

# PRIVATE RESIDENCE

## 212 57TH STREET, NE, WASHINGTON, DC 20019 (SQUARE 5248, LOT 23)

### GENERAL NOTES:

- THIS SHEET IS PART OF AN ENTIRE SET OF CONSTRUCTION DOCUMENTS WHICH CONSIST OF- SHEETS ( SEE SCHEDULE OF DRAWINGS). THE OWNER'S CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION BETWEEN SUBCONTRACTORS BASED ON THE ENTIRE SET OF DOCUMENTS. NO EXTRA COMPENSATION WILL BE GIVEN TO A BIDDER OR SUPPLIERS WHO HAS BID FROM AN INCOMPLETE SET OF CONSTRUCTION DOCUMENTS. IN CASE OF INCONSISTENCIES OR DISCREPANCIES BETWEEN DRAWINGS THE MOST STRINGENT NOTE OR CONDITION SHALL APPLY AND THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF SUCH DISCREPANCIES. PRIOR TO PURCHASE OF MATERIALS AND/OR EXECUTION OF SUCH WORK.
- IT IS THE RESPONSIBILITY OF THE OWNER'S CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS AND DIMENSIONS PRIOR TO STARTING CONSTRUCTION. THE OWNER'S CONTRACTOR SHALL INDICATE ON THESE PLANS ALL APPROVED CHANGES TO THE WORK DESCRIBED ON THESE DRAWINGS. THIS SHALL BE TURNED OVER TO THE OWNER WHEN THE PROJECT IS COMPLETED.
- IF ANY ERRORS, DISCREPANCIES OR OMISSIONS APPEAR ON THESE DRAWINGS, SPECIFICATIONS, OR OTHER CONTRACT DOCUMENTS THE OWNER'S CONTRACTOR SHALL NOTIFY THE OFFICE OF UMARCHITECTURE IN WRITTEN FORM IMMEDIATELY. FAILURE TO GIVE NOTICE WILL CAUSE THE OWNER'S CONTRACTOR TO BE HELD RESPONSIBLE FOR THE RESULTS OF SUCH ERRORS, DISCREPANCIES OR EMISSIONS AN THE COST OF RECTIFYING THE SAME.
- NO MATERIALS SUBSTITUTION WILL BE ALLOWED UNLESS SUBMITTED IN WRITING TO THE ARCHITECT FOR APPROVAL IN WRITING. NOTIFICATION OF INTENT TO MAKE SUBSTITUTION MUST BE SUBMITTED WITHIN 10 WORKING DAYS OF CONTRACT AWARD.
- OWNER'S CONTRACTOR IS REQUIRED TO PROVIDE A LIST OF ALL SUBCONTRACTORS TO BE USED AND SUBMIT TO THE OWNER AND ARCHITECT WITHIN 10 WORKING DAYS OF CONTRACT AWARD.
- OWNER'S CONTRACTOR SHALL VERIFY WITH THE OWNER ALL FIXTURES BY OTHERS AND SHALL BE AVAILABLE TO RECEIVE DELIVERY AND ASSIST IN INSTALLATION OF ALL EQUIPMENT AND FIXTURES PROVIDED BY OWNER.
- OWNER'S CONTRACTOR TO CHECK IN AND VERIFY SHIPMENTS OF OWNERS FURNISHED MATERIALS. THIS INCLUDES OPENING ALL BOXES OF EACH SHIPMENT AND VERIFYING THEIR CONTENTS AGAINST PACKING LISTS AND THE NOTIFYING THE OWNER OF ALL-BACK ORDERS OR SHORTAGES WITHIN 40 HOURS OF RECEIVING SHIPMENT. IF THIS IS NOT DONE THE OWNER'S CONTRACTOR WILL BEAR THE COSTS OF ANY EXPEDITED FREIGHT CHARGES TO MEET CONSTRUCTION SCHEDULE.
- OWNER'S CONTRACTOR SHALL KEEP ALL HANDBOOKS, PAPERWORK, AND KEYS IN A MARKED ENVELOPE. ALL KEYS ARE TO BE TAGGED WITH PROPER LOCATIONS. THIS ENVELOPE SHOULD BE TURNED OVER TO THE OWNER'S PROJECT REPRESENTATIVE WITH THE CERTIFICATE OF OCCUPANCY, LIEN WAIVERS, WARRANTIES, GUARANTEES, AND EQUIPMENT OPERATION MANUALS. INCLUDED WITH THIS INFORMATION IS TO BE A LIST OF ALL SUBCONTRACTORS WITH PHONE NUMBERS.
- THESE DRAWINGS ARE NOT TO BE SCALED. THESE DRAWINGS ARE NOT TO BE ALTERED IN ANY WAY WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT.
- WORK SCHEDULED TO BE SUPPLIED BY OTHERS, BUT INSTALLED UNDER THIS CONTRACT MEANS THAT APPLICABLE ITEMS WILL BE DELIVERED BY OTHERS TO THE CONTRACTOR AT THE JOB SITE. THE SUBSEQUENT POSSESSION, PROTECTION, INSURANCE FOR A COMPLETE INSTALLATION OR THE AFFECTED ITEMS IS THE CONTRACTORS RESPONSIBILITY; REPORT IMMEDIATELY TO THE ARCHITECT ANY DEFECT IN DELIVERED ITEMS.
- ALL WORK UNDER CONTRACT IS TO BE PERFORMED TO A COMPLETE AND FINISHED PRODUCT. THE CONTRACTOR IS DIRECTED THAT ALL PHASES OF THE PROJECT SHALL BE BUILT TO A COMPLETE CONDITION, CLEANED AND THEN WARRANTED FOR TWO YEARS AGAINST ANY DEFECTS OR DEFICIENCIES. IT IS EXPRESSLY UNDERSTOOD THAT ONE CONDITION FOR FINAL PAYMENT TO THE CONTRACTOR UNDER THIS AGREEMENT IS COMPLETENESS OF ALL WORK AS DETERMINED BY THE ARCHITECT.
- PROVIDE PROTECTION BARRICADES AND/OR CANOPIES AS REQUIRED BY OWNER, OR AS NECESSARY FOR SAFETY.
- DURING CONSTRUCTION PROVIDE AND MAINTAIN FIRE EXTINGUISHERS AS REQUIRED BY FIRE DEPARTMENT FIELD INSPECTOR. ALL WORK PERFORMED SHALL COMPLY WITH ALL APPLICABLE LOCAL AND NATIONAL CODES.
- ALL CONSTRUCTION SHALL COMPLY WITH CURRENT ADA (AMERICANS WITH DISABILITY ACT) AND ALL RELATED CODES.

