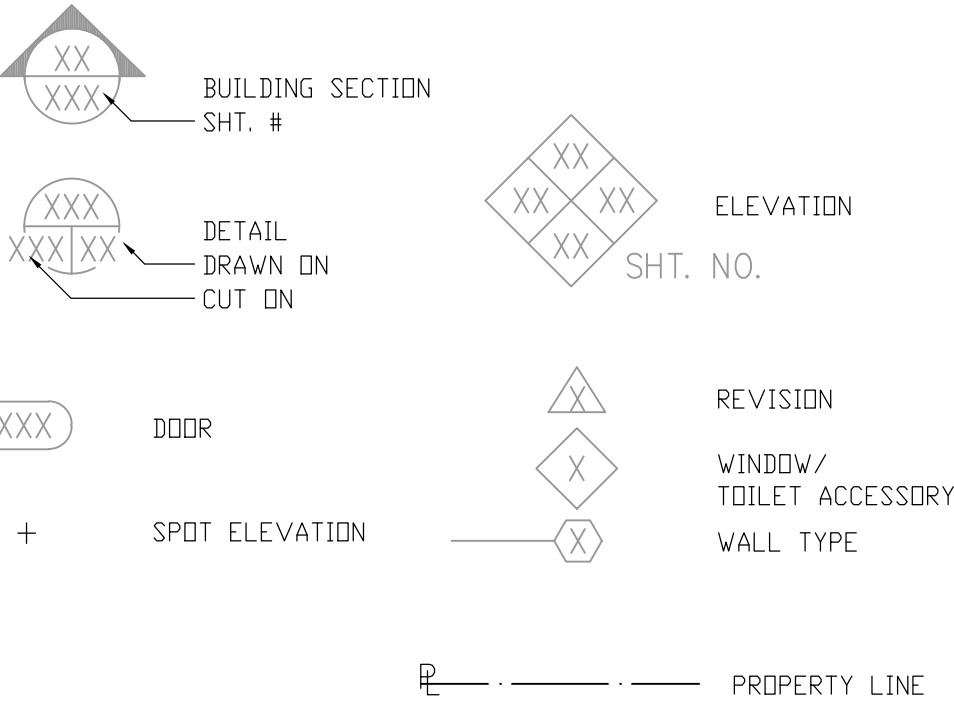


EXISTING FRONT FACADE, FROM SIDEWALK

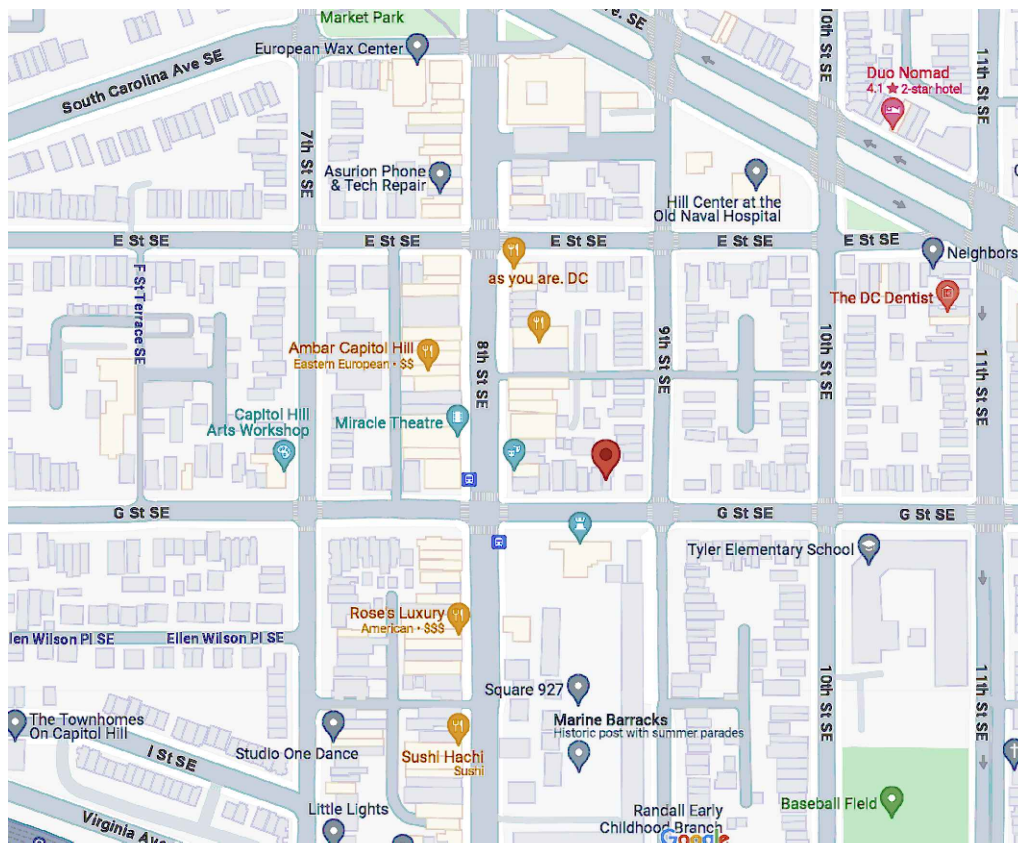
ABBREVIATIONS

@	AT	NIC	NOT IN CONTRACT
AFF	ABOVE FINISHED FLOOR	NTS	NOT TO SCALE
ARCH	ARCHITECT, ARCHITECTURAL	PLUMB	PLUMBING
BOT	BOTTOM	P.T.	PRESSURE TREATED
CLG	CEILING	RCP	REFLECTED CEILING PLAN
CMU	CONCRETE MASONRY UNIT	SECT	SECTION
CD	CLEAN OUT	SHT	SHEET
CDNC	CONCRETE	SIM	SIMILAR
DEM	DEMOLISH	SPEC	SPECIFICATION
DN	DOWN	STL	STEEL
DWG	DRAWING	STRUCT	STRUCTURAL
DTL	DETAIL	TYP	TYPICAL
ELEC	ELECTRIC (ELECTRICAL)	UND	UNLESS NOTED OTHERWISE
EQUIP	EQUIPMENT	W/	WITH
GWB	GYPSONUM WALL BOARD	WC	WATER CLOSET
INSUL	INSULATION	W/O	WITHOUT
LAV	LAVATORY		
MAX	MAXIMUM		
MECH	MECHANICAL		
MIN	MINIMUM		
MD	MASONRY OPENING		

ARCHITECTURAL SYMBOLS



VICINITY MAP:



ZONING INFORMATION:

SQUARE: 0926
LOT: 0802
WARD: 6
ZONE DISTRICT: RF-1
USE GROUP: R-3
CONSTRUCTION TYPE: 3B

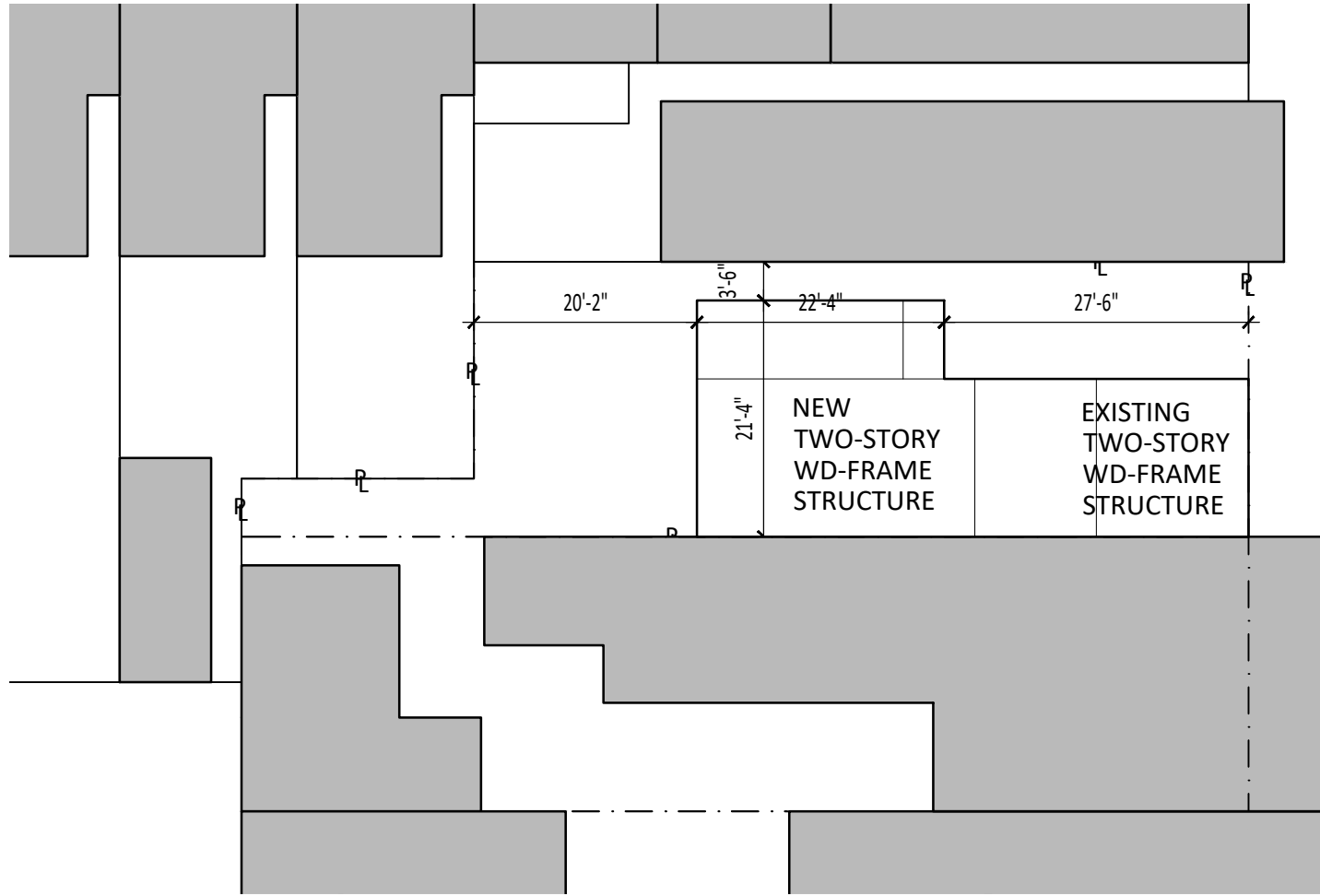
OWNER(S):

SIDNEY LANDRY NEELY JR
816 G ST SE
WASHINGTON, DC 20003

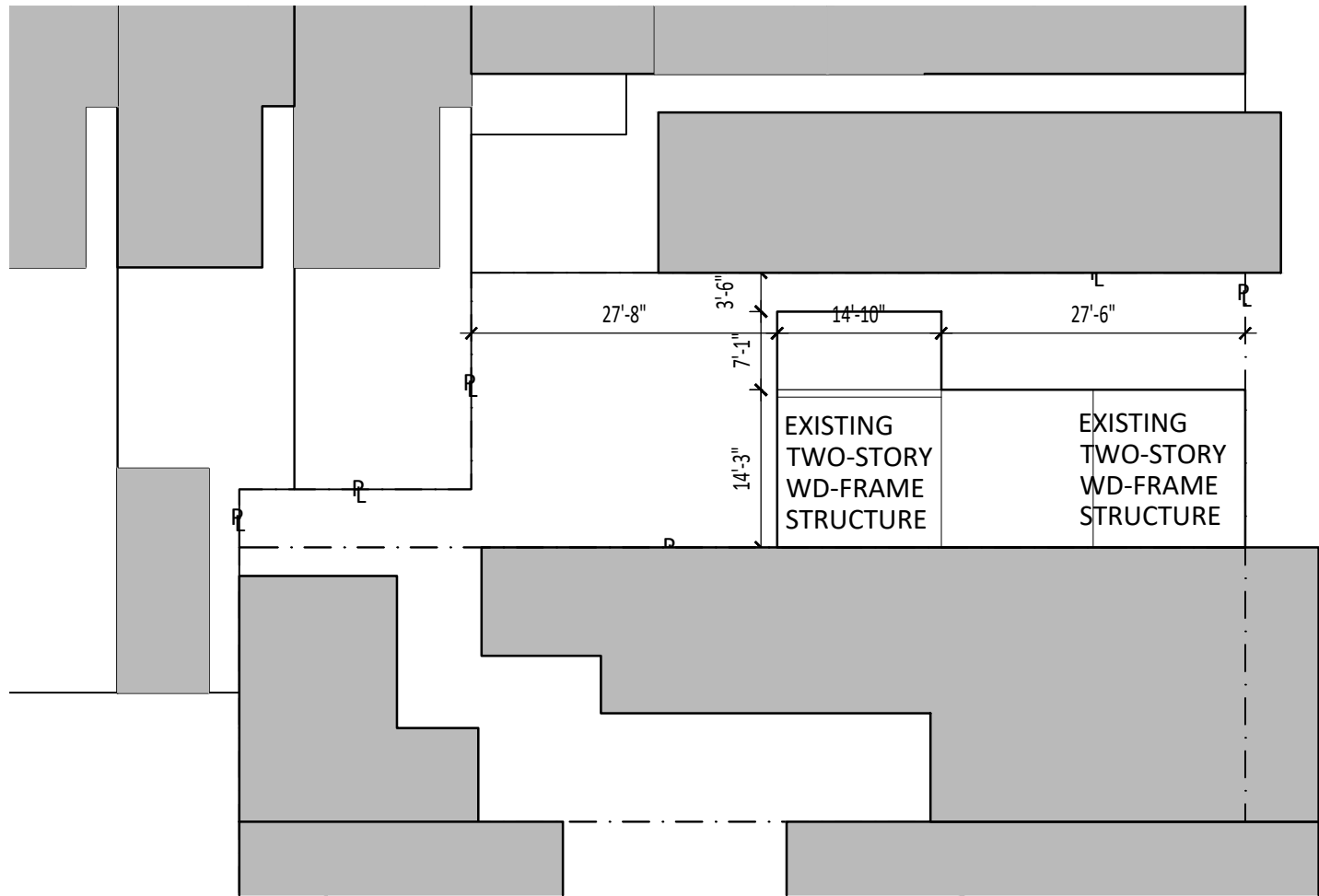
EXISTING: TWO-STORY DWELLING
SINGLE FAMILY DWELLING
PROPOSED: TWO-STORY DWELLING
SINGLE FAMILY DWELLING

FIRE ALARM: NO
SPRINKLERS: NO
FIRE DETECTION: HARD WIRED AND INTERCONNECTED SMOKE DETECTORS
W/ BATTERY BACKUP
ACCESSIBILITY: NO

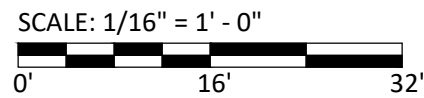
	EXISTING	PROPOSED	MAX ALLOWED
LOT AREA	1848 SF	1848 SF	1800 SF (MIN)
BUILDING AREA	708 SF	868 SF	
PERCENTAGE OF LOT COVERAGE	38.3%	47.0%	60%
REAR YARD	27'-7"	20'-2"	20'-0" MIN
SIDE YARD	3'-6"	3'-6"	5'-0" MIN
OPEN COURT	N/A	N/A	6'-0" MIN
HEIGHT	24'-0"	24'-0"	35'-0" MAX
STORIES	2	2	3 + CELLAR
F.A.R.	N/A	N/A	NONE PRESCRIBED
1ST FLOOR	708 SF	868 SF	
2ND FLOOR	708 SF	868 SF	
TOTAL	1416 SF	1736 SF	



NEW CONSTRUCTION



EXISTING



1 SITE PLANS
SCALE: 1/16" = 1' - 0"

DESIGN TEAM:

ARCHITECT:

BARNSTAR ARCHITECTS, PLLC
655 F ST NE
WASHINGTON, DC 20002
202.527.8144

SCOPE OF WORK/PROJECT DESCRIPTION:

REAR ADDITION TO SINGLE FAMILY SEMI-DETACHED RESIDENCE IN WASHINGTON, D.C.

GENERAL SCOPE OF WORK:

TWO STORY ADDITION TO EXISTING TWO STORY RESIDENTIAL STRUCTURE. EXTEND EXISTING NON-CONFORMING 3'-6" WIDE SIDE YARD.

