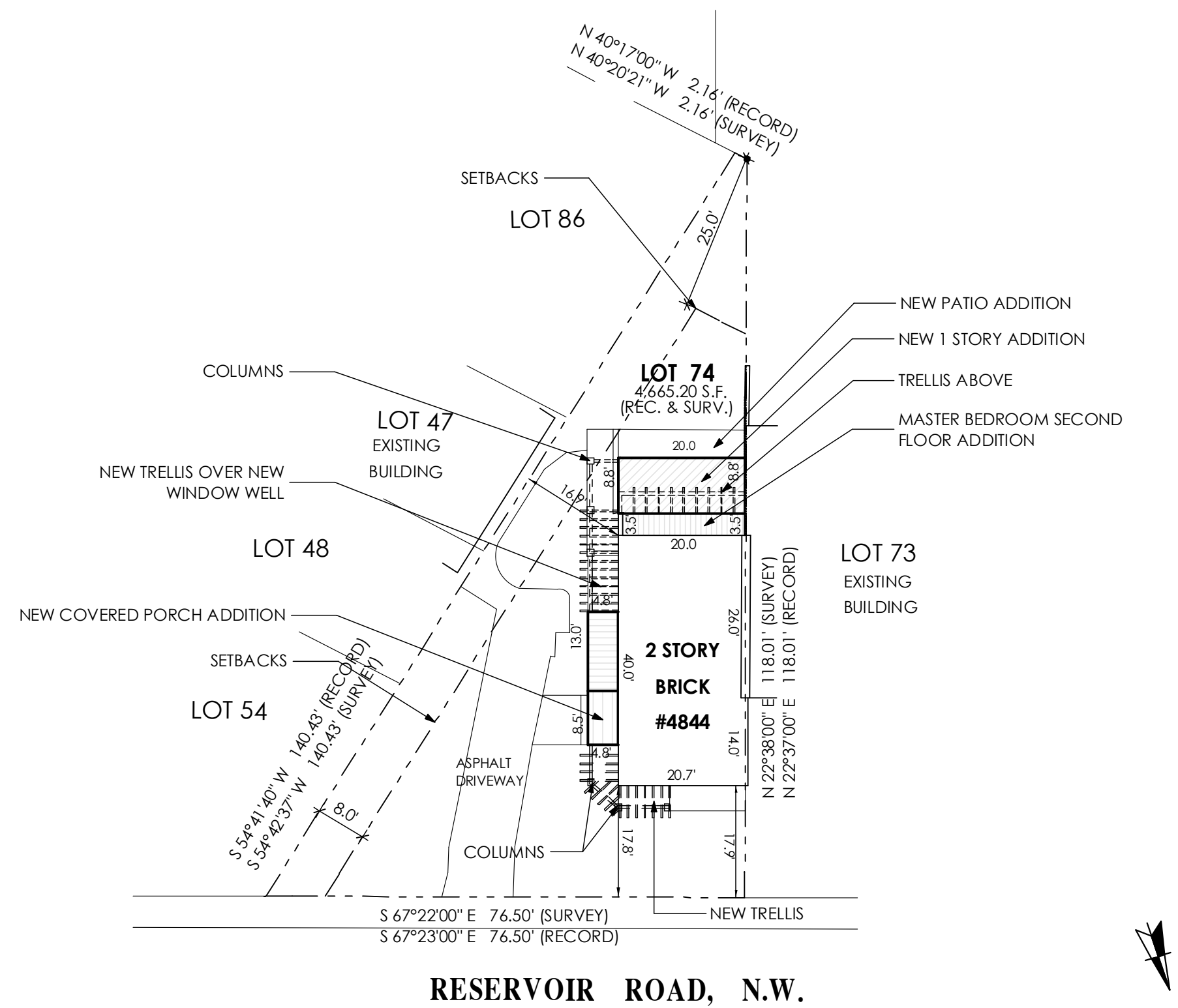


Licha Residence

4844 Reservoir Rd NW
Washington, DC 20007

SITE PLAN



3
0001 Site Plan
SCALE: 1" = 20'

CALCULATIONS

BUILDING AREA CALCULATIONS	
EXISTING BUILDING AREA	
BASEMENT	823 sf
FIRST FLOOR	823 sf
SECOND FLOOR	823 sf
FRONT PORCH	0 sf
TOTAL	2,469 sf
ALTERED/RENOVATED FLOOR AREA	
BASEMENT	117 sf
FIRST FLOOR	0 sf
SECOND FLOOR	0 sf
TOTAL	117 sf
NEW FLOOR AREA	
BASEMENT	0 sf
FIRST FLOOR	252 sf
SECOND FLOOR	67 sf
TOTAL	319 sf
DEMOLISHED FLOOR AREA	
BASEMENT	22 sf
FIRST FLOOR	87 sf
SECOND FLOOR	80 sf
TOTAL	189 sf
ACCESSORY BUILDING	
EXISTING FLOOR AREA	0 sf
DEMOLISHED FLOOR AREA	0 sf
NEW FLOOR AREA	0 sf
TOTAL	0 sf
EXTERIOR SPACES	
PORCH	108 sf
PATIO AREA	189 sf
WINDOW WELL	50 sf
TOTAL	347 sf

INFILL LOT CALCULATIONS*	
EXISTING FLOOR AREA	2,469 sf
50% OF EXISTING FLOOR AREA	1,235 sf
NEW FLOOR AREA MAIN STRUCTURE	319 sf
NEW FLOOR AREA ACCESSORY BLDG	0 sf
IF NEW FOOTPRINT IS LESS THAN 50% OF EXISTING, BUILDING IS NOT INFILL LOT	
IF NEW FOOTPRINT IS MORE THAN 50% OF EXISTING, BUILDING IS INFILL LOT	
* FOR LOTS LESS THAN 25,000 SF	

ZONING INFORMATION	
ZONE	R-1-B
MINIMUM LOT SIZE	5,000 sf
LEGAL	
SUBDIVISION	
LOT	74
BLOCK	4
PLAT	11358
MINIMUM SETBACKS	
FRONT	0 ft
SIDE STREET (if applicable)	0 ft
SUM OF BOTH SIDES	0 ft
ONE SIDE	8 ft
REAR	25 ft
MAXIMUM BUILDING HEIGHT	
TO PEAK	40 ft
TO MEAN HEIGHT BETWEEN EAVES	0 ft
LOT AREA EXISTING	4,665 sf
LOT COVERAGE	
MAX. ALLOWED (COVERAGE/AREA) X 100	40%
	1,866 sf
PROPOSED COVERAGE	26%
	1,192 sf
HIGHLIGHT THE CORRECT ONE BELOW	
< 30% MAX. Standard Method Development Standards	0.26 %
> 30% MAX. Int'l Development Standards	0.26 %

LAND DISTURBANCE CALCULATIONS	
VOLUME OF EXCAVATION	
PROPOSED SURFACE AREA	344 sf
PROPOSED DEPTH	
IN INCHES	36 in.
IN FEET	3.00 ft
CUBIC FEET (AREA X DEPTH)	1,032 cu.ft.
TOTAL (cu.ft./27)	38.22 cu.yds
DISTURBED SURFACE AREA	
MAIN BUILDING	413 sf
FRONT PORCH	117 sf
WINDOW WELL	198 sf
REAR & SIDE PATIO	160 sf
TOTAL	888 sf

APPLICABLE CODES

BUILDING CODE:
DCMR 12 DC Construction Codes Supplement (2013)
DCMR 12 DC Construction Codes Supplement (2008)
2012 ICC International Residential Code (IRC)
2013 District of Columbia Building Code
2013 District of Columbia Property Maintenance Code
2013 District of Columbia Green Construction Code

ENERGY CODE:
2012 ICC International Energy Conservation Code w/ amendments per state code found below
2013 District of Columbia Energy Conservation Code

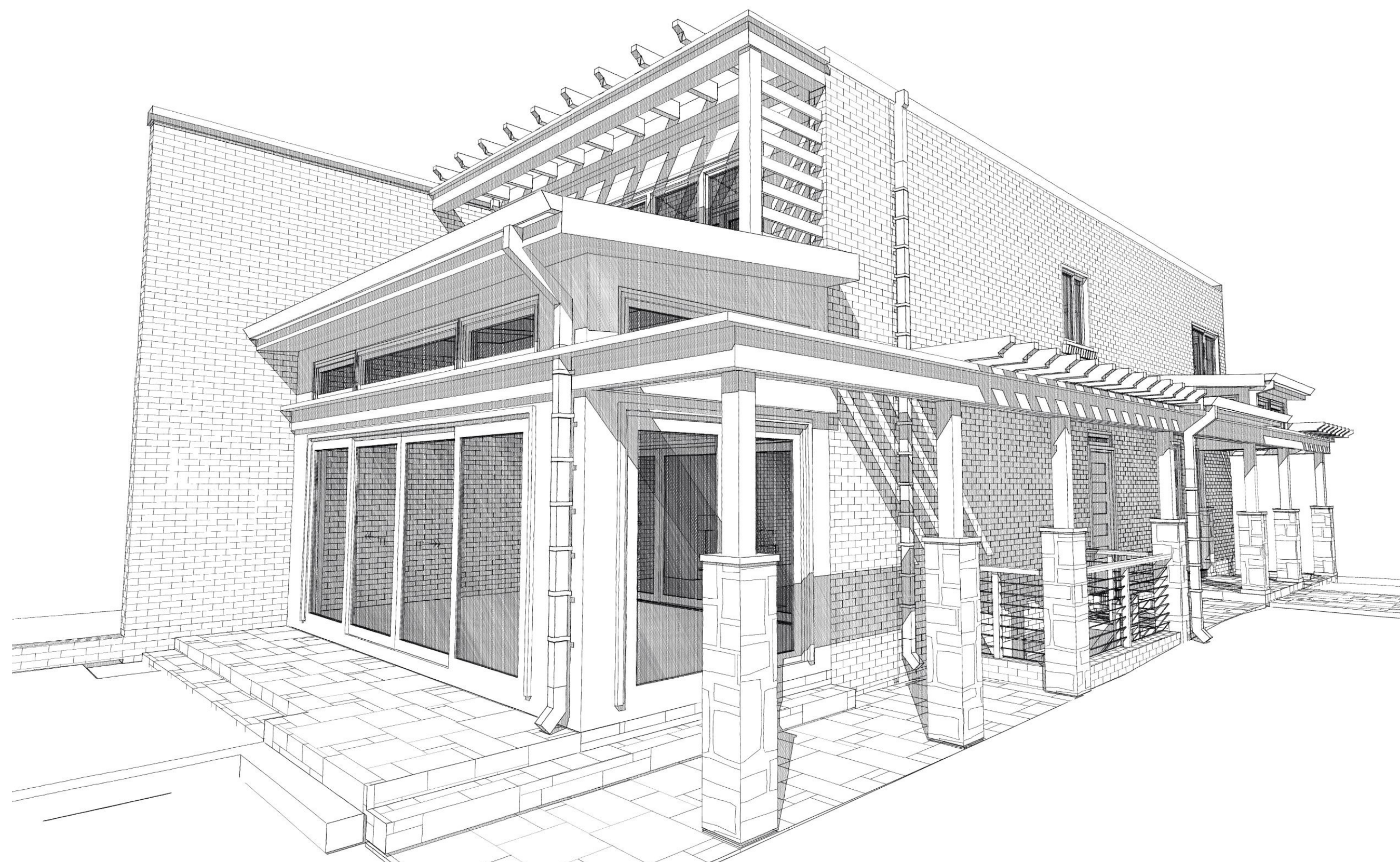
FIRE CODE:
2012 NFPA 1 Fire Code (National Fire Protection Association) w/ amendments per state code found below
2013 District of Columbia Fire Code

MECHANICAL CODE:
2012 ICC International Mechanical Code (as referenced by the IBC 2012)
2013 District of Columbia Mechanical Code

PLUMBING CODE:
2012 ICC International Plumbing Code w/ amendments per state code found below
2013 District of Columbia Plumbing Code

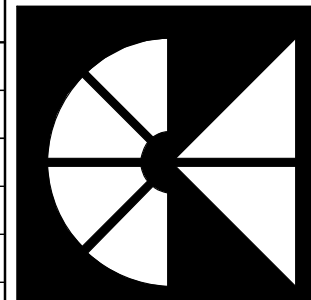
ELECTRICAL CODE:
NFPA 70, 2011 edition & local DCMR 12

3D VIEWS

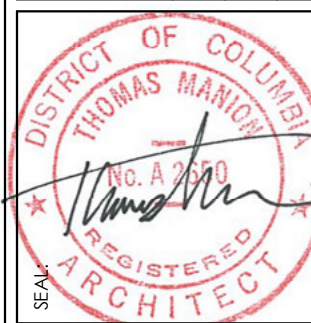


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CHECKED BY: TM



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ABBREVIATIONS:

ADA = AMERICANS WITH DISABILITIES ACT
A.F.F. = ABOVE FINISHED FLOOR
B.I. = BUILT IN
C.H. = CEILING HEIGHT
CONC. = CONCRETE
COORD. = COORDINATE
DIA. = DIAMETER
EA. = EACH
EQ. = EQUAL
ETR. = EXISTING TO REMAIN
E.W. = EACH WAY
EXG. = EXISTING
FR = FIRE RATED
FRP = FIBERGLASS REINFORCED PLASTIC
FIG. = FOOTING
GPF = GALLONS PER FLUSH
GYP. BD. = GYPSUM BOARD
HR. = HOUR
MIN. = MINIMUM
MAX. = MAXIMUM
MTL. = METAL
N.I.C. = NOT IN CONTRACT
O.C. = ON CENTER
O.F.C.I. = OWNER FURNISHED CONTRACTOR INSTALLED
P.F.E. = PORTABLE FIRE EXTINGUISHER
PID. = PAINTED
REQ'D = REQUIRED
SIM. = SIMILAR
S.S. = STAINLESS STEEL
TYP. = TYPICAL
U.O.N. = UNLESS OTHERWISE NOTED
V.I.F. = VERIFY IN FIELD
WJ. = WITH
W.R. = WATER RESISTANT

SCOPE OF WORK:

BASEMENT:
-New Kitchennette. Redo egress windows.

FIRST FLOOR:
- Reuse rear patio area for new screen porch or 3 season's room. Reuse or modify spaces to provide access to yard, and BBQ area with potential areas for gardening, equipment storage, etc. Provide natural light, add skylights and roof drainage as needed. Redo door access and side entrance.

SECOND:
-Consider maintaining second floor balcony or incorporate into room. Provide structural work for changes.

EXTERIOR:
-Integrate new with old parts of the house inside and out.

PERMIT

DO NOT SCALE DRAWINGS
Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and must notify this office of any variations from the dimensions and conditions shown.

Licha Residence
4844 Reservoir Rd NW
Washington, DC 20007
General Information

0001

RADON NOTES

SECTION AF102 DEFINITIONS

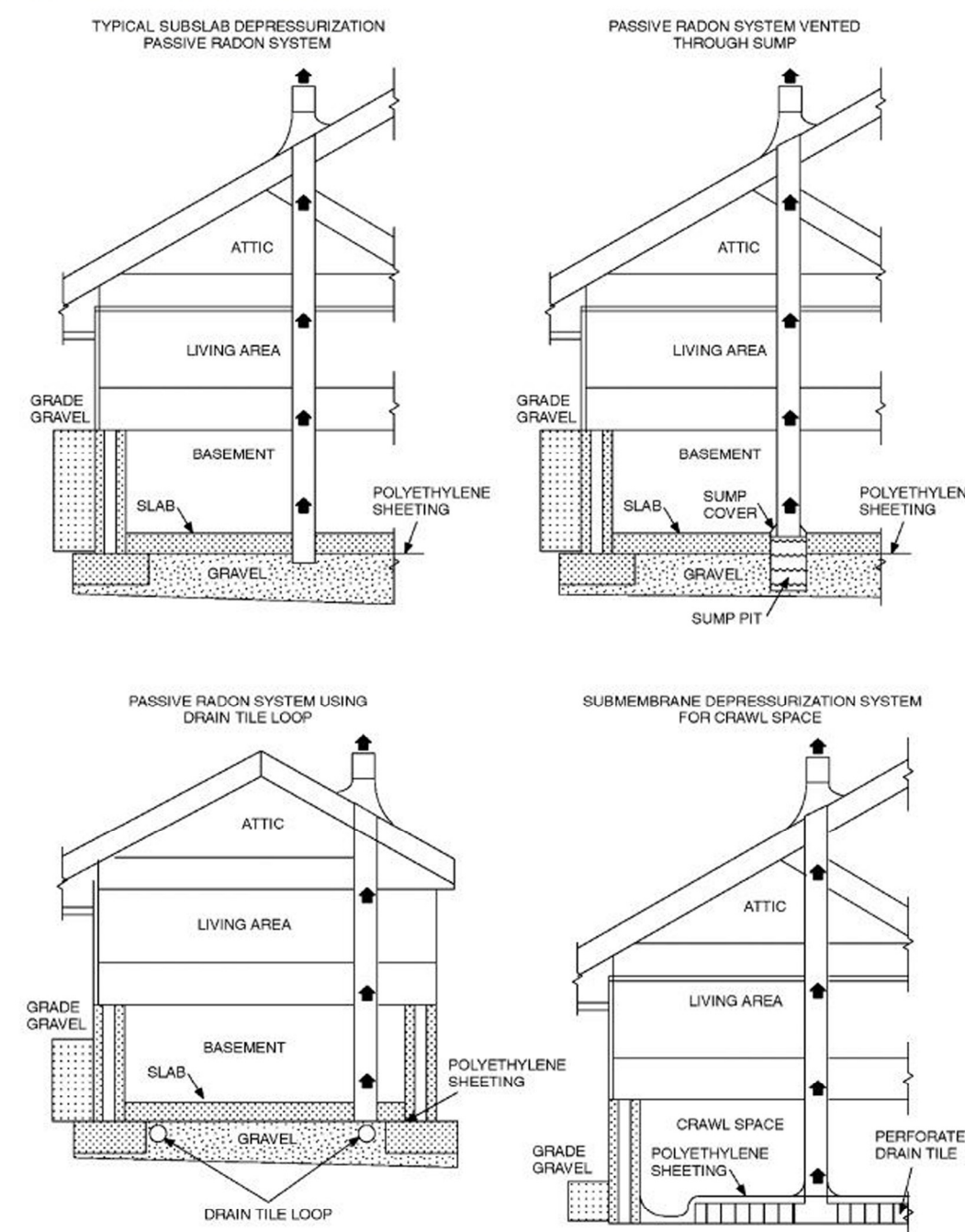


FIGURE AF102 RADON-RESISTANT CONSTRUCTION DETAILS FOR FOUR FOUNDATION TYPES

AF102.1 General.

For the purpose of these requirements, the terms used shall be defined as follows:

DRAIN TILE LOOP. A continuous length of drain tile or perforated pipe extending around all or part of the internal or external perimeter of a *basement* or crawl space footing.

RADON GAS. A naturally occurring, chemically inert, radioactive gas that is not detectable by human senses. As a gas, it can move readily through particles of soil and rock, and can accumulate under the slabs and foundations of homes where it can easily enter into the living space through construction cracks and openings.

SOIL-GAS-RETARDER. A continuous membrane of 6-mil (0.15 mm) polyethylene or other equivalent material used to retard the flow of soil gases into a building.

SUBMEMBRANE DEPRESSURIZATION SYSTEM. A system designed to achieve lower submembrane air pressure relative to crawl space air pressure by use of a vent drawing air from beneath the soil-gas-retarder membrane.

SUBSLAB DEPRESSURIZATION SYSTEM (Active). A system designed to achieve lower subslab air pressure relative to indoor air pressure by use of a fan-powered vent drawing air from beneath the slab.

SUBSLAB DEPRESSURIZATION SYSTEM (Passive). A system designed to achieve lower subslab air pressure relative to indoor air pressure by use of a vent pipe routed through the *conditioned space* of a building and connecting the subslab area with outdoor air, thereby relying on the convective flow of air upward in the vent to draw air from beneath the slab.

SECTION AF103 REQUIREMENTS

AF103.1 General.

The following construction techniques are intended to resist radon entry and prepare the building for post-construction radon mitigation, if necessary (see Figure AF102). These techniques are required in areas where designated by the *jurisdiction*.

AF103.2 Subfloor preparation.
A layer of gas-permeable material shall be placed under all concrete slabs and other floor systems that directly contact the ground and are within the walls of the living spaces of the building, to facilitate future installation of a subslab depressurization system, if needed. The gas-permeable layer shall consist of one of the following:

1. A uniform layer of clean aggregate, a minimum of 4 inches (102 mm) thick. The aggregate shall consist of material that will pass through a 2-inch (51 mm) sieve and be retained by a 1/4-inch (6.4 mm) sieve.
2. A uniform layer of sand (native or fill), a minimum of 4 inches (102 mm) thick, overlain by a layer or strips of geotextile drainage matting designed to allow the lateral flow of soil gases.
3. Other materials, systems or floor designs with demonstrated capability to permit depressurization across the entire subfloor area.

AF103.3 Soil-gas-retarder.
A minimum 6-mil (0.15 mm) [or 3-mil (0.075 mm) cross-laminated] polyethylene or equivalent flexible sheeting material shall be placed on top of the gas-permeable layer prior to casting the slab or placing the floor assembly to serve as a soil-gas-retarder by bridging any cracks that develop in the slab or floor assembly, and to prevent concrete from entering the void spaces in the aggregate base material. The sheeting shall cover the entire floor area with separate sections of sheeting lapped at least 12 inches (305 mm). The sheeting shall fit closely around any pipe, wire or other penetrations of the material. All punctures or tears in the material shall be sealed or covered with additional sheeting.

AF103.4 Entry routes.

Potential radon entry routes shall be closed in accordance with Sections AF103.4.1 through AF103.4.10.

AF103.4.1 Floor openings.

Openings around bathtubs, showers, water closets, pipes, wires or other objects that penetrate concrete slabs, or other floor assemblies, shall be filled with a polyurethane caulk or equivalent sealant applied in accordance with the manufacturer's recommendations.

AF103.4.2 Concrete joints.

All control joints, isolation joints, construction joints, and any other joints in concrete slabs or between slabs and foundation walls shall be sealed with a caulk or sealant. Gaps and joints shall be cleared of loose material and filled with polyurethane caulk or other elastomeric sealant applied in accordance with the manufacturer's recommendations.

AF103.4.3 Condensate drains.

Condensate drains shall be trapped or routed through nonperforated pipe to daylight.

AF103.4.4 Sumps.

Sump pits open to soil or serving as the termination point for subslab or exterior drain tile loops shall be covered with a gasketed or otherwise sealed lid. Sumps used as the suction point in a subslab depressurization system shall have a lid designed to accommodate the vent pipe. Sumps used as a floor drain shall have a lid equipped with a trapped inlet.

RADON NOTES (CONT.)

AF103.4.5 Foundation walls.

