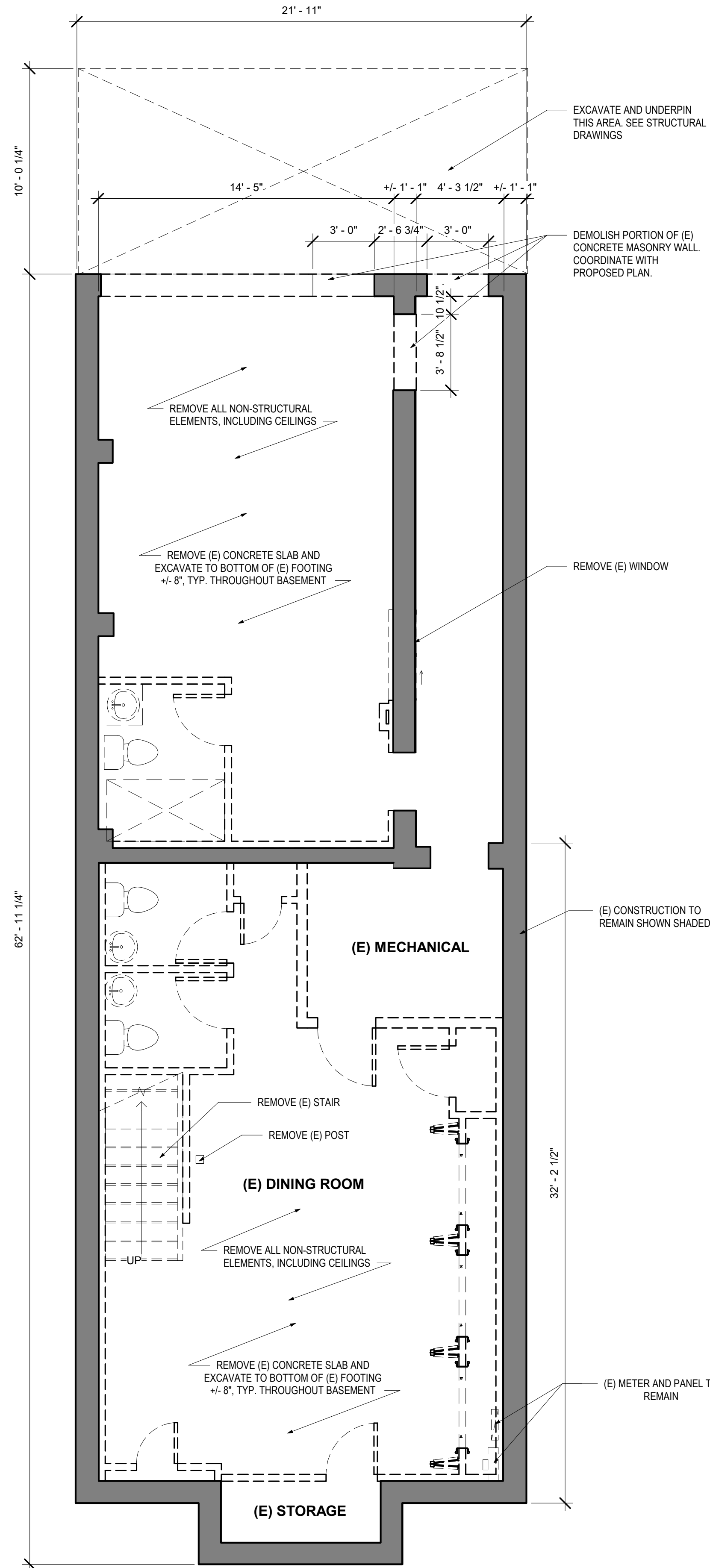
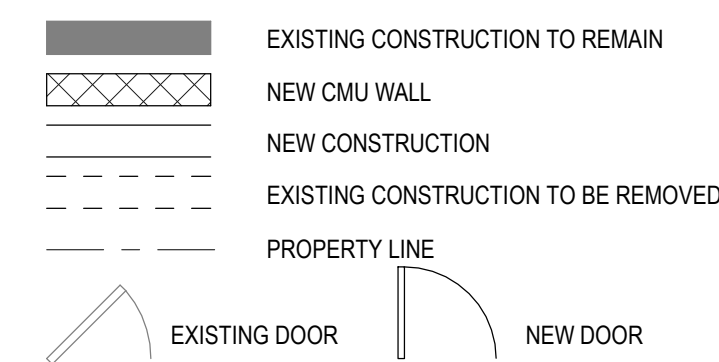


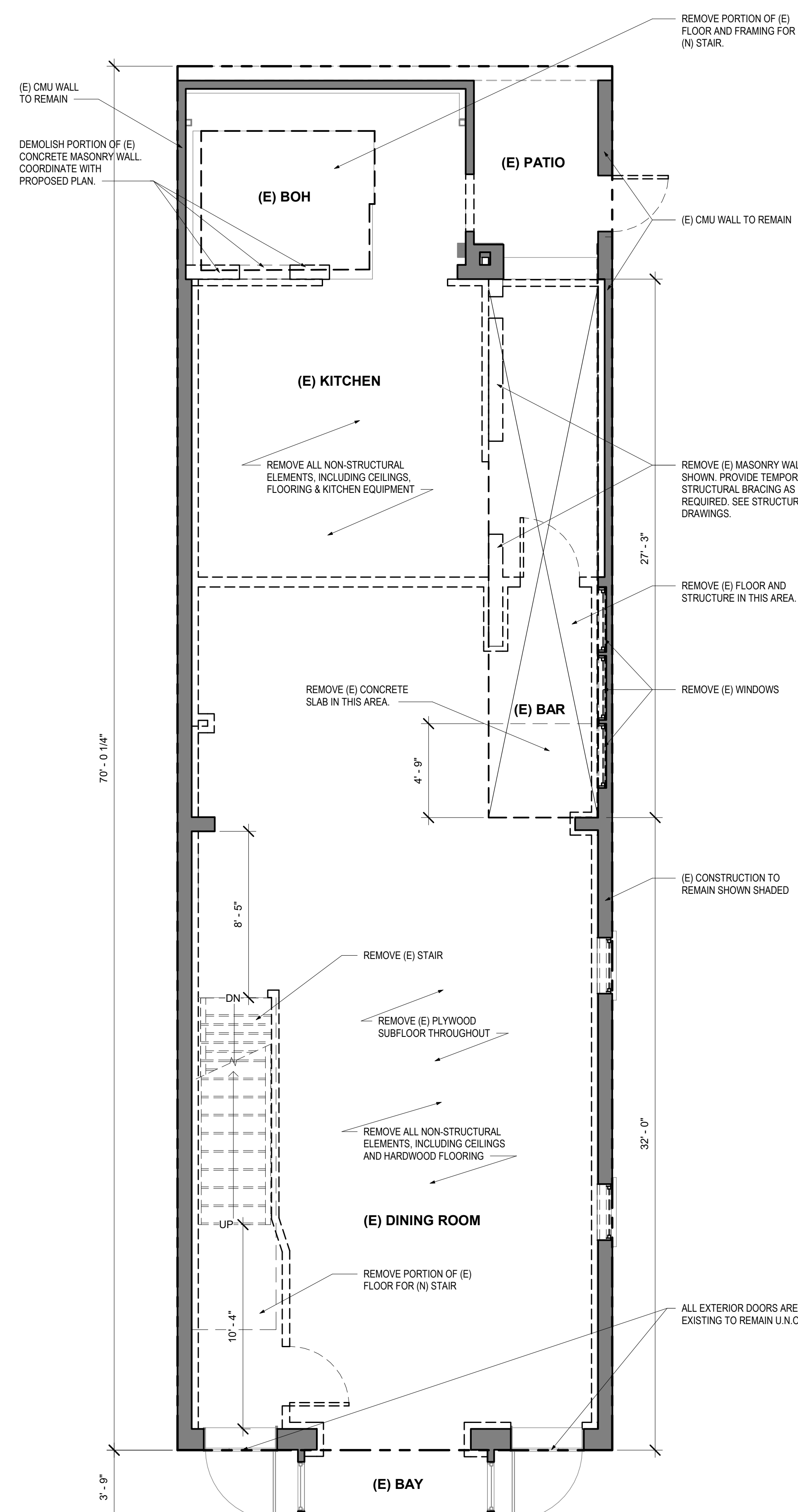
**DEMOLITION NOTES**

- FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND SERVICES NECESSARY FOR AND REASONABLY INCIDENTAL TO THE SELECTIVE DEMOLITION WORK SHOWN ON THE DRAWINGS AND SPECIFIED.
- THE OWNERS ASSUME NO RESPONSIBILITY FOR THE ACTUAL CONDITION OF THE EXISTING STRUCTURES.
- BIDDERS FOR THIS WORK SHALL MAKE SUCH INVESTIGATIONS AS THEY DEEM NECESSARY TO ARRIVE AT A CONTRACT PRICE. NO EXTRAS WILL BE PAID FOR HIDDEN CONDITIONS NOT INDICATED OR EXPECTED.
- REMOVE ITEMS INDICATED TO BE SALVAGED AND PLACE IN DESIGNATED STORAGE AREA.
- ITEMS OF SALVAGEABLE VALUE TO THE CONTRACTOR MAY BE REMOVED AS THE WORK PROGRESSES. SALVAGED ITEMS MUST BE TRANSPORTED FROM THE SITE AS THEY ARE DISMANTLED. STORAGE OR SALE OF REMOVED ITEMS ON THE SITE WILL NOT BE PERMITTED.
- ENSURE MINIMUM INTERFERENCE WITH STREETS, SIDEWALKS AND ADJACENT FACILITIES.
- DO NOT CLOSE OR OBSTRUCT STREETS, ALLEYS OR PASSAGEWAYS WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION.
- ENSURE THE SAFE PASSAGE OF PERSONS AROUND THE AREA OF WORK. CONDUCT OPERATIONS TO PREVENT DAMAGE BY FALLING DEBRIS OR OTHER CAUSE TO ADJACENT STRUCTURES, OTHER FACILITIES AND PERSONS.
- PRIOR TO BEGINNING OF DEMOLITION OPERATIONS, PREPARE THE EXISTING WALLS WHICH ARE DESIGNATED TO REMAIN, BY PROVIDING BRACING, SHORING, NEEDLING, STRUCTURAL REINFORCING AND PROTECTION OF WALLS FROM SIGNIFICANT MOVEMENT OR COLLAPSE.
- ALL BRACING, SHORING, NEEDLING, STRUCTURAL REINFORCING AND SO FORTH, SHALL REMAIN IN PLACE UNTIL NEW CONSTRUCTION IS SUFFICIENTLY COMPLETED AND THE EXISTING WALLS ARE TIED THERETO, ALLOWING FOR SAFE REMOVAL OF ALL SUPPORTS.
- EXTERMINATE VERMIN AND RODENTS IN STRUCTURES TO BE DEMOLISHED IN COMPLIANCE WITH REQUIREMENTS OF THE LOCAL JURISDICTION.
- PROTECT ALL FINISHES TO REMAIN DURING DEMOLITION AND CONSTRUCTION. CONTRACTOR TO BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS DURING CONSTRUCTION.
- PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY THIS OPERATION, AS DIRECTED BY THE ARCHITECT AND AT NO COST TO THE OWNERS.
- WHERE QUESTION AS TO HISTORIC OR ARTISTIC VALUE OF AN ITEM OCCURS, DO NOT PROCEED WITH REMOVAL UNTIL DIRECTED BY OWNER OR ARCHITECT.
- ALL STRUCTURAL ELEMENTS ARE EXISTING TO REMAIN, UNLESS NOTED OTHERWISE.

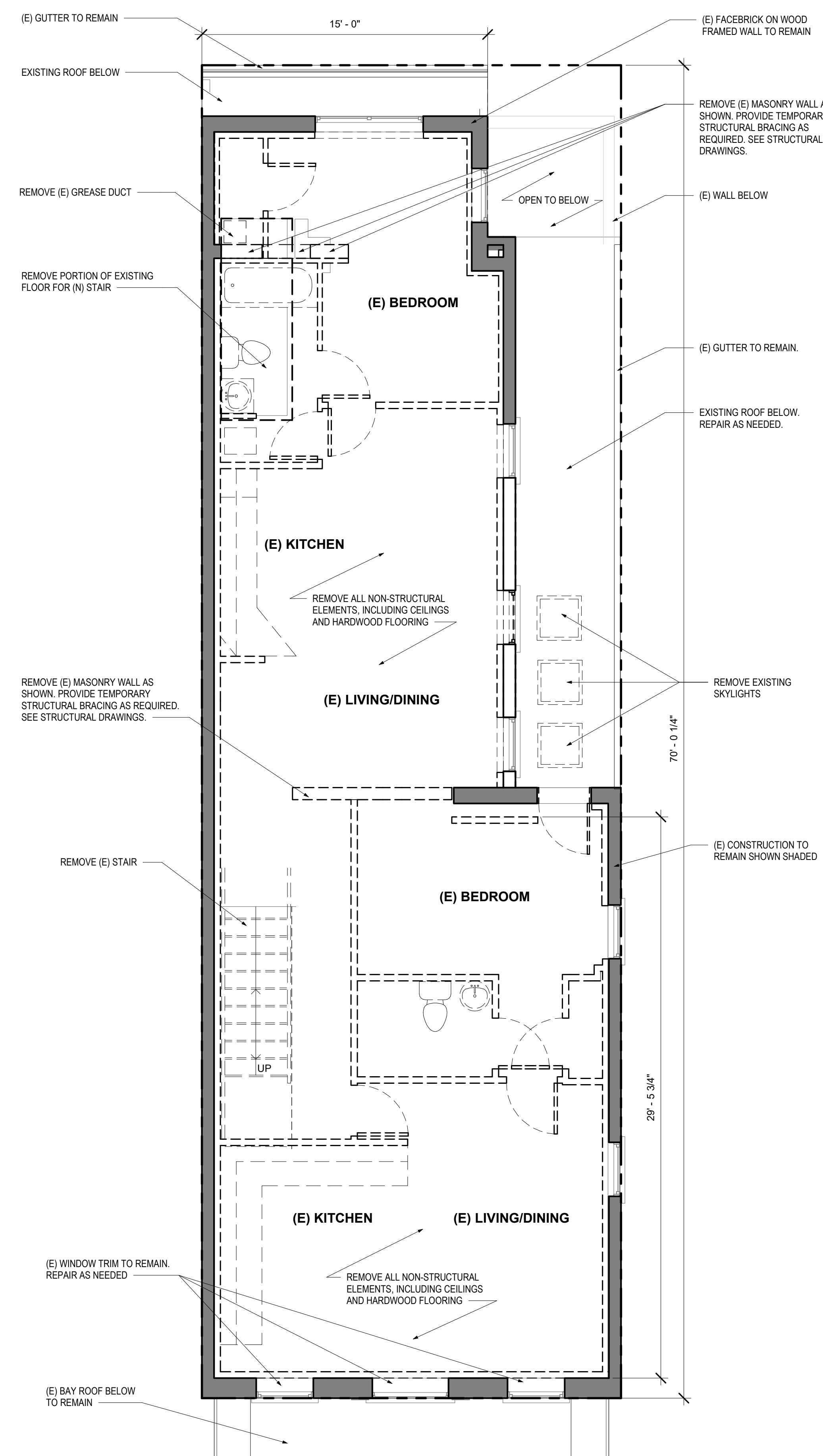
**DRAWING LEGEND**



1 BASEMENT DEMOLITION PLAN  
1/4" = 1'-0"



2 GROUND FLOOR DEMOLITION PLAN  
1/4" = 1'-0"



3 SECOND FLOOR DEMOLITION PLAN  
1/4" = 1'-0"



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Project:  
**BZA SUBMISSION**

