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RENOVATION PLANS FOR:
4921 1st NW
Washington DC, 20011

4	PERMIT REVISION	09/05/24
3	PERMIT REVISION	07/02/24
1	PERMIT REVISION	04/22/24
NO	ISSUE/REVISION	DATE

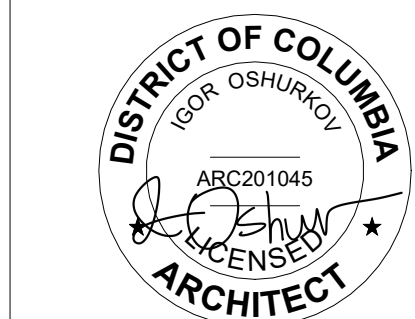
PROJECT No:
FILE NAME:
DRAWN BY: IO
CHECKED BY: IO

SHEET TITLE

**BASEMENT FLOOR
PLANS**

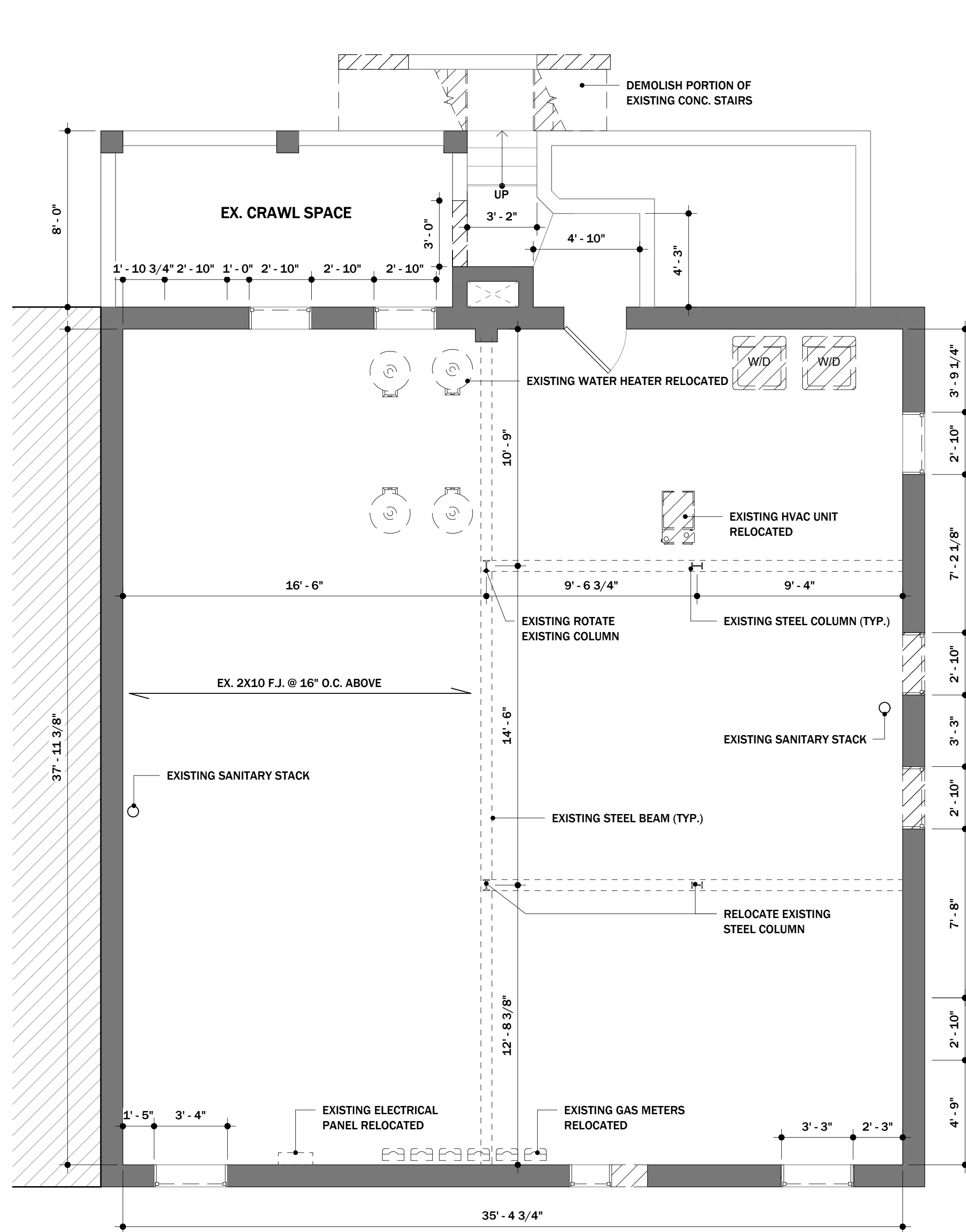
PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I AM A
DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE
LAWS OF THE DISTRICT OF COLUMBIA.
LICENSE NO. ABC201045, EXPIRATION DATE 04/29/2026