Hollow block masonry foundation walls shall be constructed with either a continuous course of *solid masonry*, one course of masonry grouted solid, or a solid concrete beam at or above finished ground surface to prevent the passage of air from the interior of the wall into the living space. Where a brick veneer or other masonry ledge is installed, the course immediately below that ledge shall be sealed. Joints, cracks or other openings around all penetrations of both exterior and interior surfaces of masonry block or wood foundation walls below the ground surface shall be filled with polyurethane caulk or equivalent sealant. Penetrations of concrete walls shall be filled.

AF103.4.6 Dampproofing.

The exterior surfaces of portions of concrete and masonry block walls below the ground surface shall be dampproofed in accordance with Section R406.

AF103.4.7 Air-handling units.

Air-handling units in crawl spaces shall be sealed to prevent air from being drawn into the unit.

Exception: Units with gasketed seams or units that are otherwise sealed by the manufacturer to prevent leakage.

AF103.4.8 Ducts.

Ductwork passing through or beneath a slab shall be of seamless material unless the air-handling system is designed to maintain continuous positive pressure within such ducting. Joints in such ductwork shall be sealed to prevent air leakage.

Ductwork located in crawl spaces shall have seams and joints sealed by closure systems in accordance with Section M1601.4.1.

AF103.4.9 Crawl space floors.

Openings around all penetrations through floors above crawl spaces shall be caulked or otherwise filled to prevent air leakage.

AF103.4.10 Crawl space access.

Access doors and other openings or penetrations between *basements* and adjoining crawl spaces shall be closed, gasketed or otherwise filled to prevent air leakage.

AF103.5 Passive submembrane depressurization system.

In buildings with crawl space foundations, the following components of a passive submembrane depressurization system shall be installed during construction.

Exception: Buildings in which an *approved* mechanical crawl space ventilation system or other equivalent system is installed.

AF103.5.1 Ventilation.

Crawl spaces shall be provided with vents to the exterior of the building. The minimum net area of ventilation openings shall comply with Section R408.1.

AF103.5.2 Soil-gas-retarder.

The soil in crawl spaces shall be covered with a continuous layer of minimum 6-mil (0.15 mm) polyethylene soil-gas-retarder. The ground cover shall be lapped not less than 12 inches (305 mm) at joints and shall extend to all foundation walls enclosing the crawl space area.

AF103.5.3 Vent pipe.

A plumbing tee or other *approved* connection shall be inserted horizontally beneath the sheeting and connected to a 3- or 4-inch-diameter (76 or 102 mm) fitting with a vertical vent pipe installed through the sheeting. The vent pipe shall be extended up through the building floors, and terminate not less than 12 inches (305 mm) above the roof in a location not less than 10 feet (3048 mm) away from any window or other opening into the *conditioned spaces* of the building that is less than 2 feet (610 mm) below the exhaust point, and 10 feet (3048 mm) from any window or other opening in adjoining or adjacent buildings.

AF103.6 Passive subslab depressurization system.

In *basement* or slab-on-grade buildings, the following components of a passive subslab depressurization system shall be installed during construction.

AF103.6.1 Vent pipe.

A minimum 3-inch-diameter (76 mm) ABS, PVC or equivalent gas-tight pipe shall be embedded vertically into the subslab aggregate or other permeable material before the slab is cast. A "T" fitting or equivalent method shall be used to ensure that the pipe opening remains within the subslab permeable material. Alternatively, the 3-inch (76 mm) pipe shall be inserted directly into an interior perimeter drain tile loop or through a sealed sump cover where the sump is exposed to the subslab aggregate or connected to it through a drainage system.

The pipe shall be extended up through the building floors, and terminate at least 12 inches (305 mm) above the surface of the roof in a location at least 10 feet (3048 mm) away from any window or other opening into the *conditioned spaces* of the building that is less than 2 feet (610 mm) below the exhaust point, and 10 feet (3048 mm) from any window or other opening in adjoining or adjacent buildings.

AF103.6.2 Multiple vent pipes.

In buildings where interior footings or other barriers separate the subslab aggregate or other gas-permeable material, each area shall be fitted with an individual vent pipe. Vent pipes shall connect to a single vent that terminates above the roof or each individual vent pipe shall terminate separately above the roof.

AF103.7 Vent pipe drainage.

Components of the radon vent pipe system shall be installed to provide positive drainage to the ground beneath the slab or soil-gas-retarder.

AF103.8 Vent pipe accessibility.

Radon vent pipes shall be accessible for future fan installation through an *attic* or other area outside the *habitable space*.

Exception: The radon vent pipe need not be accessible in an *attic* space where an *approved* roof-top electrical supply is provided for future use.

AF103.9 Vent pipe identification.

Exposed and visible interior radon vent pipes shall be identified with not less than one *label* on each floor and in accessible *attics*. The *label* shall read: "Radon Reduction System."

AF103.10 Combination foundations.

Combination *basement/crawl space* or *slab-on-grade/crawl space* foundations shall have separate radon vent pipes installed in each type of foundation area. Each radon vent pipe shall terminate above the roof or shall be connected to a single vent that terminates above the roof.

AF103.11 Building depressurization.

Joints in air ducts and plenums in *unconditioned spaces* shall meet the requirements of Section M1601. Thermal envelope air infiltration requirements shall comply with the energy conservation provisions in Chapter 11. Fireblocking shall meet the requirements contained in Section R302.11.

AF103.12 Power source.

To provide for future installation of an active submembrane or subslab depressurization system, an electrical circuit terminated in an *approved* box shall be installed during construction in the *attic* or other anticipated location of vent pipe fans. An electrical supply shall also be accessible in anticipated locations of system failure alarms.

GENERAL NOTES

1. ALL WORK IS TO BE DONE IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
2. CONTRACTOR SHALL CONFORM TO ALL O.S.H.A. REQUIREMENTS.
3. ALL WORK TO BE IN COMPLIANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE.
4. APPROVAL OF THESE DRAWINGS BY GOVERNING AUTHORITIES DOES NOT RELEASE THE CONTRACTOR FROM COMPLYING WITH ALL APPLICABLE CODES AND STANDARDS.
5. THE GENERAL CONTRACTOR SHALL BEAR FULL RESPONSIBILITY AND COSTS FOR THE FOLLOWING:
 - A. PERMITS, LICENSES, INSPECTIONS AND FEES (ALL IMPACT FEES).
 - B. TEMPORARY POWER AND UTILITIES.
 - C. TRASH REMOVAL.
 - D. LIABILITY AND WORKMEN'S COMPENSATION INSURANCE, ETC.
 - E. AND OTHER ITEMS INDICATED IN SPECIFICATIONS.
6. CONTRACTOR TO VISIT SITE AND COMPLETELY FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS PRIOR TO EXECUTION OF ANY CONSTRUCTION, CONTACT ARCHITECT PRIOR TO EXECUTING ANY WORK IN QUESTION.
7. CHECK ALL DIMENSIONS ON JOB AND FULLY VERIFY PRIOR TO EXECUTION. ALL ELEVATIONS GIVEN ARE APPROXIMATE AND ARE GIVEN FOR RELATIONAL PURPOSES. CONTRACTOR SHALL ESTABLISH EXACT LEVELS PRIOR TO START OF WORK AND NOTIFY ARCHITECT OF ANY SIGNIFICANT DISCREPANCIES.
8. CONTRACTOR SHALL NOT SCALE DRAWINGS AND DISCREPANCIES BETWEEN EXISTING CONDITIONS AND DRAWINGS SHALL BE REPORTED TO ARCHITECT FOR CLARIFICATION PRIOR TO COMMENCEMENT OF WORK.
9. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR THE FAILURE OF THE CLIENT OR HIS CONTRACTORS, SUBCONTRACTORS, OR ANYONE PERFORMING ANY OF THE WORK, TO CARRY OUT THE WORK IN ACCORDANCE WITH THE APPROVED CONTRACT DOCUMENTS.
10. IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR NOTED.
11. IN AREAS WHERE THE DRAWINGS DO NOT ADDRESS METHODOLOGY, THE CONTRACTOR SHALL BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
12. THE ARCHITECT AND OWNER WILL CONSIDER FORMAL REQUESTS FROM THE CONTRACTOR FOR SUBSTITUTION OF PRODUCTS, MATERIALS OR MANUFACTURERS. THESE REQUESTS SHALL ACCOMPANY BUT NOT BE INCLUDED IN THE BASE BID ON THE SPECIFIED BID DUE DATE. SUBMIT TWO COPIES OF REQUEST FOR SUBSTITUTION.
13. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS/VENDOR DATA SUBMITTAL SCHEDULE TO ARCHITECT FOR REVIEW AND APPROVAL WITHIN THIRTY (30) DAYS FROM COMMENCEMENT OF WORK. SUBMIT TWO (2) COPIES TO ARCHITECT.
14. DEMOLITION TO BE PROVIDED BY CONTRACTOR AS REQUIRED. COMPLETELY REMOVE ALL TRASH FROM SITE.
15. WHERE NEW WORK IS TO BE DONE, CARE SHALL BE TAKEN TO PROTECT ALL EXISTING ADJACENT SURFACES AND AREAS FROM DAMAGE. ANY AREAS DAMAGED DURING CONSTRUCTION OR DEMOLITION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST. THIS APPLIES PARTICULARLY TO ADJACENT SPACES, ROOF, AND OTHER EXTERIOR AREAS AND SURFACES.
16. THE CONTRACTOR IN THE FIELD SHALL ASSESS AND DETERMINE THE METHOD FOR EXCAVATION, SHORING, AND FORMING NEW FOOTINGS AND FOUNDATION WALLS.
17. THE EXCAVATION CONTRACTOR WILL USE ALL NECESSARY PRECAUTIONS WHEN EXCAVATING AT OR NEAR EXISTING BUILDING FOUNDATIONS, TREES, ETC.
18. CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION AGAINST THE DEPOSIT OF SOIL, GRAVEL, OR OTHER MATERIAL ON ANY PUBLIC PROPERTY OR OTHER NEIGHBORING PREMISES PER LOCAL/STATE CODE REQUIREMENTS.
19. ALL CONCRETE DETAILS AND CONSTRUCTION ARE TO COMPLY WITH LATEST A.C.I. CODE AND LOCAL CODES.
20. ALL WOOD FRAMING EXPOSED TO THE WEATHER SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AWP.
21. ONLY NEW, FIRST CLASS MATERIALS WILL BE USED (EXCEPT AS NOTED). ALL WORK AND EQUIPMENT SHALL BE WARRANTIED BY THE CONTRACTOR FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE EXCEPT FOR MANUFACTURER'S GUARANTEES WHICH MAY BELONGER.
22. CONTRACTOR SHALL BE RESPONSIBLE FOR THE INCLUSION OF ALL WORK NECESSARY FOR A COMPLETE INSTALLATION WHETHER SUCH WORK IS OR IS NOT INDICATED ON THE DRAWINGS OR IN THE SPECIFICATIONS.
23. ALL MANUFACTURED ITEMS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.
24. WARRANTIES, GUARANTEES AND MANUFACTURER'S INSTRUCTIONS ON EQUIPMENT FURNISHED AND INSTALLED BY THE CONTRACTOR SHALL BE GIVEN TO THE OWNER.
25. ALL GYPSUM BOARD SHALL BE TAPED, SPACKLED AND SANDED SMOOTH PRIOR TO FINISHING, METAL BEADING SHALL BE USED ON ALL OUTSIDE CORNERS WHERE APPLICABLE.
26. ALL PENETRATIONS THROUGH EXISTING ROOF SHALL BE SEALED IN PITCH POCKETS AT PIPING, CONDUIT, ETC.: FLASH DUCTS AND CURBS.
27. CONTRACTOR SHALL PROVIDE PROTECTION ON A DAILY BASIS FOR ALL WORK THAT PENETRATES THE EXISTING ROOF MATERIAL. CONTRACTOR TO COVER ALL WORK UNTIL WATER/WEATHER PROOF THROUGH COMPLETION OF CONSTRUCTION.
28. UTILITIES TO BE COORDINATED AND PROVIDED AS PER DRAWINGS.
29. REMOVAL, DISPOSAL, ALTERATION AND RELOCATION OF EXISTING MECHANICAL AND ELECTRICAL EQUIPMENT, CONDUITS, PIPES AND DUCTS ARE INCLUDED IN THE WORK.
30. ALL NOTES ON THIS DRAWING APPLY FOR THE ENTIRE PROJECT WHETHER OR NOT REPEATED ON OTHER DRAWINGS.

STRUCTURAL NOTES

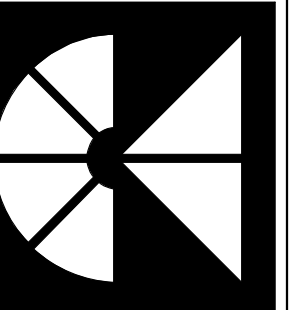
GENERAL:

1. Provide all labor, material, equipment and miscellaneous items including but not limited to clips, inserts, ties, anchor straps, hangers, bolts, and other fasteners required to complete the work.
2. Verify all floor and roof openings with the architectural and MEP drawings. Verify all depressions, dimensions, and slopes from the architectural drawings. Any discrepancy shall be brought to the attention of the Architect.
3. The contractor shall be solely responsible for site safety, and the stability of all new, temporary, and existing structures, walls, slabs, etc. during the construction phase.

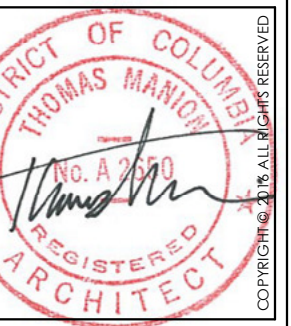
FOUNDATIONS:

1. The structural engineer is not responsible for subsurface conditions encountered in the field different to those assumed for the design.
2. All footings shall project at least 1'-0" into undisturbed natural soil or compacted controlled fill having a bearing value of at least equal to that specified above.
3. Bottoms of all exterior footings shall be at least 2'-6" below finished grade or as required by local code requirements. Footing elevations indicated on drawings have been established from available information provided by others and may not violate criteria established above. Footing elevations shall be lowered as site conditions warrant for poor soil conditions or as required to facilitate site utilities or existing conditions.
4. Unless otherwise shown on the drawings, wall footings shall be 12" deep and project 6" beyond each face of wall. Wall footings supporting masonry walls are to be reinforced with (3) #5 longitudinal continuous bottom bars.
5. All disturbed earth under footings shall be replaced with lean concrete.
6. All bearing strata shall be adequately drained before foundation concrete is placed.
7. No excavation to be closer than a slope of 2:1 (2 horizontal to one vertical) to an exg. footing or structure U.O.N.
8. Do not place concrete over frozen soil.
9. Centerline of footing shall match centerline of column, pedestal and/or pier unless shown otherwise.

For Permit Use Only



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PROJECT PHASE: CD ISSUE DATE: 10-16-2018
DRAWN BY: vgl REVISIONS
CHECKED BY: TM



Licha Residence
4844 Reservoir Rd NW
Washington, DC 20007
Project Notes

PERMIT

DO NOT SCALE DRAWINGS

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and must notify this office of any variations from the dimensions and conditions shown.

0002

GENERAL DEMOLITION NOTES

WALLS:
REMOVE ALL EXISTING PANELED WALLS AND DRYWALL AS NOTED ON PLANS. PROVIDE ALL NECESSARY TEMPORARY AND PERMANENT SUPPORTS FOR FLOOR JOISTS, ROOF RAFTERS, BEARING WALLS, ETC. PRIOR TO DEMOLITION.

FLOORS:
PULL UP ANY AREAS OF FLOORING DAMAGED OR TO BE REPLACED. SEE FINISH SCHEDULE FOR FLOOR FINISHES. REMOVE AND REPLACE ANY DETERIORATED SUB-FLOORING. BUILD OVER EXPOSED OPENINGS IN FLOOR, RESTRUCTURE AS NECESSARY.

CEILING:
REMOVE CEILINGS IN ROOMS TO BE RENOVATED. EXPOSE JOISTS, INSPECT, AND MARK ALL JOISTS REQUIRING STRUCTURAL REINFORCEMENT. COORDINATE WITH ARCHITECT AS REQUIRED.

WINDOWS AND DOORS:
REMOVE EXISTING WINDOWS AND DOORS AS NOTED ON PLANS- SAVE FOR POSSIBLE REUSE. STRIP OPENINGS OF ALL TRIM, COUNTERWEIGHTS, SILLS, HINGES, ETC. LINTELS AND STRUCTURAL FRAMING TO REMAIN UNLESS NOTED OTHERWISE.

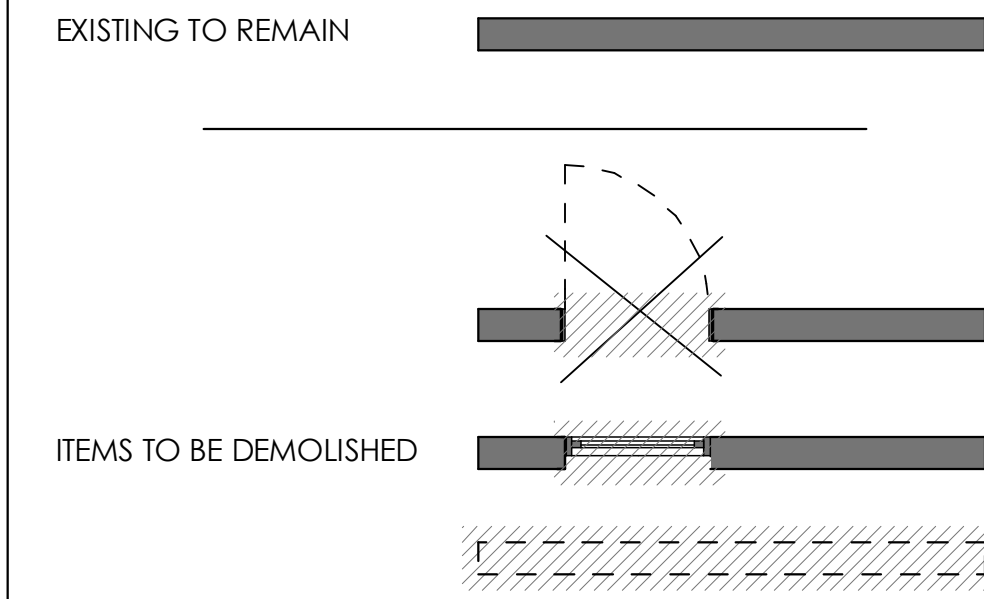
ELECTRICAL:
REMOVE ALL EXISTING WIRING IN AREAS TO BE RENOVATED. CHECK FOR POTENTIAL REUSE OF OUTLET CIRCUITS, CHECK ALL WIRING FROM BOX TO SUB-PANEL. CUT AND CAP (PER CODE) ANY LINES TO BE ABANDONED.

PLUMBING:
DISCONNECT EXISTING SUPPLY AND DRAIN LINES IN AREAS TO BE RENOVATED. REUSE AND RECONNECT TO NEW LINES AND LOCATIONS AS POSSIBLE. CHECK CONDITION OF EXISTING SUPPLIES, VENTS, STACKS, AND DRAINS. CLEAN OUT AND REPAIR AS NECESSARY.

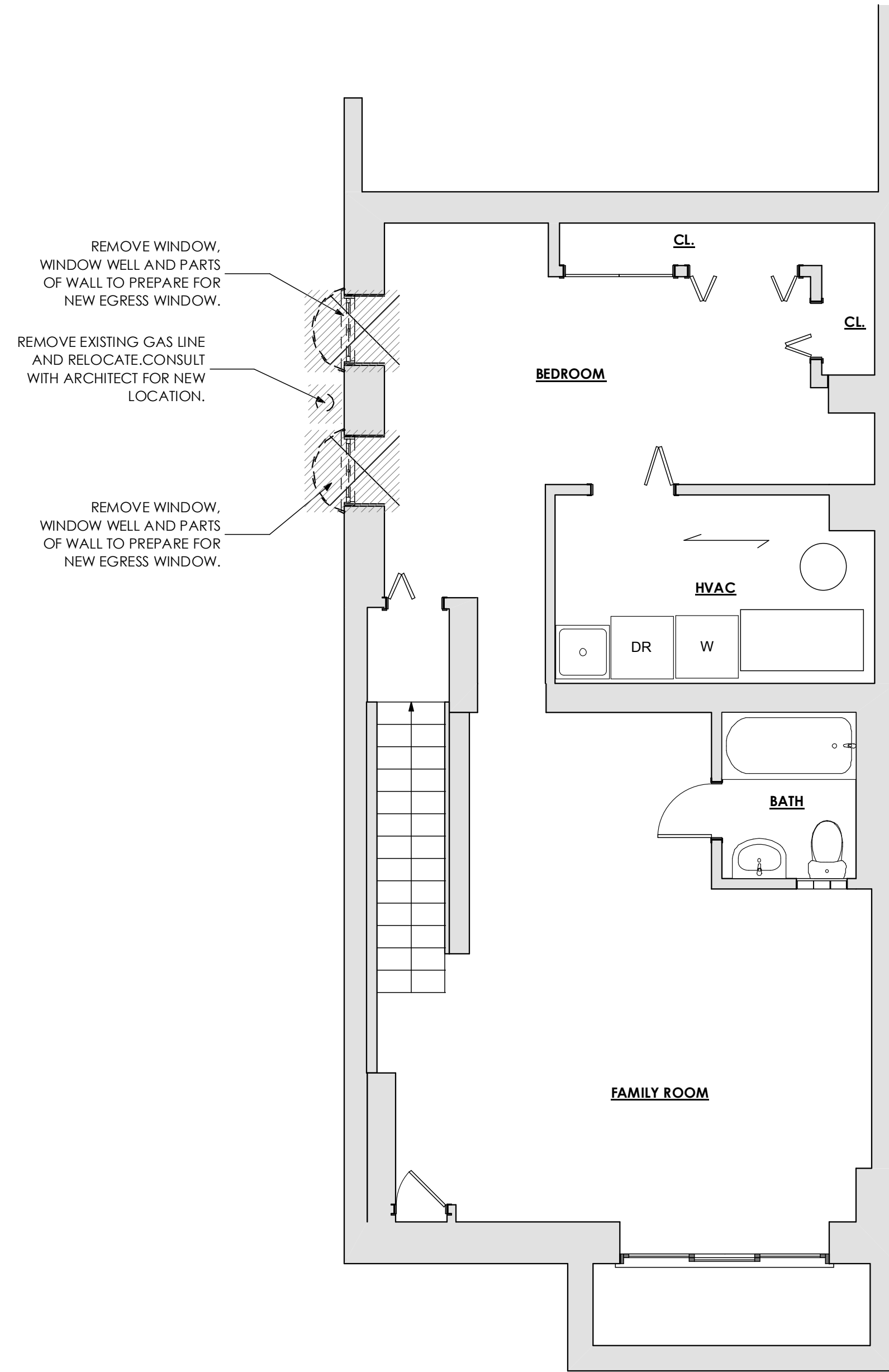
HVAC:
DUCTS TO REMAIN, RELOCATE LINES IF REQUIRED BY NEW WORK. UPGRADE HVAC SYSTEM IF NEED BE, TO MEET NEW HEATING AND AIR CONDITIONING REQUIREMENTS.