**106 13TH ST. SE  
WASHINGTON, D.C. 20007**



Revision Number	Revision Date	Revision Description
1	6/1/2019	PERMIT COMMENTS - CYCLE 1

Issue:  
Date: 5.1.2020  
Description: FOR PERMIT

Project Number:  
**18-024**  
Title:  
**DEMOLITION PLANS**

Sheet:  
**A100**  
Board of Zoning Adjustment  
District of Columbia  
CASE NO. 20445  
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9/27/2020 3:58:12 PM



# RESTAURANT FIT-OUT

106 13TH ST. SE  
WASHINGTON, D.C. 20007

## GENERAL NOTES

- ALL WORK SHALL BE DONE BY A CONTRACTOR LICENSED IN WASHINGTON, DC, AND ALL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL AND NATIONAL CODES.
- DO NOT SCALE ANY DRAWINGS. CONTRACTOR SHALL REPORT ANY ERRORS OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS TO THE ARCHITECT'S OFFICE IMMEDIATELY.
- THE CONTRACTOR SHALL FULLY ACQUAINT HIMSELF WITH CONDITIONS RELATING TO CONSTRUCTION AND LABOR SO THAT HE/SHE UNDERSTANDS THE FACILITIES, DIFFICULTIES AND RESTRICTIONS ATTENDING THE EXECUTION OF THE WORK UNDER THE CONTRACT. THE CONTRACTOR SHALL THOROUGHLY EXAMINE AND BE FAMILIAR WITH THE CONTRACT DOCUMENTS.
- ALL EXISTING DRAWINGS WERE SUPPLIED BY OWNER AND PRODUCED BY AN OUTSIDE SURVEY COMPANY. ARCHITECT TAKES NO RESPONSIBILITY TO ACCURACY OF THESE PROVIDED DRAWINGS. WITHOUT PROPER SURVEY FROM THE ARCHITECT'S OFFICE, SHOULD THE CONTRACTOR FIND, AFTER A VISIT TO THE SITE OR DURING CONSTRUCTION, ANY DISCREPANCIES, OMISSIONS, AMBIGUITIES OR CONFLICTS IN OR AMONG THE CONTRACT DOCUMENTS OR BE IN DOUBT AS TO THEIR MEANING, HE/SHE SHOULD BRING THESE ITEMS TO THE ATTENTION OF THE OWNER FOR DIRECTION BEFORE PROCEEDING WITH ANY WORK IN QUESTION.
- THE OWNER'S WRITTEN AUTHORIZATION SHALL BE REQUIRED BEFORE ANY WORK IS PERFORMED OR MATERIALS ORDERED WHICH INVOLVE EXTRA COST OVER AND ABOVE THE CONTRACT PRICE.
- THE OWNER WILL OBTAIN AND PAY FOR THE BUILDING PERMIT FROM THE APPLICABLE AGENCY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY FOR ALL ADDITIONAL INSTALLATION PERMITS (ELECTRICAL, PLUMBING, MECHANICAL, ETC.) THE CONTRACTOR WILL BE REQUIRED TO SCHEDULE AND PROCESS ALL REQUIRED INSPECTIONS.
- CONSTRUCTION WILL MEET ALL APPLICABLE BUILDING AND HEALTH CODES.
- THE CONTRACTOR SHALL, DURING THE LIFE OF THE CONTRACT, AT ALL TIMES CONDUCT HIS/HER OPERATIONS AT THE SITE IN SUCH A MANNER SO AS NOT TO ENDANGER, INCONVENIENCE OR INTERFERE WITH OCCUPANTS OF THE BUILDING.
- DIMENSIONS:
  - DO NOT SCALE DRAWINGS.
  - CHECK ALL DIMENSIONS AT THE SITE BEFORE FABRICATION AND INSTALLATION COMMENCES AND REPORT ALL DISCREPANCIES TO THE ARCHITECT.
  - WHERE DIMENSIONS ARE NOT AVAILABLE BEFORE FABRICATION COMMENCES, THE DIMENSIONS REQUIRED SHALL BE AGREED UPON BETWEEN ALL TRADES.
  - VERIFY THE DIMENSIONS OF ALL SHOP FABRICATED ITEMS AT THE SITE BEFORE SHOP DRAWINGS AND FABRICATION ARE COMMENCED.
  - IN AREAS WHERE EQUIPMENT SHALL BE INSTALLED, CHECK DIMENSIONAL DATA ON EQUIPMENT TO ENSURE THAT AREA AND EQUIPMENT DIMENSIONS ARE COMPATIBLE WITH THE NECESSARY ACCESS AND CLEARANCE PROVIDED.
- THE CONTRACTOR SHALL VERIFY REQUIREMENTS FOR ALL EQUIPMENT INDICATED ON THE DRAWINGS WHETHER SUPPLIED BY THE TENANT, OWNER OR CONTRACTOR.
- ALL MATERIALS AND SYSTEMS SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS, AND ALL CONSTRUCTION SHALL BE OF FIRST CLASS WORKMANSHIP.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL CONSTRUCTION DEBRIS AND REFUSE. CONTRACTOR SHALL SCHEDULE WORK IN CONJUNCTION WITH BUILDING REQUIREMENTS. ALL WALLS AND/OR SURFACES RECEIVING WALL COVERINGS, CARPET, FLEXWOOD, ETC., SHALL BE PROPERLY PREPARED PRIOR TO ANY INSTALLATION. ALL BEADS OR OTHER GYPSUM METAL TRIM SHALL BE SPACKLE BLENDED INTO ADJACENT SURFACE. IN ADDITION, SURFACE SHALL BE SEALED, SIZED OR PROPERLY PREPARED PER MANUFACTURER'S AND/OR BASE BUILDING SPECIFICATIONS. ALL NEW OR EXISTING WALL CONSTRUCTION SHALL BE FINISHED READY FOR PAINT.

## ABBREVIATIONS

ABV	ABOVE	HGT	HEIGHT	SECT	SECTION
AF	ABOVE FINISH FLOOR	HR	HOOK	SF	SQUARE FOOT
ALT	ALTERNATE	HORZ	HORIZONTAL	SHT	SHEET
ALUM	ALUMINUM	HR	HOUR	SM	SMALL
B	BOTTOM	HR	HOT WATER HEATER	SO	SLAB ON GRADE
BALC	BALCONY	INCAN	INCANDESCENT	SP	STANDPIPE
BLDG	BUILDING	INSUL	INSULATION	SST	STAINLESS STEEL
BL	BOTTOM LOWER LAYER	INT	INTERIOR	STD	STANDARD
C.L.	CENTER LINE	JAN	JANITOR	STL	STEEL
BL	BOTTOM UPPER LAYER	JAN	JAMB OPENING HEIGHT	STOR	STORAGE
CAB	CABINET	JOM	JAMB OPENING WIDTH	STRUC	STRUCTURAL
CC	CONTROL JOINT	JOW	JAMB OPENING WIDTH	SUSP	SUSPENDED
CC	CEILING	JST	JOIST	SYMT	SYMMETRICAL
CLR	CLEAR	JT	JOINT	THK	THICK
CMU	CONCRETE MASONRY UNIT	LAV	LAVATORY	TOS	TOP OF SLAB
CONC	CONCRETE	LG	LONG	TOC	TOP OF CONCRETE / CURB
CONT	CONTINUOUS	LL	LINE LOAD	TOP	TOP OF FOOTING
CJ	CONSTRUCTION JOINT	LH	LONG LEG HORIZONTAL	TOM	TOP OF MASONRY
CLR	CLEAR	LIV	LONG LEG VERTICAL	TOW	TOP OF WALL
CT	CERAMIC TILE	MAX	MAXIMUM	TYP	TYPICAL
DBL	DOUBLE	MECH	MECHANICAL	T&G	TONGUE AND GROOVE
DET	DETAIL	MEMB	MEMBRANE	UNFN	UNFINISHED
DN	DIA	MBR	MURDER	UNF	UNLESS NOTED OTHERWISE
DL	DEAD LOAD	MO	MASONRY OPENING	UTL	UTILITY
DWG	DRAWING	MTL	MOUNTED	VCT	VINYL COMPOSITE TILE
EA	EACH	NEW	NEW	VERT	VERTICAL
EL	ELEVATION	NTC	NOT IN CONTACT	VEST	VESTIBULE
EQ	EQUAL	NO	NOT TO SCALE	VFC	VERIFIED IN FIELD
EX	EXISTING	NOM	NOMINAL	VWC	VINYL WALL COVERING
(E)	EXISTING	NTS	NOT TO SCALE	WC	WATER CLOSER
FD	FLOOR DRAIN	O.C.	ON CENTER	WH	WATER HEATER
FE	FIRE EXTINGUISHER	OP	OPPOSITE	WP	WATERPROOF
FEC	FIRE EXTINGUISHER CABINET	OPC	OPPOSITE	WSCT	WARRANTY
FF	FINISHED FLOOR	PLY	PLYWOOD	WT	WEIGHT
FF	FIRE FRONT	PSF	POUND PER SQUARE FOOT	WWF	WELDED WIRE FABRIC
FF	FIRE FINISH	PTD	PAINTED	W	WITH
FFG	FOOTING	PTN	PARTITION	W/O	WITHOUT
GA	GALVANIZED	REF	REFLECTED	+	AND
GAL	GALLON	REF	REFLECTED	&	AND
GALV	GALVANIZED	REIN	REINFORCED	@	AT
GWB	GYP/SUM WALL BOARD	REQ	REQUIRED		
HR	HOSE BIB	RESL	RESILIENT		
HC	HANDICAPPED	RL	RAIN LEADER		
		RO	ROUGH OPENING		

## PROJECT DATA

BUILDING ADDRESS:	106 13TH ST. SE WASHINGTON, DC 20003
BUILDING OWNER:	106 13TH STREET, LLC.
ZONE:	RF-1
LOT:	0061
SQUARE:	1036
CONSTRUCTION TYPE:	3B
USE GROUP:	A-2, RESTAURANT
NUMBER OF STORIES:	2 + CELLAR
FIRE ALARM:	YES
FIRE SPRINKLER:	YES
PARKING SPACES:	0
SCOPE OF WORK:	LEVEL 3 ALTERATION OF EXISTING BUILDING CORE AND SHELL + INTERIOR FIT-OUT FOR RESTAURANT TENANT.
LOT SF:	1540 SF
EXISTING BUILDING FOOTPRINT:	1488 SF
EXISTING BUILDING AREA	BASEMENT 1,030 SF GROUND FLOOR 1,349 SF 2ND FLOOR 1,090 SF TOTAL: 3,480 SF
PROPOSED BUILDING AREA	BASEMENT 1,251 SF GROUND FLOOR 1,349 SF 2ND FLOOR 1,090 SF TOTAL: 3,690 SF
LOT OCCUPANCY:	ALLOWABLE: 60% EXISTING: 85% PROPOSED: 85%

## APPLICABLE CODES

- 2012 INTERNATIONAL BUILDING CODE W/ 2013 DCMR12A SUPPLEMENT
- 2012 INTERNATIONAL ENERGY CONSERVATION CODE W/ 2013 DCMR 12I SUPPLEMENT
- 2012 INTERNATIONAL FIRE PREVENTION CODE W/ 2013 DCMR12H SUPPLEMENT
- 2012 INTERNATIONAL FUEL GAS CODE W/ 2013 DCMR 12D SUPPLEMENT
- 2012 INTERNATIONAL MECHANICAL CODE W/ 2013 DCMR12E SUPPLEMENT
- 2012 INTERNATIONAL PLUMBING CODE W/ 2013 DCMR12F SUPPLEMENT
- 2011 NATIONAL ELECTRIC CODE W/ 2013 DCMR12C SUPPLEMENT
- 2012 INTERNATIONAL RESIDENTIAL CODE
- 2012 INTERNATIONAL GREEN CONSTRUCTION CODE W/ 2013 DCMR12K SUPPLEMENT
- 2012 INTERNATIONAL EXISTING BUILDING CODE W/ 2013 DCMR12J SUPPLEMENT
- DC LAW 8-36 DC ENVIRONMENTAL POLICY ACT OF 1989
- DCMR TITLE 11 - ZONING REGULATIONS
- DCMR TITLE 12 - CONSTRUCTION CODE SUPPLEMENT (2013)
- GREEN BUILDING ACT OF 2006
- 2012 IBC AND 2013 12A CHAPTER 11
- ANSI 2009-A117.1
- ADA 2010
- 2010 ASCE/SEI 7-MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
- 2012 IEBC W/ 2013 DCMR J SUPPLEMENT-ALTERATIONS LEVEL 1