PROFESSIONAL SEAL & SIGN



SHEET No.

A100



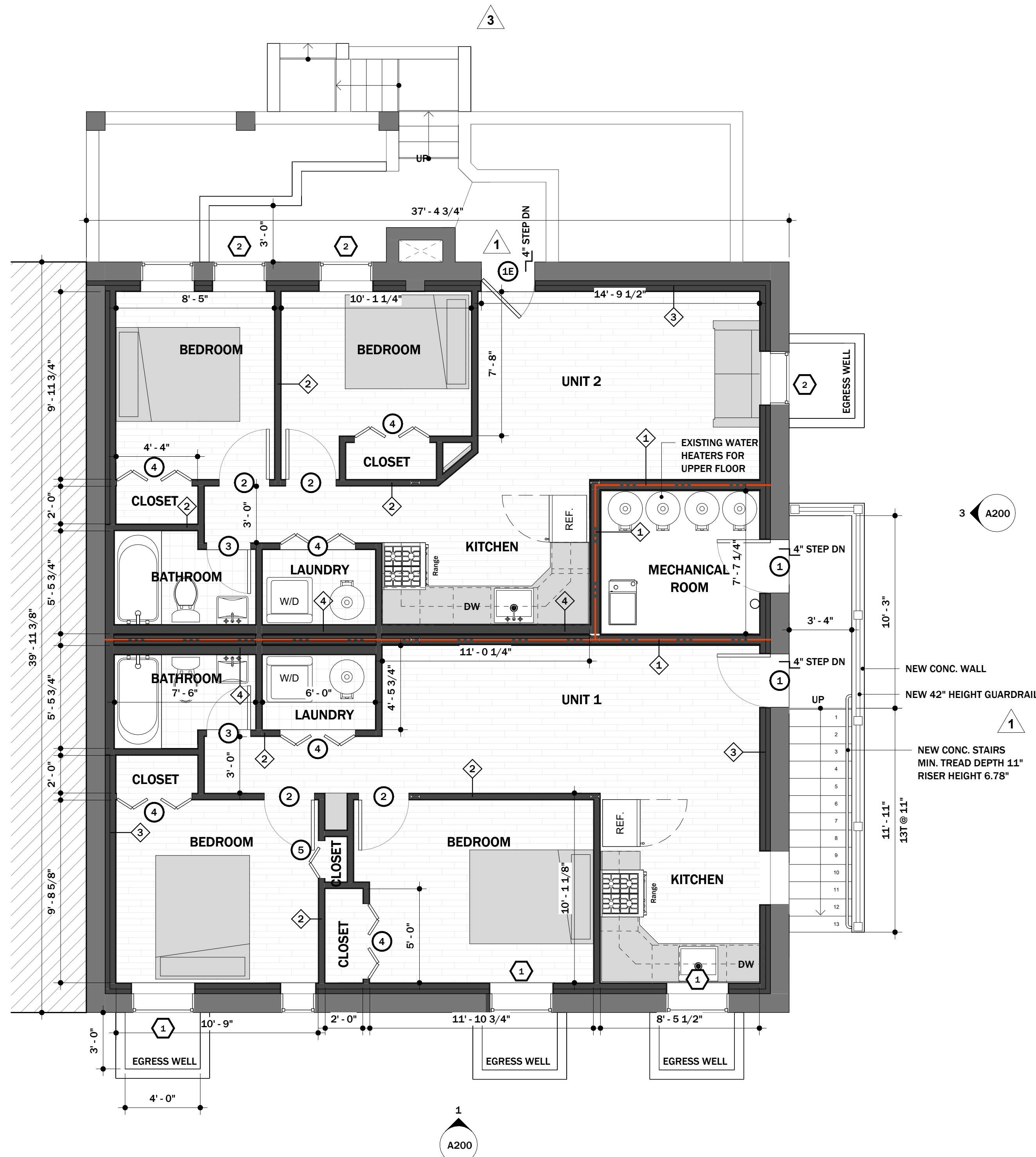
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DEMOLITION BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"