SAVE:
WINDOWS, AND DOORS ARE TO BE REMOVED IN TACT FOR POSSIBLE REUSE. SAVE ALL CABINETS AND APPLIANCES FOR POSSIBLE REUSE. COORDINATE WITH ARCHITECT/ OWNER BEFORE DISPOSAL.

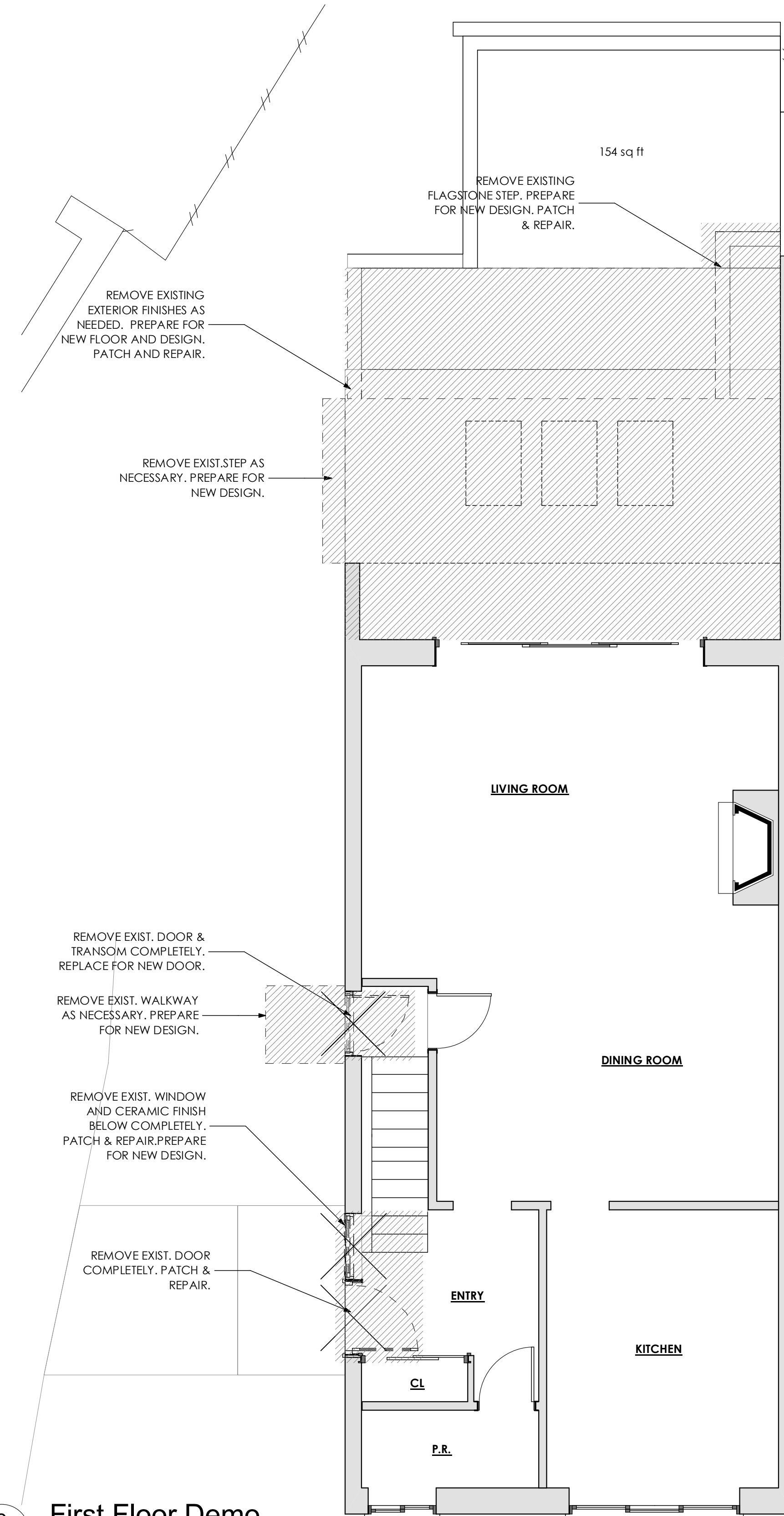
DEMOLITION LEGEND



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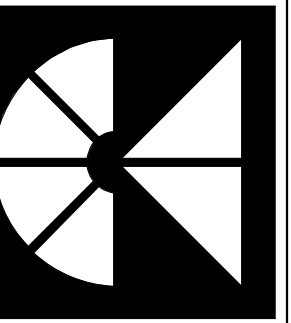
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D001
Basement Floor Demo
SCALE: 1/4" = 1'-0"



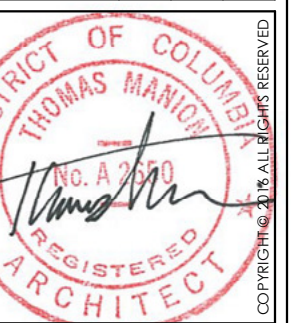
2
D001
First Floor Demo
SCALE: 1/4" = 1'-0"

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Demo Plans

D001

GENERAL DEMOLITION NOTES

WALLS:
REMOVE ALL EXISTING PANELED WALLS AND DRYWALL AS NOTED ON PLANS. PROVIDE ALL NECESSARY TEMPORARY AND PERMANENT SUPPORTS FOR FLOOR JOISTS, ROOF RAFTERS, BEARING WALLS, ETC. PRIOR TO DEMOLITION.

FLOORS:
PULL UP ANY AREAS OF FLOORING DAMAGED OR TO BE REPLACED. SEE FINISH SCHEDULE FOR FLOOR FINISHES. REMOVE AND REPLACE ANY DETERIORATED SUB-FLOORING. BUILD OVER EXPOSED OPENINGS IN FLOOR, RESTRUCTURE AS NECESSARY.

CEILINGS:
REMOVE CEILINGS IN ROOMS TO BE RENOVATED, EXPOSE JOISTS, INSPECT, AND MARK ALL JOISTS REQUIRING STRUCTURAL REINFORCEMENT. COORDINATE WITH ARCHITECT AS REQUIRED.

WINDOWS AND DOORS:
REMOVE EXISTING WINDOWS AND DOORS AS NOTED ON PLANS- SAVE FOR POSSIBLE REUSE. STRIP OPENINGS OF ALL TRIM, COUNTERWEIGHTS, SILLS, HINGES, ETC. LINTELS AND STRUCTURAL FRAMING TO REMAIN UNLESS NOTED OTHERWISE.

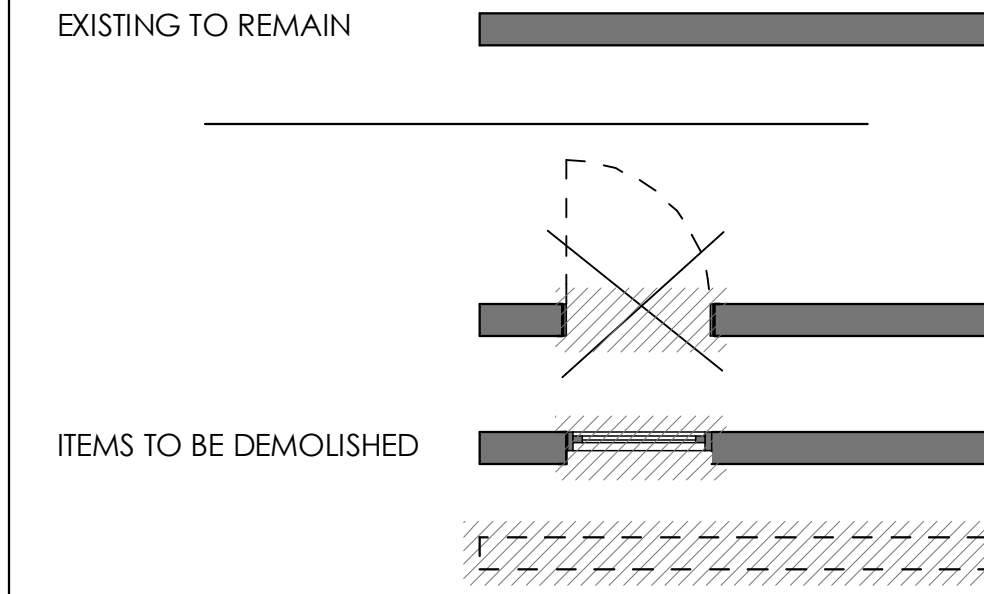
ELECTRICAL:
REMOVE ALL EXISTING WIRING IN AREAS TO BE RENOVATED. CHECK FOR POTENTIAL REUSE OF OUTLET CIRCUITS, CHECK ALL WIRING FROM BOX TO SUB-PANEL. CUT AND CAP (PER CODE) ANY LINES TO BE ABANDONED.

PLUMBING:
DISCONNECT EXISTING SUPPLY AND DRAIN LINES IN AREAS TO BE RENOVATED. REUSE AND RECONNECT TO NEW LINES AND LOCATIONS AS POSSIBLE. CHECK CONDITION OF EXISTING SUPPLIES, VENTS, STACKS, AND DRAINS. CLEAN OUT AND REPAIR AS NECESSARY.

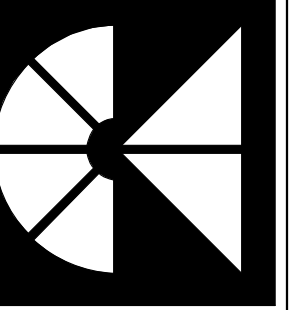
HVAC:
DUCTS TO REMAIN, RELOCATE LINES IF REQUIRED BY NEW WORK. UPGRADE HVAC SYSTEM IF NEED BE, TO MEET NEW HEATING AND AIR CONDITIONING REQUIREMENTS.

SAVE:
WINDOWS, AND DOORS ARE TO BE REMOVED IN TACT FOR POSSIBLE REUSE. SAVE ALL CABINETS AND APPLIANCES FOR POSSIBLE REUSE. COORDINATE WITH ARCHITECT/ OWNER BEFORE DISPOSAL.

DEMOLITION LEGEND



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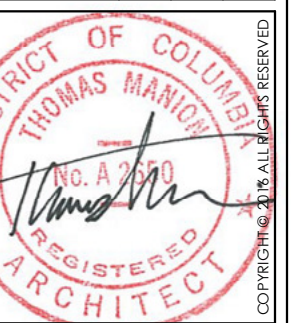


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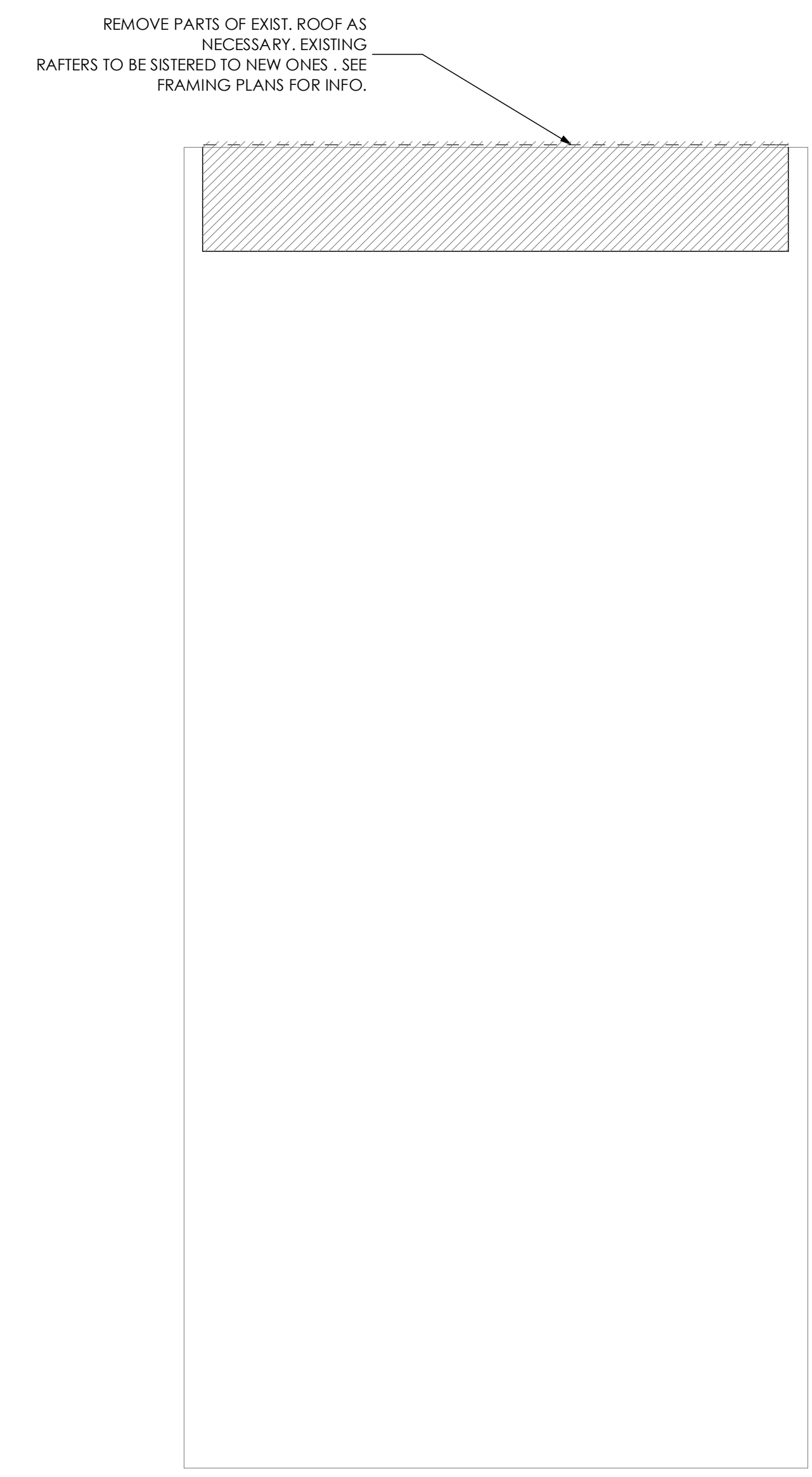
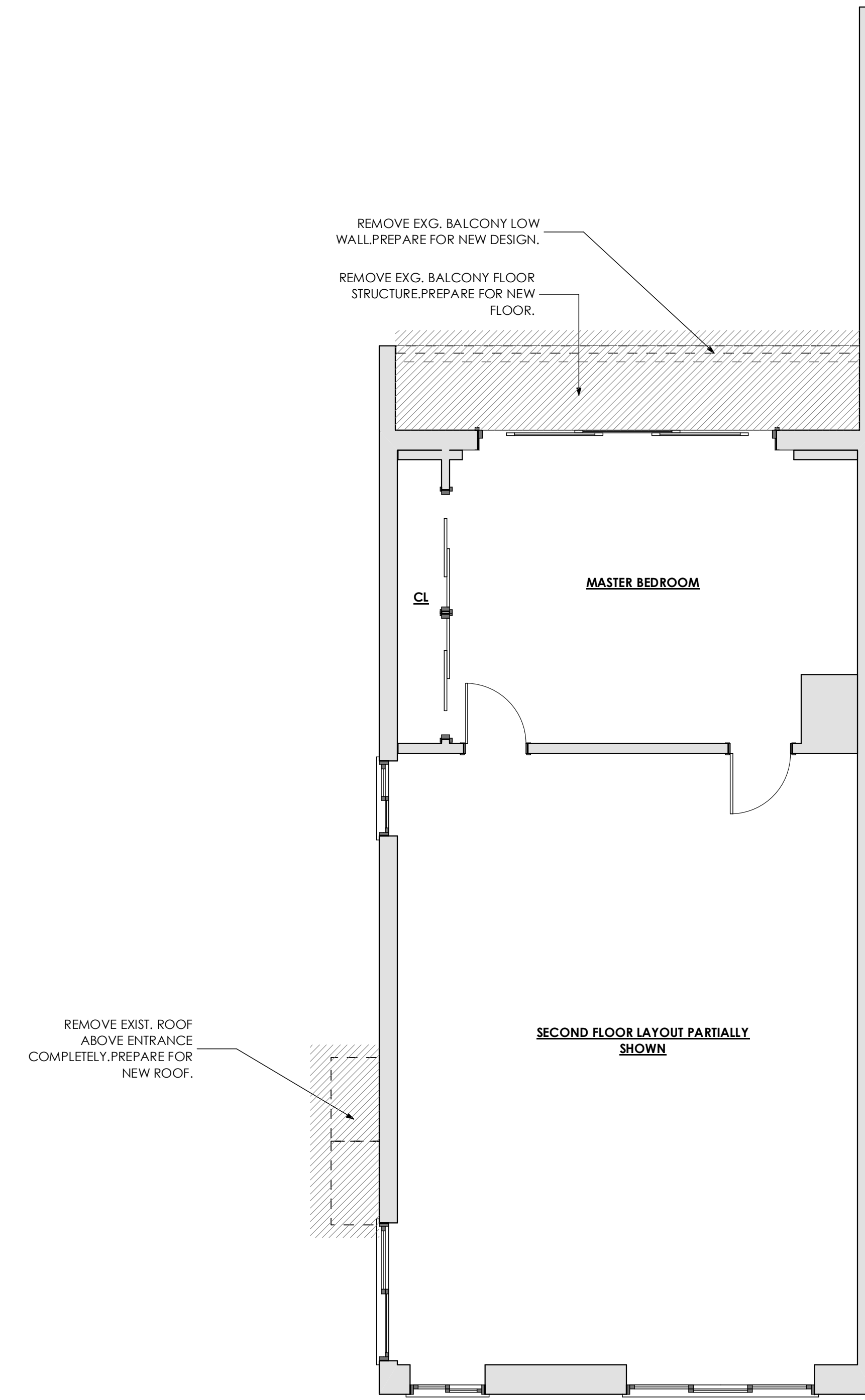
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Demo Plans