LOCATION MAP

## OWNER

106 13TH ST., LLC.  
106 13TH ST. SE  
WASHINGTON, DC 20003  
CONTACT: SPIRO GIOLDASIS

## ARCHITECT

GRONNING ARCHITECTS, PLLC  
1428 U STREET NW, SUITE B100  
WASHINGTON, DC 20009  
PH 202.223.7059 FX 202.223.7054  
CONTACT: ERIC GRONNING, AIA  
WWW.GRONNINGARCHITECTS.COM

## STRUCTURAL ENGINEER

A+F ENGINEERS  
1112 16th ST NW SUITE #920  
WASHINGTON, DC 20036  
PH 202.628.1600  
CONTACT: JEFFREY E. MORRISON, PE

## MECHANICAL, ELECTRICAL, PLUMBING

CETECH ENGINEERS INC.  
9990 FAIRFAX BLVD. SUITE # 510  
FAIRFAX, VA 22030  
PH 703.385.2558  
CONTACT: JASWANT CHAHAL

## MATERIAL SYMBOLS

	BRICK		EXIST. TO REMAIN
	CMU		PLYWOOD
	CONCRETE		BATT INSULATION
	PLASTER OR GYP BRD		GRAVEL
	EARTH		WOOD
	ALUMINUM		STEEL

## GRAPHIC SYMBOLS

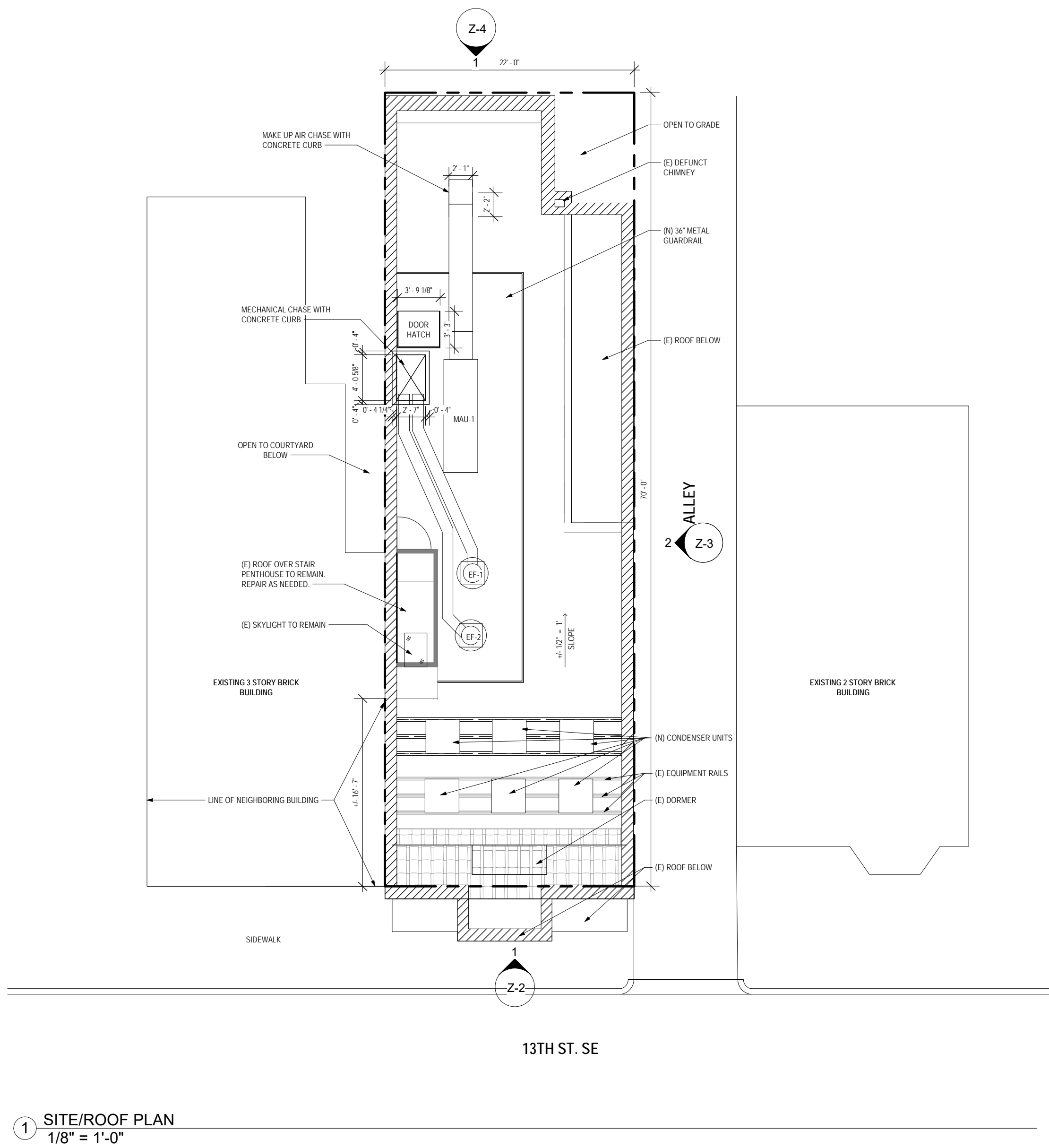
- NORTH SYMBOL
- SECTION MARK
- ELEVATION MARK
- SPOT ELEVATION
- FLOOR ELEVATION
- DOOR TAG
- EXTERIOR DOOR OR WINDOW SYMBOL
- WALL & FLOOR TYPE SYMBOL
- ACCESSORIES SYMBOL
- EXISTING DOOR
- NEW DOOR

## SITE PLAN LEGEND

- PROPERTY LINE
- LIMIT OF DISTURBANCE
- TOPOGRAPHIC CONTOUR
- BUILDING OUTLINE
- SILT FENCE FOR SEDIMENT CONTROL PER DCRA GUIDELINES
- OUTLINE OF BUILDING ADDITION
- AREA OF CUT

## DRAWING LIST

Z-2	FRONT ELEVATIONS	S210	SECOND FLOOR FRAMING PLANS
Z-3	SIDE ELEVATIONS	S220	ROOF FRAMING PLANS
Z-4	BACK ELEVATIONS	S300	BUILDING SECTIONS
Z-5	EXISTING/DEMO FLOOR PLANS	S310	SHEAR WALL PROFILES AND DETAILS
Z-6	PROPOSED FLOOR PLANS	S400	TYPICAL CONCRETE AND FOUNDATION DETAILS
Z-7	PHOTOGRAPHIC DOCUMENTATION	S410	TYPICAL WOOD FRAMING DETAILS
A001	PROJECT INFORMATION	S411	TYPICAL WOOD FRAMING DETAILS
A002	OCCUPANCY INFORMATION, EGRESS PLANS, AND ACCESSIBILITY INFORMATION	S420	TYPICAL STEEL DETAILS
A003	DOOR, FINISH, AND FIXTURE SCHEDULES, DOOR TYPES, AND FRAME TYPES	S500	FOUNDATION SECTIONS AND DETAILS
A004	WALL TYPES, WINDOW TYPES, AND SCHEDULES	S510	GROUND FLOOR SECTION AND DETAILS
A005	ENERGY VERIFICATION SHEET	S520	LEVEL 2 SECTIONS AND DETAILS
A100	DEMOLITION PLANS	S530	ROOF SECTIONS AND DETAILS
A110	ROOF DEMOLITION PLAN	M001	MECHANICAL NOTES, SYMBOLS, AND SCHEDULES
A200	PROPOSED FLOOR PLANS	M002	MECHANICAL PLANS
A201	PROPOSED ROOF PLAN	M003	MECHANICAL DETAILS AND SCHEDULES
A202	FURNITURE, FIXTURE, AND EQUIPMENT PLANS	M004	OUTSIDE AIR CALCULATIONS
A203	FLOOR FINISH PLANS	P001	PLUMBING NOTES, SYMBOLS, AND SCHEDULES
A300	REFLECTED CEILING PLANS	P002	DOMESTIC WATER FLOOR PLANS AND RISER
A400	BUILDING DEMOLITION ELEVATIONS	P003	WASTE AND VENT FLOOR PLANS AND RISER
A401	PROPOSED BUILDING ELEVATIONS	P004	WASTE & VENT FLOOR PLANS
A500	BUILDING SECTIONS	P005	WASTE & VENT RISER DIAGRAM
A501	BUILDING SECTIONS & HANDRAIL DETAILS	P006	GAS DISTRIBUTION PLANS
A600	BASEMENT INTERIOR ELEVATIONS	P007	GAS DISTRIBUTION PLANS & RISER
A601	FIRST FLOOR BAR AND DINING ROOM ENLARGED INTERIOR ELEVATIONS	E001	ELECTRICAL NOTES AND SYMBOLS
A602	SECOND FLOOR DINING ROOM ENLARGED INTERIOR ELEVATIONS	E002	LIGHTING PLANS
A603	SECOND FLOOR PRIVATE ROOM AND OFFICE ELEVATIONS	E003	POWER PLAN
A700	ENLARGED WC PLANS, ELEVATIONS, AND SECTIONS	E004	EQUIPMENT POWER PLAN
A701	ENLARGED WC PLANS, ELEVATIONS, AND SECTIONS	E005	PANEL SCHEDULES AND POWER RISER DIAGRAM
A702	MAIN BAR SECTIONS, BACK BAR ELEVATION, AND DETAILS	K100	HOOD DETAILS SHEET 1
A703	WAINSCOTT AND CEILING DETAILS	K101	HOOD DETAILS SHEET 2
A704	SCREEN WALL AND METALWORK ELEVATIONS & DETAILS	K102	HOOD DETAILS SHEET 3
S000	GENERAL NOTES AND ABBREVIATIONS	K103	HOOD DETAILS SHEET 4
S100	FOUNDATION AND BASEMENT PLANS	K104	HOOD DETAILS SHEET 5
S200	GROUND FLOOR FRAMING PLANS	K105	HOOD DETAILS SHEET 6
		K106	HOOD DETAILS SHEET 7



1 SITE/ROOF PLAN  
1/8" = 1'-0"



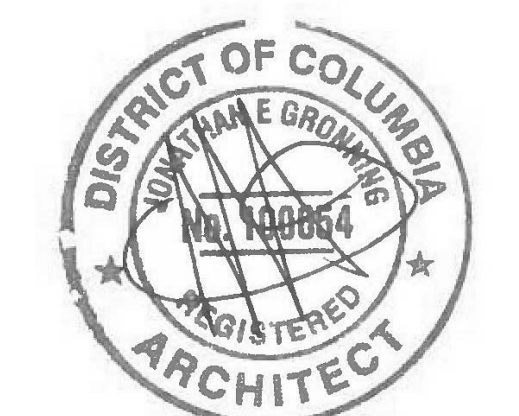
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Project:

## BZA SUBMISSION

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WASHINGTON, D.C. 20007

Seal:



Revision Number	Revision Date	Revision Description
1	6/12/2019	PERMIT COMMENTS - CYCLE 1

Issue:  
Date: 5.1.2020 Description: FOR PERMIT

Project Number:  
18-024

## PROJECT INFORMATION

Sheet:

A001



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Revision

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1	6/1/2019	PERMIT COMMENTS - CYCLE 1

Issue:

Date	Description
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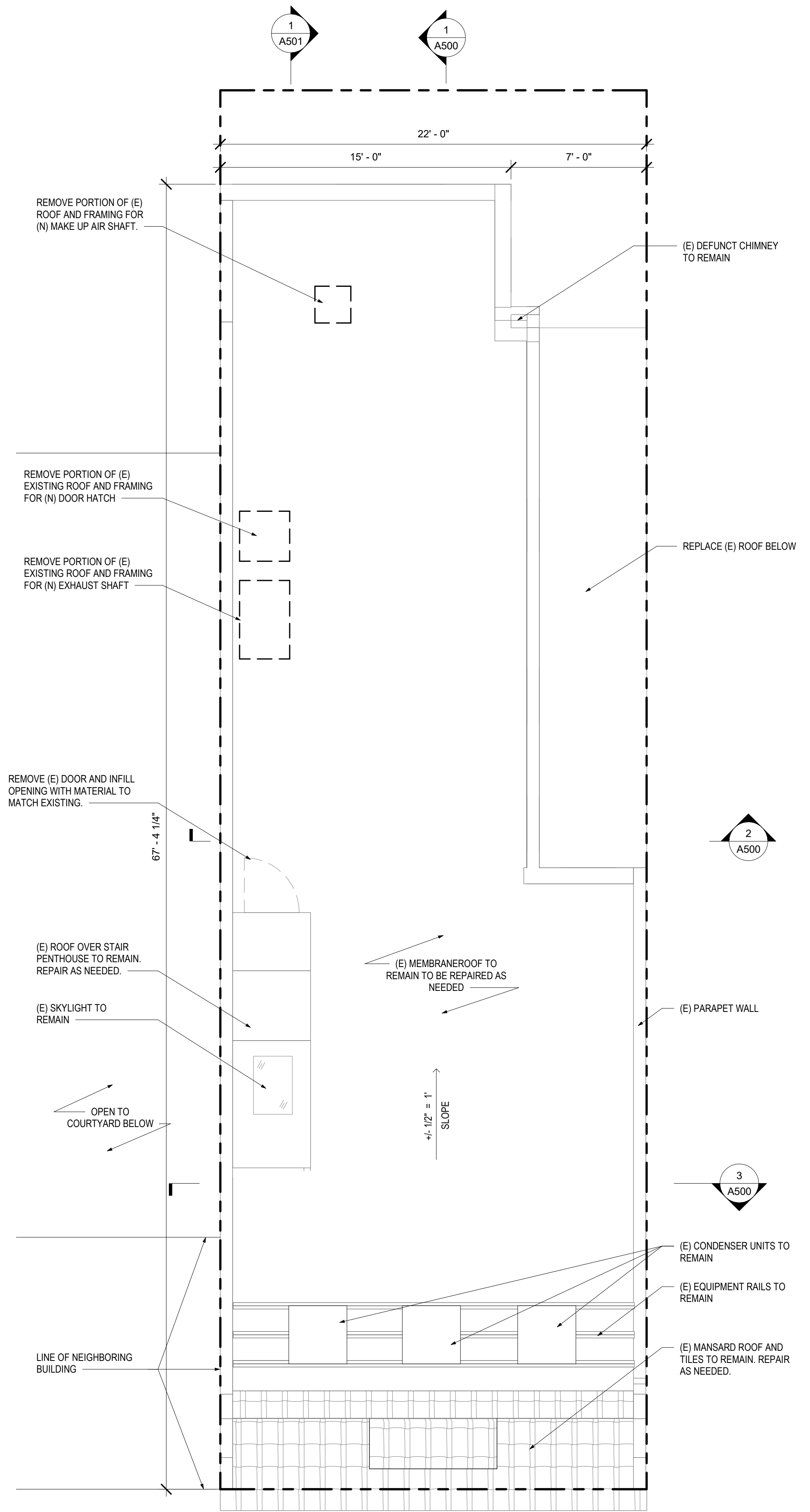
**18-024**