DEMOLITION NOTES

- DEMOLITION WORK INDICATED IS DIAGRAMMATIC AND NOT SHOWN INCLUSIVELY. MAJOR ITEMS OF DEMOLITION WORK ARE SHOWN WITH DASHED LINES. DEMOLITION DRAWINGS IS INTENDED TO DEMONSTRATE MAJOR ITEMS ONLY. CONTRACTOR IS REQUIRED TO PERFORM SELECTIVE DEMOLITION AS NEEDED TO ACCOMPLISH THE PROJECT EVEN IF NOT SPECIFICALLY NOTED. WHERE DEMOLITION IS REQUIRED THAT ALL SIMILAR OBJECTS IN THAT AREA BE ADDRESSED. IF DEMOLITION WORK IS UNCLEAR FOR ANY ITEM THE CONTRACTOR SHALL BRING IT TO THE ATTENTION OF THE OWNER FOR RESOLUTION BEFORE PROCEEDING.
- CONTRACTOR TO SEAL AND PROTECT EXIST. MECH SYSTEM DURING DEMOLITION AND CONSTRUCTION.
- ELECTRICAL CONTRACTOR TO REMOVE ALL OUTLETS, SWITCHES, FIXTURES AND SUPPLY LINES IN AREAS IDENTIFIED FOR DEMOLITION.
- CONTRACTOR TO KEEP SITE CLEAN.
- CONTRACTOR TO PROTECT ALL AREAS NOT UNDER CONSTRUCTION FROM DAMAGE DURING CONSTRUCTION.
- CONTRACTOR TO PROVIDE TEMPORARY SUPPORT AT ALL STRUCTURAL WALLS AS REQUIRED DURING DEMOLITION. TEMP. SUPPORT TO HAVE CONTINUOUS BEARING TO BASEMENT LEVEL AS REQUIRED.



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PROPOSED BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"

COSTRUCTION NOTES

- TYPICAL INTERIOR WALL IS 2X4 WOOD STUD AT 16" O.C. WITH 1/2" DRYWALL TO BOTH SIDES, U.N.O.
- DIMENSIONS SHOWN ARE FROM FINISHED FACE OF DRYWALL TO FINISHED FACE OF DRYWALL.
- USE MOISTURE RESISTANT DRYWALL AT ALL WET LOCATIONS.
- DOORS ARE TO BE LOCATED 6" FROM THE NEAREST PERPENDICULAR WALL OR CENTERED ON WALL, U.N.O.
- DOORS AT CLOSETS SHALL BE LOCATED AT THE CENTER OF THE INTERIOR FINISHED SPACE, U.N.O.
- THIS DRAWING IS BEING PROVIDED AS A GRAPHIC REPRESENTATION OF THE KITCHEN LAYOUT. ASSOCIATED PLANS, ELEVATIONS AND OTHER RELATED INFORMATION WILL BE PROVIDED BY A KITCHEN VENDOR.

NOTE

EACH DWELLING UNIT SHALL COMPLY WITH TABLE R402.4.1.2. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E779 OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH W.G. (50 PASCALS). TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY.

TABLE R402.4.1.2 MAXIMUM ALLOWED AIR LEAKAGE RATES		
	New construction	Level 3 Alteration affecting 80% or more of the aggregate work of the building (Gut Rehabilitation)
Single family detached, two family attached (duplex), townhouses, flats	3 ACH50	3 ACH50
Dwelling units in Multifamily buildings 3 stories and less	30 CFM50/SF enclosure area of each unit or 3 ACH50	30 CFM50/SF enclosure area of each unit or 3 ACH50