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D002

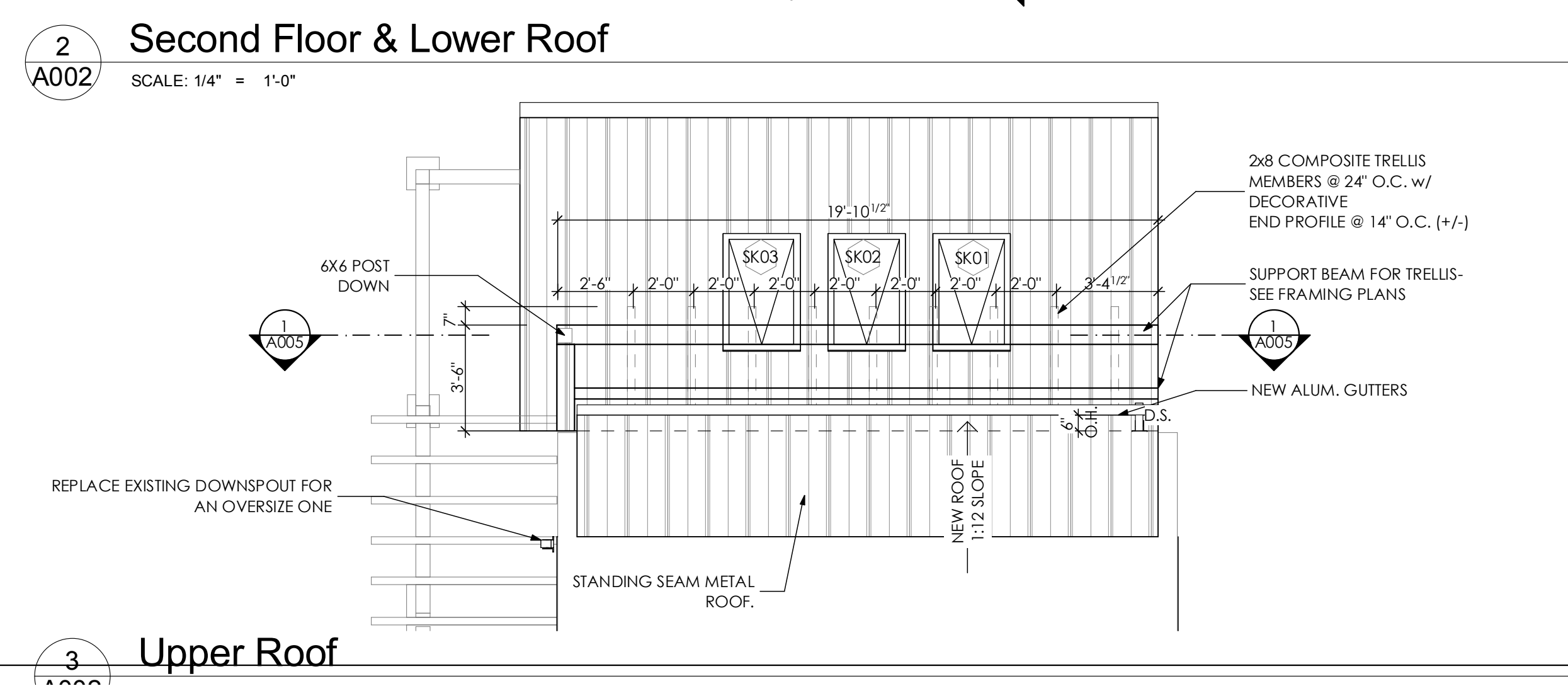
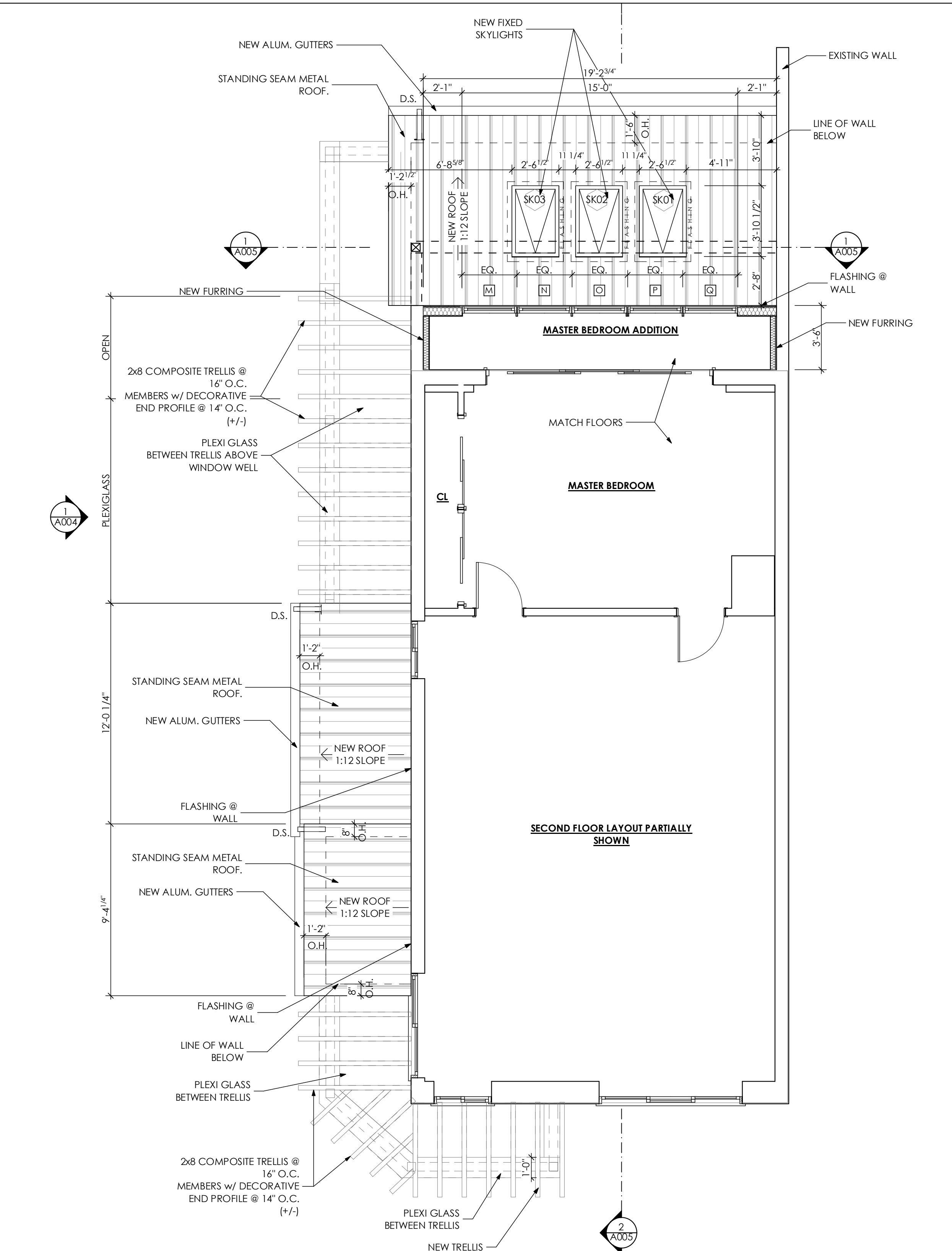
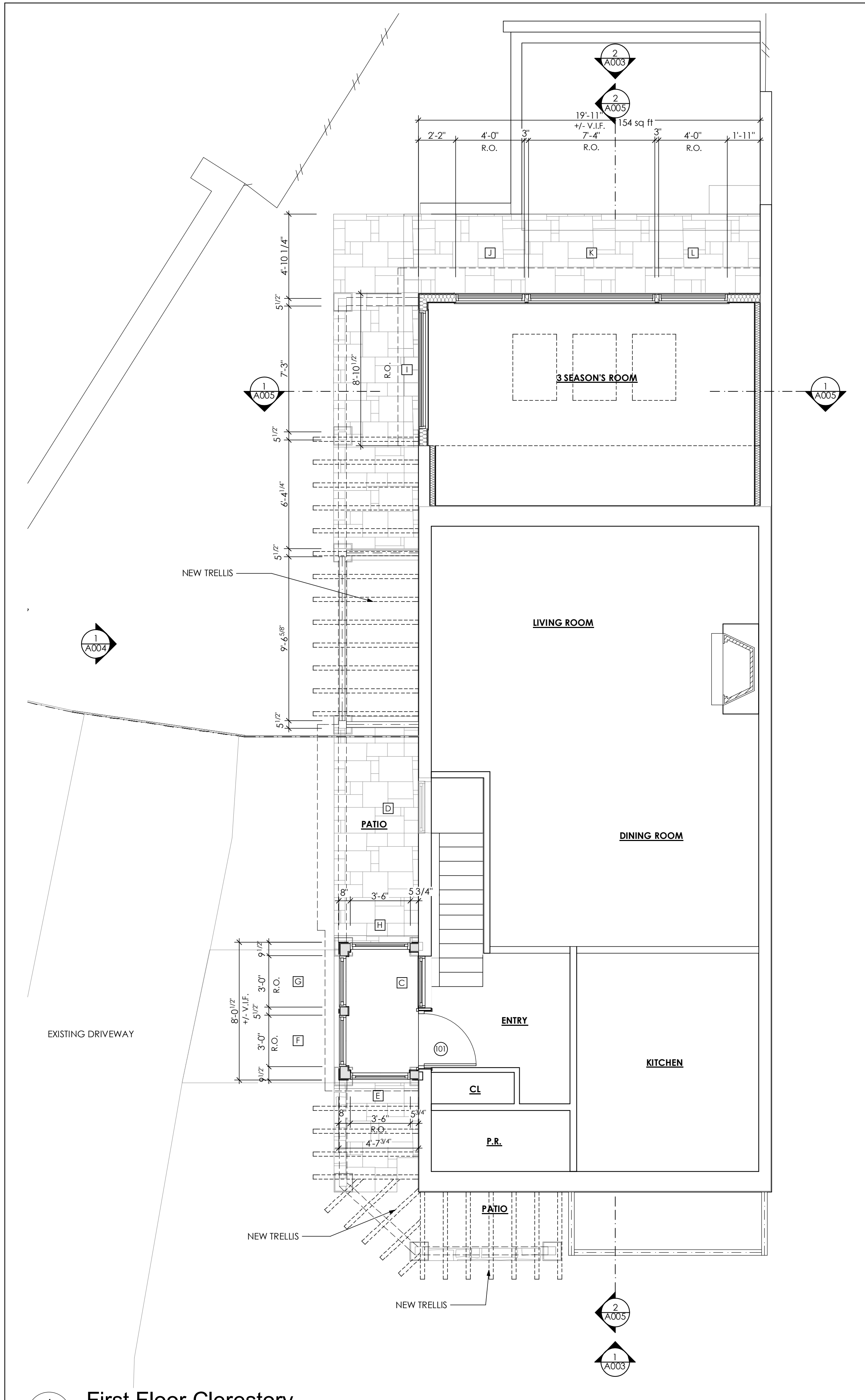


REMOVE EXIST. ROOF ABOVE ENTRANCE COMPLETELY.PREPARE FOR NEW ROOF.

1
D002 Second Floor Demo
SCALE: 1/4" = 1'-0"

2
D002 Roof Demo
SCALE: 1/4" = 1'-0"

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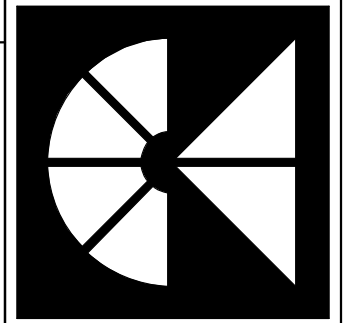
DRAWING SYMBOL KEYS

- DOOR
- △ PLUMBING FIXTURE
- WINDOW
- ⊕ APPLIANCE
- ⊙ SKYLIGHT
- ⊙ LIGHT FIXTURE
- ◊ WALL TYPE KEY
- ⊖ ELEVATION KEYNOTE
- ⊖ DOWN SPOUT

WALL LEGEND

- EXISTING WALL
- NEW WALL

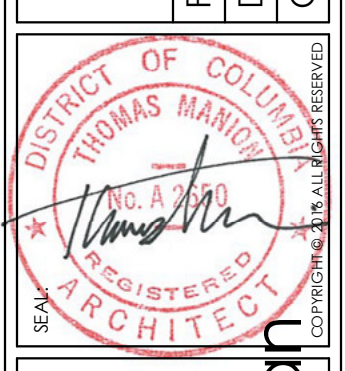
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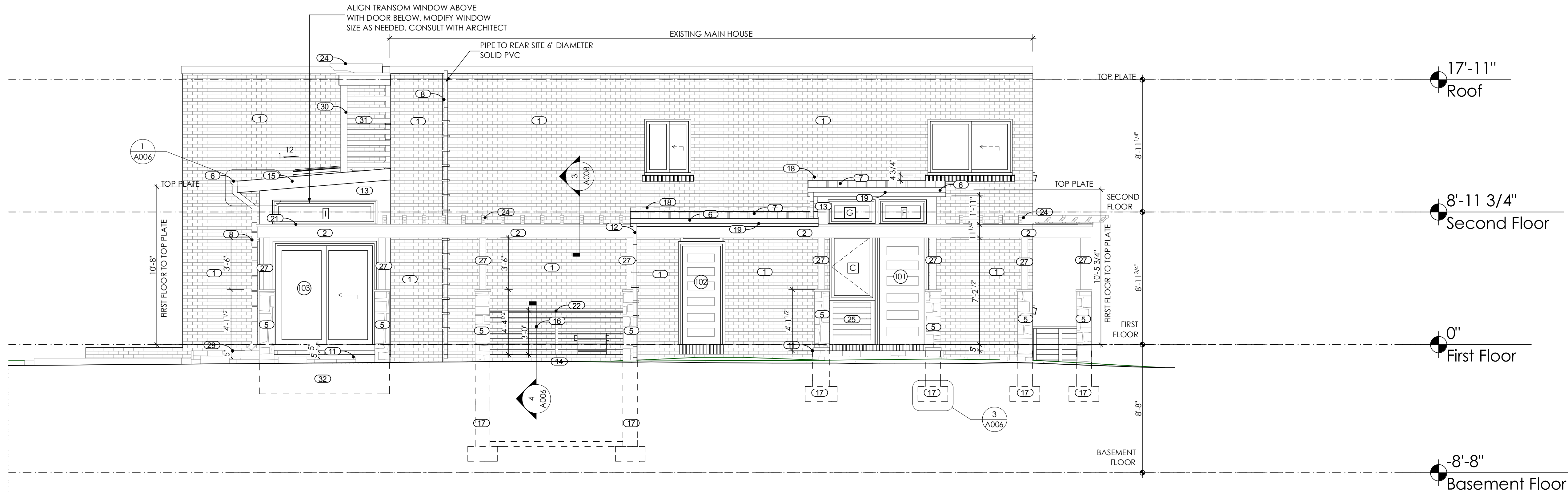
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First Floor Clerestory, Second Floor & Roof Plan

PERMIT

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A002



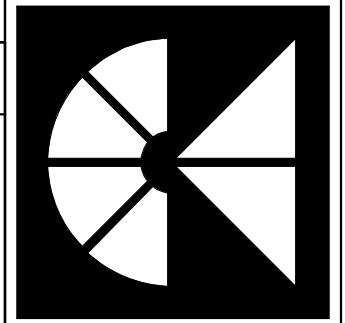
1
A004 **Left Elevation**
SCALE: 1/4" = 1'-0"

DRAWING SYMBOL KEYS	
	DOOR
	PLUMBING FIXTURE
	WINDOW
	APPLIANCE
	SKYLIGHT
	LIGHT FIXTURE
	WALL TYPE KEY
	ELEVATION KEYNOTE
	DOWN SPOUT

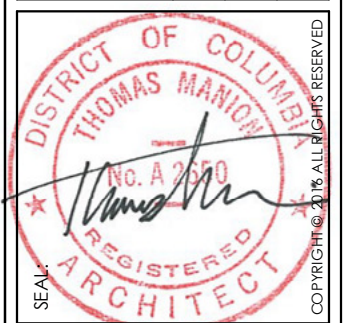
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ELEVATION KEY NOTES

- 1) EXISTING TO REMAIN
- 2) 1X TRIM BY BORAL
- 3) HARDPLANK SIDING
- 4) BRICK ROWLOCK
- 5) STONE VENEER ON CONCRETE PIER W/ CAP
- 6) (N) METAL GUTTER TO MATCH EXISTING
- 7) STANDING SEAM METAL ROOF
- 8) (N) METAL DOWNSPOUT TO MATCH EXISTING
- 9) (E) DOWNSPOUT
- 10) (E) GUTTER
- 11) FLAGSTONE STOOP
- 12) CORNERBOARD MITERED BY BORAL
- 13) FIBER CEMENT PANEL BY JAMES HARDIE OR APPROVED EQUAL
- 14) BRICK ON CMU RETAINING WALL
- 15) 1X RAKE BOARD BY BORAL OR APPROVED EQ.
- 16) NEW CABLE RAILING
- 17) FOUNDATION- SEE STRUCTURAL FOR DETAIL
- 18) FLASHING AT WALL/ ROOF CONNECTIONS
- 19) 1 X BORAL TRIM (SOFFIT & TRIMS)
- 20) 6x6 P.T. POST WRAPPED IN BORAL TRIM.
- 21) 1X LEDGER TRIM
- 22) 2x6 WOOD CAP
- 23) BEADBOARD CEILING
- 24) 2x8 COMPOSITE TRELLIS MEMBERS W/ DECORATIVE END PROFILE
- 25) DECORATIVE WOOD PLANKS
- 26) VELUX SKYLIGHT
- 27) 4x4 P.T. POST WRAPPED IN BORAL
- 28) GRADE BEAM WITH STONE VENEER
- 29) FLAGSTONE PATIO ON STONE DUST
- 30) BEAM WRAPPED IN BORAL - SEE FRAMING PLAN FOR SIZE
- 31) WD SIDE TRELLIS @ 9" O.C.
- 32) NEW GRADE BEAM



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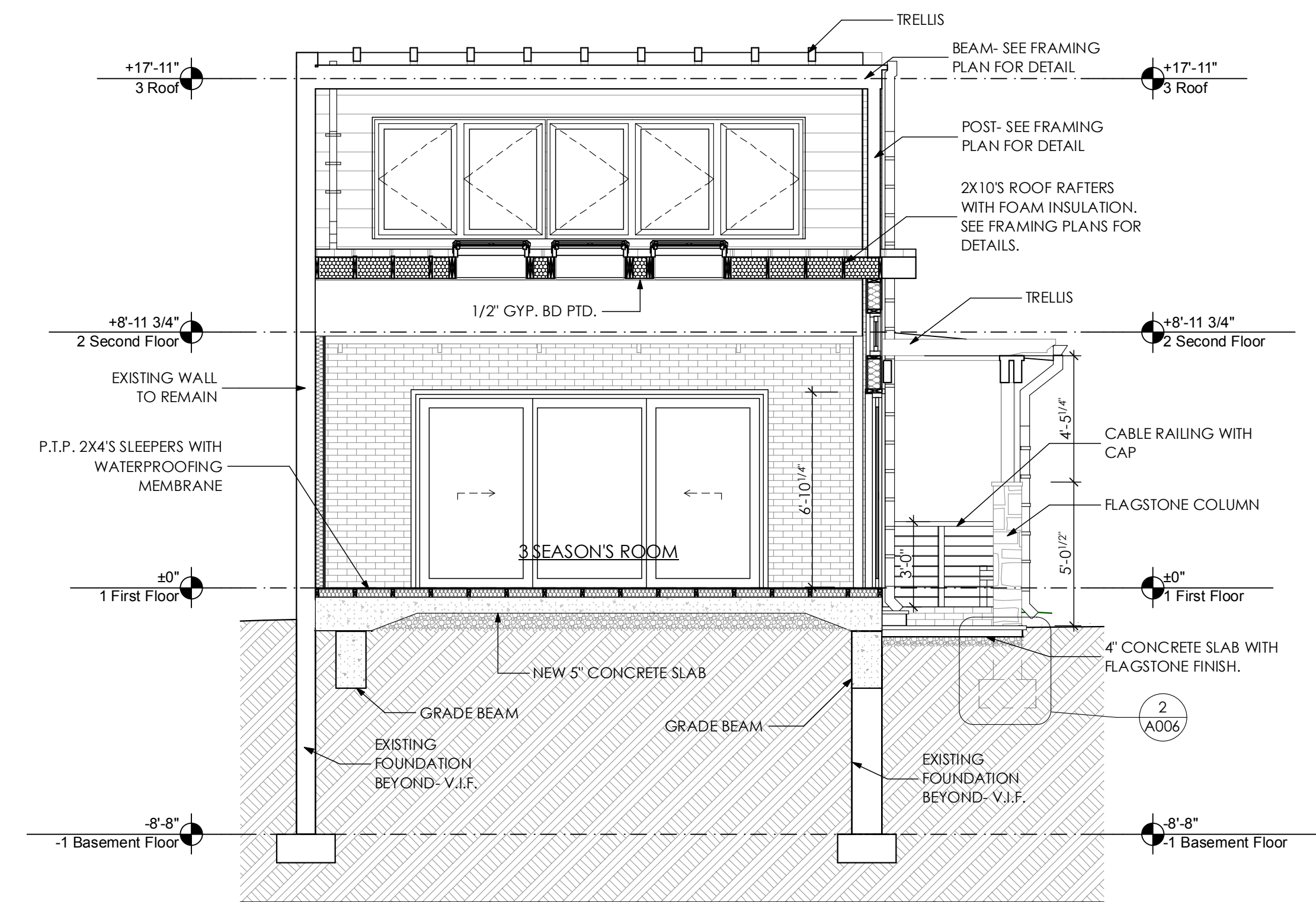


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Left Elevation

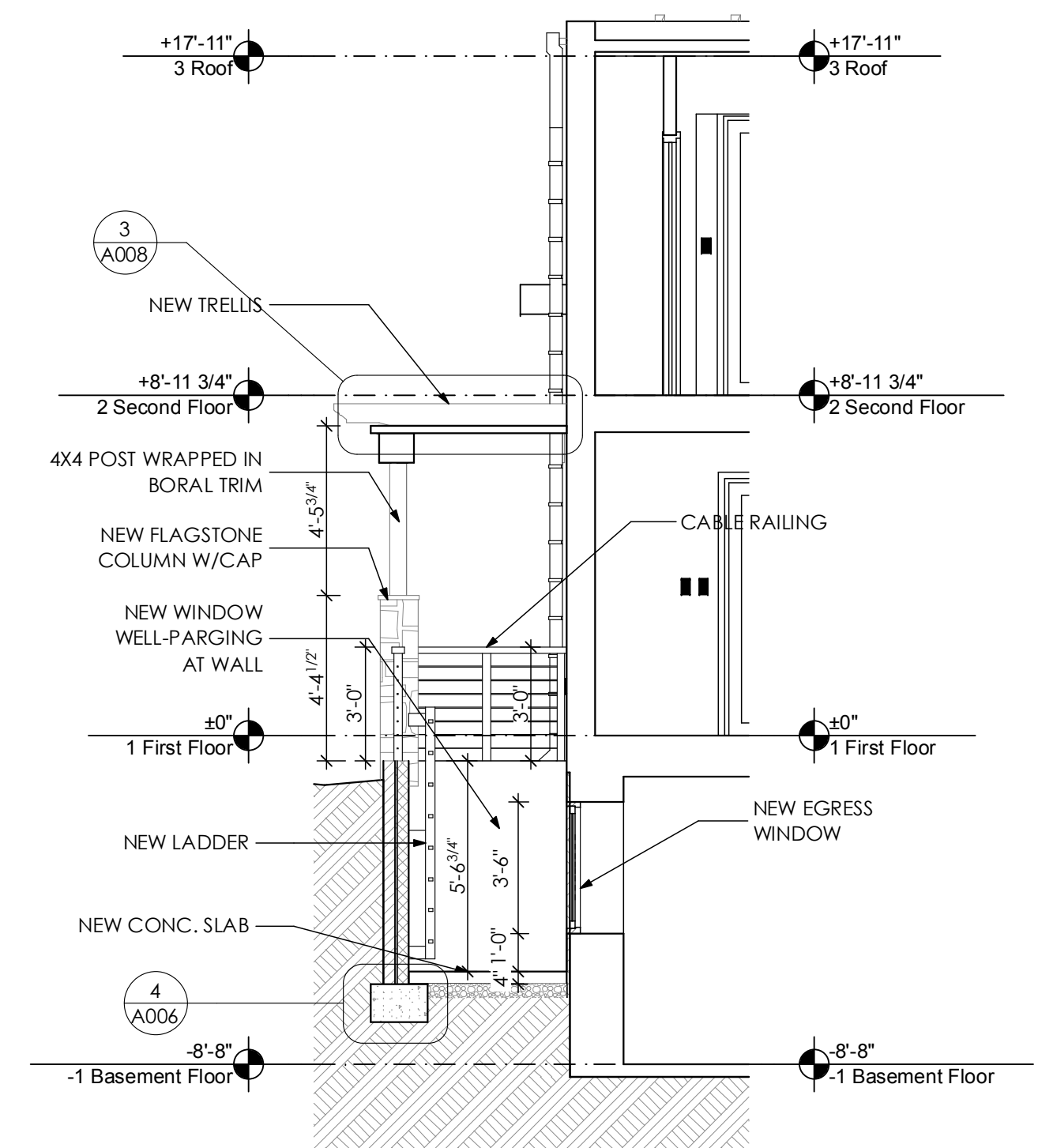
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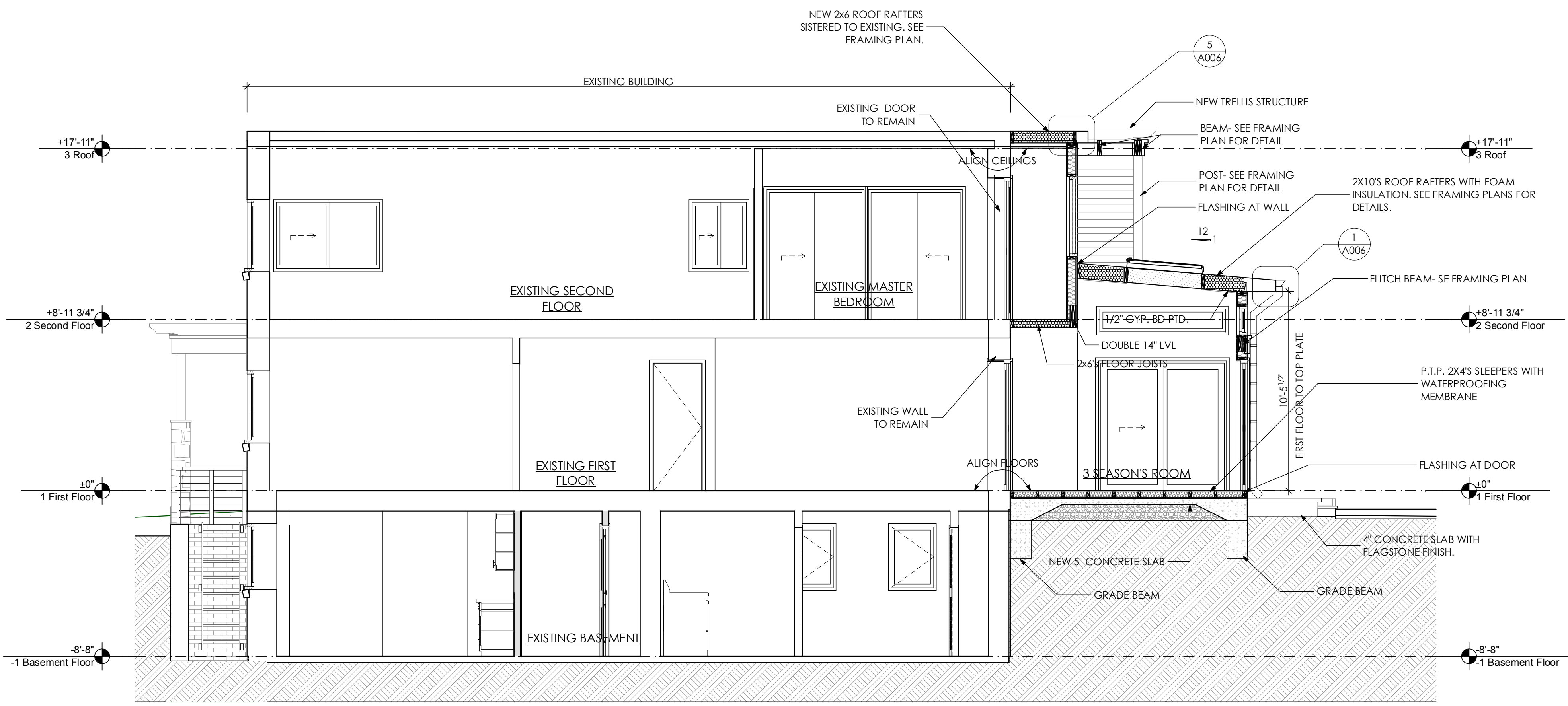
A004