DRAWINGS LIST:

001 COVER SHEET
A001 DEMOLITION PLANS AND ELEVATIONS
A101 NEW CONSTRUCTION PLANS AND ELEVATIONS

GENERAL NOTES:

- DO NOT SCALE THE DRAWINGS.
- FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING WORK. INFORMATION PROVIDED ON THESE DRAWINGS RELATED TO EXISTING IS BASED ON AVAILABLE DESIGN DOCUMENTS AND FIELD OBSERVATION. CONTRACTOR TO CONTACT STRUCTURAL ENGINEER UPON DISCOVERY OF ANY DISCREPANCY BETWEEN CONTRACT DRAWINGS AND ACTUAL EXISTING CONDITIONS.
- WORK BY TRADES SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES.
- DIMENSIONS SHOWN ARE FINISHED DIMENSIONS, UNO.

APPLICABLE CODES:

- RESIDENTIAL BUILDING: ICC/IRC-2015 & DCMR 12B-2017 BUILDING CODE SUPPLEMENT
- EXISTING BUILDING: ICC/IRC-2015 & DCMR 12J-2017 BUILDING CODE SUPPLEMENT
- MECHANICAL: ICC/IMC-2015 & DCMR 12E-2017 MECHANICAL CODE SUPPLEMENT
- PLUMBING: ICC/IPC-2015 & DCMR 12F-2017 PLUMBING CODE SUPPLEMENT
- ELECTRICAL: ICC/NFPA NEC-2014 & DCMR 12C-2017 ELECTRICAL CODE SUPPLEMENT
- FIRE: ICC/IFC-2015 & DCMR 12H-2017 FIRE PREVENTION CODE SUPPLEMENT
- ENERGY: ICC/IECC-2015 & DCMR 12I-2017 ENERGY CODE SUPPLEMENT
- FUEL GAS: ICC/IFGC-2015 & DCMR 12D-2017 FUEL GAS CODE SUPPLEMENT
- ACCESSIBILITY: ICC/ANSI A117.1-2006 & DCMR12A-2013 SUPPLEMENTAL/CHAPTER 11
- ZONING: DCMR 11 ZONING REGULATION

FIRE RATING DATA:

- EXTERIOR LOAD BEARING FACE-ON-LINE WALLS:
 - 1 HOUR RATED WOOD FRAME W/ VENEER
- EXTERIOR LOAD BEARING PARTY WALLS:
 - 2 HOUR RATED SOLID MASONRY, 12" THICK
- FLOOR FRAMING:
 - 0 HOUR RATED, 2X10 WOOD JOISTS @ 16" O.C.
- ROOF FRAMING:
 - 1 HOUR RATED WITHIN 4'-0" OF P.L., 2X8 WOOD RAFTERS; OR
 - 2 HOUR RATED PARAPET WALL TO 30" ABOVE ROOF PLANE