### PROJECT DESCRIPTION:

THIS SEMI-DETACHED RESIDENCE IS A THREE STOREY, 4 BEDROOM SINGLE FAMILY RESIDENCE IT HAS A FIRST FLOOR, SECOND FLOOR AND A THIRD FLOOR.

### SCOPE OF WORK:

THE SCOPE OF WORK INVOLVES NEW CONSTRUCTION. THE SEMI-DETACHED RESIDENCE SHALL HAVE:

- FIRST:**  
LIVING ROOM, DINING ROOM, KITCHEN, POWDER ROOM, COAT CLOSET, STORAGE AND UTILITY ROOM.
- SECOND FLOOR:**  
2 BEDROOMS WITH CLOSET, A FULL BATHROOM, AN ENSUITE BEDROOM, A STACKED WASHER/ DRYER AND LINEN CLOSET.
- THIRD FLOOR:**  
AN ENSUITE MASTER BEDROOM WITH WALK-IN CLOSETS.

THE FIRST FLOOR IS: **864.00 SF**  
THE SECOND FLOOR IS: **807.33 SF**  
THE THIRD FLOOR IS: **817.33 SF**  
TOTAL SQUARE FOOTAGE THE SEMI DETACHED IS: **2488.66 SF**

### SITE #ZONING DATA SUMMARY:

Square 5248, Lot 23:

The purpose of the R-3 zone is to allow for row dwellings, while including areas within which row dwellings are mingled with detached dwellings, semi-detached dwellings, and groups of three or more row dwellings. The R-3 zone is intended to permit attached rowhouses on small lots.

Minimum Required	Provided
Lot Area: 3000 ft²	2000.00 ft² (Reference ZR 1 G, Subtitle C, Chapter 3, C-301.1)
Lot Width: 30 ft	20ft (Reference ZR 1 G, Subtitle C, Chapter 3, C-301.1)
Max Height: 40 ft.	34 ft. (Reference ZR 1 G, Subtitle D, Chapter 3, § 303.1)
No. of Stories: 3	3 Stones
Max % of Occupancy: 40%	43.20% (Reference ZR 1 G, Subtitle D, Chapter 3, Table D, § 304.1)
Min Side Yard: 8 ft.	4 ft (Reference ZR 1 G, Subtitle D, Chapter 3, § 307.2)
Min Rear Yard: 20 ft.	21 ft (Reference ZR 1 G, Subtitle D, Chapter 3, § 306.2)
Min Front Yard:	16 ft (As per Existing Adjacent Building Setback)
Pervious Surface: 30%	47.92% (Reference ZR 1 G, Subtitle D, Chapter 3, § 308.3)