1 Building Section
 A005 SCALE: 1/4" = 1'-0"



3 Building Section
 A005 SCALE: 1/4" = 1'-0"



2 SECTION
 A005 SCALE: 1/4" = 1'-0"

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INSULATION GENERAL NOTES

--- THERMAL ENVELOPE

- THERMAL INSULATION (FLASH AND BATT)
- THERMAL INSULATION (SPRAY FOAM)
- THERMAL INSULATION (RIGID)
- THERMAL OR ACOUSTICAL INSULATION (BATT)

DESIGNED TO MEET OR EXCEED THE 2015 IECC REQUIREMENTS

INSULATION MINIMUM R-VALUES:

ROOF: **R-49**
 ROOF WITH ATTIC SPACE: **R-38 UNCOMPRESSED** (PER IECC R402.2.1) EXTEND FULL HEIGHT OVER TOP PLATE
 ROOF WITHOUT ATTIC SPACE: **R-30 UNCOMPRESSED** (PER IECC R402.2.2) EXTEND FULL HEIGHT OVER TOP PLATE
 EXTERIOR FRAMED WALLS: **R-20**
 BASEMENT FURRED WALLS: **R-13**
 FLOORS OVER UNCONDITIONED SPACE: **R-10**
 INTERIOR SLABS (RIGID FOAM BOARD): **R-30, 2FT**
 CRAWLSPACE WALL: **R-10**

INSULATION U-VALUES:

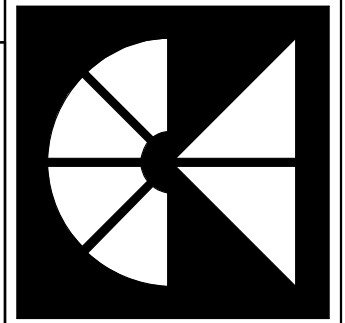
- .35 - WINDOWS/DOORS (DOUBLE PANE / ARGON / LOW-E)
- .55 - SKYLIGHTS (DOUBLE PANE / ARGON / LOW-E)
- .4 - SOLAR HEAT GAIN COEFFICIENT

AIR SEALING:

- CONTINUOUS SHEATHING AND LOW-EXPANSION SPRAY FOAM AT PERIMETERS OF ALL EXTERIOR DOORS, WINDOWS AND SKYLIGHTS
- ACCESS DOORS FROM CONDITIONED SPACE TO UNCONDITIONED SPACE SHALL BE WEATHERSTRIPPED AND INSULATED TO EQUIVALENT VALUE OF ADJACENT WALL OR CEILING
- DUCT SHAFTS, UTILITY PENETRATIONS AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED
- RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT, IC RATED AND SEALED TO THE DRYWALL
- EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED AND THE AIR BARRIER INSTALLED SEPARATING THEM FROM THE SHOWERS AND TUBS
- THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR SEALED BOXES SHALL BE INSTALLED

WALL LEGEND

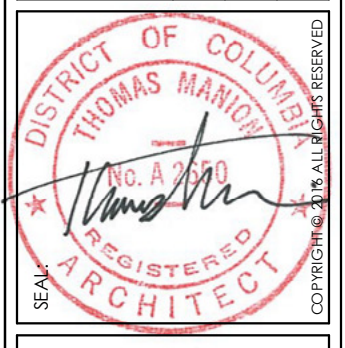
- EXISTING WALL
- NEW WALL



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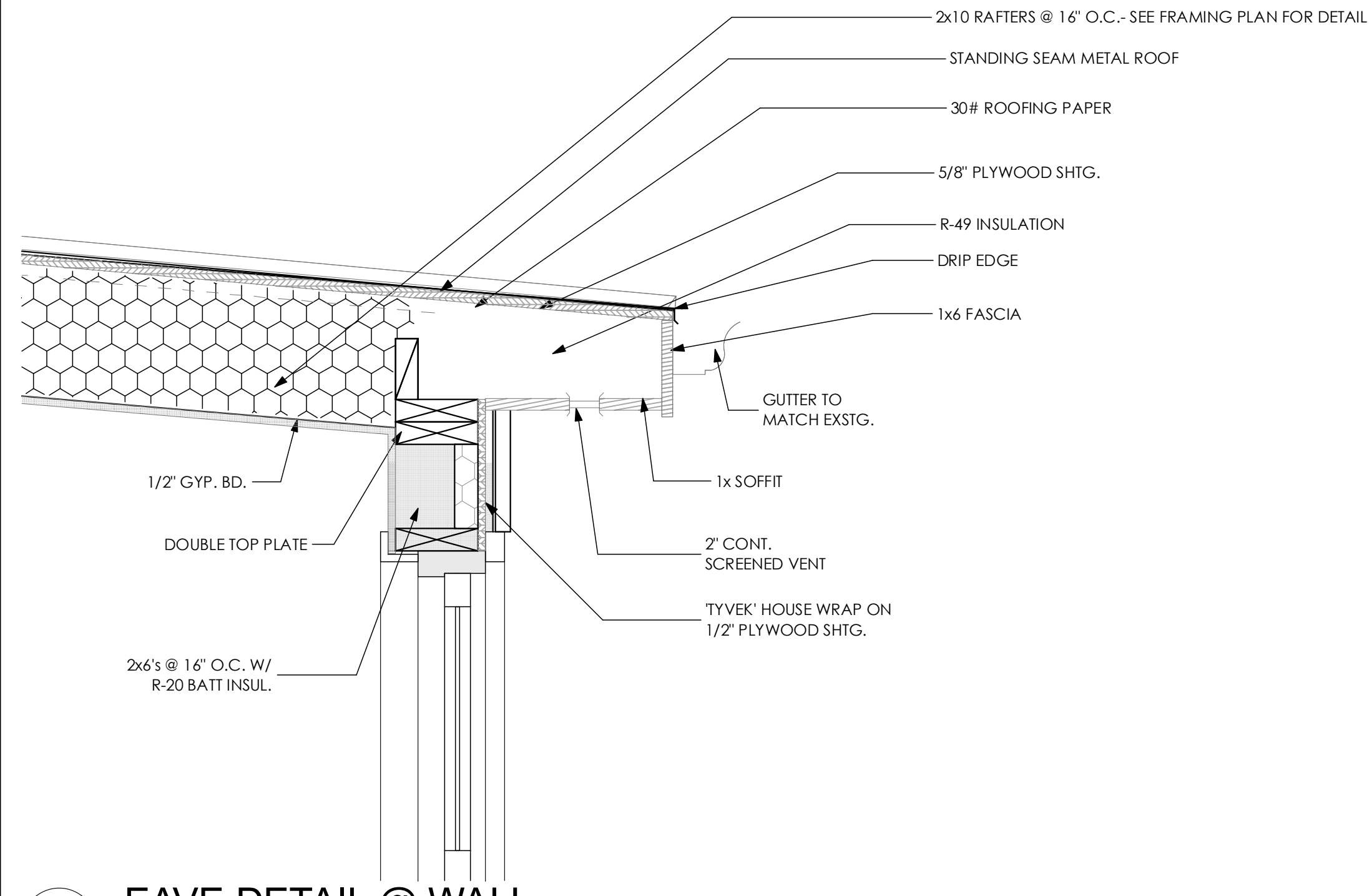
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A005

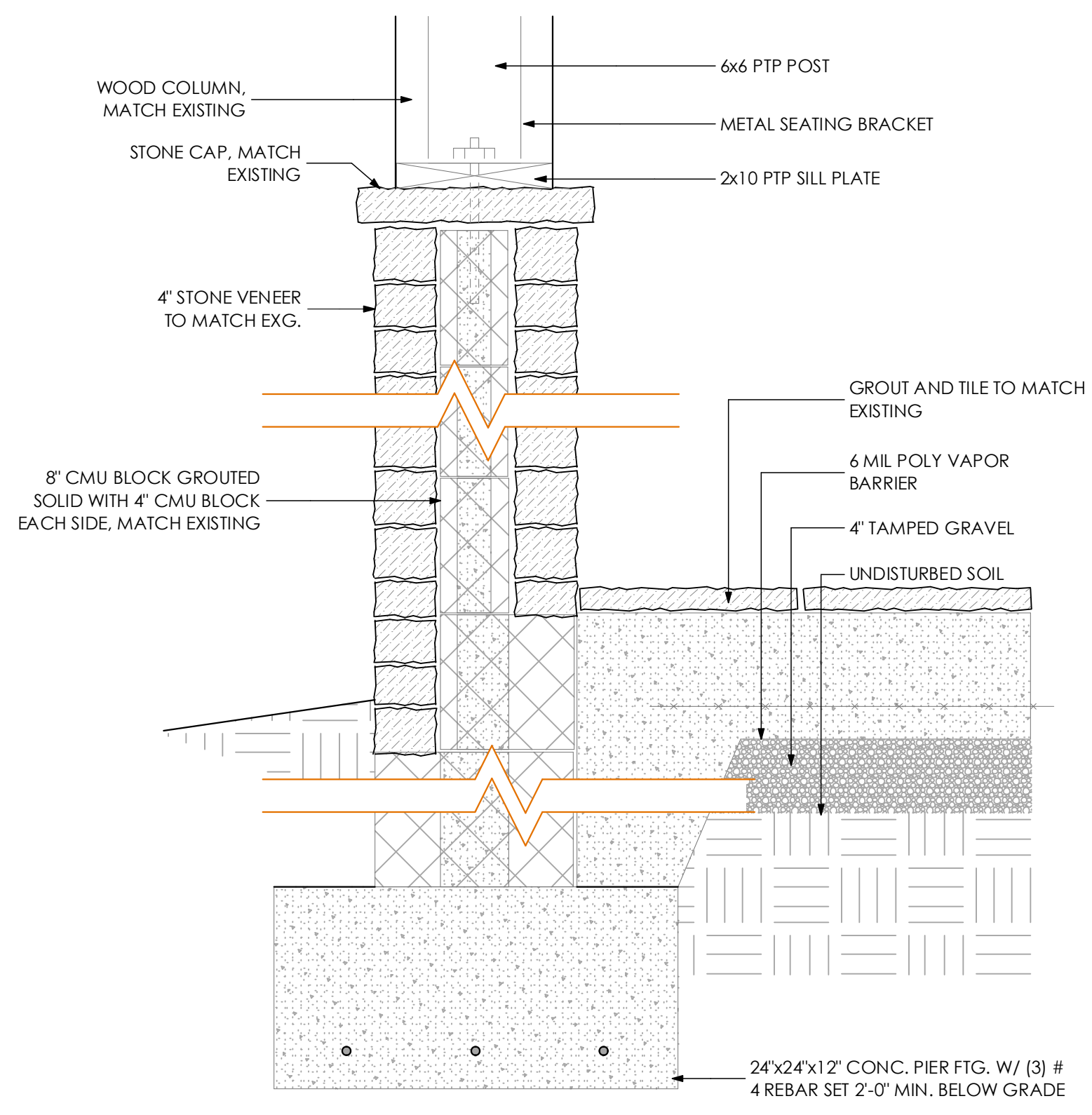
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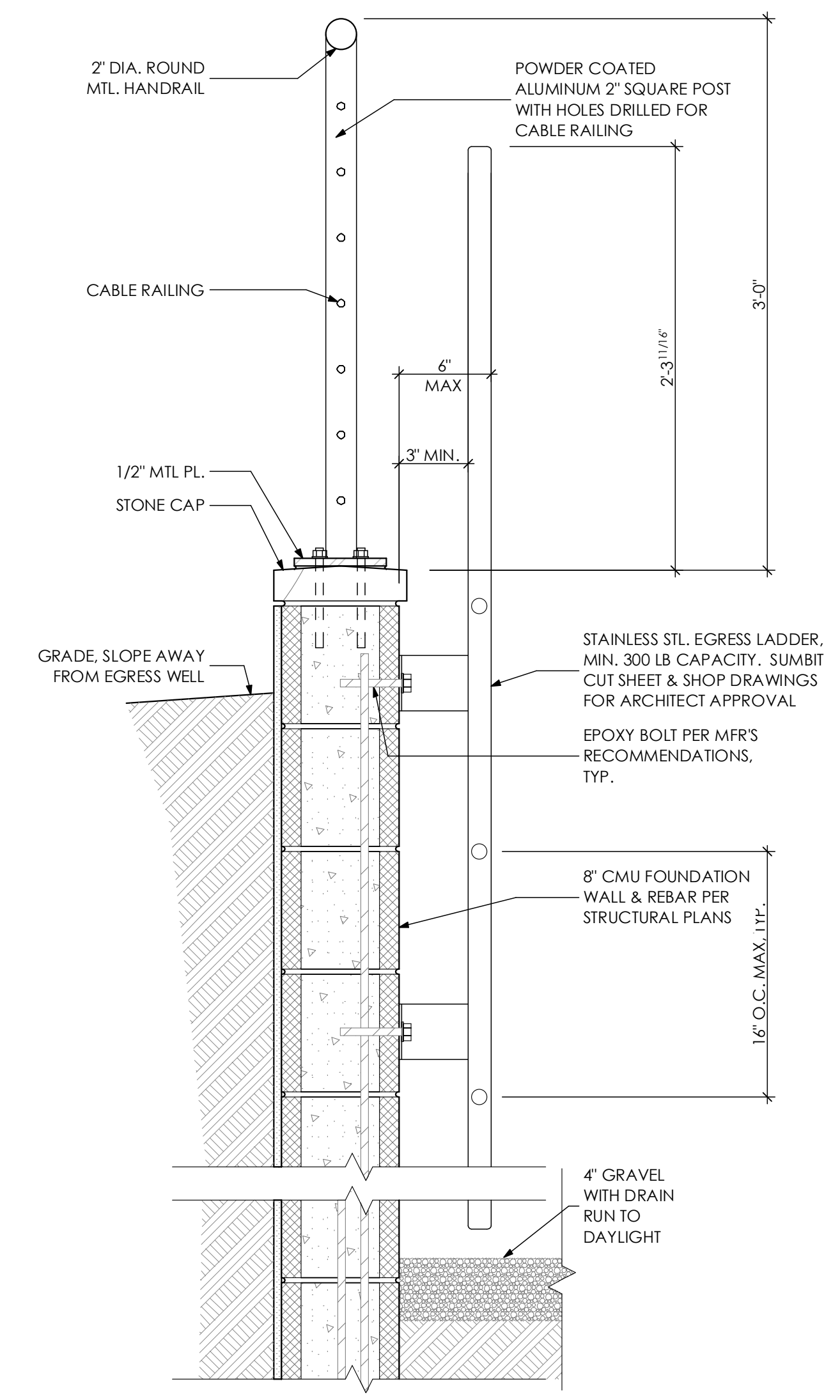
1 EAVE DETAIL @ WALL

SCALE: 1 1/2" = 1'-0"



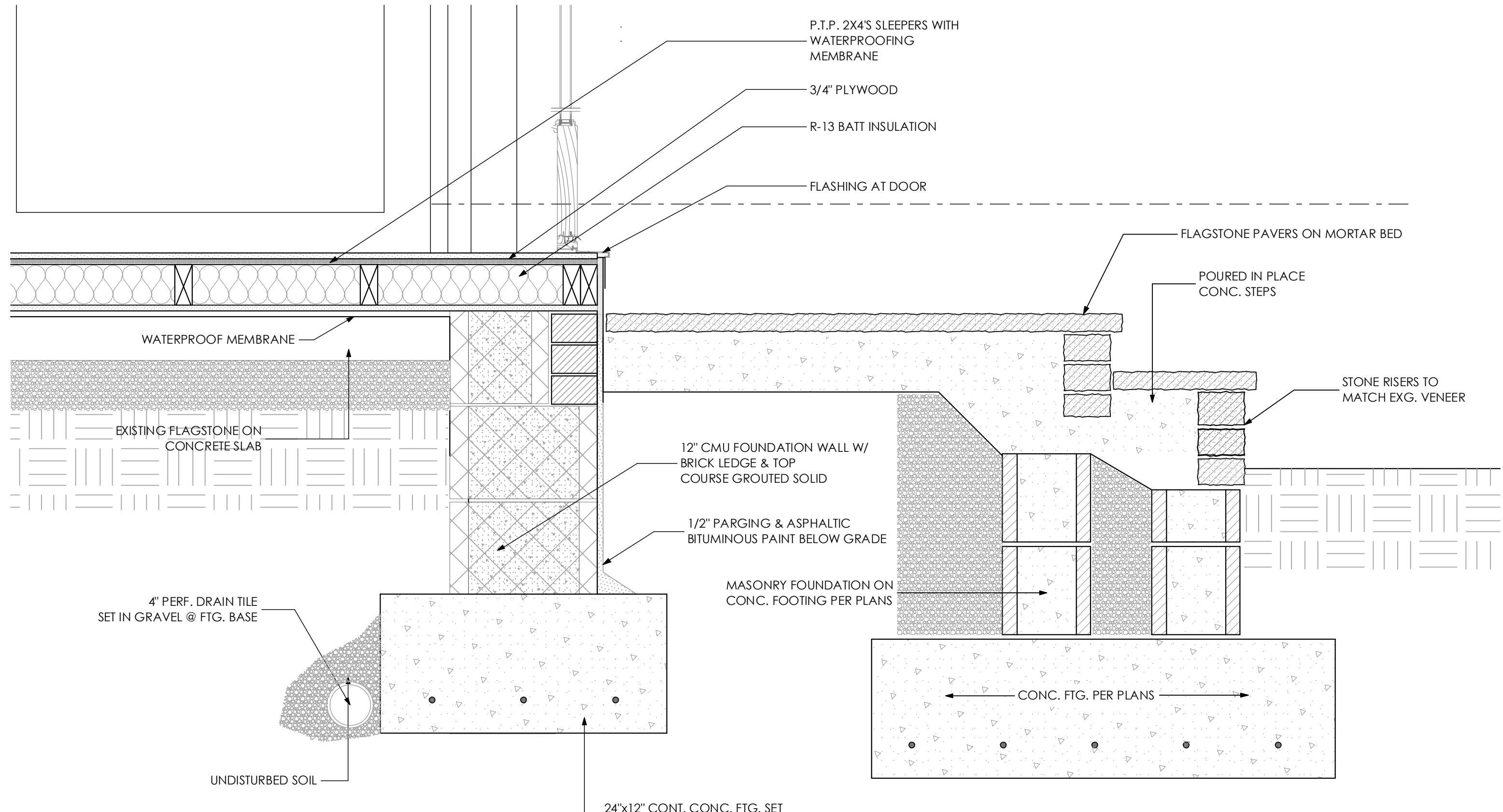
3 PIER DETAIL

SCALE: 1 1/2" = 1'-0"



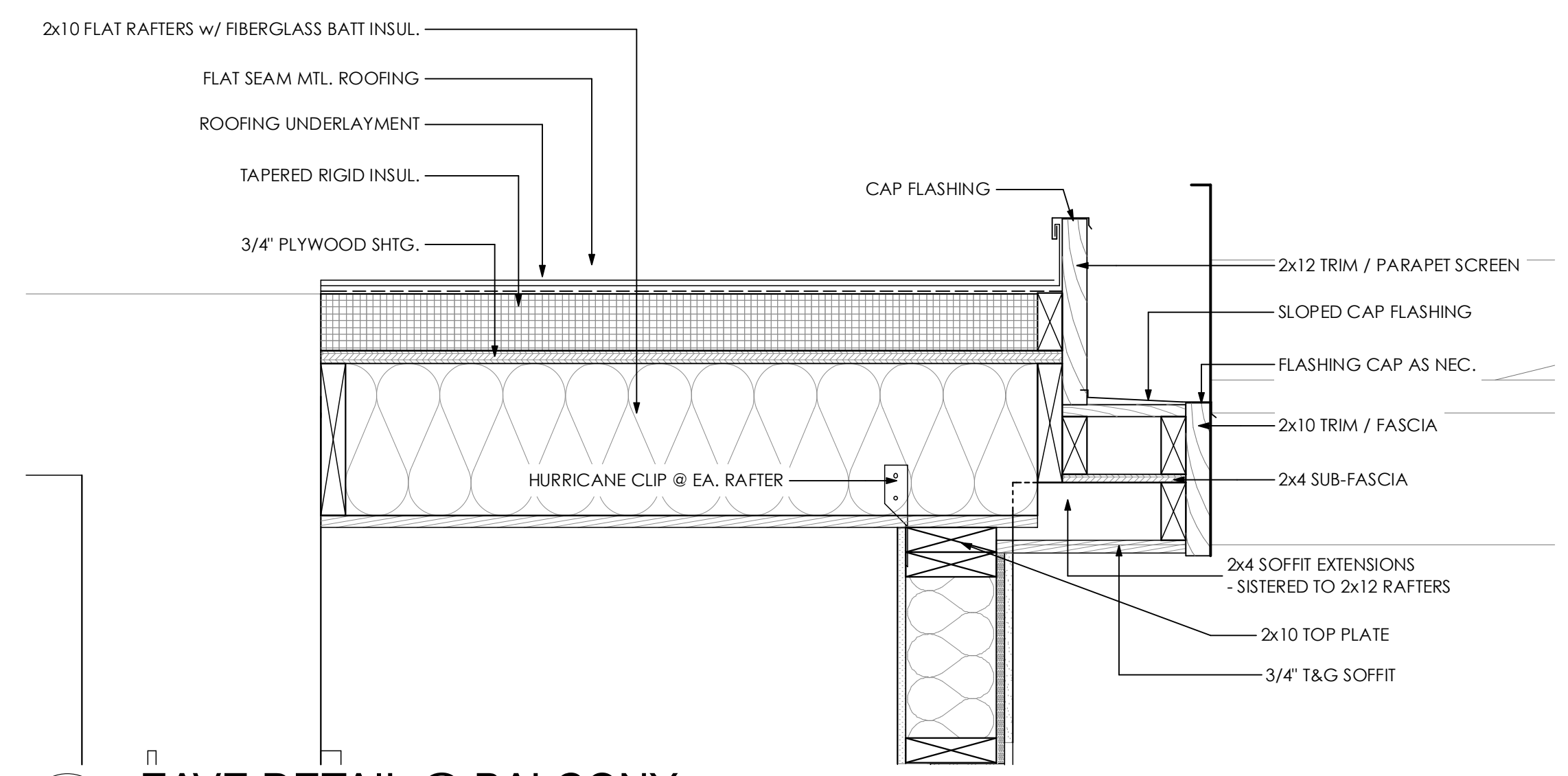
4 WELL DETAIL

SCALE: 1 1/2" = 1'-0"