Title:

**ROOF DEMOLITION PLAN**

Sheet:

**A110**



**1 ROOF DEMO PLAN**  
1/4" = 1'-0"

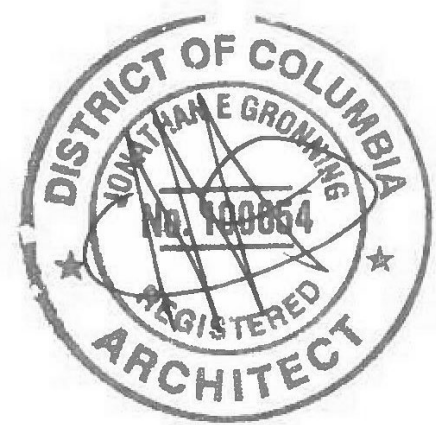


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1	6/12/2019	PERMIT COMMENTS - CYCLE 1
2	5/1/2020	PERMIT COMMENT - CYCLE 2

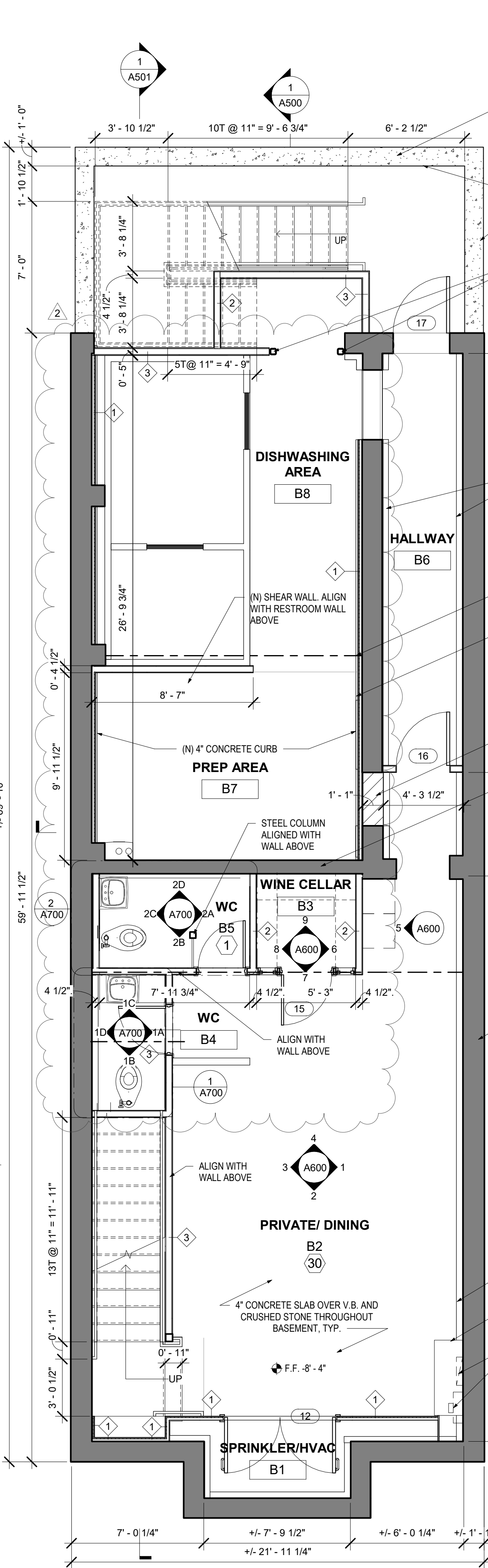
Issue:	Date:	Description:
	5.1.2020	FOR PERMIT

Project Number:  
**18-024**

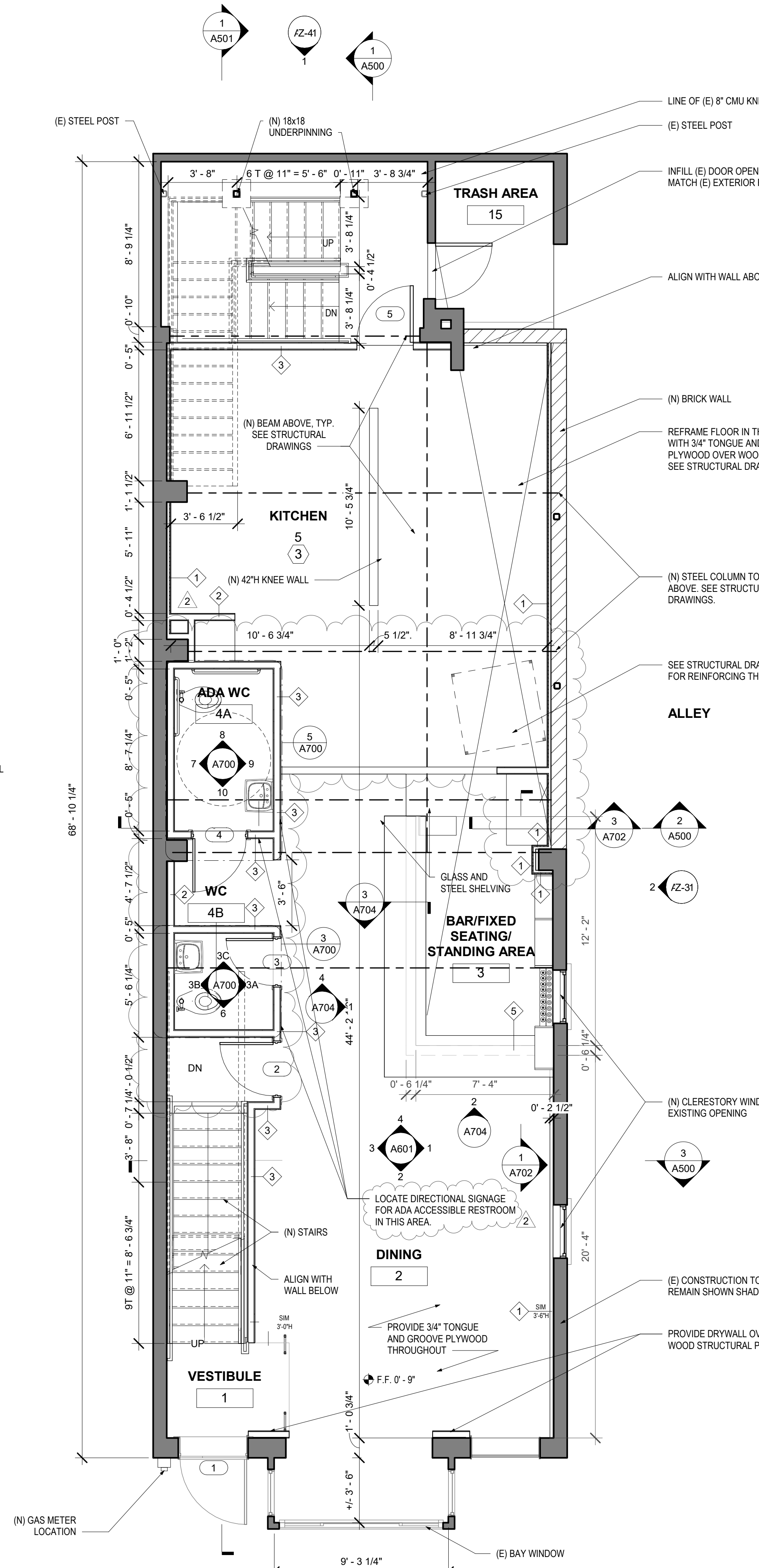
Title:  
**PROPOSED FLOOR PLANS**

Sheet:

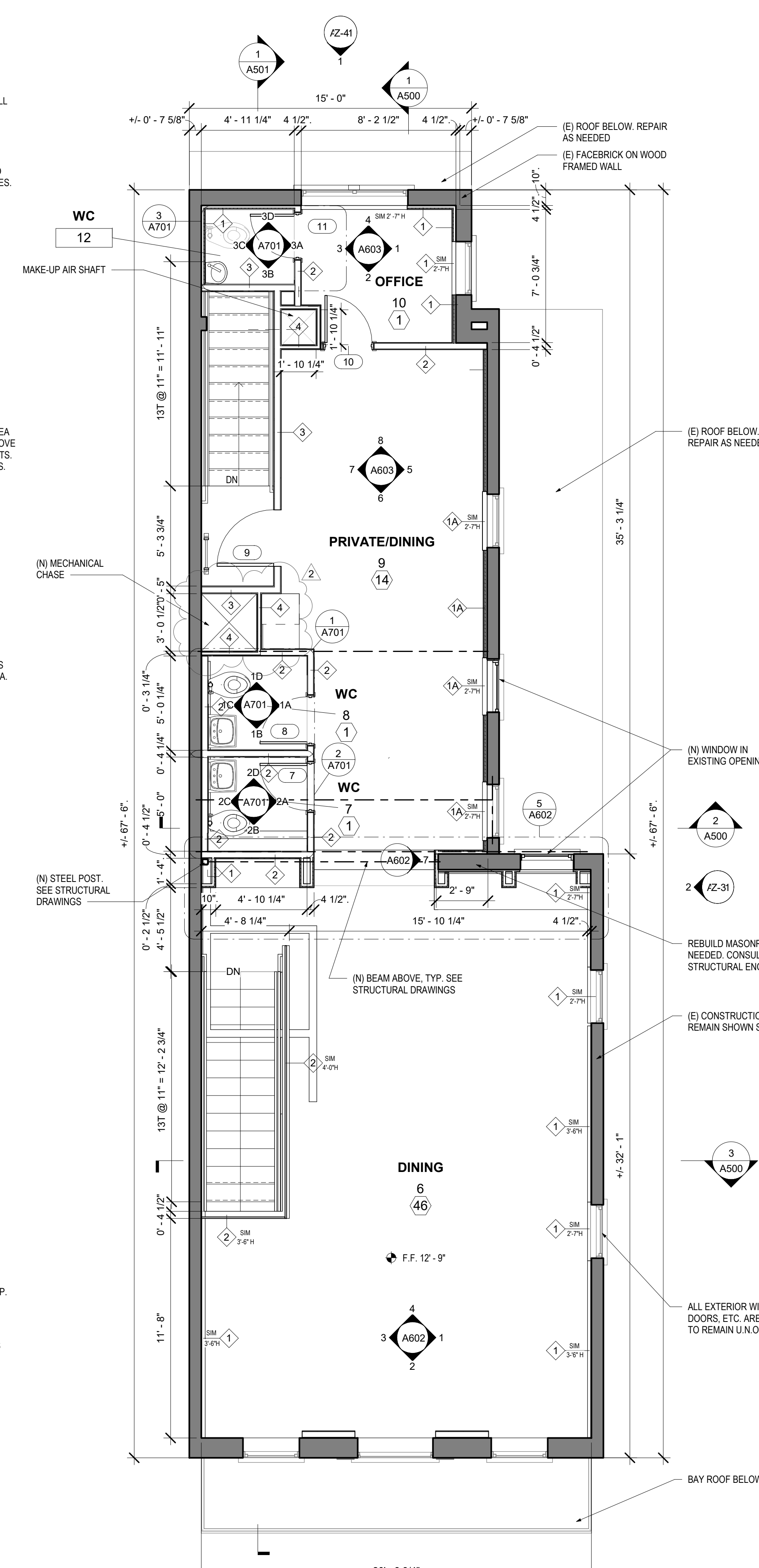
**A200**



1 BASEMENT FLOOR PLAN  
1/4" = 1'-0"  
1,290 SF - 28 SEATS

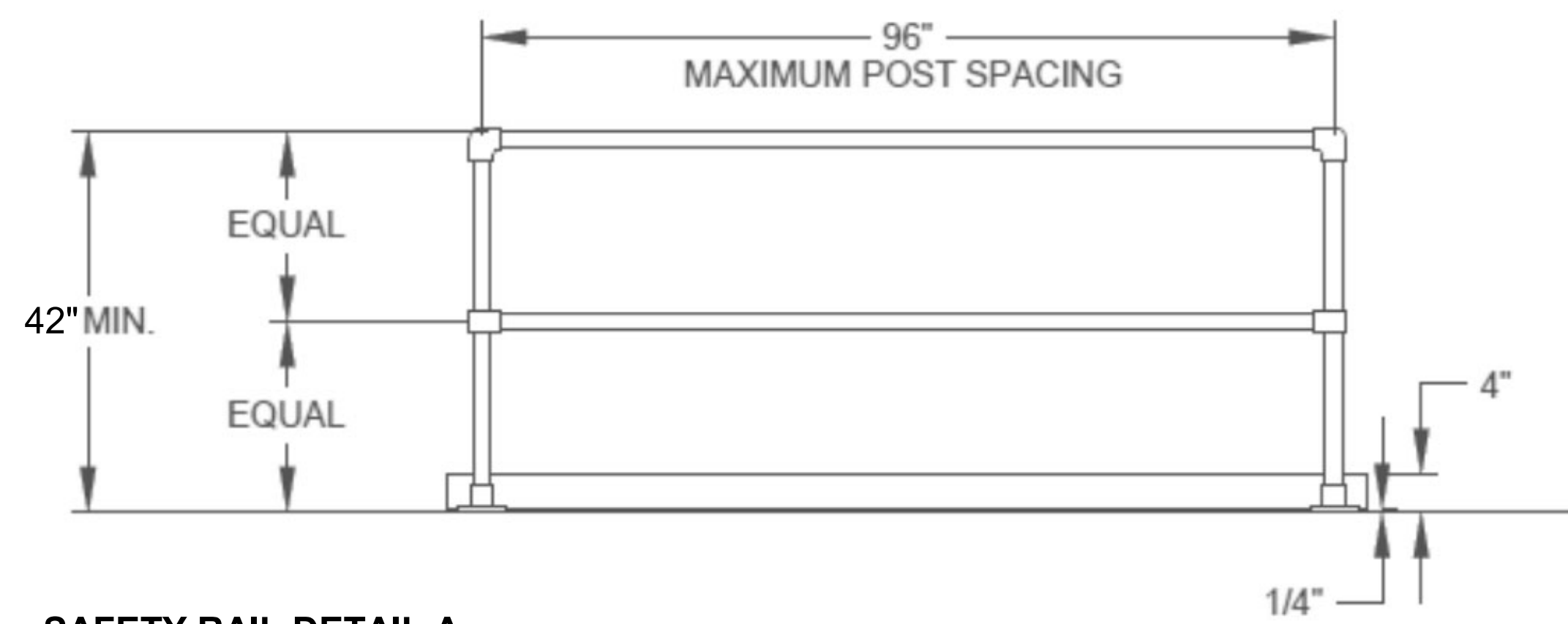


2 GROUND FLOOR PLAN  
1/4" = 1'-0"  
1,460 - 32 SEATS

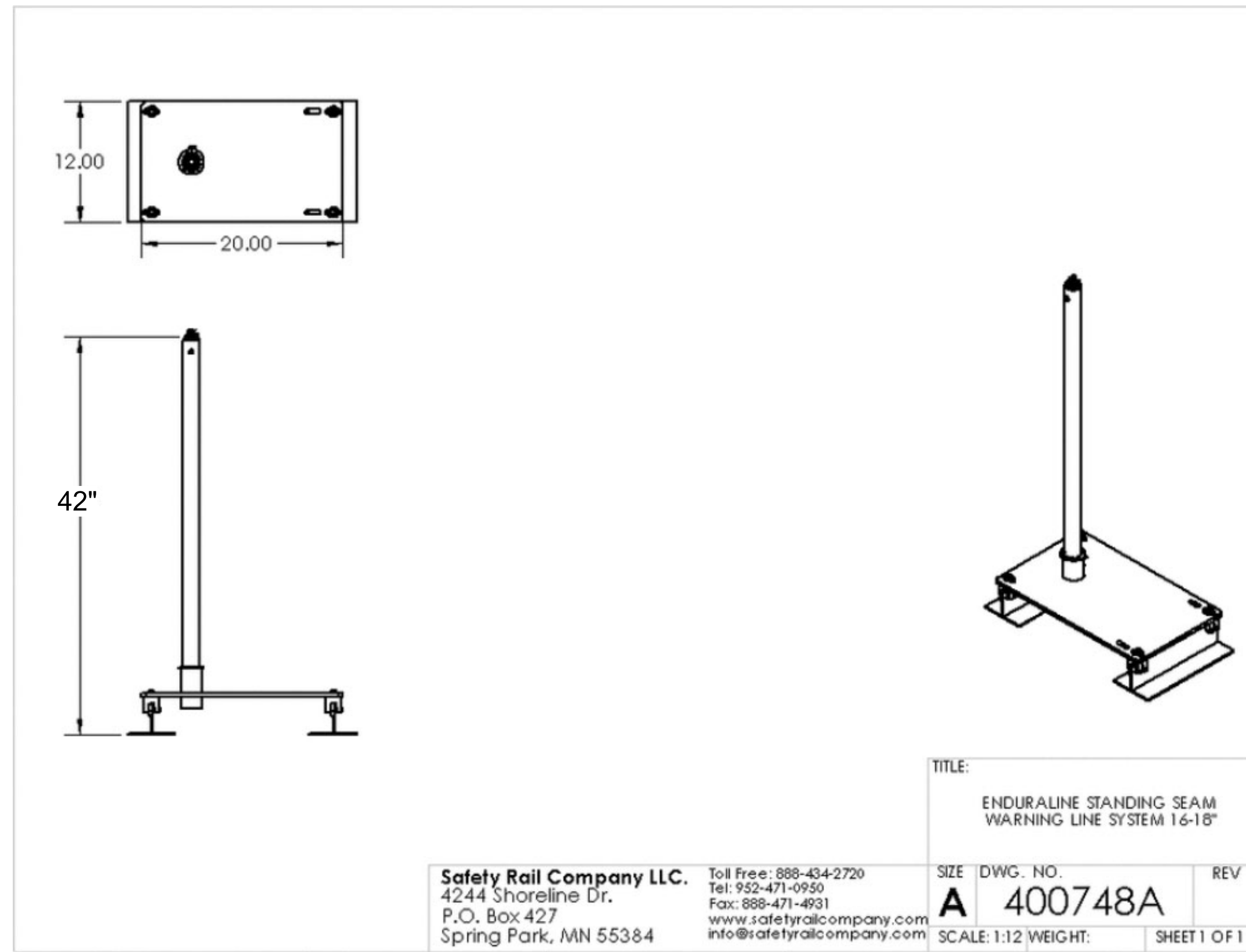


3 SECOND FLOOR PLAN  
1/4" = 1'-0"  
1,175 SF - 68 SEATS

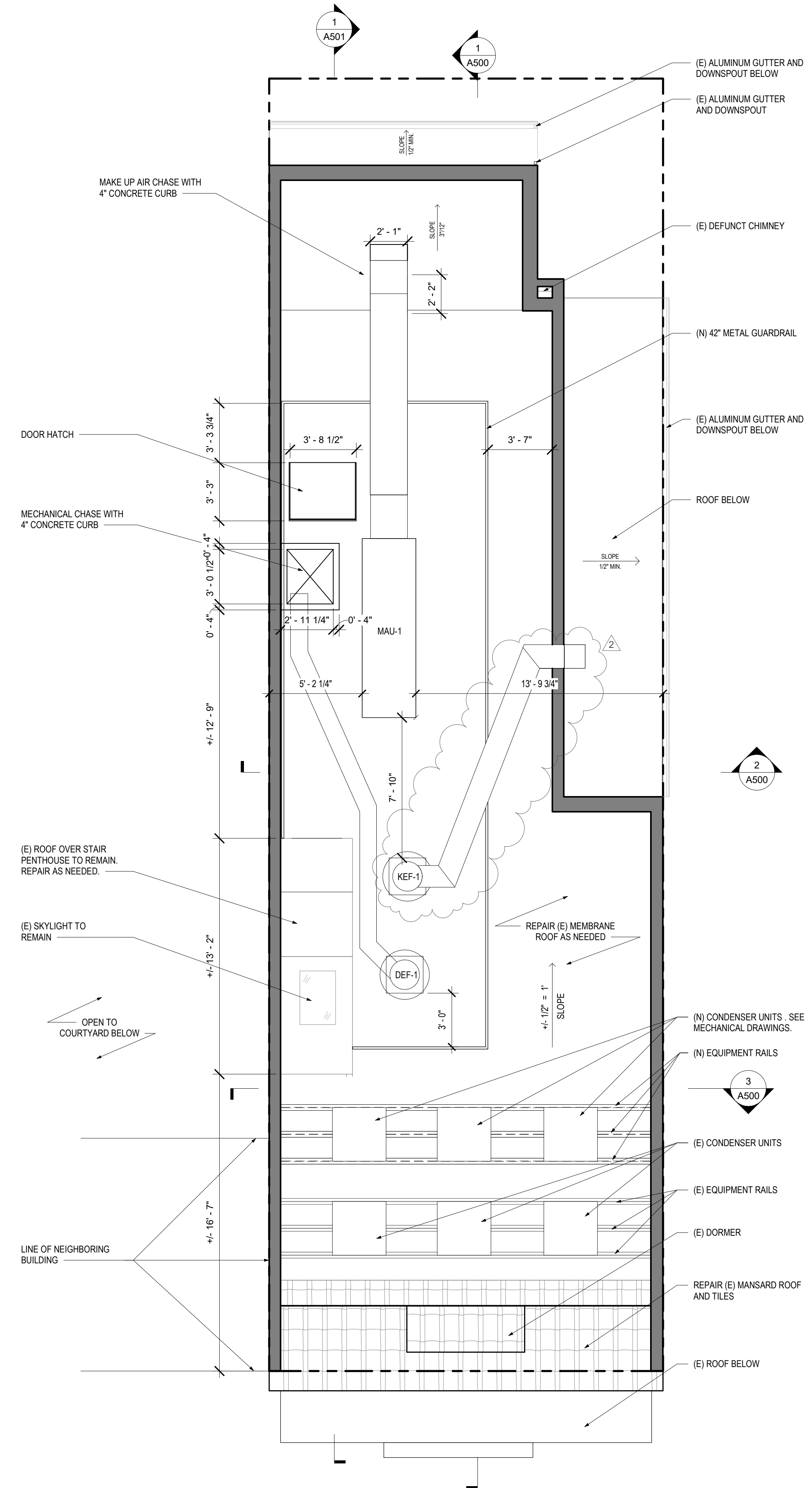




**SAFETY RAIL DETAIL A**



**SAFETY RAIL DETAIL B**



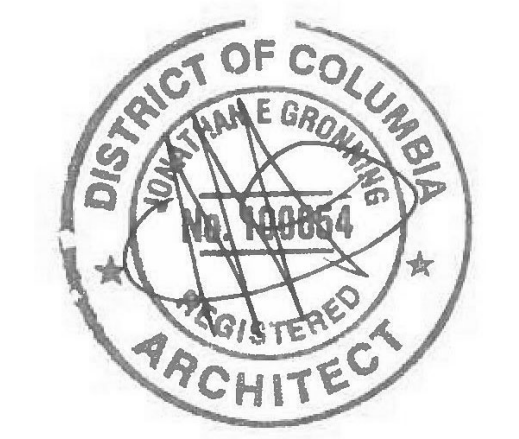
1 ROOF PLAN  
1/4" = 1'-0"



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Revision Number	Revision Date	Revision Description
1	6/1/2019	PERMIT COMMENTS - CYCLE 1
2	5/1/2020	PERMIT COMMENT - CYCLE 2

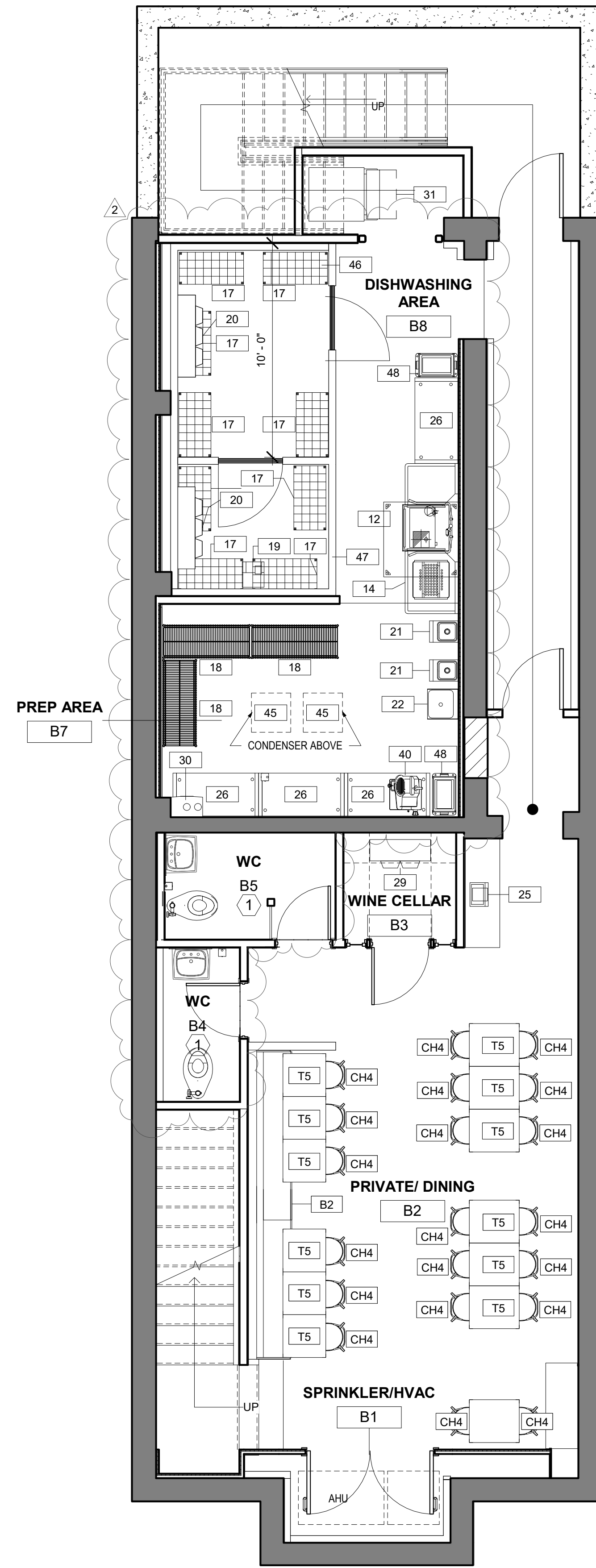
Issue:	Date	Description
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Project Number:  
**18-024**  
Title:  
**PROPOSED ROOF PLAN**