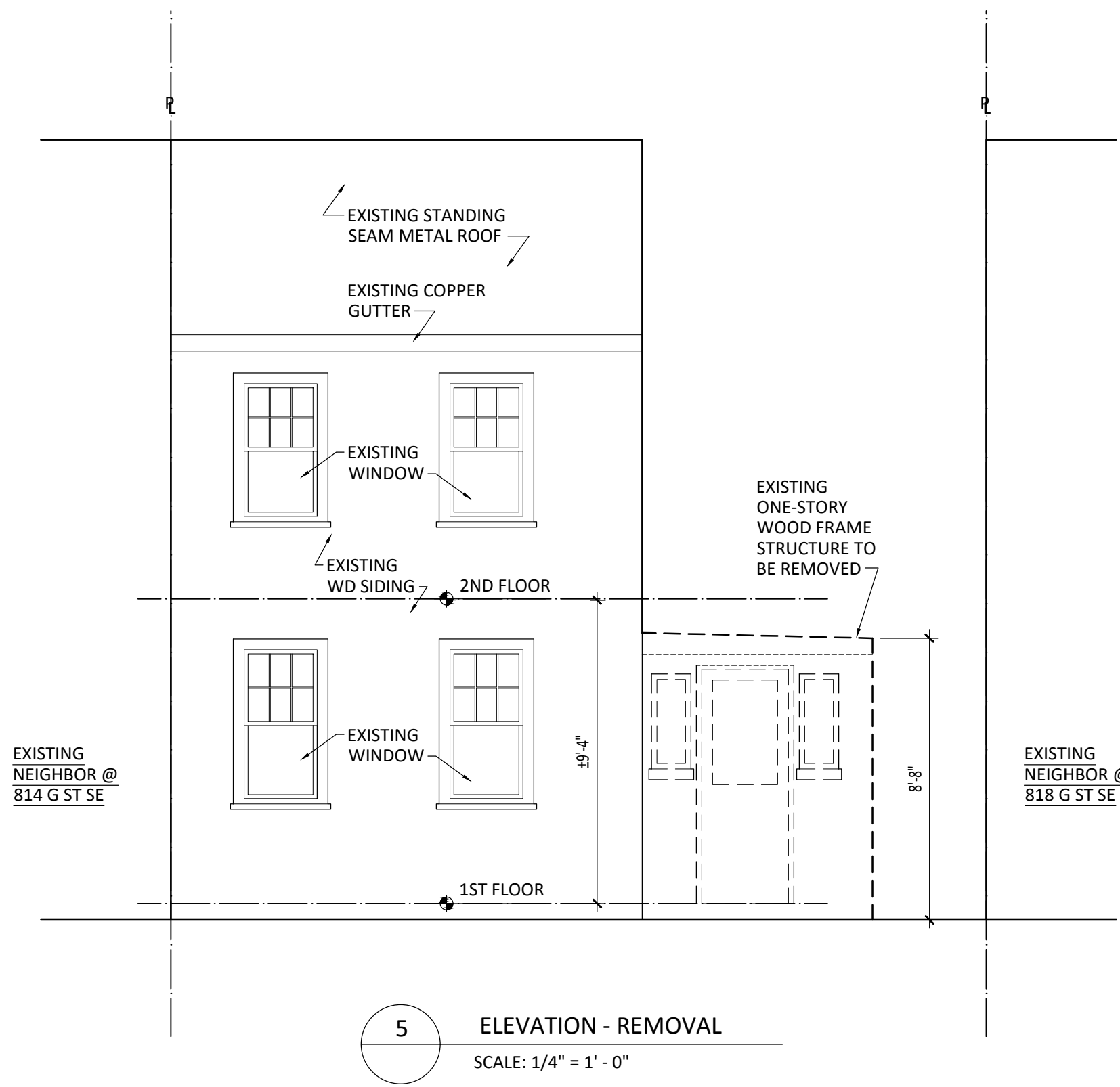
REAR ADDITION AND INTERIOR RENOVATION

001

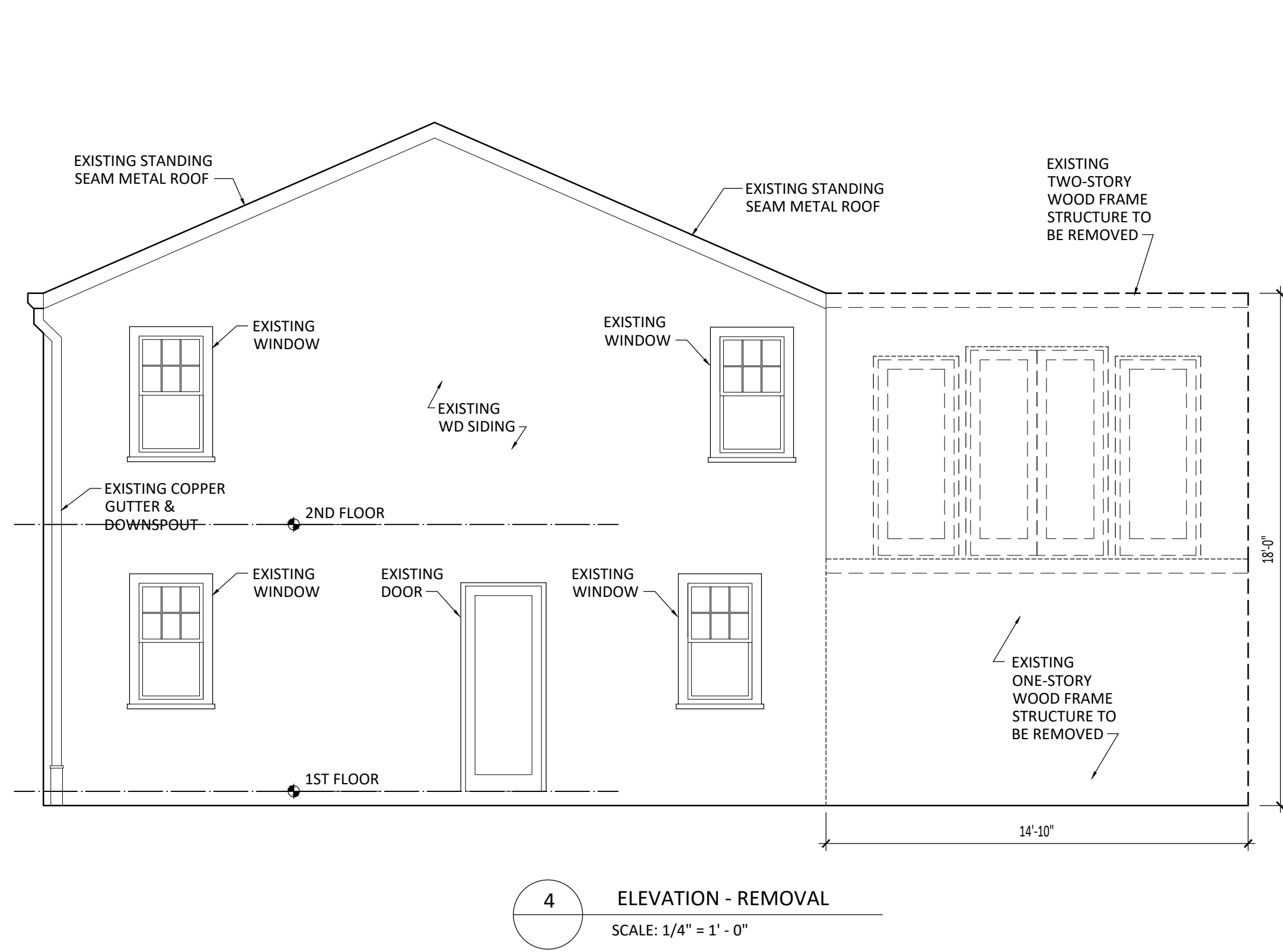
COVER SHEET

816 G ST SE
WASHINGTON DC 20003

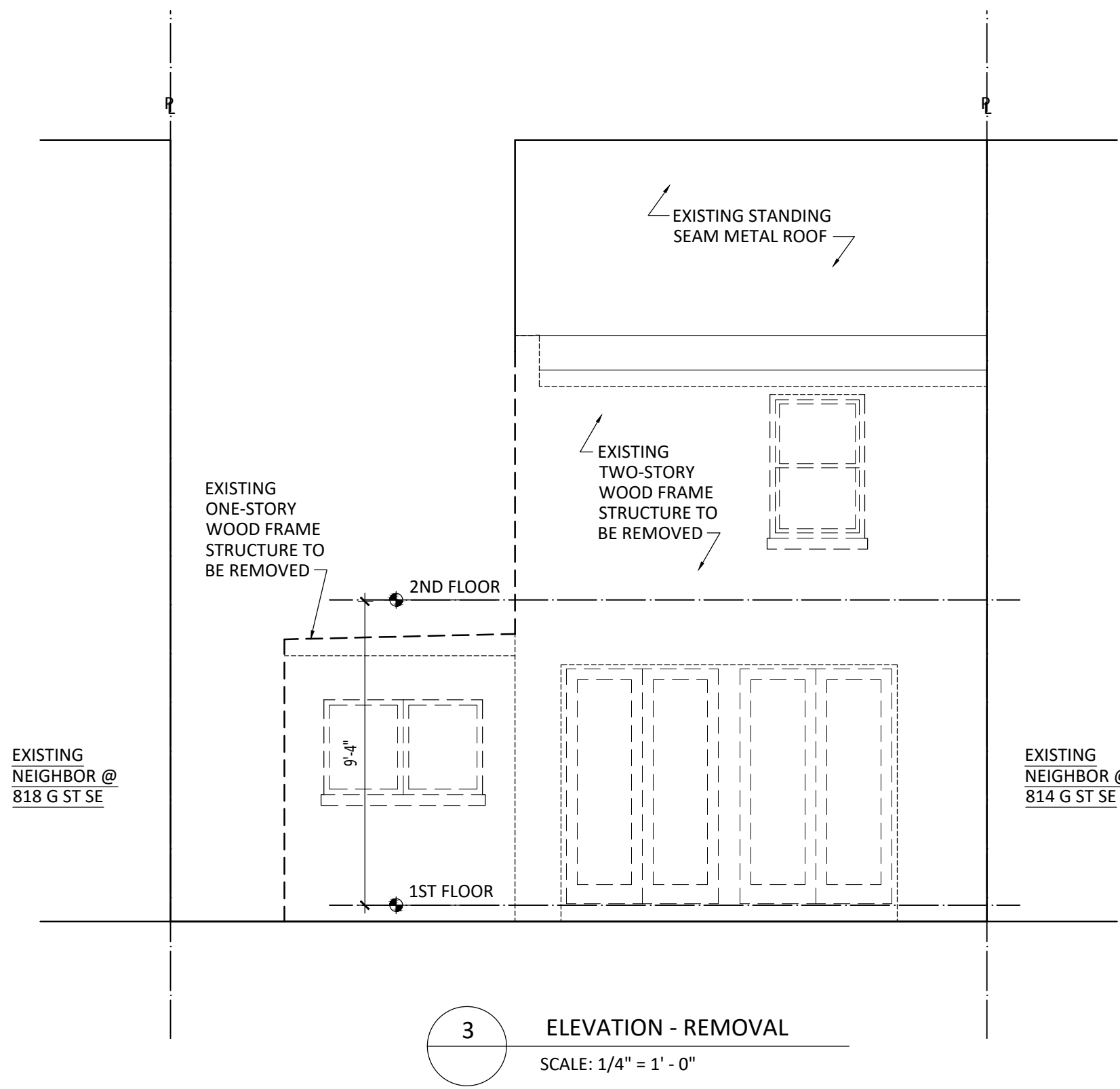
Board of Zoning Adjustment
District of Columbia
CASE NO.21189
EXHIBIT NO.10