2 WALL FOUNDATION & STOOP DETAIL

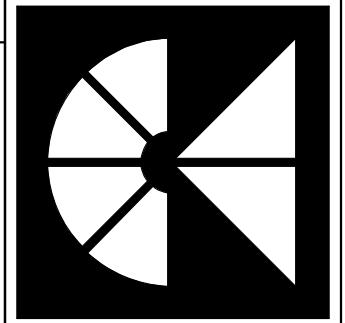
SCALE: 1 1/2" = 1'-0"



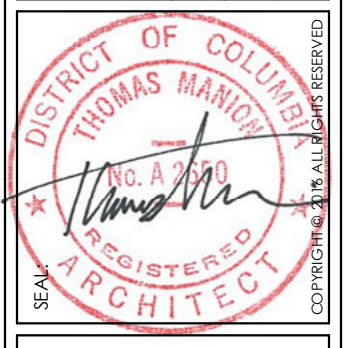
5 EAVE DETAIL @ BALCONY

SCALE: 1 1/2" = 1'-0"

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A006

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DOOR SCHEDULE

Story	Mark	Model #	Unit Size		R.O. Size	Transom Height	Left Sidelight Width	Right Sidelight Width	NOTES
			Width	Height					
Basement Floor									
	001		5'-0"	6'-8"	5'-4 1/2"x6'-10 1/4"				SLIDING CLOSET DOOR
First Floor									
	101	CUSTOM	3'-0 3/8"	7'-2 1/2"	3'-4 7/8"x7'-4 3/4"				SIMPSON DOOR - V.I.F. EXISTING OPENING
	102	CUSTOM	2'-7"	6'-8"	2'-11 1/2"x6'-10 1/4"				SIMPSON DOOR - V.I.F. EXISTING OPENING
	103	610610	6'-5 1/2"	6'-8 1/4"	6'-10"x6'-10 1/2"				WEATHERSHIELD SIGNATURE SERIES
	104	1510610	15'-5 1/2"	6'-8 1/4"	15'-10"x6'-10 1/2"				WEATHERSHIELD SIGNATURE SERIES

DOOR GENERAL NOTES:

- CHECK DRAWINGS FOR SWING DIRECTIONS AND LOCATIONS.
- PROVIDE ALL NECESSARY HARDWARE, WEATHER STRIPPING, TRIM PIECES, ETC.
- EXTERIOR FRENCH DOORS ARE WEATHERSHIELD, COLOR, SIGNATURE LINE, ALUMINUM CLAD WOOD HINGED PATIO DOORS- INSWING. SEE ELEVATIONS FOR GRILLE PATTERNS. GRILLE SIZE, TYPE, STYLE
- HARDWARE: BRAND, FINISH - CONFIRM WITH OWNER PRIOR TO ORDERING
- INTERIOR DOORS TO BE JELD-WEN, LEMIEUX, REEB OR SIMPSON DOOR STYLE DOORS UNLESS SHOWN OTHERWISE.
- APPLY SEALANT AROUND EXTERIOR PERIMETER BEHIND DOOR TRIM/ FLANGE AND SET INTO OPENING.
- APPLY FOAM BACKER ROD & SEALANT TO EXTERIOR PERIMETER OF TRIM AT SIDING JOINT.
- BEDROOM, BATHROOM AND ENTRY DOORS TO BE SOLID.
- GLASS TO BE GLASS TYPE TEMPERED GLASS.
- ALL DOORS IN WALLS OTHER THAN 2x4 WALLS TO HAVE JAMB EXTENDERS AS NECESSARY.
- FIELD VERIFY EXISTING DOOR OPENING SIZES AND COORDINATE AS REQUIRED.
- EXTERIOR DOORS NOTED TO HAVE RETRACTABLE SCREENS SHOULD BE SITE MEASURED AND THE SCREENS CUSTOM SIZED FOR EACH DOOR LISTED. MANUFACTURER TO BE LIBERTY SCREENS, PHANTOM SCREENS OR ARCHITECT/OWNER APPROVED ALTERNATE. COLOR TO MATCH DOORS.

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DOOR TYPES

Elevation	Mark	NOTES
	001	SLIDING CLOSET DOOR
	101	SIMPSON DOOR - V.I.F. EXISTING OPENING
	102	SIMPSON DOOR - V.I.F. EXISTING OPENING
	103	WEATHERSHIELD SIGNATURE SERIES
	104	WEATHERSHIELD SIGNATURE SERIES

WINDOW SCHEDULE

Story	Mark	Model #	Unit Size		R.O. Size	Type	Temper	Egress	Notes
			Width	Height					
Basement Floor									
	A	C2636	2'-5 1/2"	3'-5 3/4"	2'-6"x3'-6"	CASEMENT	NO	YES	WEATHERSHIELD SIGNATURE SERIES
	B	C2636	2'-5 1/2"	3'-5 3/4"	2'-6"x3'-6"	CASEMENT	NO	YES	WEATHERSHIELD SIGNATURE SERIES
First Floor									
	C	CUSTOM	3'-0"	4'-5 3/4"	3'-0 1/2"x4'-6"			NO	
	D	CUSTOM	3'-0"	0'-10"	3'-0 1/2"x0'-10 1/4"	FIXED TRANSOM	NO	NO	WEATHERSHIELD SIGNATURE SERIES- V.I.F.
	F	CP3016	2'-11 1/2"	1'-5 3/4"	3'-0"x1'-6"	FIXED TRANSOM	NO	NO	WEATHERSHIELD SIGNATURE SERIES
	G	CP3016	2'-11 1/2"	1'-5 3/4"	3'-0"x1'-6"	FIXED TRANSOM	NO	NO	WEATHERSHIELD SIGNATURE SERIES
	H	CP3616	3'-5 1/2"	1'-5 3/4"	3'-6"x1'-6"	FIXED TRANSOM	NO	NO	WEATHERSHIELD SIGNATURE SERIES
	I	CUSTOM	6'-10"	1'-5 3/4"	6'-10 1/2"x1'-6"	FIXED TRANSOM	NO	NO	WEATHERSHIELD SIGNATURE SERIES
	J	CP4016	3'-11 1/2"	1'-5 3/4"	4'-0"x1'-6"	FIXED TRANSOM	NO	NO	WEATHERSHIELD SIGNATURE SERIES
	K	CUSTOM	7'-4"	1'-5 3/4"	7'-4 1/2"x1'-6"	FIXED TRANSOM	NO	NO	WEATHERSHIELD SIGNATURE SERIES
	L	CP4016	3'-11 1/2"	1'-5 3/4"	4'-0"x1'-6"	FIXED TRANSOM	NO	NO	WEATHERSHIELD SIGNATURE SERIES
Second Floor									
	E	CP3616	3'-5 1/2"	1'-5 3/4"	3'-6"x1'-6"	FIXED TRANSOM	NO	NO	WEATHERSHIELD SIGNATURE SERIES
	M	C3050	2'-11 1/2"	4'-2"	3'-0"x4'-2 1/4"	CASEMENT	NO	NO	WEATHERSHIELD SIGNATURE SERIES
	N	C3050	2'-11 1/2"	4'-2"	3'-0"x4'-2 1/4"	CASEMENT	NO	NO	WEATHERSHIELD SIGNATURE SERIES
	O	C3050	2'-11 1/2"	4'-2"	3'-0"x4'-2 1/4"	CASEMENT	NO	NO	WEATHERSHIELD SIGNATURE SERIES
	P	C3050	2'-11 1/2"	4'-2"	3'-0"x4'-2 1/4"	CASEMENT	NO	NO	WEATHERSHIELD SIGNATURE SERIES
	Q	CUSTOM	2'-11 1/2"	4'-2"	3'-0"x4'-2 1/4"	CASEMENT	NO	NO	WEATHERSHIELD SIGNATURE SERIES

WINDOW GENERAL NOTES:

- WINDOWS SPECIFIED ARE BY WEATHERSHIELD, SIGNATURE LINE.
- WINDOWS ARE ALUMINUM CLAD WOOD, FRAME & SASH COLOR, GLASS TYPE GLASS, WITH GRILLE TYPE, CASING TO BE FIELD APPLIED UNLESS NOTED OTHERWISE. SEE ELEVATIONS FOR GRILLE PATTERNS AND OPENING DIRECTIONS.
- PROVIDE ALL NECESSARY HARDWARE - HARDWARE FINISH, WEATHER STRIPPING, TRIM PIECES, ETC./
- PROVIDE INSECT SCREENS FOR ALL OPERABLE WINDOWS (UNLESS NOTED OTHERWISE) COLOR TO BE SCREED COLOR.
- REFER TO PLANS AND ELEVATIONS FOR WINDOW LOCATIONS, VERIFY SIZES AND QUANTITIES PRIOR TO ORDERING.
- APPLY SEALANT AROUND EXTERIOR PERIMETER BEHIND WINDOW TRIM AND SET INTO OPENING.
- APPLY FOAM BACKER ROD AND SEALANT TO EXTERIOR PERIMETER OF TRIM AT SIDING JOINT.
- APPLY LOW EXPANSION SPRAY FOAM AROUND ALL WINDOW JAMBS.
- WINDOWS LISTED AS TEMPERED ARE FOR REFERENCE ONLY. COORDINATE WITH WINDOW SUPPLIER AND APPLICABLE CODES TO VERIFY REQUIRED LOCATIONS/ WINDOW TO BE TEMPERED PRIOR TO BIDDING/ PURCHASING.
- ALL WINDOWS TO HAVE JAMB EXTENDERS AS NECESSARY FOR 4-9/16" & 6-9-16" JAMBS. COORDINATE REQUIRED DEPTHS WITH PLAN.
- FIELD VERIFY WINDOW HEIGHTS AND CLEARANCES PRIOR TO PURCHASING.
- WINDOWS TO HAVE ADHESIVE FLASHING & SILL PANS- INSTALL PER MFR'S RECOMMENDATIONS

SKYLIGHT SCHEDULE

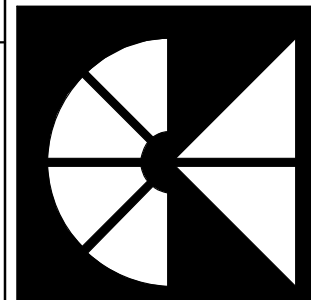
Mark	Model #	Unit Size		Notes
		Width	Height	
SK01	VCE3046	2'-6 1/2"	3'-10 1/2"	VELUX CURB MOUNTED
SK02	VCE3046	2'-6 1/2"	3'-10 1/2"	VELUX CURB MOUNTED
SK03	VCE3046	2'-6 1/2"	3'-10 1/2"	VELUX CURB MOUNTED

SKYLIGHT GENERAL NOTES:

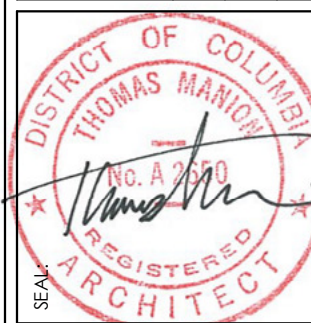
- SKYLIGHTS SPECIFIED ARE BY VELUX.
- DECK MOUNTED INSTALLATION.
- TYPE EDL FLASHING.
- INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

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 DRAWN BY: vgl REVISIONS:
 CHECKED BY: TM

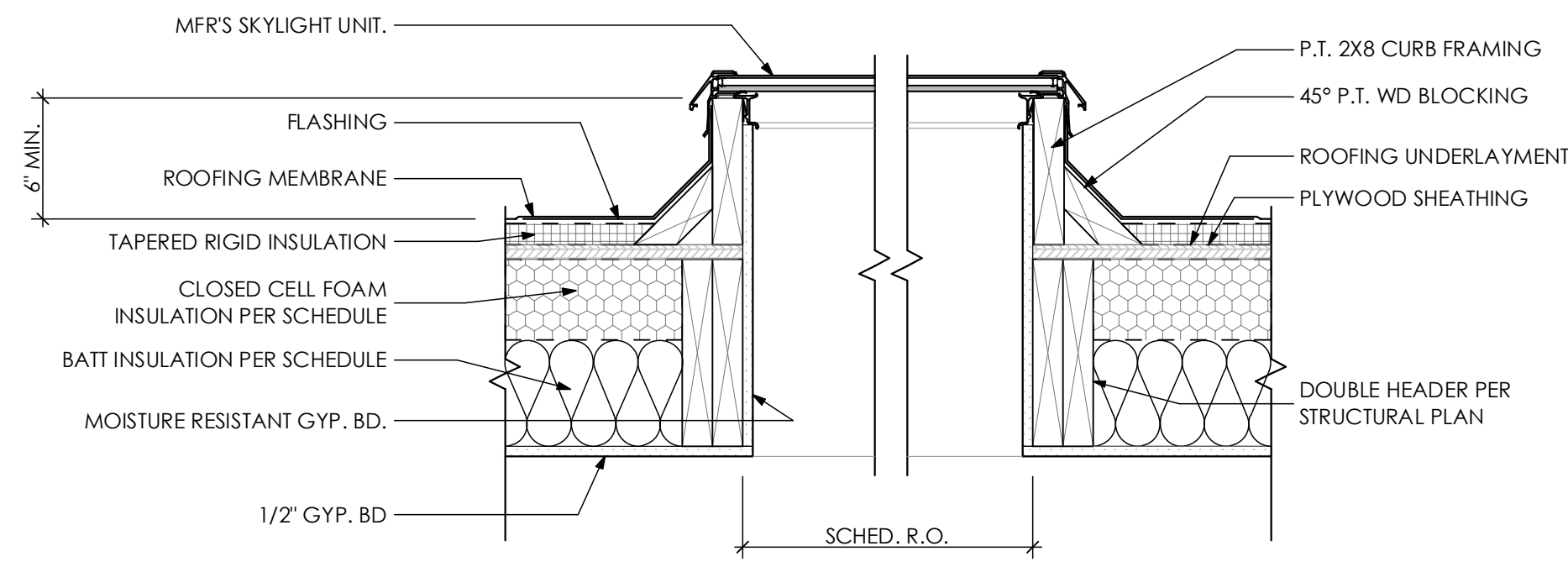


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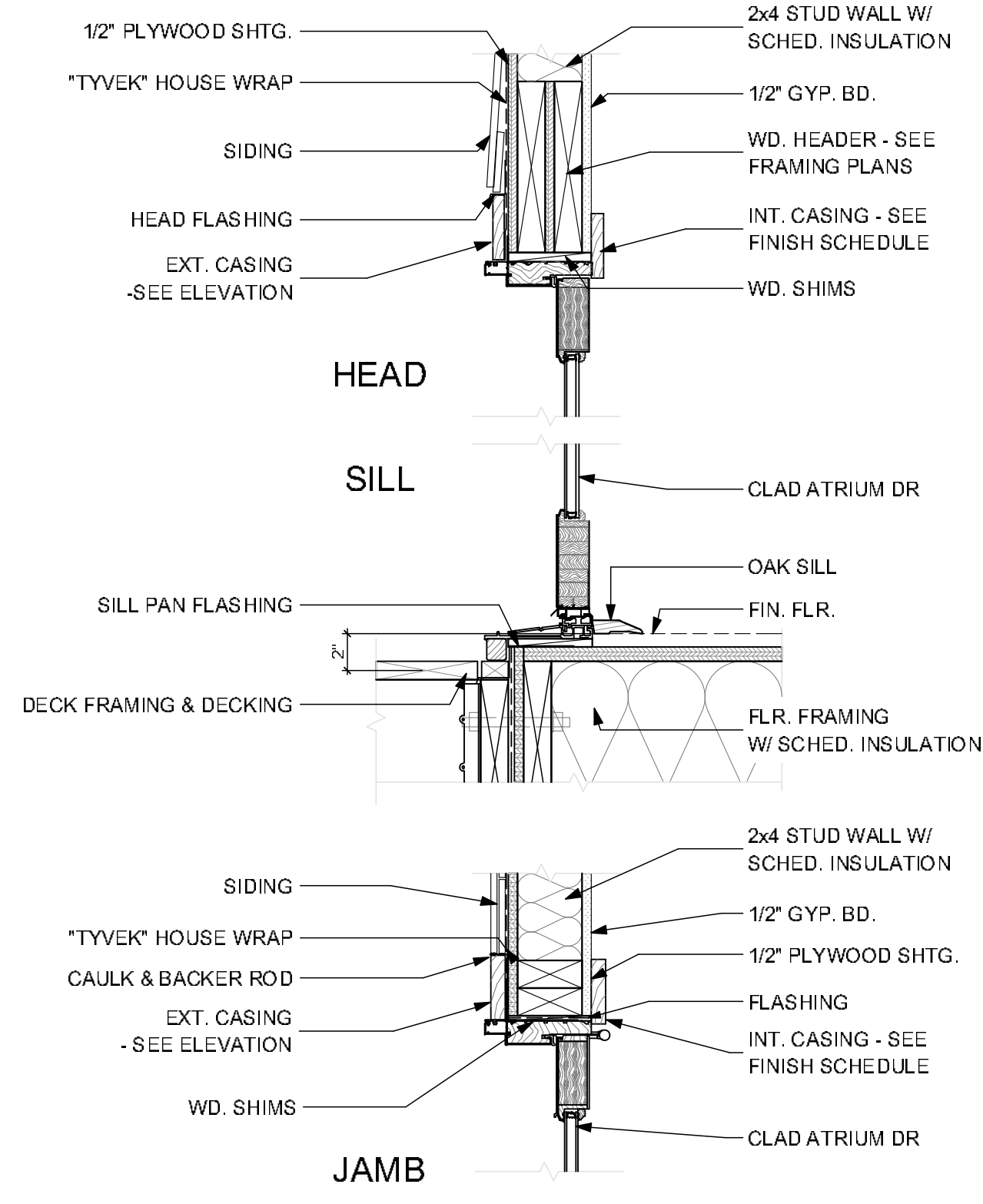
PERMIT

A007

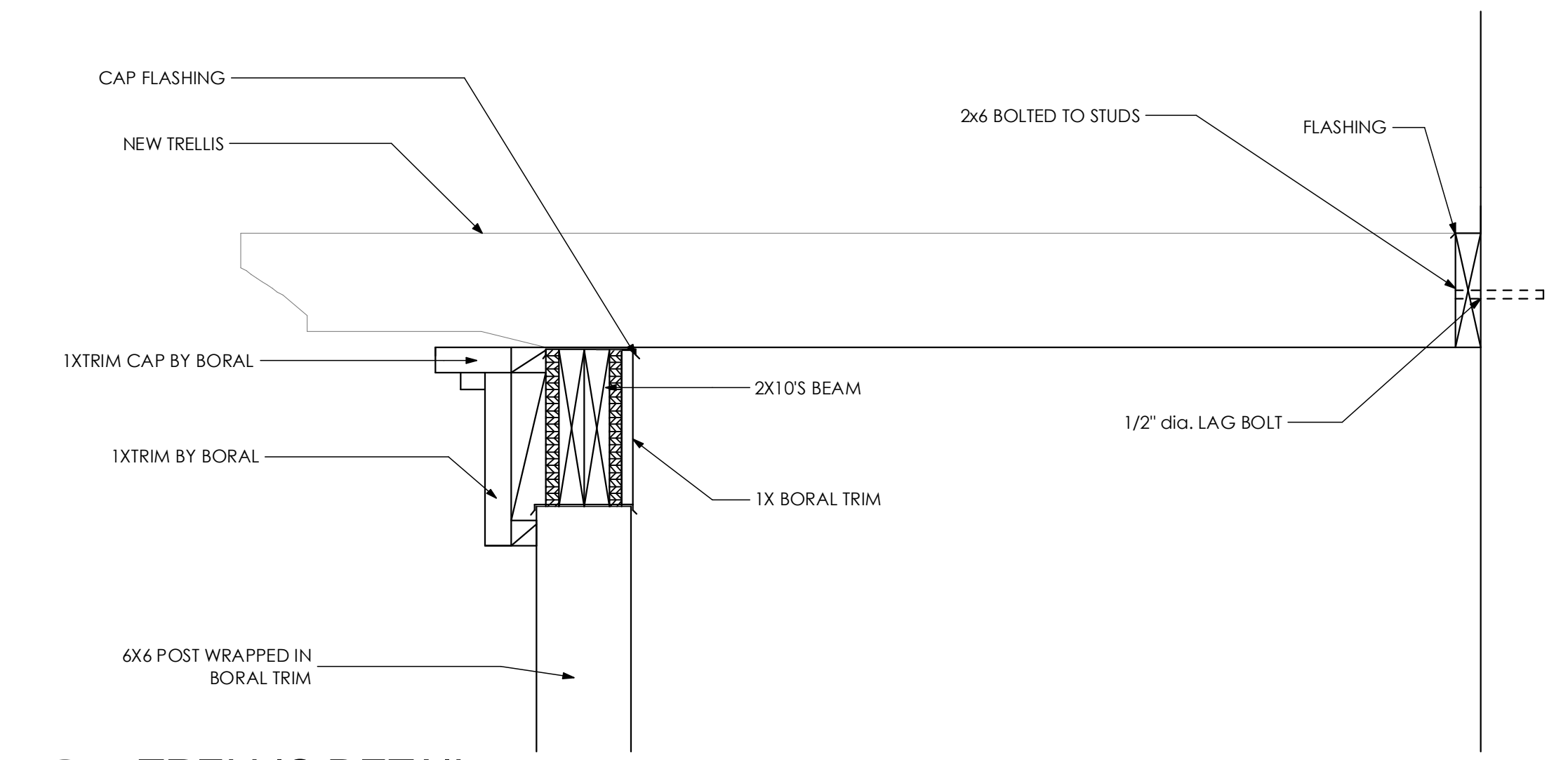
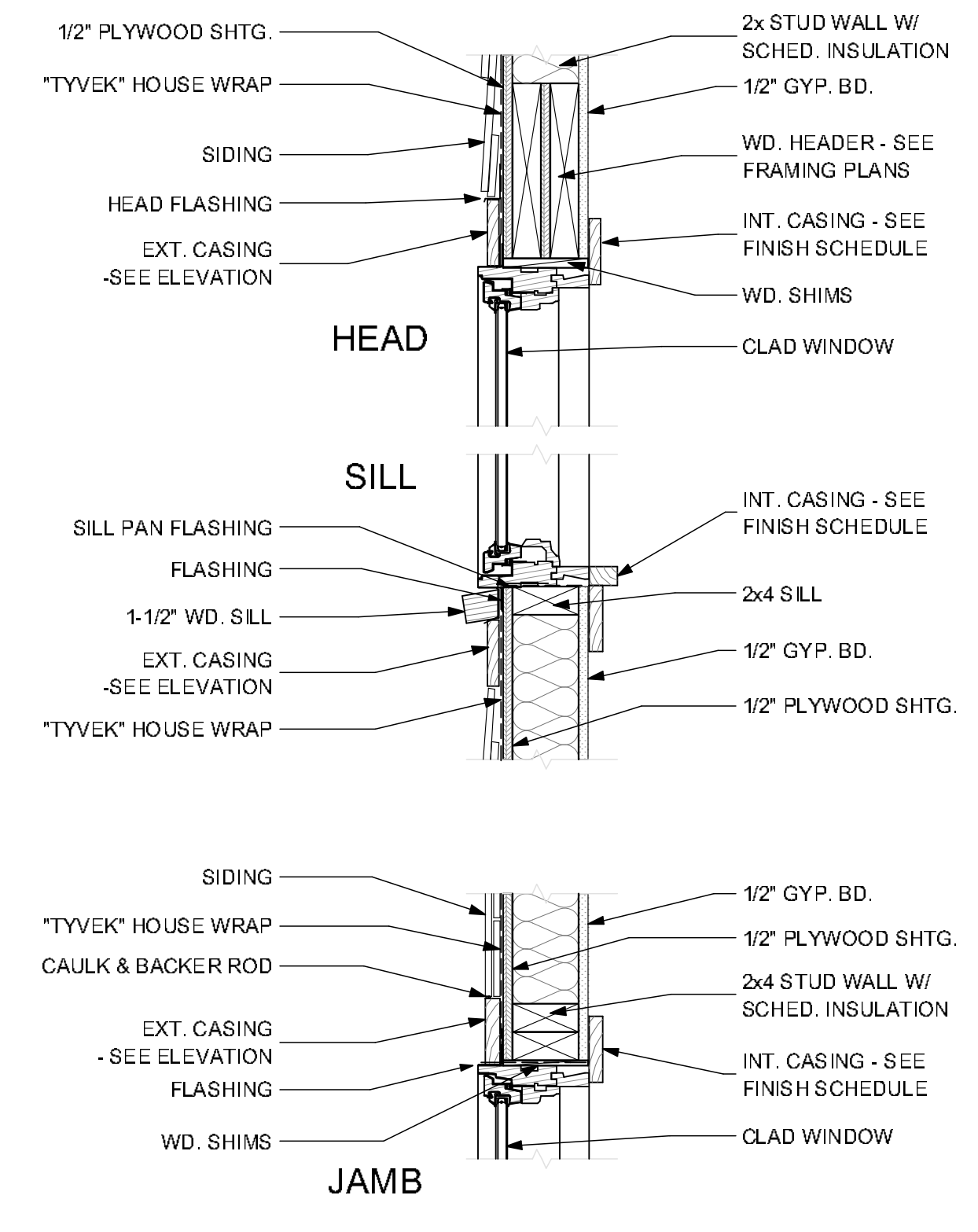
Door, Window, Skylight Schedules