### CODE INFORMATION:

BUILDING CODE : ICEC 2012  
STRUCTURAL CODE : ICC 2006  
PLUMBING CODE : ICC 2012  
MECHANICAL CODE : ICC 2012  
ELECTRICAL CODE : NEC 2005  
FIRE/LIFE SAFETY CODE : IFC 2006  
ENERGY CODE : IECC 2012

### PROFESSIONAL INFORMATION:

ARCHITECT:  
UMAR, SULEIMAN S.,RA  
CEO/MANAGING PARTNER  
UMAR ARCHITECTURE  
1917 Benning Road, NE  
Washington, DC 20002-4723  
Phone: +1 .202..460..0668  
slay44@cloud.com

### LOCATION MAP:



### DRAWING INDEX:

- CS.0 COVER SHEET
- CS.1 COVER SHEET

- .SC.5 EXISTING SITE PLAN
- .SC.6 SITE PLAN

### ARCHITECTURE:

- A.1 FLOOR PLANS
- A.2 FLOOR PLANS
- A.3 EAST & WEST ELEVATION
- A.4 SOUTH ELEVATION
- A.5 NORTH ELEVATION
- A.6 EAST ELEVATION PERSPECTIVE
- A.7 NORTH EAST PERSPECTIVE
- A.8 NORTH ELEVATION PERSPECTIVE
- A.9 NORTH WEST PERSPECTIVE
- A.10 WEST ELEVATION PERSPECTIVE

BZA DESIGN PACKAGE - NOVEMBER, 2021



CLIENT:  
PRIVATE

PROJECT:  
PRIVATE RESIDENCE

LOCATION:  
212 57TH STREET, NE,  
WASHINGTON, DC 20019  
SQUARE 5248, LOT 23

DESIGNED:  
DANIEL I.

DRAWN:  
DANIEL I.