5 ELEVATION - REMOVAL
SCALE: 1/4" = 1' - 0"

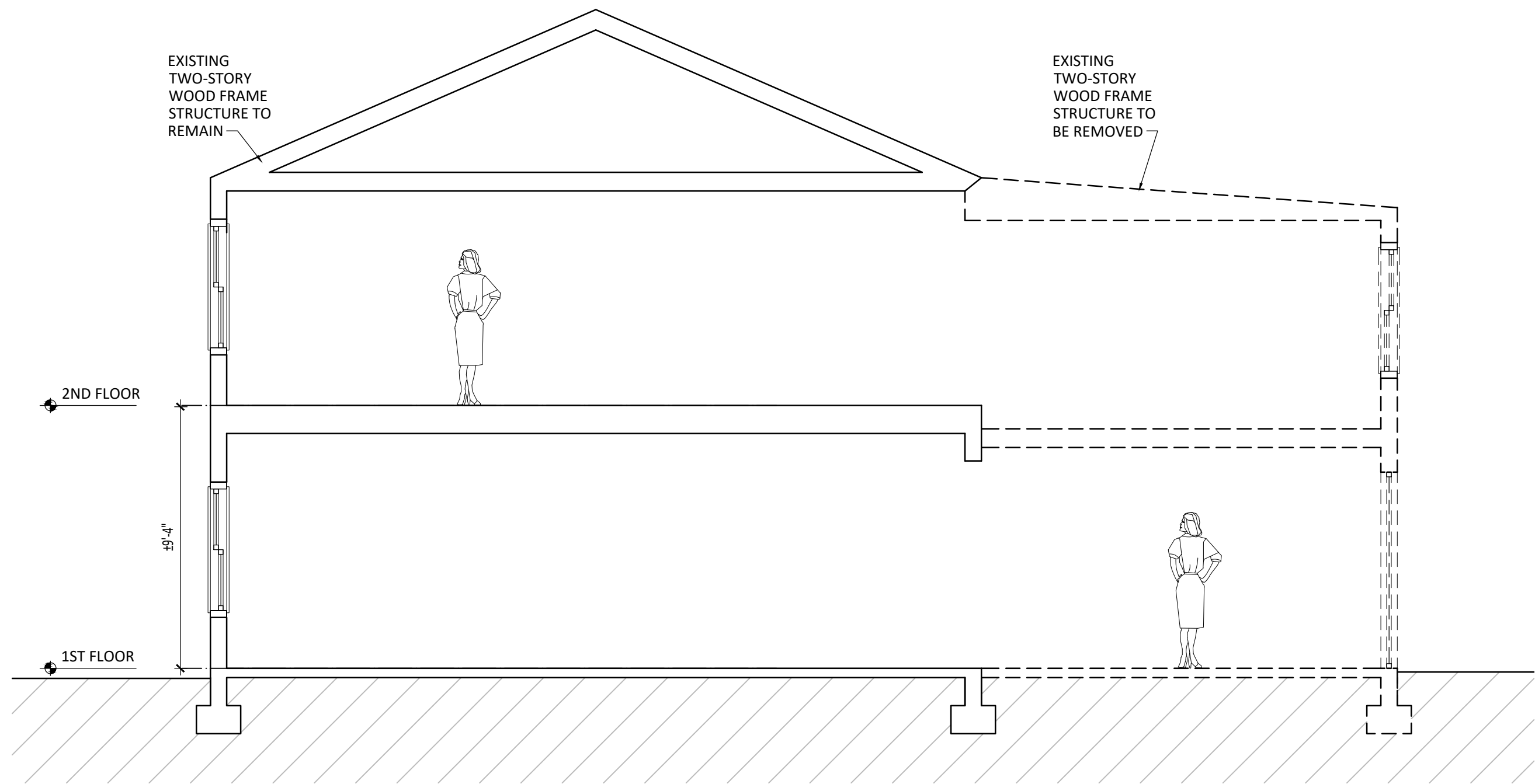


4 ELEVATION - REMOVAL
SCALE: 1/4" = 1' - 0"

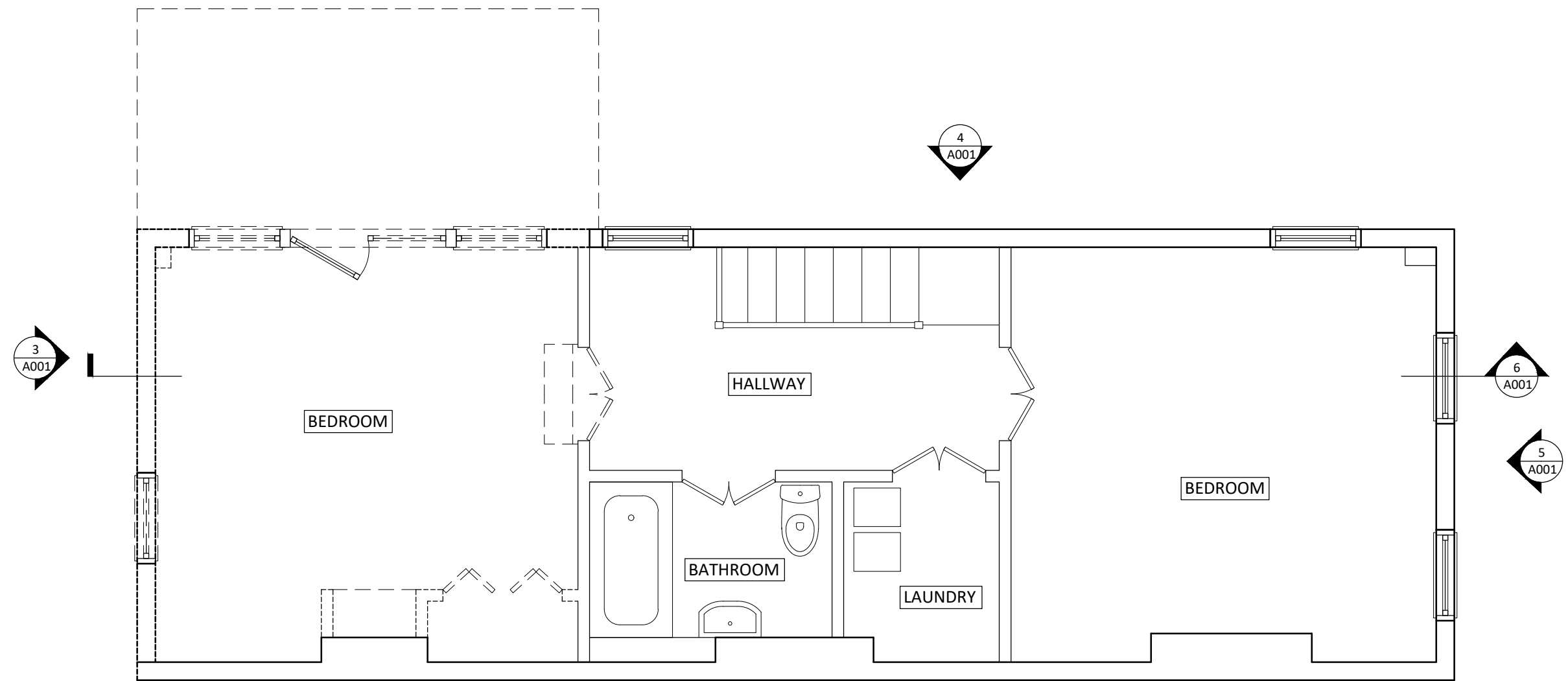


3 ELEVATION - REMOVAL
SCALE: 1/4" = 1' - 0"

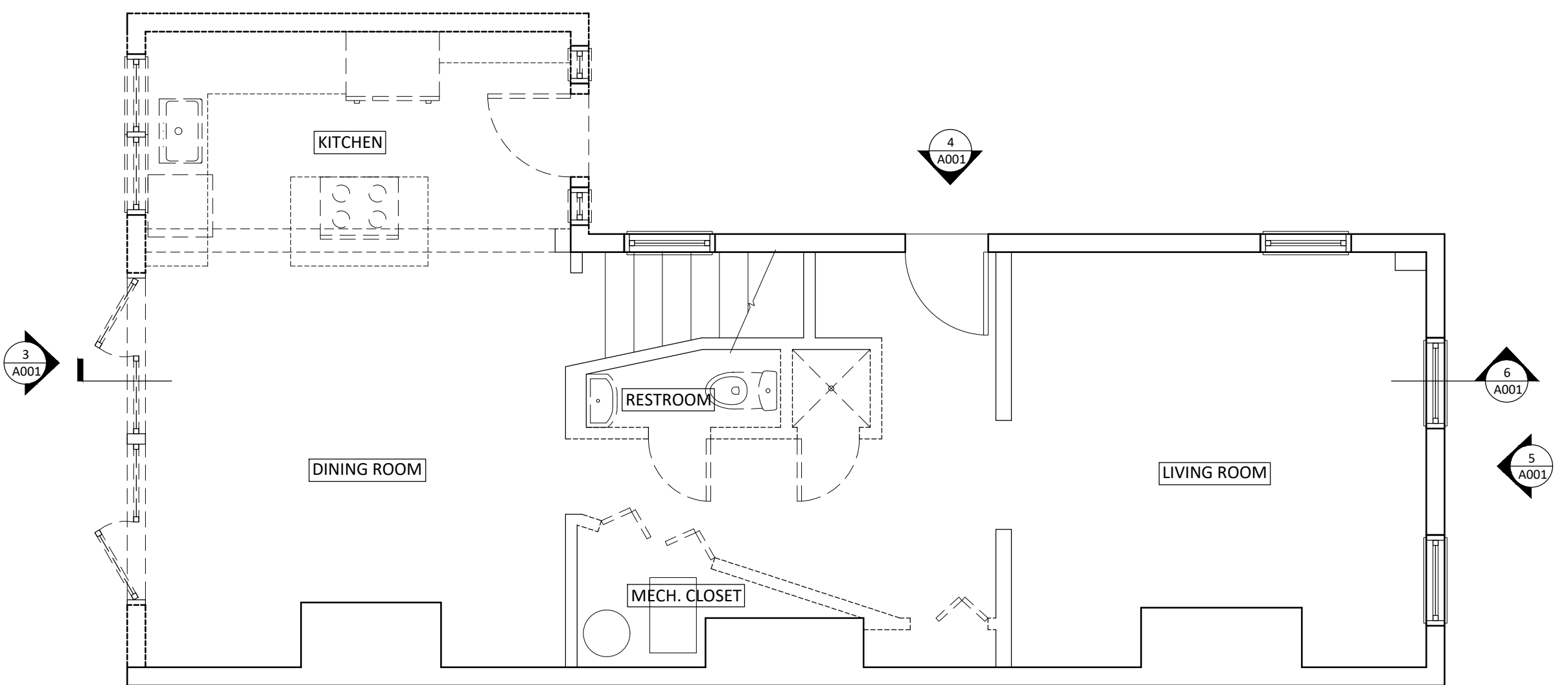
LEGEND
--- EXISTING ITEM TO BE REMOVED



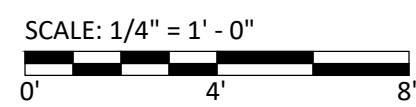
6 SECTION - REMOVAL
SCALE: 1/4" = 1' - 0"