1 SKYLIGHT DETAIL
 A008 SCALE: 1 1/2" = 1'-0"

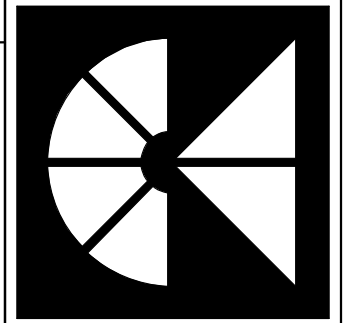


2 Window Detail
 A008 SCALE: 1 1/2" = 1'-0"

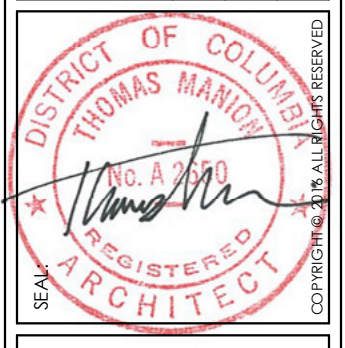


3 TRELLIS DETAIL
 A008 SCALE: 1 1/2" = 1'-0"

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 CHECKED BY: TM



Licha Residence
 4844 Reservoir Rd NW
 Washington, DC 20007
 Door, Window & Trellis Details

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A008

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STORY	ROOM NAME	FLOOR	WALLS	CASING	TRIM		CEILING	REMARKS
					CROWN	BASE		
BASEMENT	FAMILY ROOM	EXISTING TILE	N/A	N/A	N/A	MATCH EXISTING IF NEEDED	GYP. BD. PTD.	TILE TO REMAIN IN FLOOR AS IS
	HALLWAY	EXISTING TILE	GYP. BD. PTD.	N/A	N/A	MATCH EXISTING IF NEEDED	GYP. BD. PTD.	TILE TO REMAIN IN FLOOR AS IS
	BEDROOM	EXISTING TILE	GYP. BD. PTD.	N/A	N/A	MATCH EXISTING IF NEEDED	GYP. BD. PTD.	TILE TO REMAIN IN FLOOR AS IS
	BATHROOM	EXISTING TILE	GYP. BD. PTD.	N/A	N/A	MATCH EXISTING IF NEEDED	GYP. BD. PTD.	TILE TO REMAIN IN FLOOR AS IS
FIRST FLOOR	ENTRY	EXISTING TILE	N/A	MATCH EXISTING	N/A	N/A		TILE TO REMAIN IN FLOOR AS IS
	LIVING ROOM	EXISTING WOOD	N/A	N/A	N/A	N/A		WOOD TO REMAIN IN FLOOR AS IS
	DINING ROOM	EXISTING WOOD	N/A	N/A	N/A	N/A		WOOD TO REMAIN IN FLOOR AS IS
	3 SEASONS'S ROOM	CERAMIC TILE	GYP. BD. PTD.	MATCH EXISTING	N/A	MATCH EXISTING	GYP. BD. PTD.	
SECOND FLOOR	MASTER BEDROOM	EXISTING WOOD	N/A	N/A	N/A	N/A	N/A	WOOD TO REMAIN IN FLOOR AS IS
	M. BEDROOM ADDITION	CERAMIC TILE	GYP. BD. PTD.	MATCH EXISTING	N/A	MATCH EXISTING	GYP. BD. PTD.	

Room Finish General Notes

- Tile floor to be set on 1/2" Durock on waterproof membrane (in shower) or Schluter Kerdi system
- All interior trim to be new as per schedule. Match existing trims as necessary and replace with new if in same space

Painting Notes

- Contractor to consult with Architect/Owner on color selections. Painting bid to allow for minimum of five (5) different room and trim colors and two (2) different ceiling colors.
 - Interior:** All new work and all rooms affected by new work to be painted in full.
 - Walls/ Ceilings: One (1) coat primer and two (2) coats of acrylic paint (flat or egg-shell, consult with Architect).
 - Trim/ Doors / Woodwork/ Shelves: Two (2) coats of semi-gloss
 - Wood floors (new): To be sanded then varnished with stain to match existing color or color selected by Owner/ Architect. All wood floors to be sanded and sealed with two (2) coats of water based polyurethane, satin finish.
 - Exterior:** All new parts of building and existing parts as indicated in plans.
 - Walls/ Trim/ Eaves [All board & batten, PVC Panels, Screen Porch Posts, Trims]: One (1) Coat primer and Two (2) coats of semi-gloss exterior paint. PVC approved paint where required by manufacturer.
 - Gutters/ Downspouts: For all metal use metal primer and finish coats
 - Masonry: Use masonry paint for brick and CMU if painted

Plumbing Fixture Schedule

MARK	LOCATION	ITEM	MANUFACTURER	MODEL #	FINISH/COLOR	REMARKS
P1	Family Room	Sink				provide allowance-selected by owner

Plumbing Fixture General Notes

- Provide catalog cuts and submit to owner and architect for approval prior to purchasing
-

Lighting Fixture Schedule

MARK	ITEM	MANUFACTURER	MODEL #/ Name	TRIM/COLOR	MOUNTING LOCATION	LAMP	WATTS	LUMENS	REMARKS
A	3 3/4" Recessed Light	Lightolier	2000AIC	CREE DR4-575L-27K-12-E26	Flat Ceiling	CREE LED DR4 Kit (50W Equivalent)	11.5	575	3 3/4" Aperture Incandescent Insulated Ceiling AirSeal Frame-In Kit with CREE LED Downlight Retrofit Kit
B	6 3/4" Recessed Light	Lightolier	1100AICM	1154WH	Sloped Ceiling	CREE LED BR30 (65W Equivalent), 2700 LED PAR 16 (50W equivalent)	9.5	650	6 3/4" Aperture Complete Slope Ceiling Reflector Trim with White Step Baffle
C	Recessed Wall Washer	Lightolier	2000AIC	2027WH	Flat Ceiling	CREE LED DR4 Kit (50W Equivalent)	7		3 3/4" Aperture Incandescent Insulated Ceiling AirSeal Frame-In Kit with Adjustable Reflector Matte White
D	Recessed Light	Lightolier	2000AIC	CREE DR4-575L-27K-12-E26	Exterior Flat Ceiling	CREE LED DR4 Kit (50W Equivalent)	11.5	575	3 3/4" Aperture Incandescent Insulated Ceiling AirSeal Frame-In Kit with CREE LED Downlight Retrofit Kit
F	Recessed Light	Lightolier	2000AIC	Lightolier 2090	Shower Ceiling	CREE LED DR4 Kit (50W Equivalent)	11.5	575	3 3/4" Aperture Incandescent Insulated Ceiling AirSeal Frame-In Kit with Lylecaster 3 3/4" Aperture Flush Glass Wet Location Trim
G	Closet Light	Progress	P7201-30 W8 closet 1		Wall Above Door	(1)15WT8	15	845	Fluorescent Strip Light
H	Under Cabinet Light	Kichler	10581S3/10580SS	Xenon	Under Cabinet	(3)15	18	250	Coordinate length with Cabinet- Low Voltage
I	Flood Light	Lithonia Lighting	OFLR 9LN MO		Exterior Under Soffit	9 LEDs	32.5	2163	Exterior 3 light adjustable LED flood light, motion control and switch
J	Exterior Step Light	Dekor Lighting	LED Recessed Stair		Riser of Steps				On Timer- LED step lights, dimmable with transformer
K	Exterior Site Plant Light	Dekor Lighting	SPOTL05	Black	Planting Bed	32 LEDs	7	500	On Timer- High Output LED Landscape Spot Light
L1	Ceiling Fan	Selected by Owner							Provide Allowance
M1	Wall Sconce-Exterior	Selected by Owner							Provide Allowance
M2	Wall Sconce-Interior	Selected by Owner							Provide Allowance
N1	Pendant	Selected by Owner							Provide Allowance
O1	Chandelier	Selected by Owner							Provide Allowance
P1	Vanity Light	Selected by Owner							Provide Allowance
Q	Exhaust Fan	see mechanical plans							Provide Allowance
R	Utility Light	Contractors Option	Fluorescent			T8	28	1400	16"X40"
S	Post Light	Selected by Owner							Provide Allowance

Lighting Fixture/ Electrical General Notes

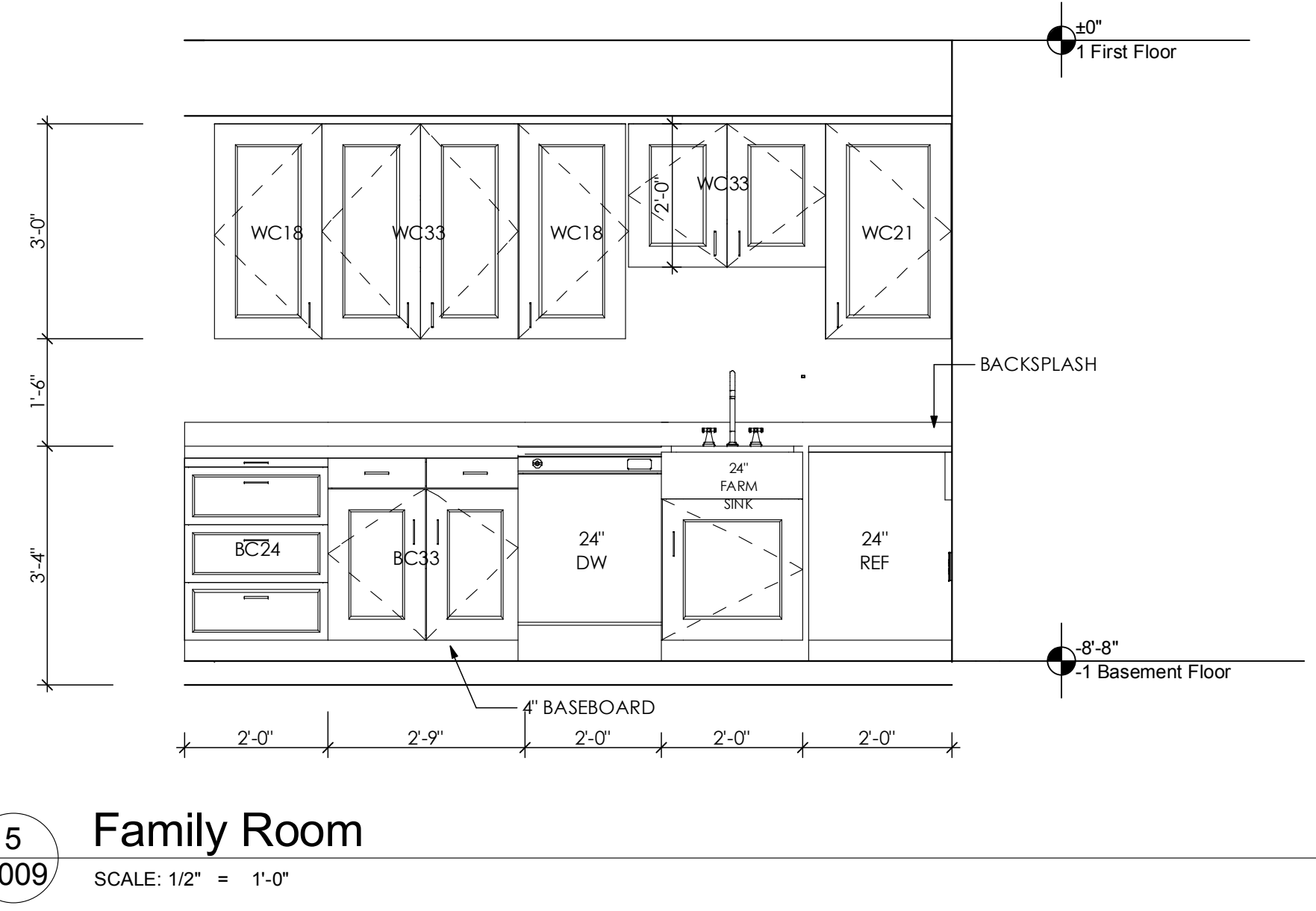
- All electrical work to comply with newest edition of electrical code
- Thermal insulation shall not be installed above a recessed luminaire or within 75mm (3in) of the recessed luminaire's enclosure, wiring compartment, or ballast unless it is identified for contact with insulation, Type IC
- Coordinate final mounting locations of all fixtures, switches, outlets, etc. with Owner/ Architect prior to installation during electrical walkthrough.
- Provide wall receptacles at 12' o.c. maximum, all wall receptacles to be tamper proof. Provide necessary GFI and AFCI type receptacles and circuit breakers as necessary by NEC and local code.
- All plugs, switches, telephone, and television jacks to be Leviton by Decora, unless listed otherwise in specifications. Replace all coverplates, plugs, switches, telephone, and television jacks throughout all areas with any work.
- Provide dimmer switches at all living spaces and bedrooms. Coordinate final locations with Owner/ Architect.
- Provide catalog cuts and submit to Owner and Architect for approval prior to purchasing
- Refer to electrical plans for quantity of fixtures listed in lighting schedule. Lighting schedule is for reference only and some listed fixtures may not be used in this project
- Lighting levels to comply with NEC lighting load calculation requirements.
- Recessed luminaires installed in the building thermal envelope shall be sealed to limit air leakage between conditioned and unconditioned spaces. All recessed luminaires shall be IC-rated and labeled as having an air leakage rate not more than 2.0 cfm when tested in accordance with ASTM E 283 at a 1.57 psf pressure differential. All recessed luminaires shall be sealed with a gasket or caulk between the housing and the interior wall or ceiling covering.

Appliance Schedule

MARK	LOCATION	ITEM	MANUFACTURER	MODEL #	SIZE	REMARKS
A1	Family Room	Dishwasher			24"	selected by owner
A2	Family Room	Microwave				selected by owner
A3	Family Room	Undercounter Refrigerator				selected by owner

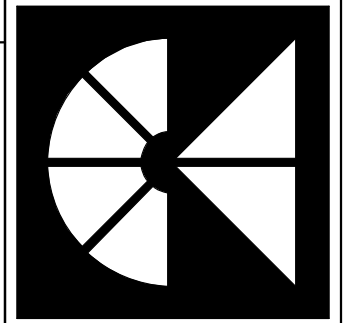
Appliance General Notes

- Provide catalog cuts and submit to owner and architect for approval prior to purchasing



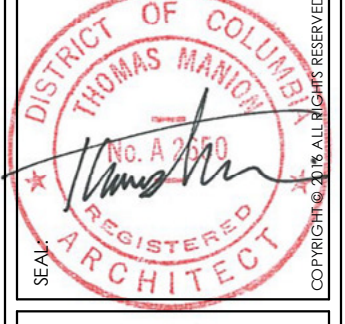
5 Family Room
A009 SCALE: 1/2" = 1'-0"

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ISSUE DATE: 10-16-2018
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CHECKED BY: TM



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Washington, DC 20007

Schedules and Interior Elevation

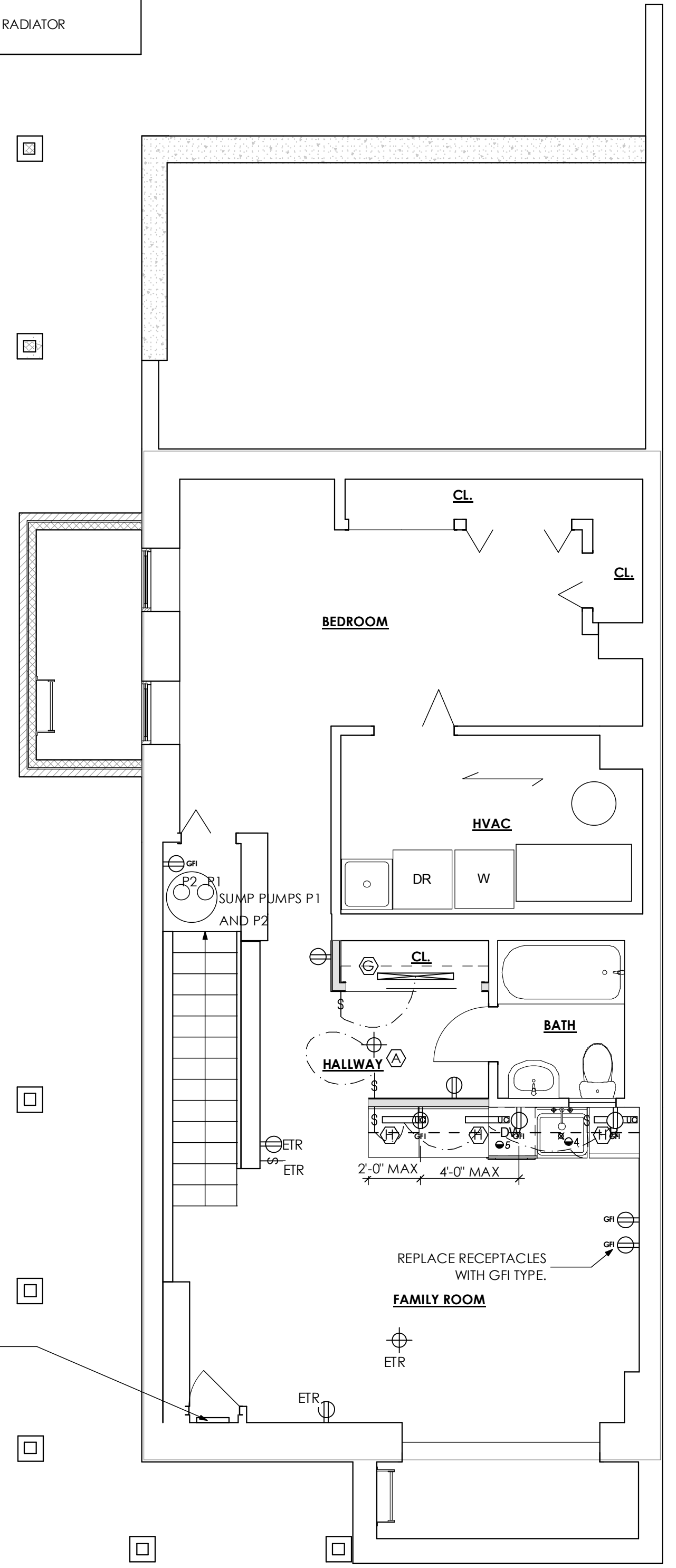
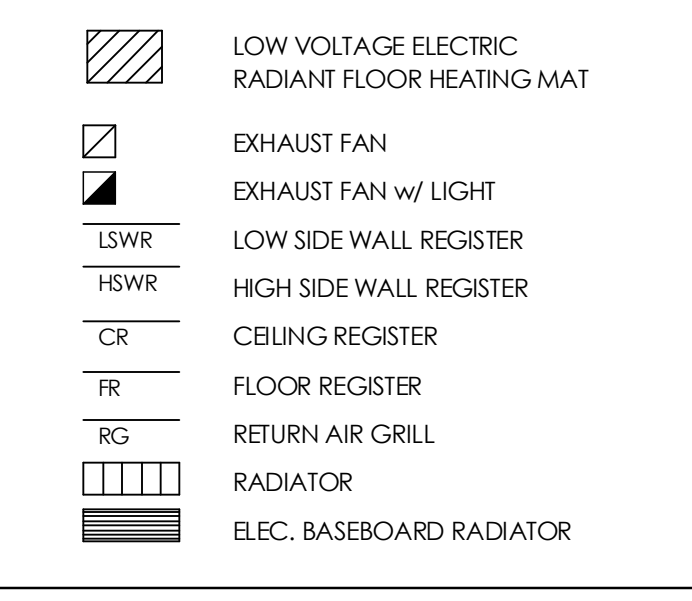
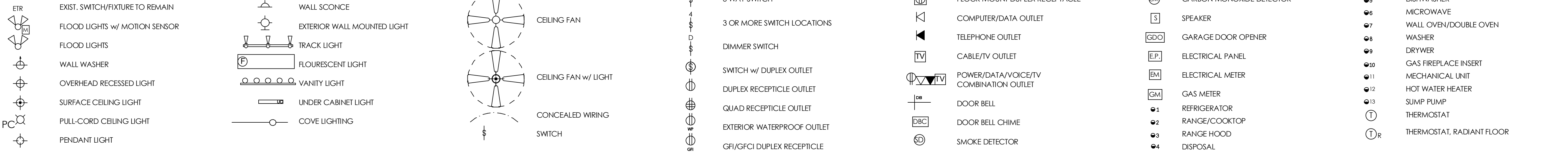
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A009

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ELECTRICAL / MECHANICAL SYMBOLS



TING 200 AMP. SERVICE TO REMAIN.
 PLACE EXISTING ELECTRIC PANEL (30 T MAIN LUG PANEL) WITH A NEW 225 LUGS, 42 CIRCUIT PANEL WITH A NEW 200 AMP MAIN CIRCUIT BREAKER.
 ER ALL EXISTING CIRCUITS FROM THE PANEL TO THE NEW PANEL USING NEW BREAKERS. TRACE AND IDENTIFY ALL ; BEFORE ANY WORK IS PERFORMED. PAY FOR ALL NECESSARY PERMITS BEFORE START OF THE NEW WORK.