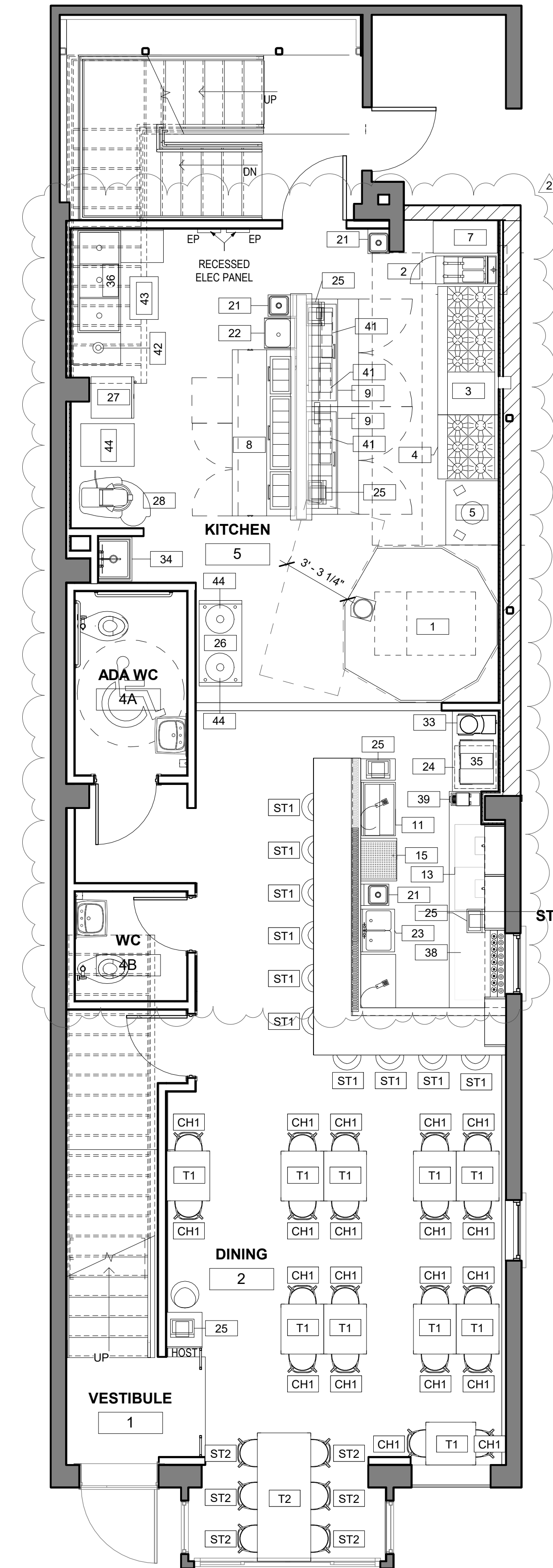
Sheet:  
**A201**

Food Prep & Kitchen Equipment Schedule	
Type Mark	Description
1	Woodstone Pizza Oven
2	Deep Fat Fryer
3	72" Range - 8 Burners - 1 Standard Oven + 1 Convection Oven
4	36" Range - 6 Burners - 1 Standard Oven
5	Woodstone Rotisserie
6	NOT USED
7	Stainless Steel Table - 18"x 36"
8	PIZZA PREP STATION
9	SANDWICH PREP STATION
11	Ice Bin - Bar
12	Hobart LT1-1 Low Temp Dishwasher w/ Condensate Hood
13	Kegerator - 48"
14	Dish Drying Rack
15	Back Bar Storage
17	Stainless Steel Shelving
18	Black Steel Wire Shelving - Metro
19	Nitrogenator
20	Walk-in Evaporator
21	Hand Sink - 12"
22	Prep Sink - 18"
23	Two Compartment Bar Sink
24	Glasswasher - Under Counter
25	POS system
26	Stainless Steel Table - 24"D x 48"L
27	REFRIGERATOR, REACH IN
28	40qt Dough Mixer
29	Wine Cellar HVAC
30	Tankless Gas Water Heater
31	ICE MAKER
32	Pendant Heat Lamp
33	Coffee/Tea Maker - BUNN
34	Mop Sink
35	2 Head Espresso Machine
36	Commercial 3 Compartment Sink - Corner Configuration
38	Refrigerator - Undercounter - Reach In - 48"
39	Espresso/Coffee Grinder
40	Meat Slicer
41	Heat Strip
42	Commercial Garbage Disposal
43	Recessed Grease Trap
44	Stainless Steel Pizza Dough Cart w/ Trays
45	Walk-In Remote Condenser (Above Ceiling)
46	Walk-In Refrigerator
47	Walk-In Freezer
48	Plastic Waste Bin

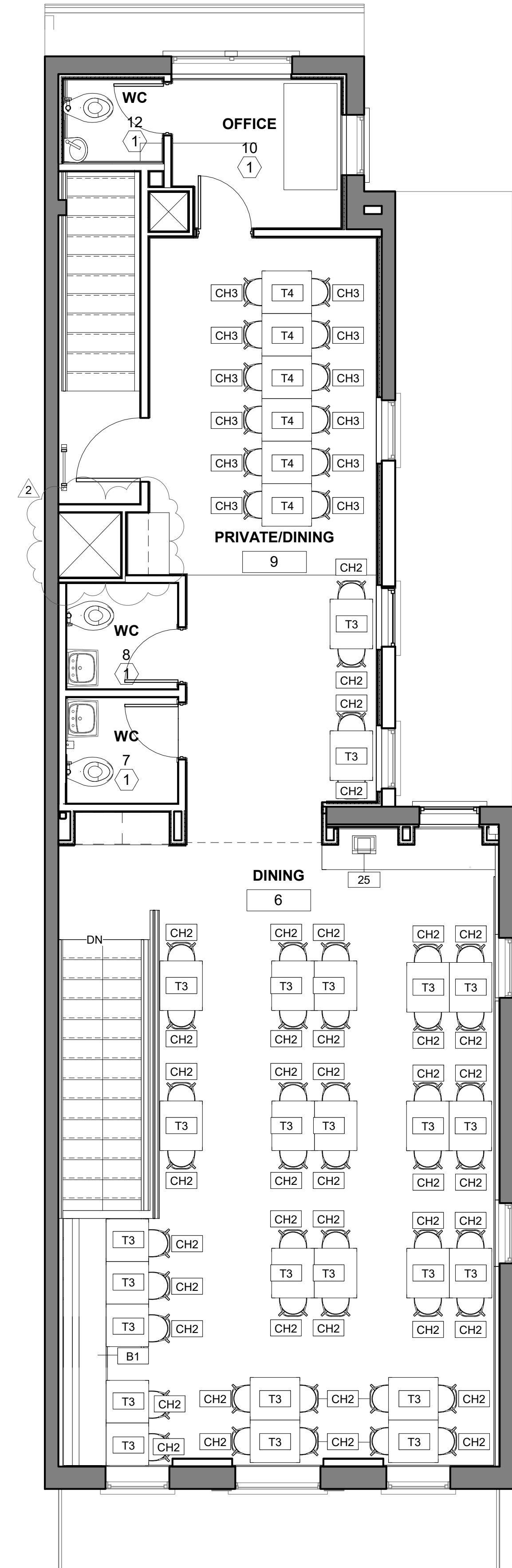
FURNITURE SCHEDULE	
<b>TABLES</b>	
T1	2" THICK X 1 1/2" MINIMUM PLANKS W/ CHARACTER-WHITE OAK WITH POLYURETHANE SATIN OIL FINISH, 3 COATS MIN. - BASIS OF DESIGN.
T2	3CM STONE COUNTERTOP - CARRARA MARBLE
T3	3CM STONE COUNTERTOP - SILESTONE CEMENTO
T4	NOT USED
T5	2" THICK WHITE OAK W/ LIVE EDGE - PLYURETHANE SATIN OIL FINISH 3 COATS MIN.
<b>CHAIRS</b>	
CH1	
CH2	
CH3	
CH4	
<b>STOOLS</b>	
ST1	
ST2	
<b>BANQUETTES</b>	
B1	
B2	



1 BASEMENT FF&E PLAN  
1/4" = 1'-0"



2 GROUND FLOOR FF&E PLAN  
1/4" = 1'-0"



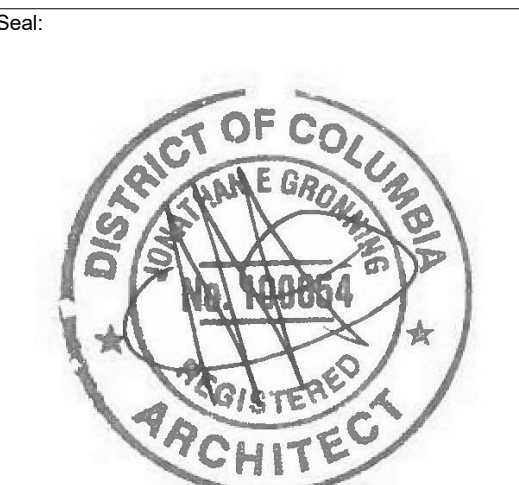
3 SECOND FLOOR FF&E PLAN  
1/4" = 1'-0"



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Revision Number	Revision Date	Revision Description
1	6/12/2019	PERMIT COMMENTS - CYCLE 1
2	5/1/2020	PERMIT COMMENT - CYCLE 2

Issue:  
Date: 5.1.2020  
Description: FOR PERMIT

Project Number:  
**18-024**  
Title:  
**FURNITURE, FIXTURE, AND EQUIPMENT PLANS**

Sheet:  
**A202**



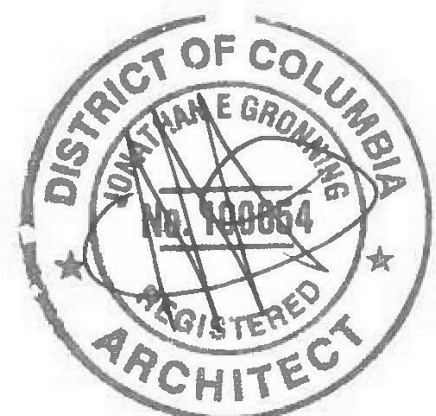
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Revision Number	Revision Date	Revision Description
1	6/1/2019	PERMIT COMMENTS - CYCLE 1
2	5/1/2020	PERMIT COMMENT - CYCLE 2