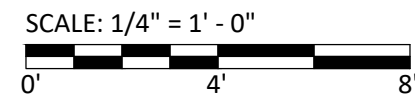
2 REMOVAL PLAN - 2ND FLOOR
SCALE: 1/4" = 1' - 0"



1 REMOVAL PLAN - 1ST FLOOR
SCALE: 1/4" = 1' - 0"



LEGEND
--- EXISTING ITEM TO BE REMOVED



REAR ADDITION AND INTERIOR RENOVATION

DCRA STAMP

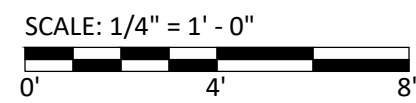
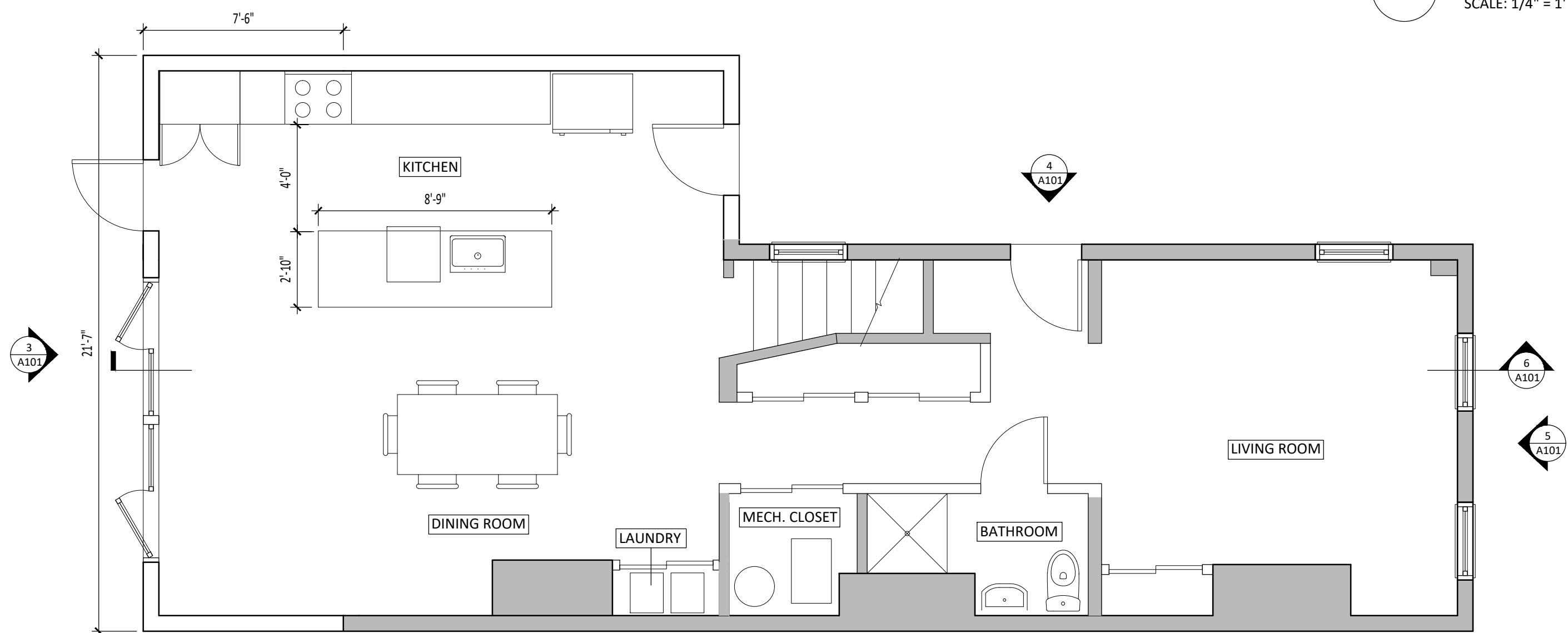
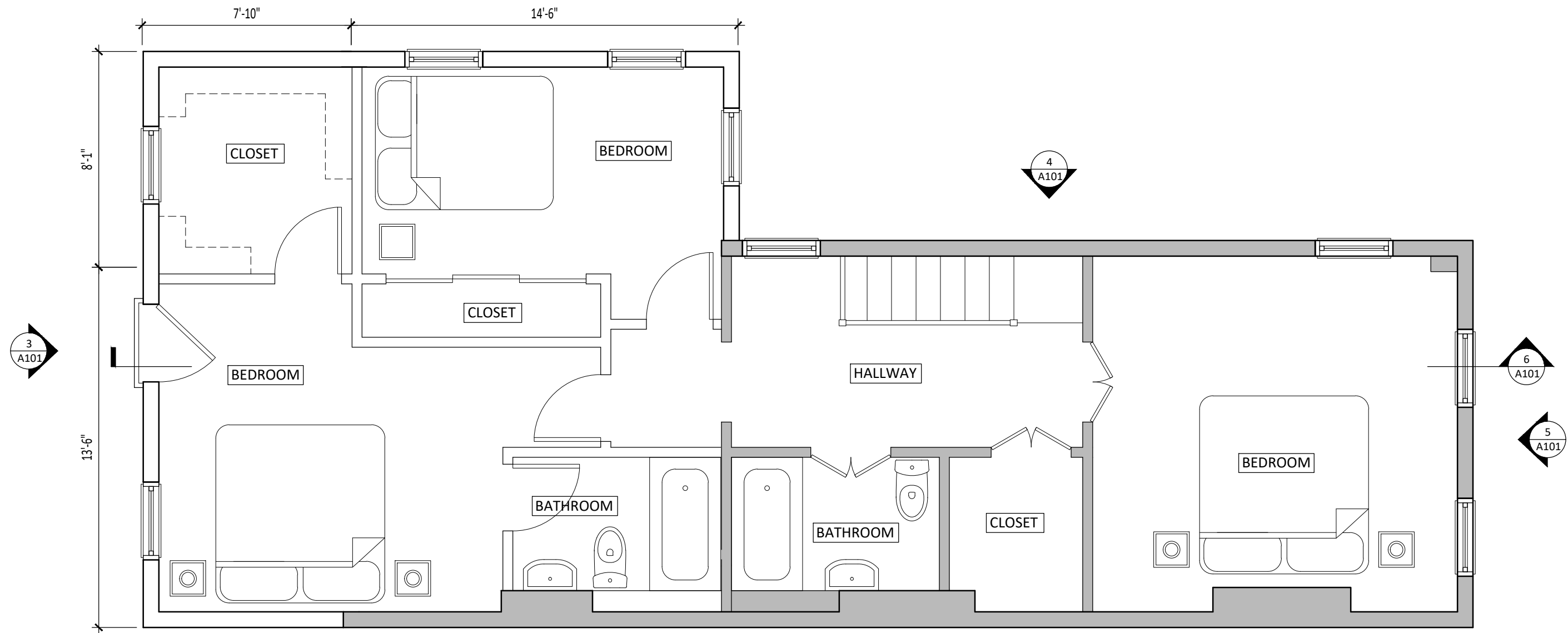
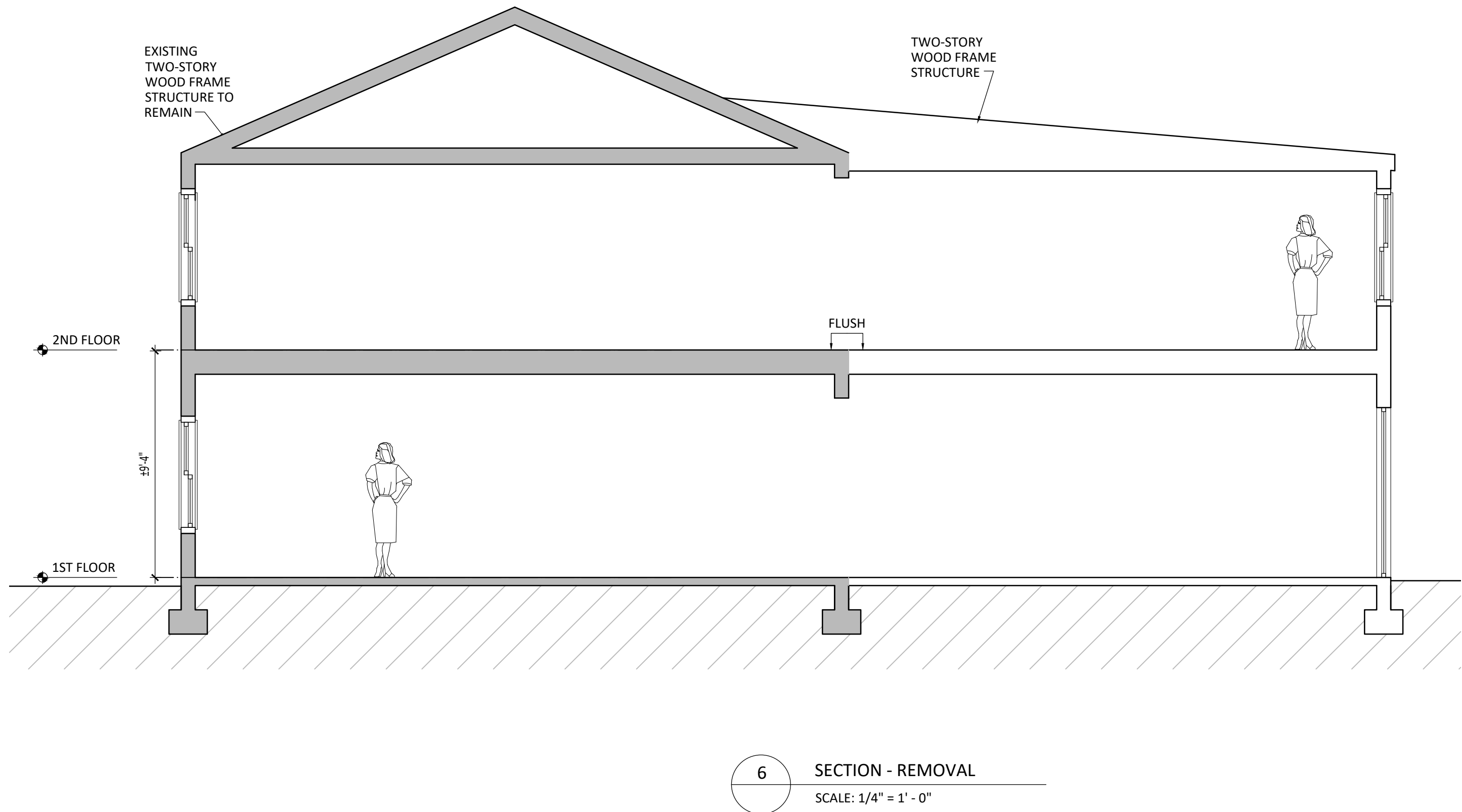
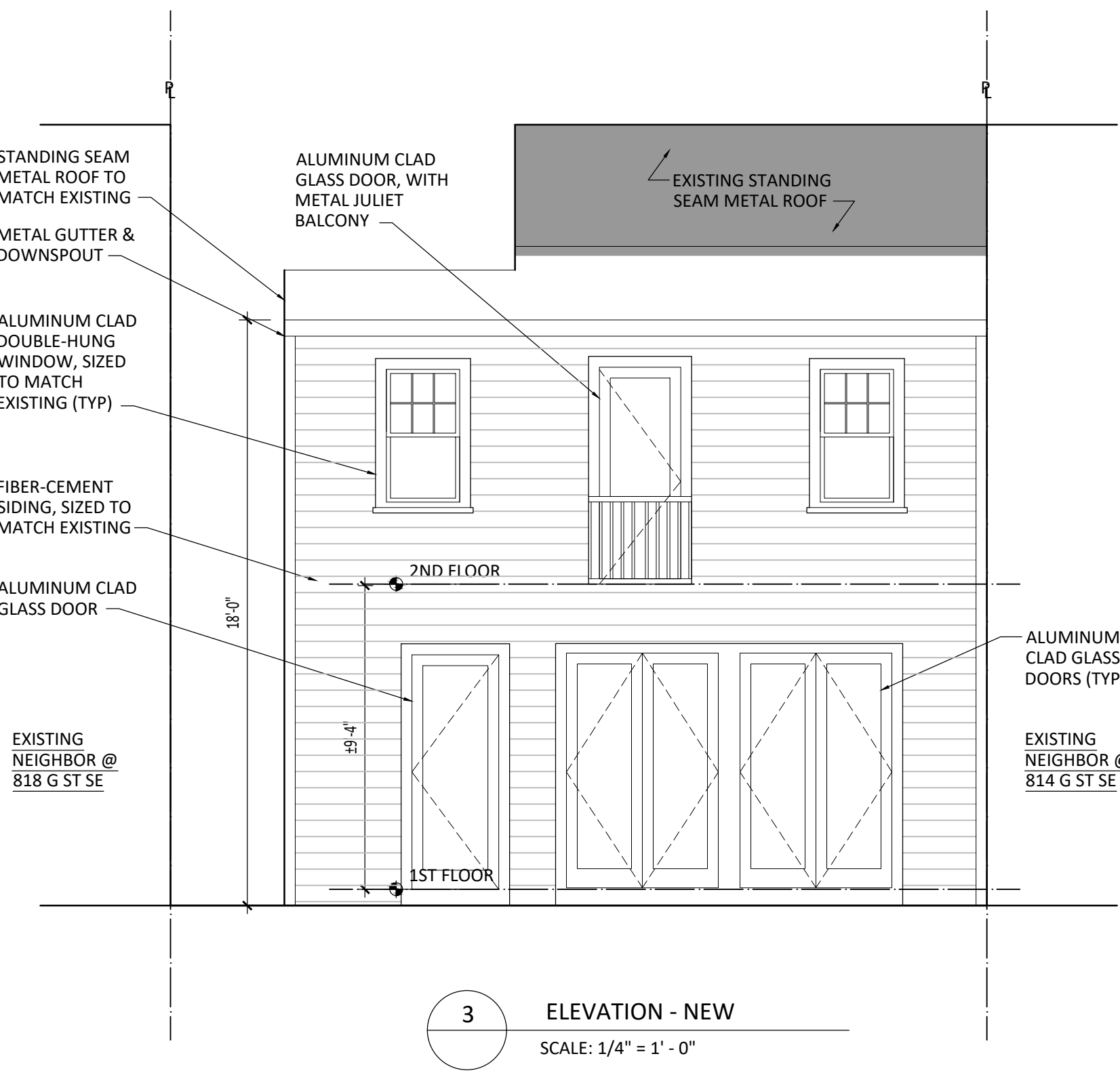