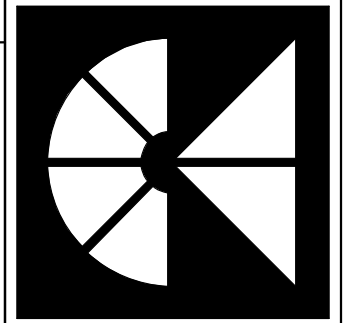
Lighting Fixture Schedule

MARK	ITEM	MANUFACTURER	MODEL #/ Name	TRIM/COLOR	MOUNTING LOCATION	LAMP	WAITS	LUMENS	REMARKS
A	3 3/4" Recessed Light	Lightolier	2000AIC	CREE DR4-575L-27K-12-E26	Flat Ceiling	CREE LED DR4 Kit (50w Equivalent)	11.5	575	3 3/4" Aperture Incandescent Insulated Ceiling AirSeal Frame-In Kit with CREE LED Downlight Retrofit Kit
B	6 3/4" Recessed Light	Lightolier	1100AICM	1154WH	Sloped Ceiling	CREE LED BR30 (65W Equivalent), 2700 LED PAR 16 (50W equivalent)	9.5	650	6 3/4" Aperture Complete Slope Ceiling Reflector Trim with White Step Baffle
C	Recessed Wall Washer	Lightolier	2000AIC	2027WH	Flat Ceiling	CREE LED DR4 Kit (50w Equivalent)	7		3 3/4" Aperture Incandescent Insulated Ceiling AirSeal Frame-In Kit with Adjustable Reflector Matte White
D	Recessed Light	Lightolier	2000AIC	CREE DR4-575L-27K-12-E26	Exterior Flat Ceiling	CREE LED DR4 Kit (50w Equivalent)	11.5	575	3 3/4" Aperture Incandescent Insulated Ceiling AirSeal Frame-In Kit with CREE LED Downlight Retrofit Kit
F	Recessed Light	Lightolier	2000AIC	Lightolier 2090	Shower Ceiling	CREE LED DR4 Kit (50w Equivalent)	11.5	575	3 3/4" Aperture Incandescent Insulated Ceiling AirSeal Frame-In Kit with Lytecaster 3 3/4" Aperture Flush Glass Wet Location Trim
G	Closest Light	Progress	P7201-30 WB closet 1		Wall Above Door	(1)15WT8	15	845	Fluorescent Strip Light
H	Under Cabinet Light	Kichler	10581SS/10580SS	Xenon	Under Cabinet	(3)T5	18	250	Coordinate length with Cabinet- Low Voltage
I	Flood Light	Lithonia Lighting	OFLR 9LN MO		Exterior Under Soffit	9 LEDs	32.5	2163	Exterior 3 light adjustable LED flood light, motion control and switch
J	Exterior Step Light	Dekor Lighting	LED Recessed Stair		Riser of Steps				On Timer- LED step lights, dimmable with transformer
K	Exterior Site Plant Light	Dekor Lighting	SPOTL05	Black	Planting Bed	32 LEDs	7	500	On Timer- High Output LED Landscape Spot Light
L1	Ceiling Fan	Selected by Owner							Provide Allowance
M1	Wall Sconce-Exterior	Selected by Owner							Provide Allowance
M2	Wall Sconce-Interior	Selected by Owner							Provide Allowance
N1	Pendant	Selected by Owner							Provide Allowance
O1	Chandelier	Selected by Owner							Provide Allowance
P1	Vanity Light	Selected by Owner							Provide Allowance
Q	Exhaust Fan	see mechanical plans							Provide Allowance
R	Utility Light	Contractors Option	Fluorescent			T8	28	1400	16"X40"
S	Post Light	Selected by Owner							Provide Allowance

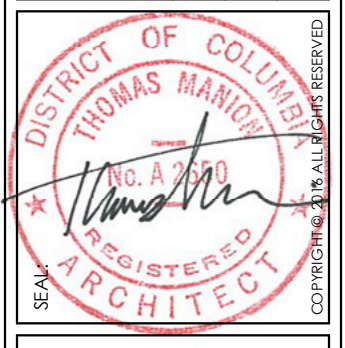
Lighting Fixture/ Electrical General Notes

- All electrical work to comply with newest edition of electrical code
- Thermal Insulation shall not be installed above a recessed luminaire or within 75mm (3in) of the recessed luminaire's enclosure, wiring compartment, or ballast unless it is identified for contact with insulation, Type IC
- Coordinate final mounting locations of all fixtures, switches, outlets, etc. with Owner/ Architect prior to installation during electrical walkthrough.
- Provide wall receptacles at 12" o.c. maximum, all wall receptacles to be tamper proof. Provide necessary GFI and AFCI type receptacles and circuit breakers as necessary by NEC and local code.
- All plugs, switches, telephone, and television jacks to be Leviton by Decora, unless listed otherwise in specifications. Replace all coverplates, plugs, switches, telephone, and television jacks throughout all areas with any work.
- Provide dimmer switches at all living spaces and bedrooms. Coordinate final locations with Owner/ Architect.
- Provide catalog cuts and submit to Owner and Architect for approval prior to purchasing
- Refer to electrical plans for quantity of fixtures listed in lighting schedule. Lighting schedule is for reference only and some listed fixtures may not be used in this project
- Lighting levels to comply with NEC lighting load calculation requirements.
- Recessed luminaires installed in the building thermal envelope shall be sealed to limit air leakage between conditioned and unconditioned spaces. All recessed luminaires shall be IC-rated and labeled as having an air leakage rate not more than 2.0 cfm when tested in accordance with ASTM E 283 at a 1.57 psf pressure differential. All recessed luminaires shall be sealed with a gasket or caulk between the housing and the interior wall or ceiling covering.

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Licha Residence
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 Washington, DC 20007
Basement Electrical Plan

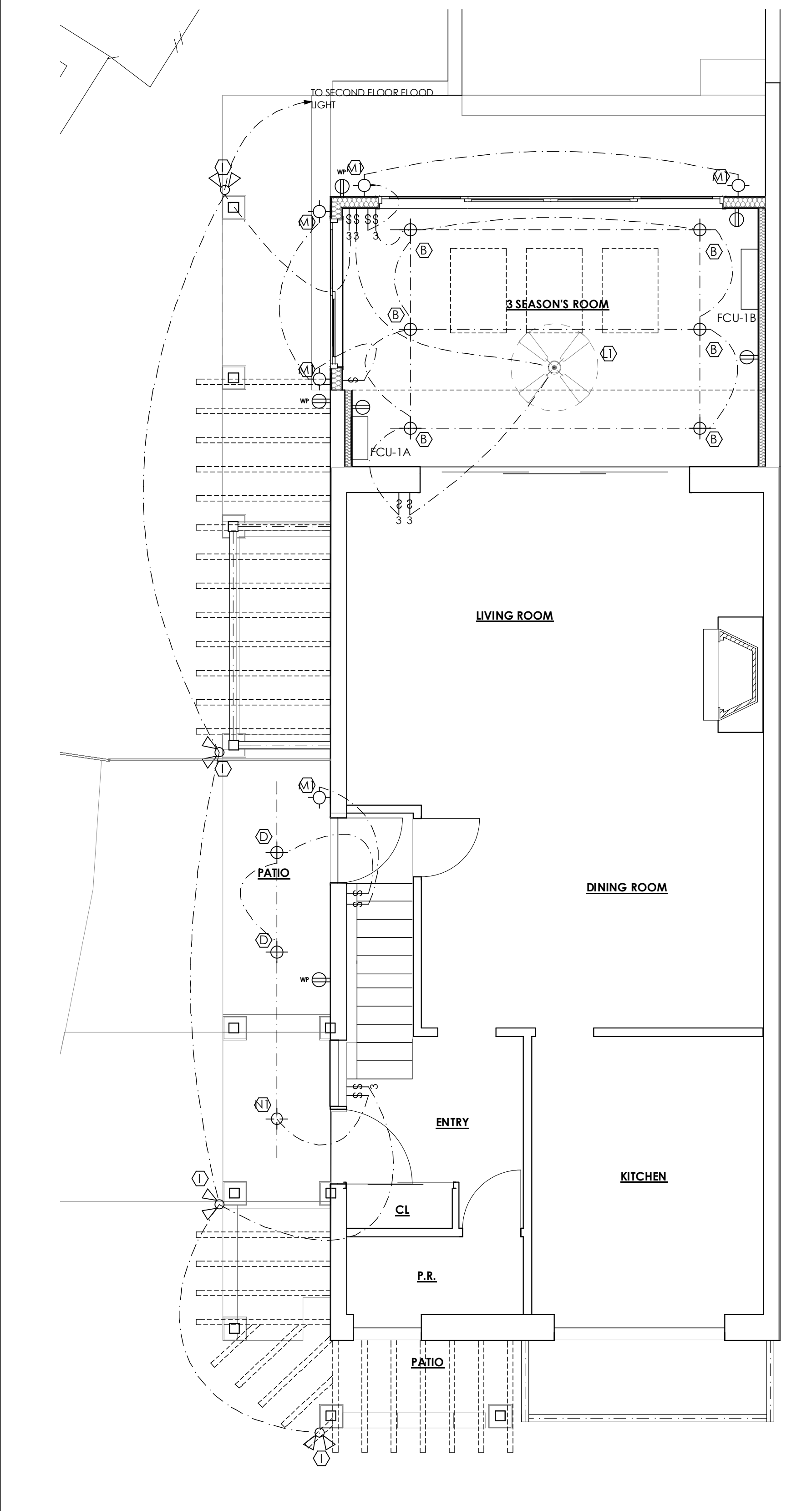
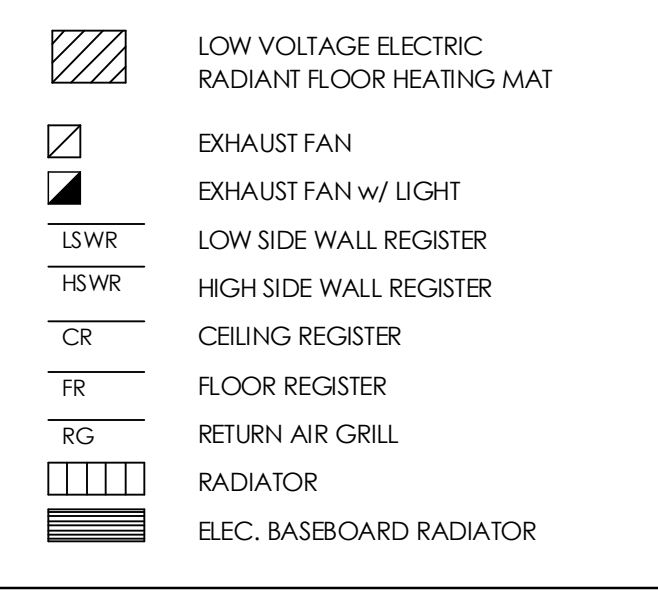
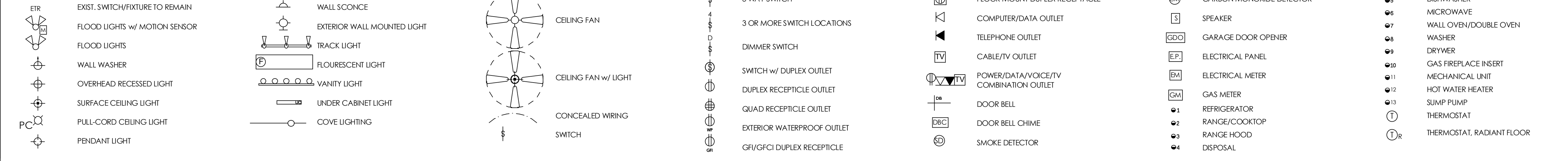
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E001

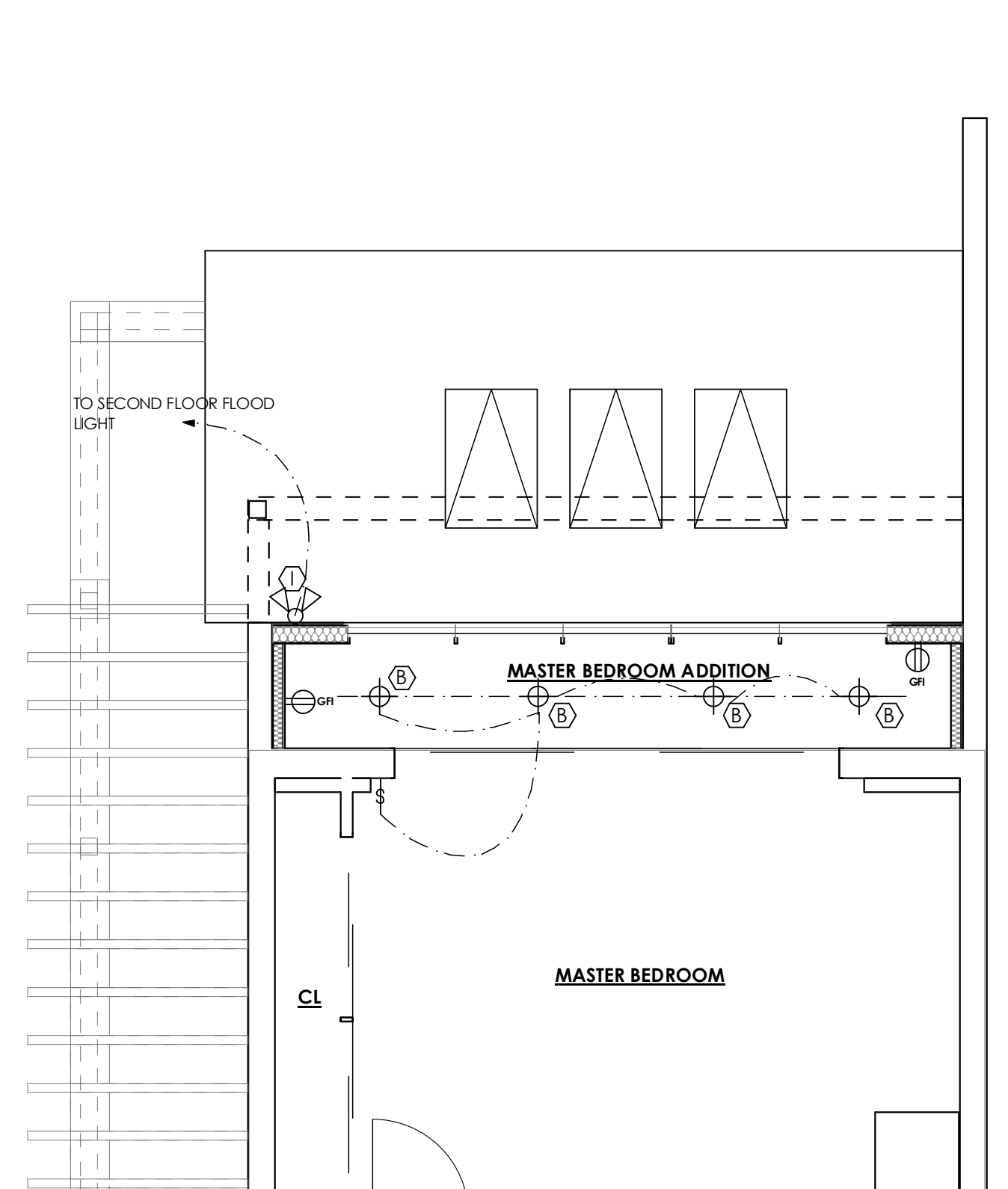
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ELECTRICAL / MECHANICAL SYMBOLS



4
E002 **First Floor Electrical Plan**
SCALE: 1/4" = 1'-0"

3
E002 **Second Floor Electrical Plan**
SCALE: 1/4" = 1'-0"



Lighting Fixture Schedule

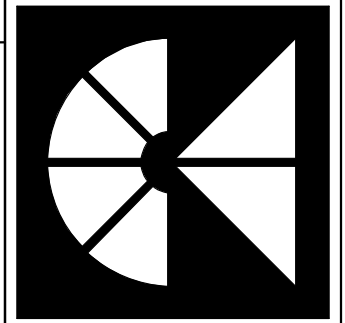
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B	6 3/4" Recessed Light	Lightolier	1100AICM	1154WH	Sloped Ceiling	CREE LED BR30 (65W Equivalent), 2700 LED PAR 16 (50W equivalent)	9.5	650	4 3/4" Aperture Complete Slope Ceiling Reflector Trim with White Step Baffle
C	Recessed Wall Washer	Lightolier	2000AIC	2027WH	Flat Ceiling	CREE LED DR4 Kit (50w Equivalent)	7		3 3/4" Aperture Incandescent Insulated Ceiling AirSeal Frame-In Kit with Adjustable Reflector Matte White
D	Recessed Light	Lightolier	2000AIC	CREE DR4-575L-27K-12-E26	Exterior Flat Ceiling	CREE LED DR4 Kit (50w Equivalent)	11.5	575	3 3/4" Aperture Incandescent Insulated Ceiling AirSeal Frame-In Kit with CREE LED Downlight Retrofit Kit
F	Recessed Light	Lightolier	2000AIC	Lightolier 2090	Shower Ceiling	CREE LED DR4 Kit (50w Equivalent)	11.5	575	3 3/4" Aperture Incandescent Insulated Ceiling AirSeal Frame-In Kit with Lytecaster 3 3/4" Aperture Flush Glass Wet Location Trim
G	Closet Light	Progress	P7201-30 WB closet 1		Wall Above Door	(1) 15W18	15	845	Fluorescent Strip Light
H	Under Cabinet Light	Kichler	10581SS/10580SS	Xenon	Under Cabinet	(3)T5	18	250	Coordinate length with Cabinet- Low Voltage
J	Flood Light	Lithonia Lighting	OFLR 9LN MO		Exterior Under Soffit	9 LEDs	32.5	2163	Exterior 3 light adjustable LED flood light, motion control and switch
K	Exterior Step Light	Dekor Lighting	LED Recessed Stair		Riser of Steps				On Timer- LED step lights, dimmable with transformer
L1	Exterior Site Plant Light	Dekor Lighting	SPOTL105	Black	Planting Bed	32 LEDs	7	500	On Timer- High Output LED Landscape Spot Light
L1	Ceiling Fan	Selected by Owner							Provide Allowance
M1	Wall Sconce-Exterior	Selected by Owner							Provide Allowance
M2	Wall Sconce-Interior	Selected by Owner							Provide Allowance
N1	Pendant	Selected by Owner							Provide Allowance
O1	Chandelier	Selected by Owner							Provide Allowance
P1	Vanity Light	Selected by Owner							Provide Allowance
Q	Exhaust Fan	see mechanical plans							Provide Allowance
R	Utility Light	Contractors Option	Fluorescent			T8	28	1400	16"X40"
S	Post Light	Selected by Owner							Provide Allowance

Lighting Fixture/ Electrical General Notes

- All electrical work to comply with newest edition of electrical code
- Thermal insulation shall not be installed above a recessed luminaire or within 75mm (3in) of the recessed luminaire's enclosure, wiring compartment, or ballast unless it is identified for contact with insulation, Type IC
- Coordinate final mounting locations of all fixtures, switches, outlets, etc. with Owner/ Architect prior to installation during electrical walkthrough.
- Provide wall receptacles at 12" o.c. maximum, all wall receptacles to be tamper proof. Provide necessary GFI and AFCI type receptacles and circuit breakers as necessary by NEC and local code.
- All plugs, switches, telephone, and television jacks to be Leviton by Decora, unless listed otherwise in specifications. Replace all coverplates, plugs, switches, telephone, and television jacks throughout all areas with any work.
- Provide dimmer switches at all living spaces and bedrooms. Coordinate final locations with Owner/ Architect.
- Provide catalog cuts and submit to Owner and Architect for approval prior to purchasing
- Refer to electrical plans for quantity of fixtures listed in lighting schedule. Lighting schedule is for reference only and some listed fixtures may not be used in this project
- Lighting levels to comply with NEC lighting load calculation requirements.
- Recessed luminaires installed in the building thermal envelope shall be sealed to limit air leakage between conditioned and unconditioned spaces. All recessed luminaires shall be IC-rated and labeled as having an air leakage rate not more than 2.0 cfm when tested in accordance with ASTM E 283 at a 1.57 psf pressure differential. All recessed luminaires shall be sealed with a gasket or caulk between the housing and the interior wall or ceiling covering.

DO NOT SCALE DRAWINGS

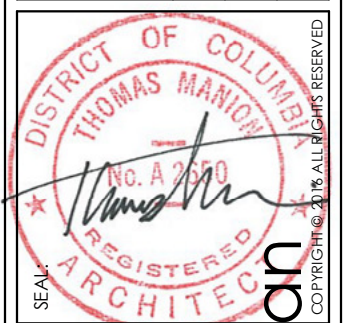
Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and must notify this office of any variations from the dimensions and conditions shown.



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PROJECT PHASE: CD
 DRAWN BY: vgl
 CHECKED BY: TM

ISSUE DATE: 10-16-2018
 REVISIONS



Licha Residence
 4844 Reservoir Rd NW
 Washington, DC 20007

Second Floor and Partial Second Floor Electrical Plan

E002

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