CHECKED:  
UMARCHITECTURE

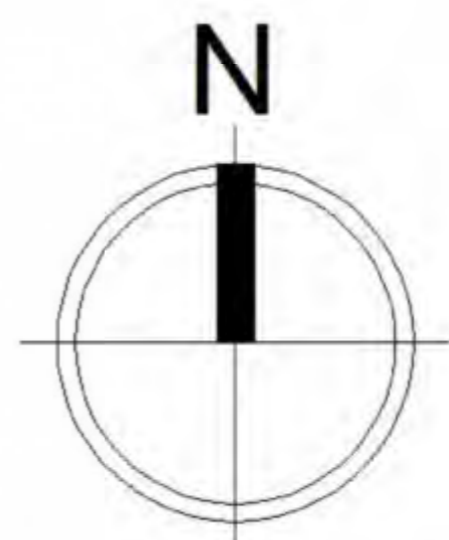
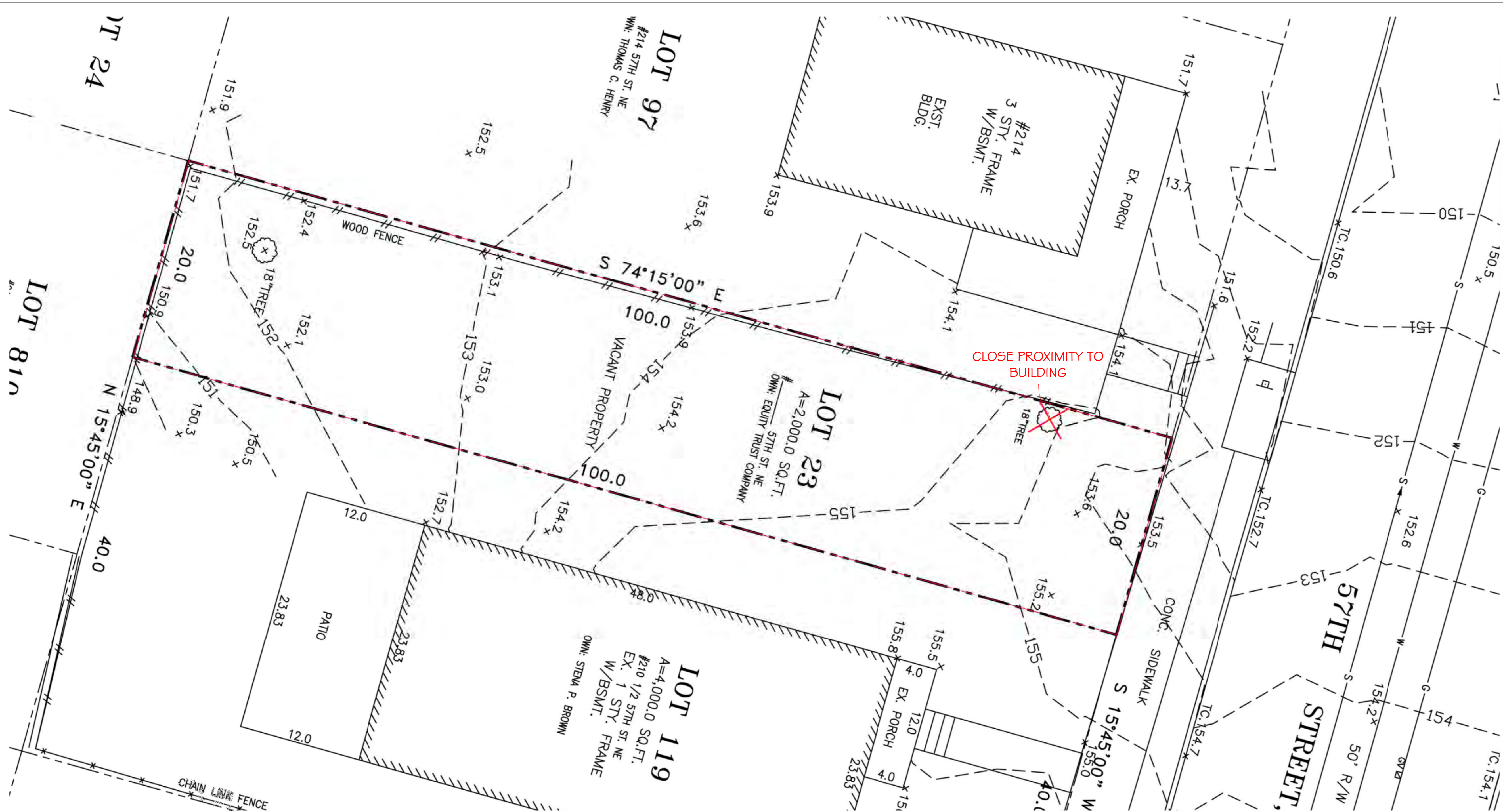
DATE:  
NOVEMBER 2021

DRAWING TITLE:  
COVER SHEET

SCALE:

CS 1

I AM RESPONSIBLE FOR DETERMINING THAT THE ARCHITECTURAL DESIGNS INCLUDED IN THIS APPLICATION ARE IN COMPLIANCE WITH ALL LAWS AND REGULATIONS OF THE DISTRICT OF COLUMBIA. I HAVE PERSONALLY PREPARED, OR DIRECTLY SUPERVISED THE DEVELOPMENT OF, THE ARCHITECTURAL DESIGNS INCLUDED IN THIS APPLICATION.



**LEGEND**

	STABILIZED CONSTRUCTION ENTRANCE
	LIMIT OF DISTURBANCE:
	SILTY FENCE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	WATER SERVICE LINE
	FIRE SERVICE LINE
	SEWER LINE
	STORM SEWER LINE
	GAS LINE
	ELECTRIC LINE
	CHAINLINK FENCE
	WOOD FENCE
	IRON RAIL FENCE
	GAS METER
	FIRE HYDRANT
	SIGN
	SPOT ELEVATION
	LIGHT POLE
	WATER VALVE
	WATER MANHOLE
	SEWER MANHOLE
	MANHOLE
	ELECTRIC MANHOLE
	TRAVERSE POINT

**D.C. BOUNDARY NOTE**

BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM THE DISTRICT OF COLUMBIA SURVEYOR'S OFFICE. PROPERTY LINE DIMENSIONS FROM OFFICIAL RECORDS MAY NOT NECESSARILY AGREE WITH ACTUAL MEASURED DIMENSIONS. A "SURVEY TO MARK" PREPARED BY A DISTRICT OF COLUMBIA REGISTERED LAND SURVEYOR AND VERIFIED BY THE OFFICE OF THE SURVEYOR MAY BE REQUIRED TO ESTABLISH THE FINAL BOUNDARY LOCATION FOR THIS PROPERTY.