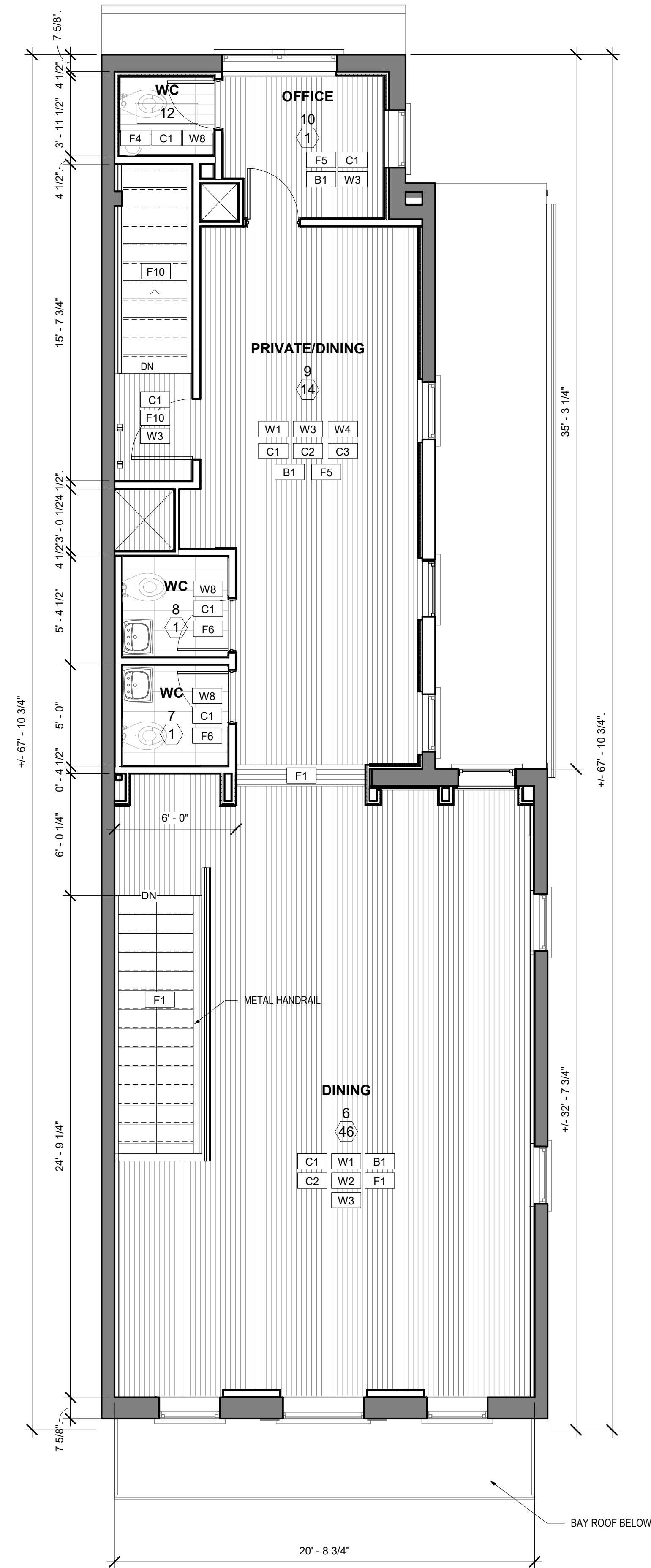
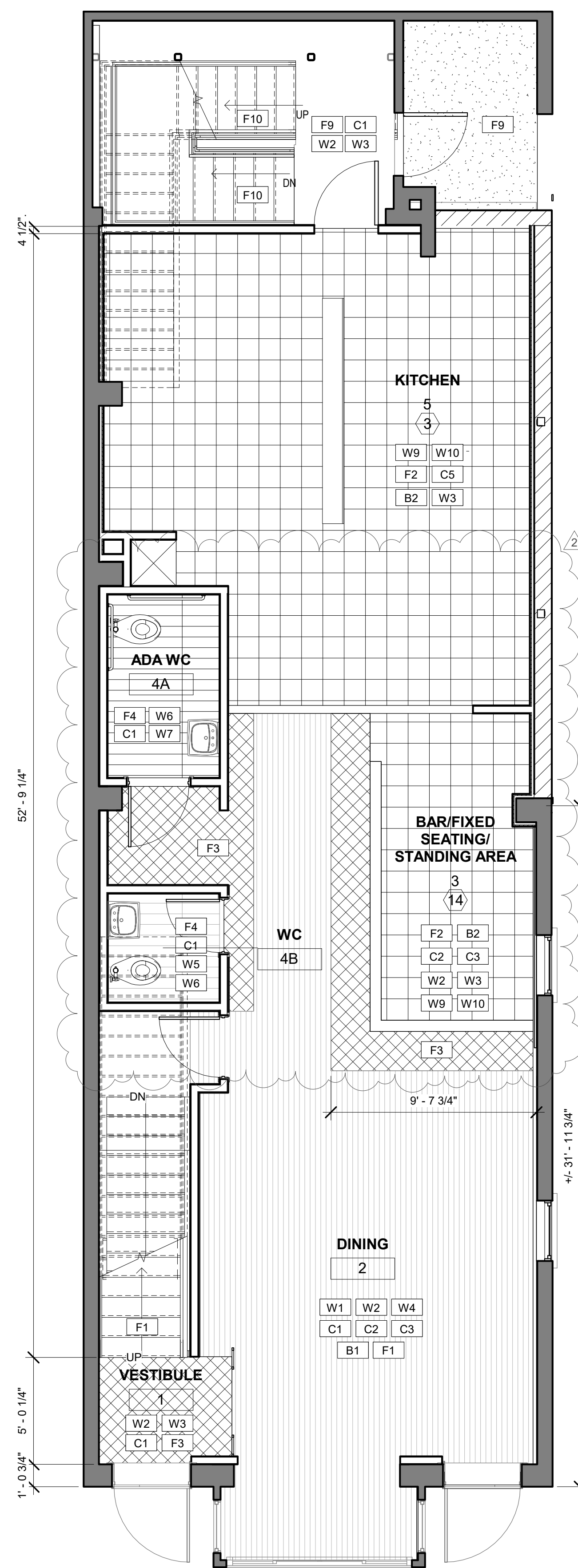
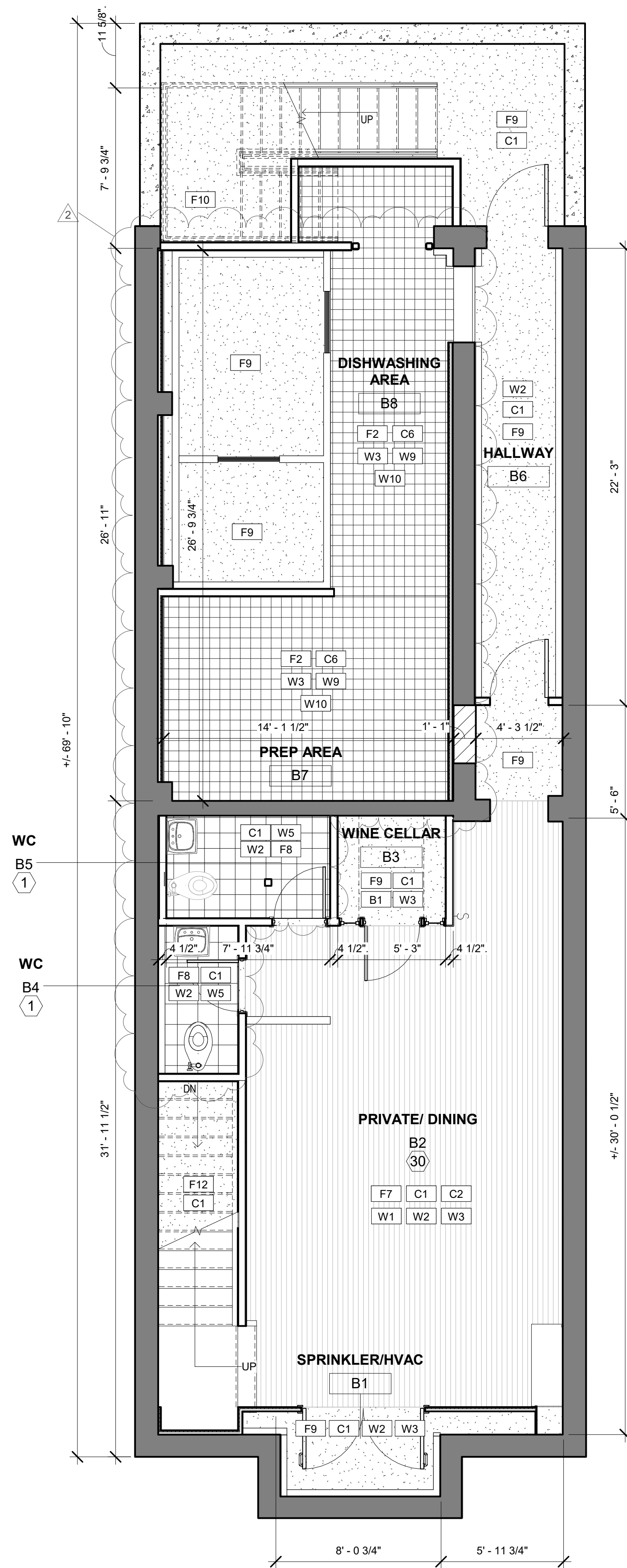
Issue:	Date	Description
	5.1.2020	FOR PERMIT

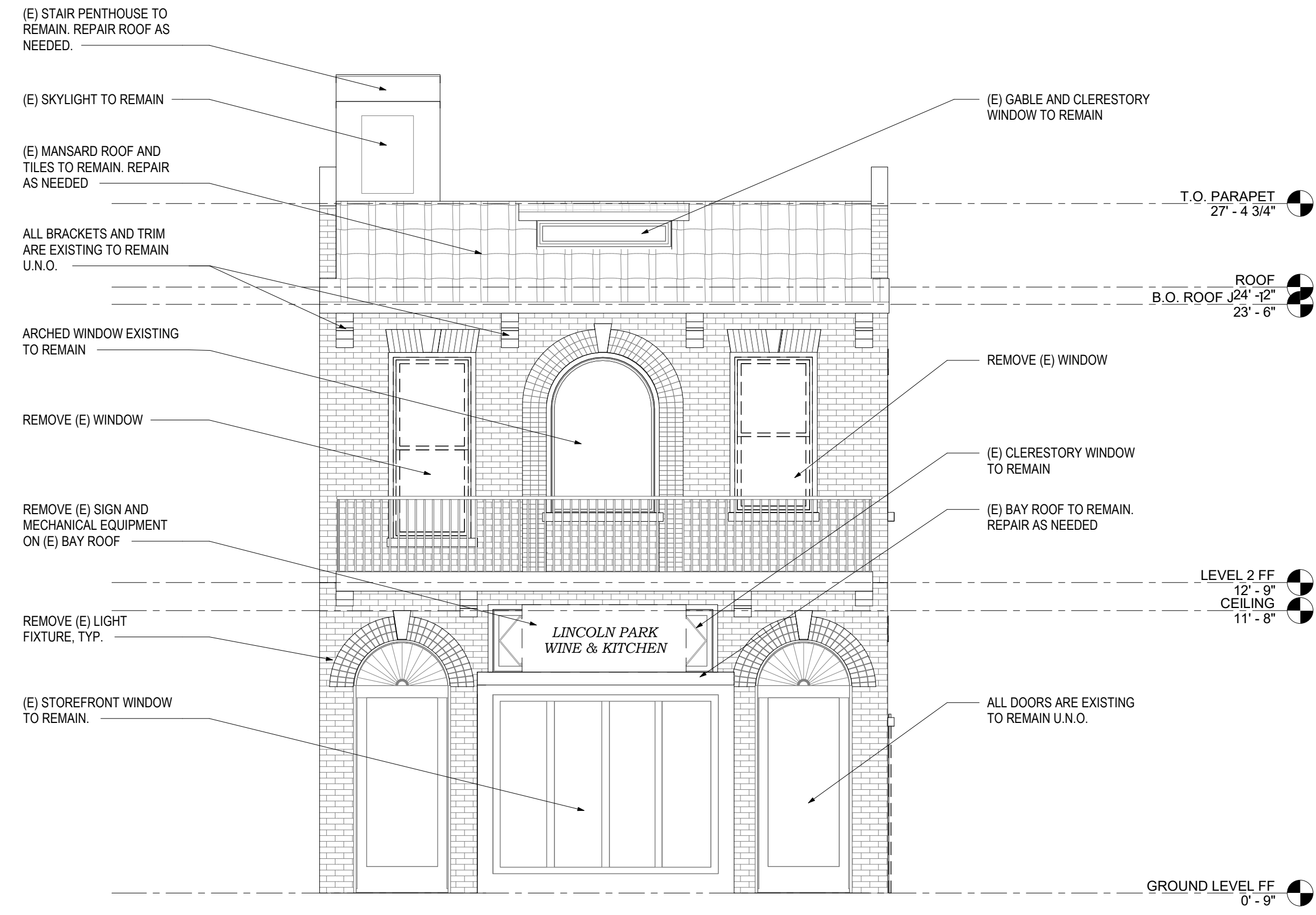
Project Number:  
**18-024**

Title:  
**FLOOR FINISH PLANS**

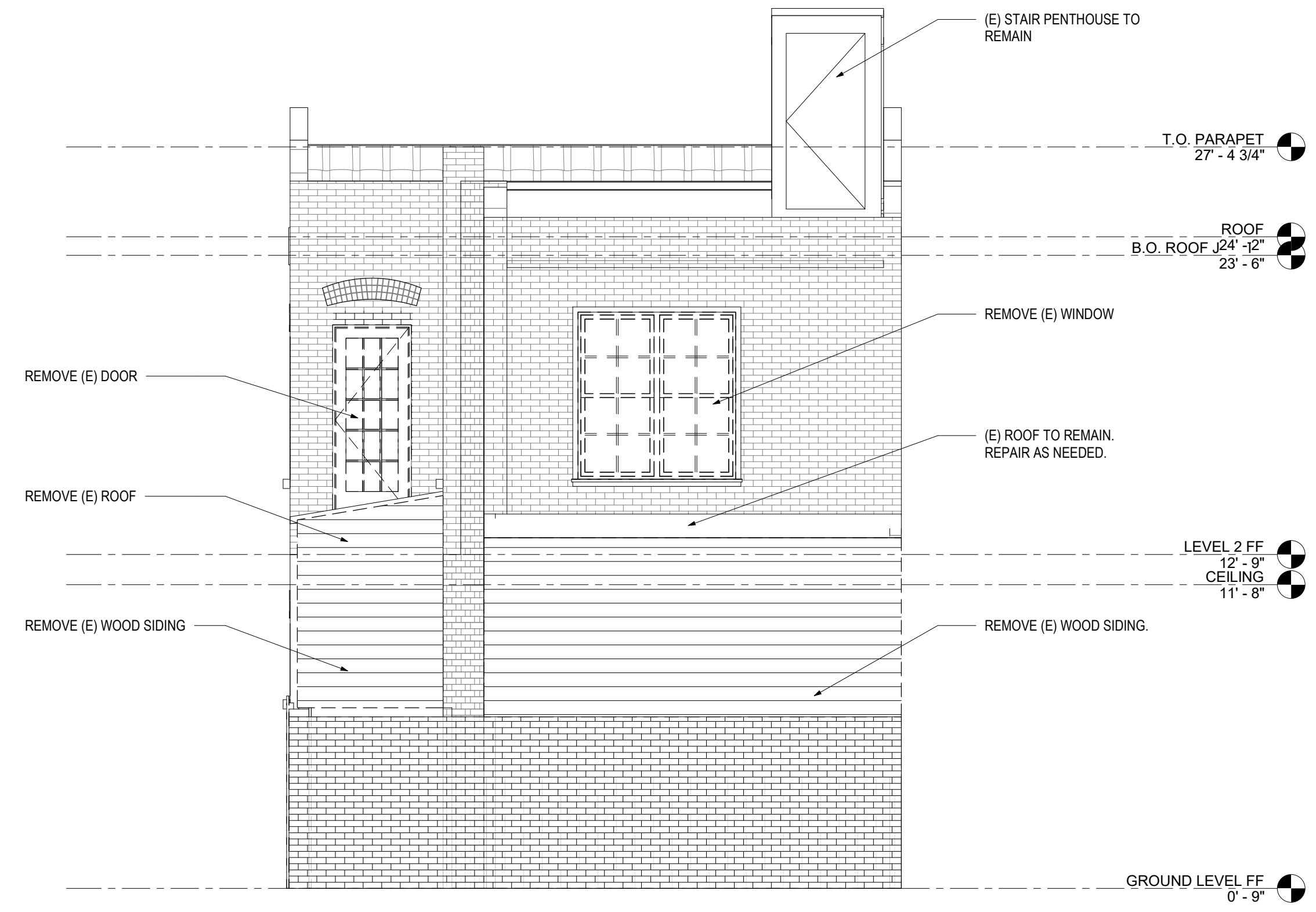
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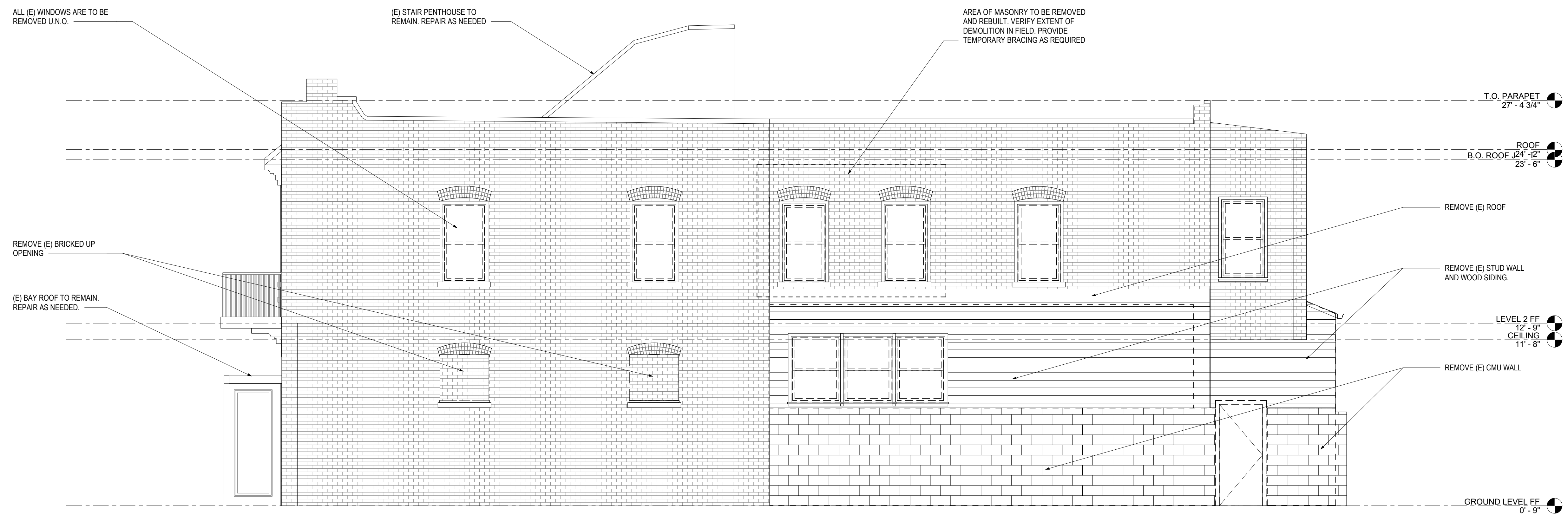