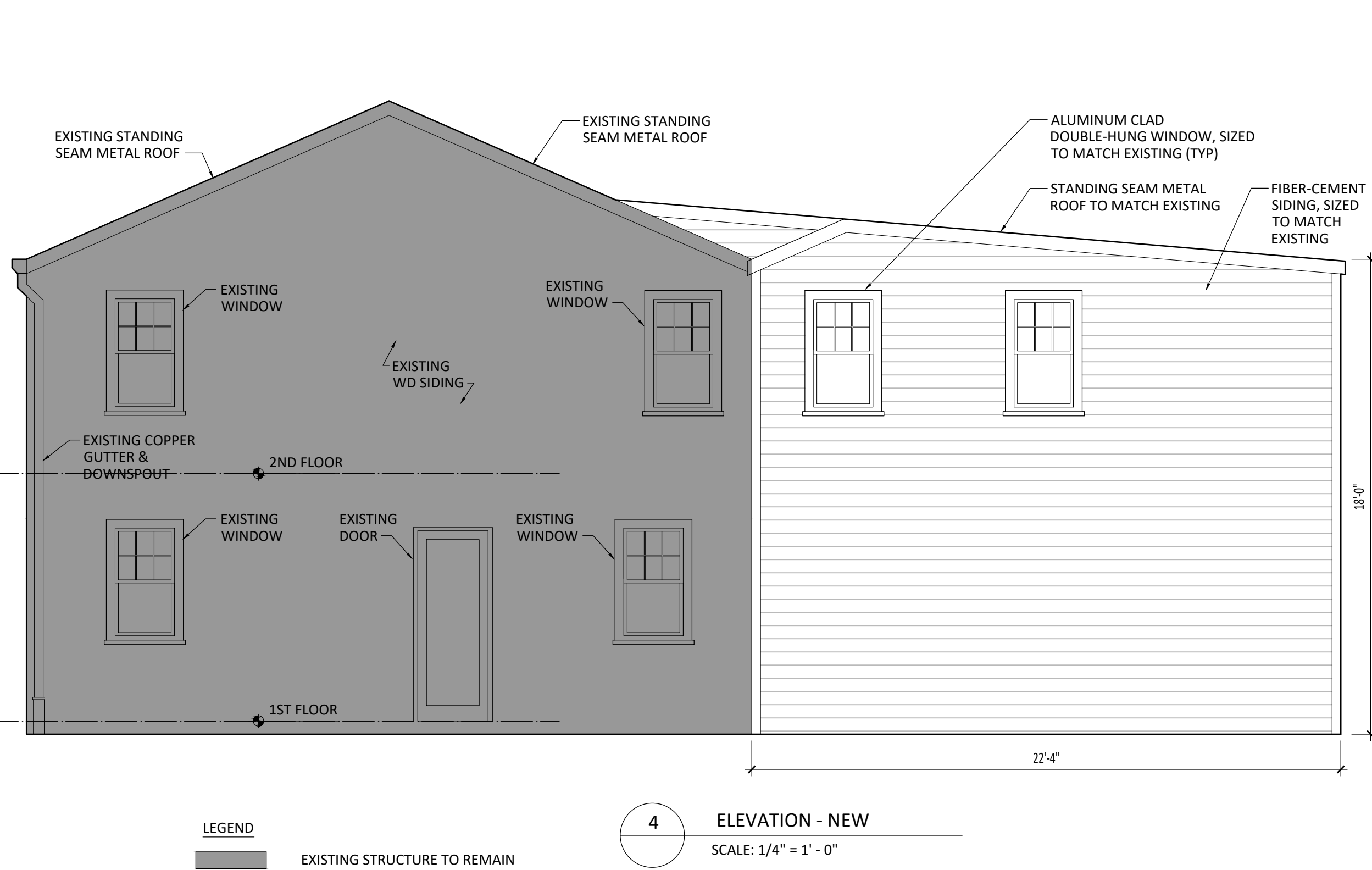
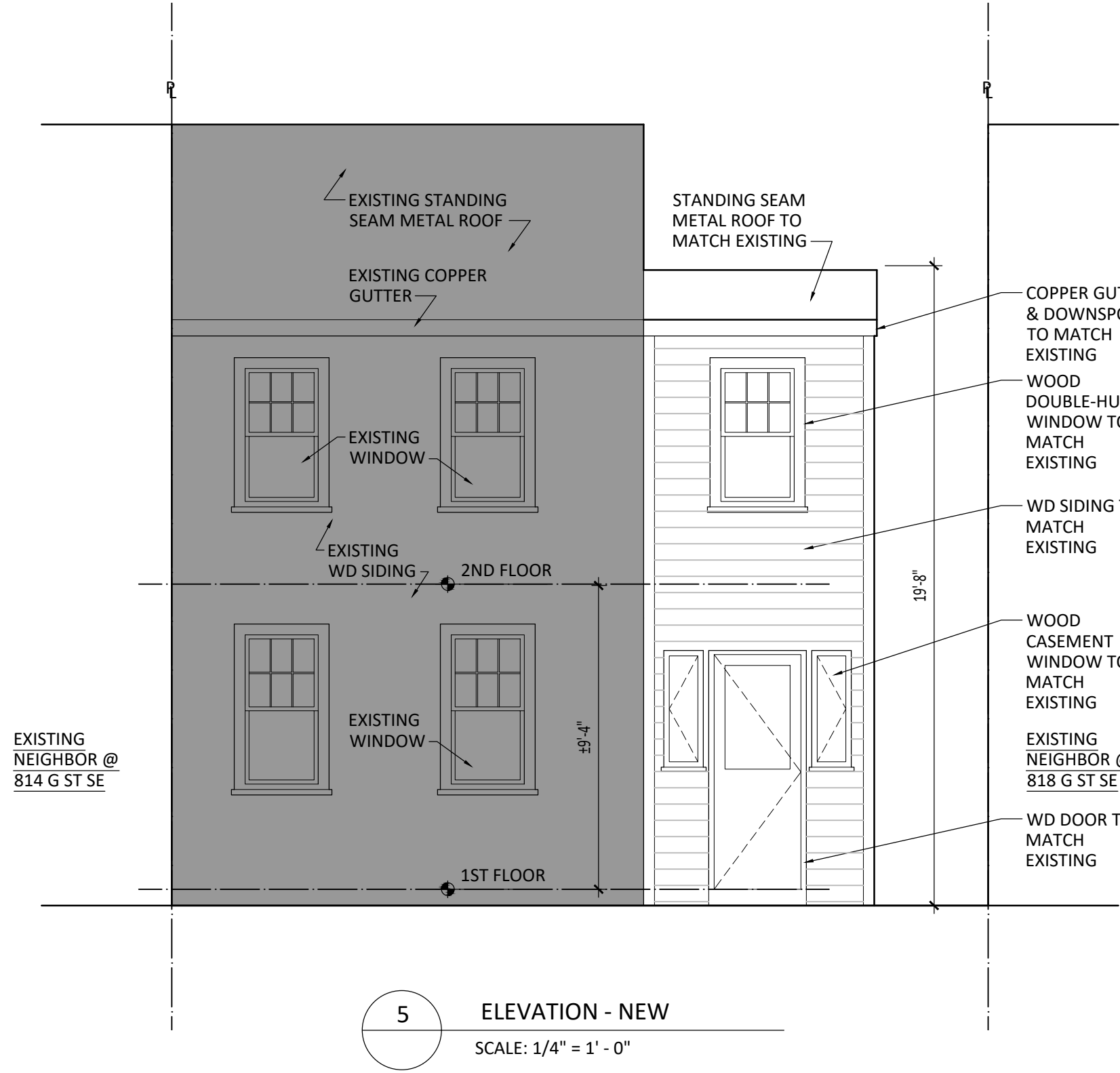
BARSTAR ARCHITECTS, PLLC
GREGOIRE HOLEYMAN, AIA
518 GROFF CT NE
WASHINGTON DC 20002
(202) 527-8144

HPRB SUBMISSION SET:
June 25, 2024

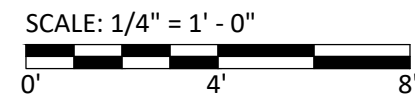
A001

REMOVAL PLANS, ELEVATIONS,
SECTION

816 G ST SE
WASHINGTON DC 20003



LEGEND
EXISTING STRUCTURE TO REMAIN
NEW PARTITION



1 NEW PLAN - 1ST FLOOR
SCALE: 1/4" = 1' - 0"

2 NEW PLAN - 2ND FLOOR
SCALE: 1/4" = 1' - 0"

6 SECTION - REMOVAL
SCALE: 1/4" = 1' - 0"

4 ELEVATION - NEW
SCALE: 1/4" = 1' - 0"

3 ELEVATION - NEW
SCALE: 1/4" = 1' - 0"

5 ELEVATION - NEW
SCALE: 1/4" = 1' - 0"

LEGEND
EXISTING STRUCTURE TO REMAIN
NEW PARTITION

REAR ADDITION AND INTERIOR RENOVATION

DCRA STAMP

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A101

NEW CONSTRUCTION PLANS,
ELEVATIONS, SECTION

816 G ST SE
WASHINGTON DC 20003