**EXISTING SITE PLAN**  
3/16" / 1'-0"

# SITE LOCATION MAP

212 57TH STREET, NE, WASHINGTON, DC 20019  
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SATELLITE VIEW OF SITE



VIEW FROM 57TH STREET



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EXISTING SITE PLAN

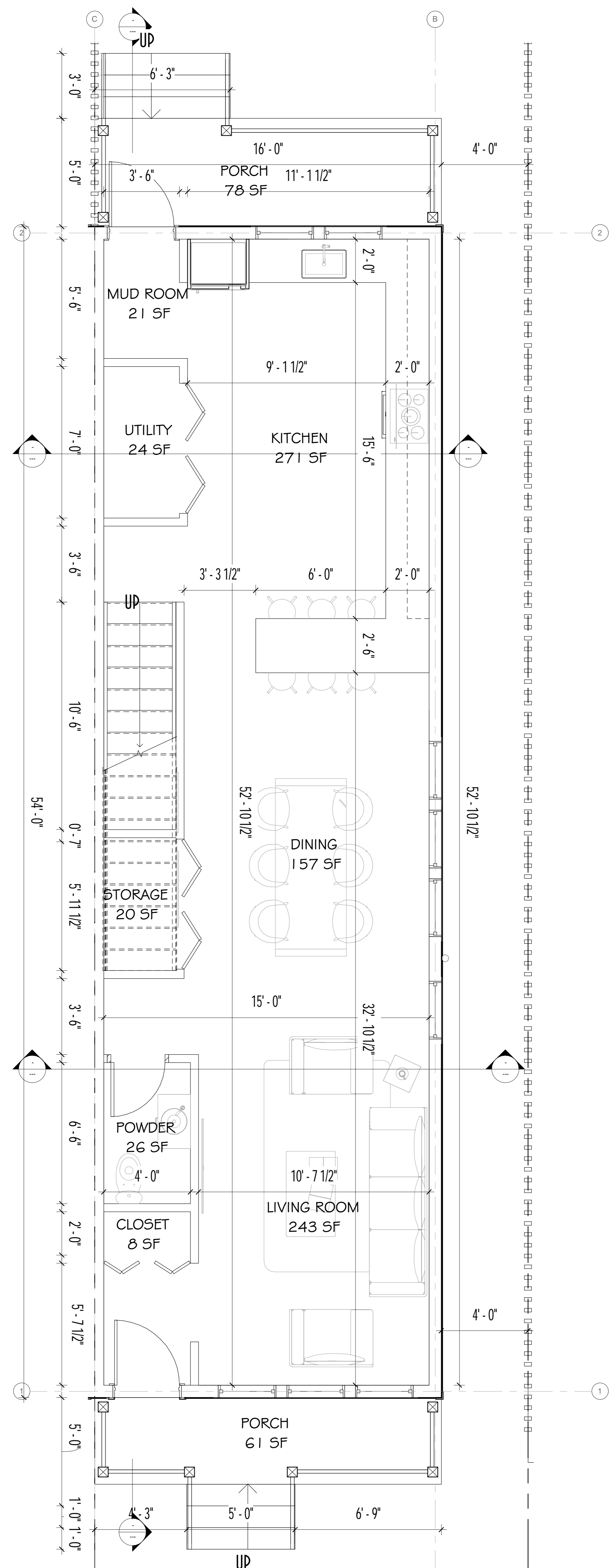
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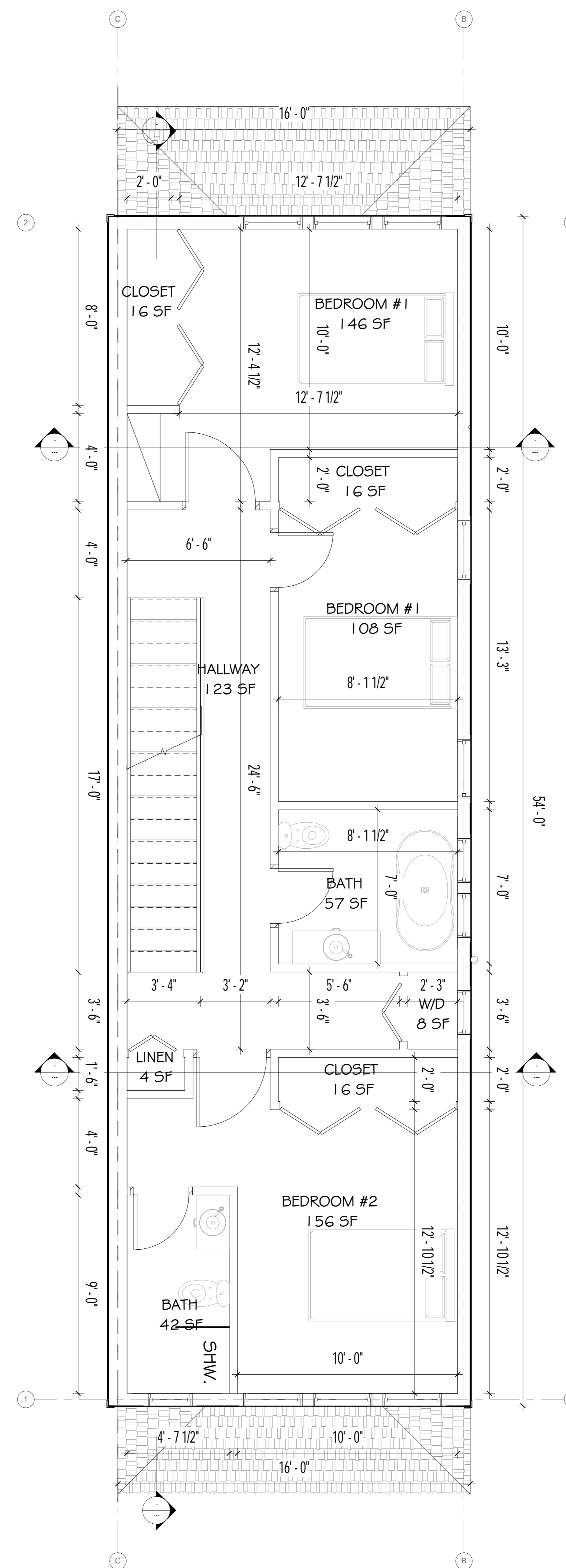
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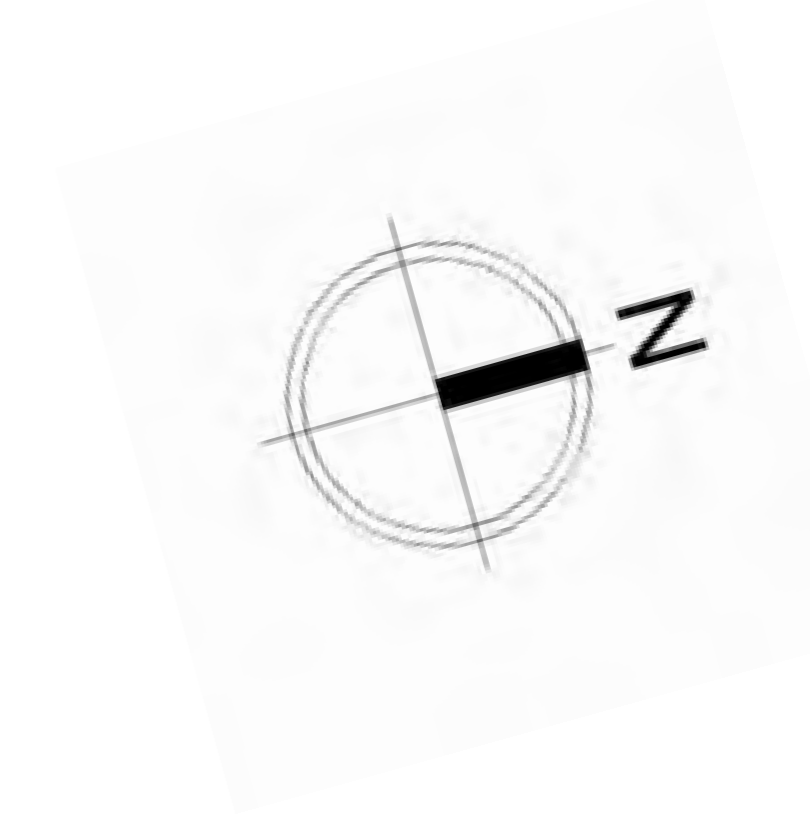