1 FRONT DEMOLITION ELEVATION  
1/4" = 1'-0"



2 BACK DEMOLITION ELEVATION  
1/4" = 1'-0"



3 SIDE DEMOLITION ELEVATION  
1/4" = 1'-0"



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Revision

Revision Number	Revision Date	Revision Description

Issue:  
Date 5.1.2020 Description FOR PERMIT

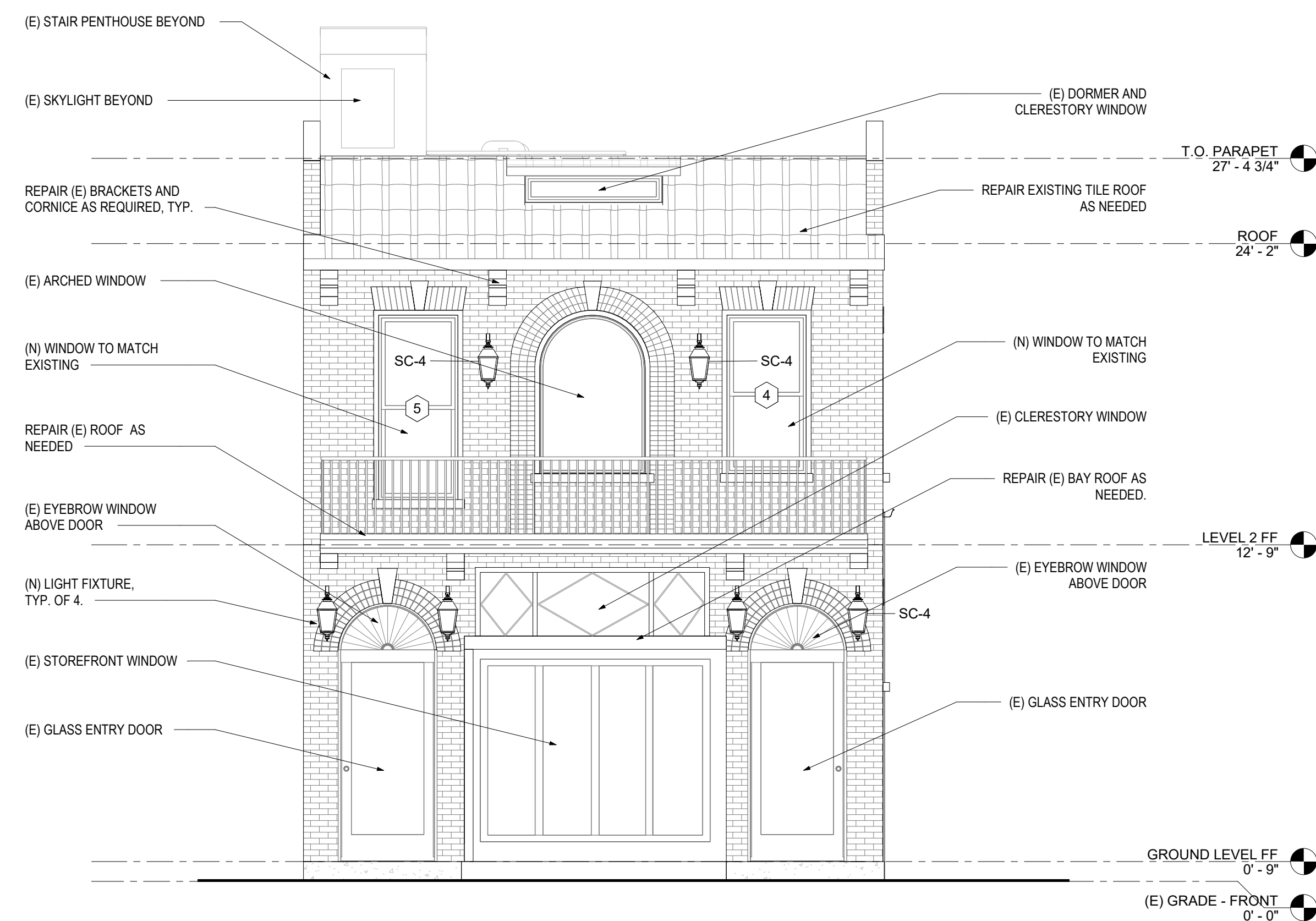
Project Number:  
**18-024**

Title:  
**BUILDING DEMOLITION ELEVATIONS**

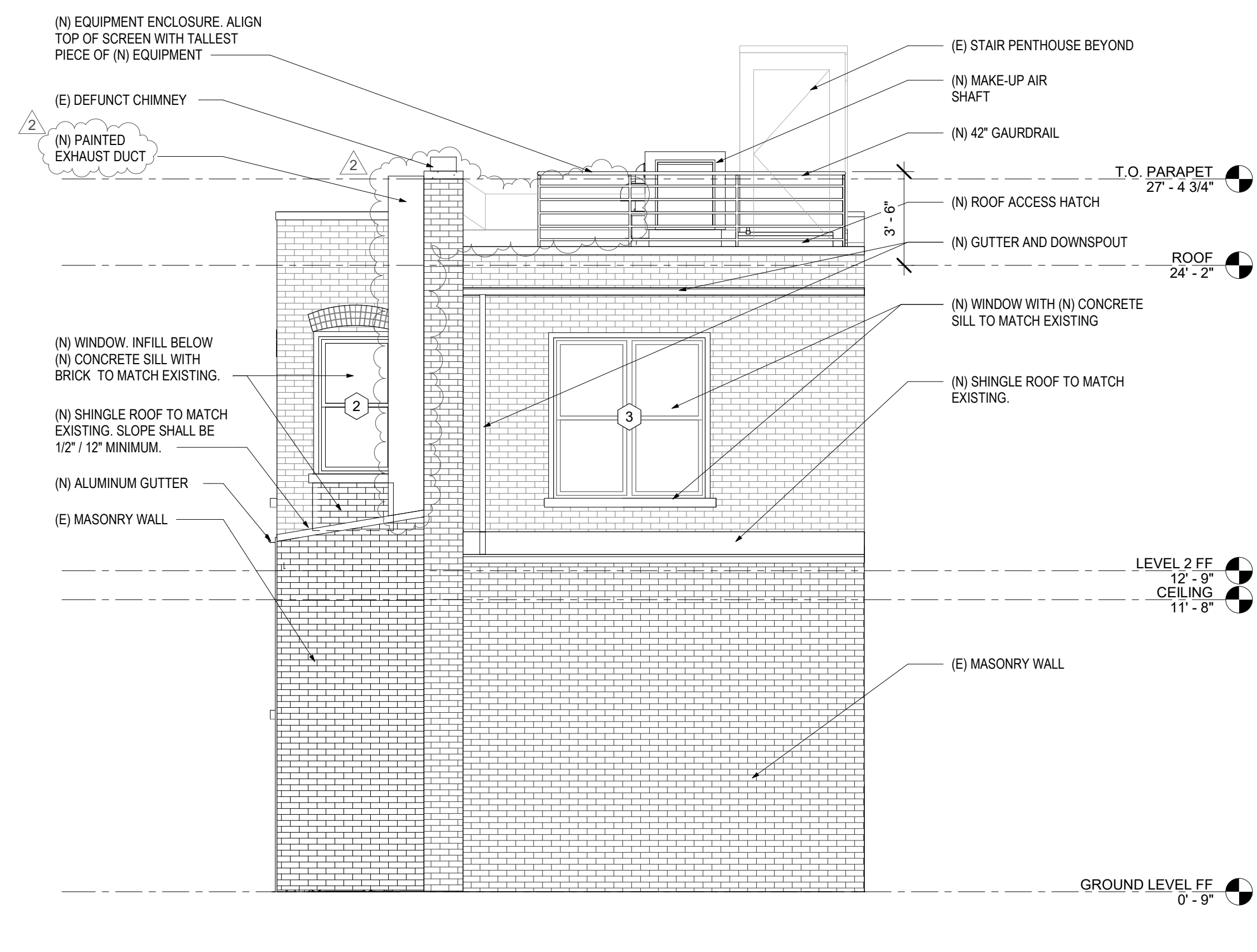
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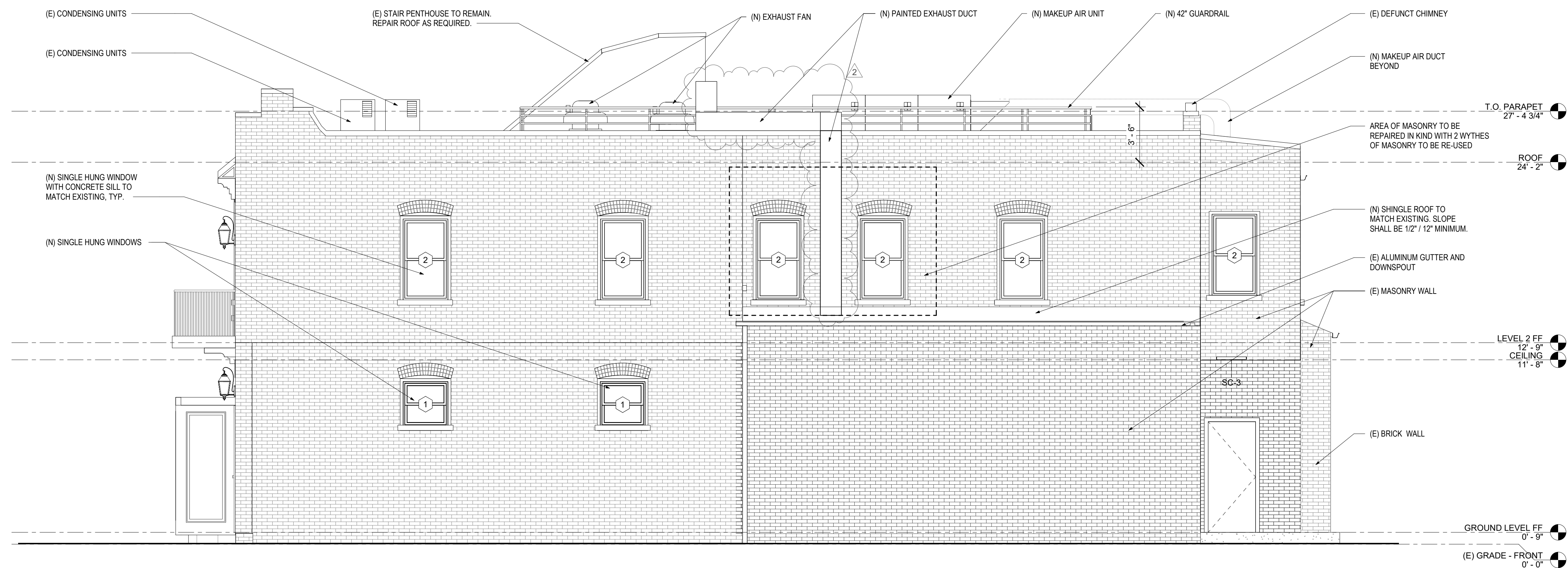




1 FRONT ELEVATION  
1/4" = 1'-0"



2 BACK ELEVATION  
1/4" = 1'-0"



3 SIDE ELEVATION  
1/4" = 1'-0"



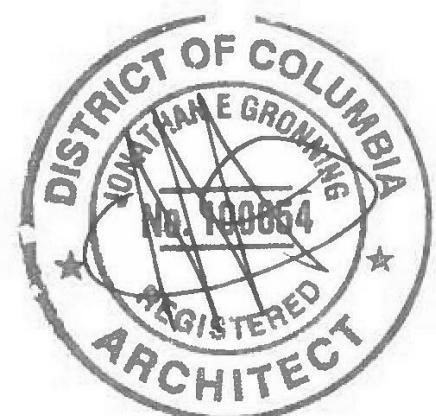
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2	5/1/2020	PERMIT COMMENT - CYCLE 2

Issue:	Description
Date	FOR PERMIT
5.1.2020	

Project Number:  
**18-024**

Title:  
**PROPOSED BUILDING ELEVATIONS**

Sheet:

**A401**