**FIRST FLOOR PLAN**  
3/8" / 1'-0"



**SECOND FLOOR PLAN**  
3/8" / 1'-0"

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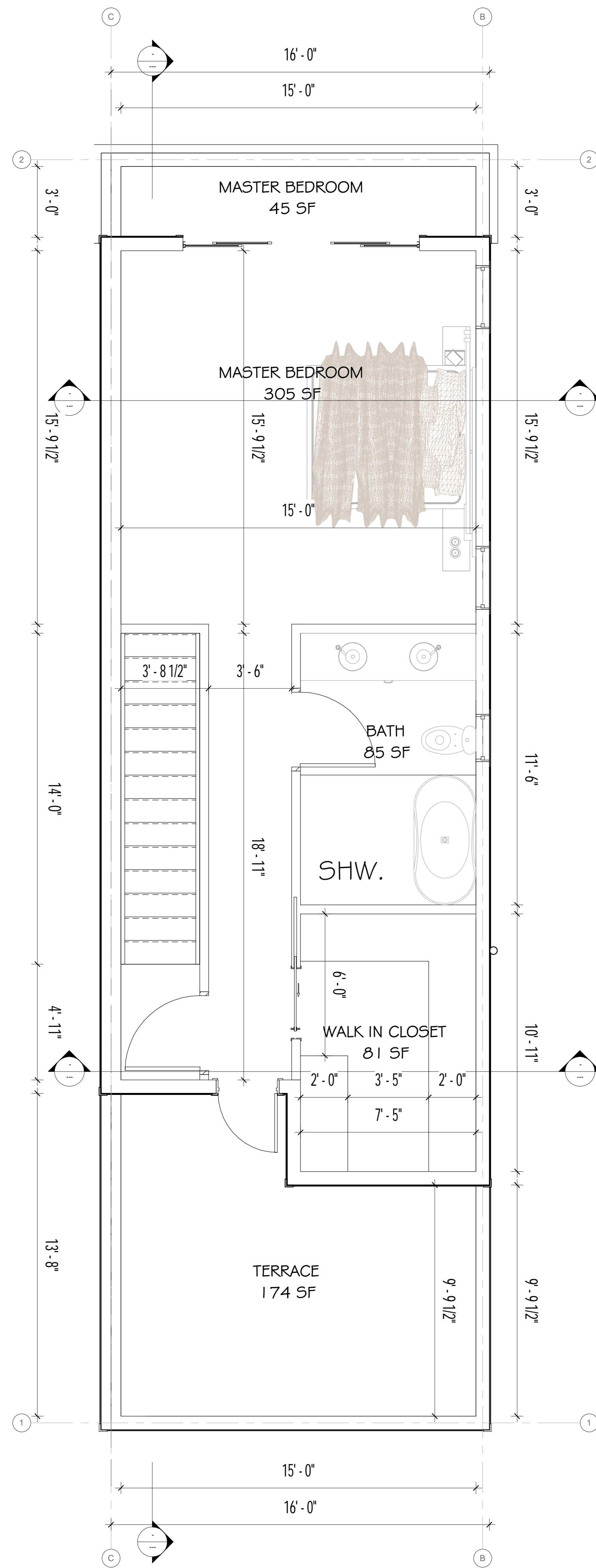
DATE:  
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DRAWING TITLE:  
FLOOR PLANS

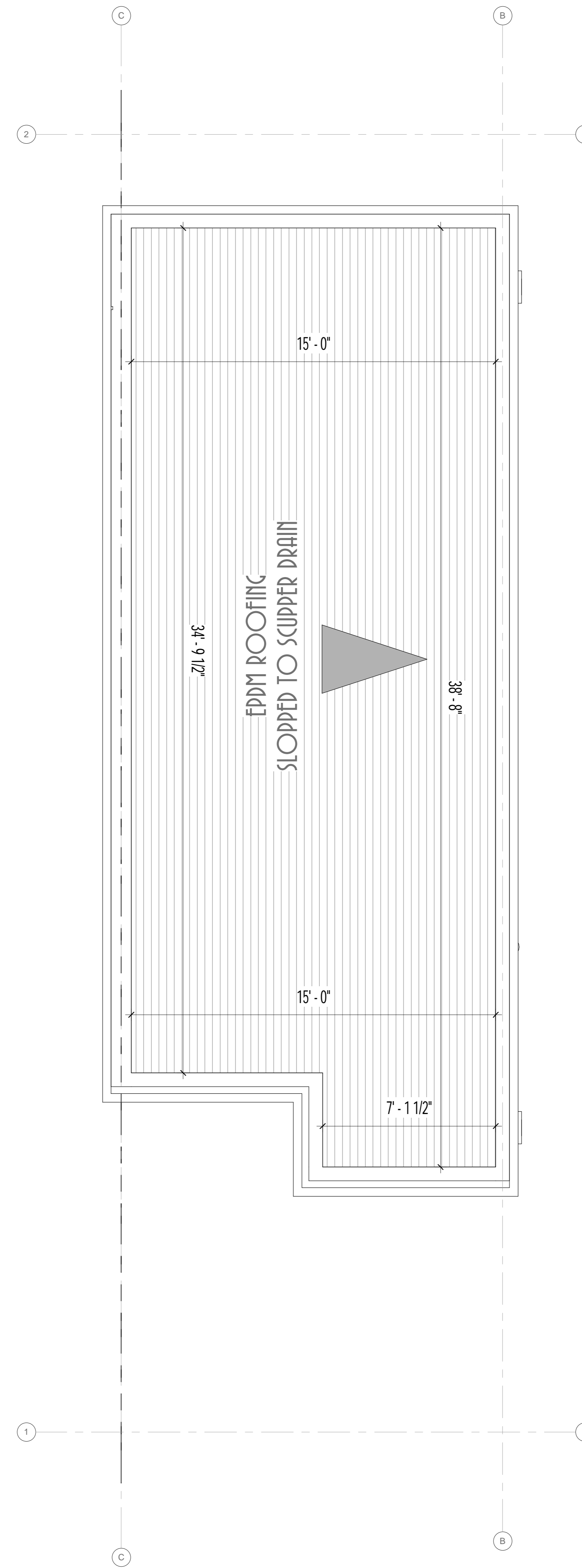
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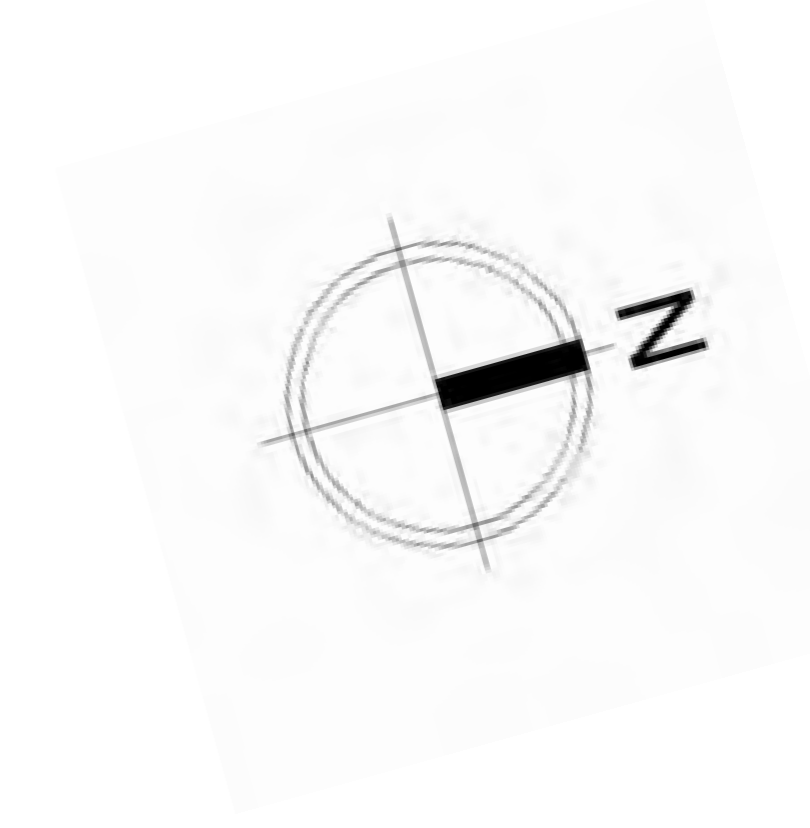
**A.I**



**3**  
**THIRD FLOOR PLAN**  
 3/8" / 1'-0"



**1**  
**ROOF LEVEL**  
 3/8" / 1'-0"



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DRAWING TITLE:  
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SCALE: 3/8" / 1'-0"



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**A.2**











① EAST ELEVATION PERSPECTIVE

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NOVEMBER 2021

DRAWING TITLE:  
EAST ELEVATION  
PERSPECTIVE

SCALE:

A.6



① NORTH EAST PERSPECTIVE

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DRAWING TITLE:  
NORTH EAST  
PERSPECTIVE  
SCALE:

**A.7**



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DRAWING TITLE:  
 NORTH ELEVATION  
 PERSPECTIVE  
 SCALE:

**A.8**

① NORTH ELEVATION PERSPECTIVE

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① NORTH WEST PERSPECTIVE

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DRAWING TITLE:  
NORTH WEST  
PERSPECTIVE  
SCALE:

**A.9**



1 WEST ELEVATION PERSPECTIVE

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 WEST ELEVATION  
 PERSPECTIVE  
 SCALE:

**A.I.O**