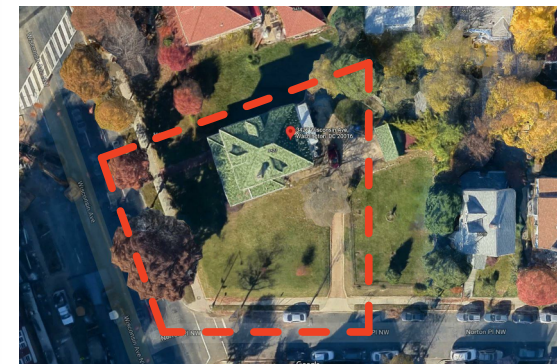




Residential Buildings								
	Floor Area Ratio (max.) <sup>1</sup>	Height (ft.) <sup>2</sup>	Stories	Lot Occupancy	Rear Yard (ft.) <sup>3</sup>	Side Yard (ft.) <sup>4</sup>	Green Area Ratio (min.)	Zoning Regulation Reference
RA-1	0.90	40	3	40%	20	One 8 ft. side setback shall be provided for all structures 8 for a detached or semi-detached dwelling	0.40	Subtitle F, Chapter 3



# 10 SQUARE

## 10 Square Development

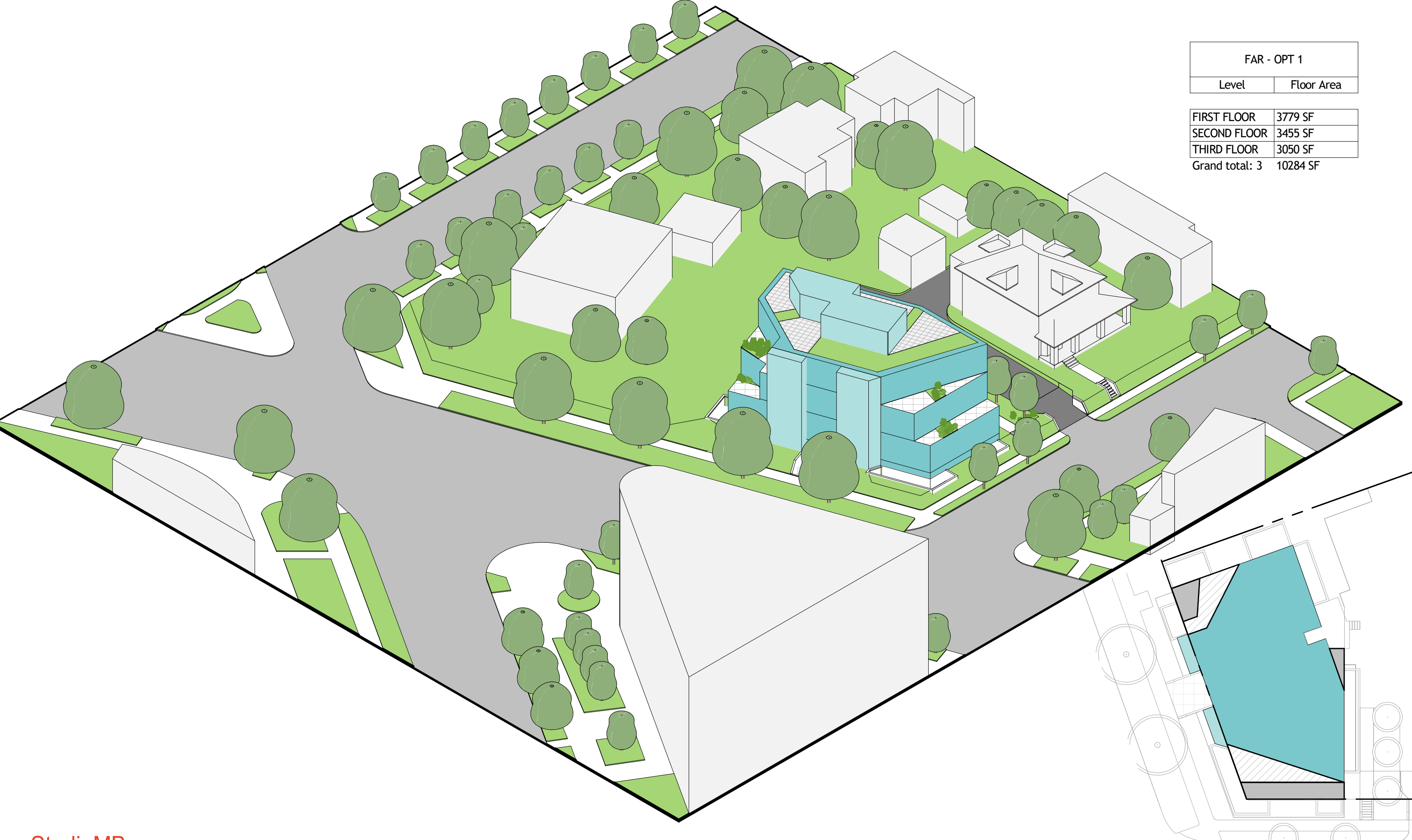
DRAFT

OCTOBER 22 2021

10 Square Development  
3427 Wisconsin Ave  
Washington, DC 20016

STUDIO MB

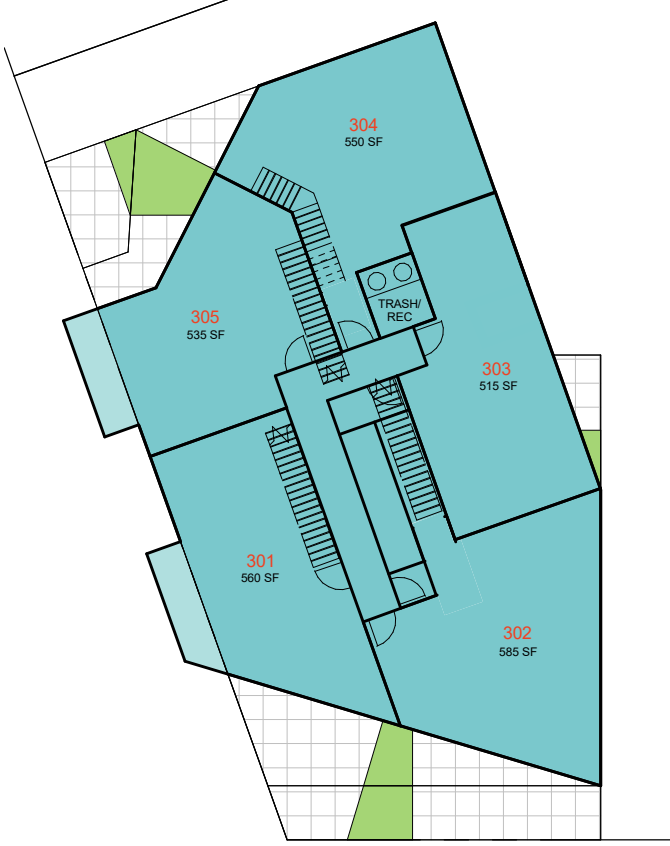
Board of Zoning Adjustment  
District of Columbia  
CASE NO.20644  
EXHIBIT NO.6



FAR - OPT 1	
Level	Floor Area
FIRST FLOOR	3779 SF
SECOND FLOOR	3455 SF
THIRD FLOOR	3050 SF
Grand total: 3	10284 SF



**5 | ROOF**  
3/64" = 1'-0"



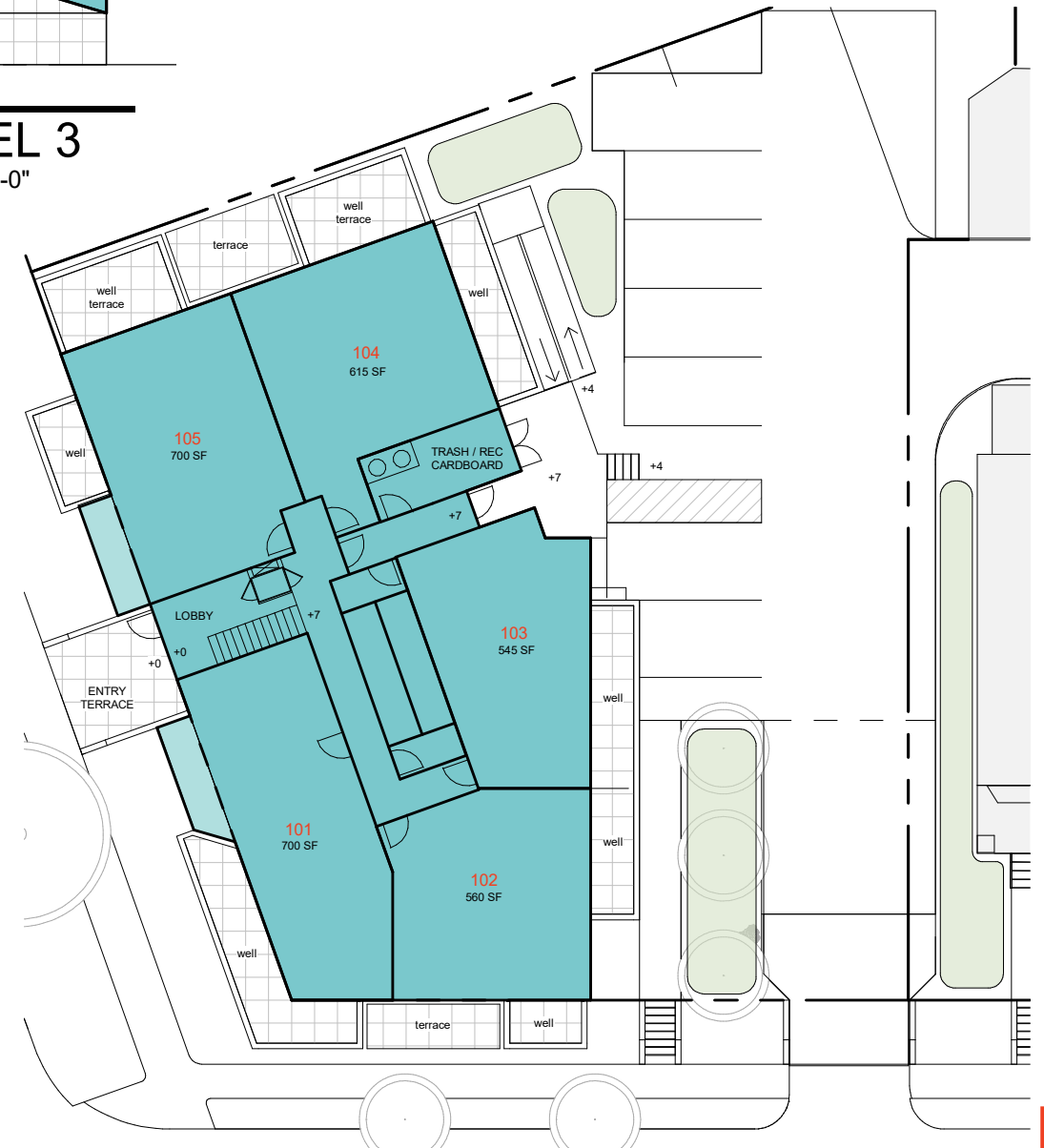
**4 | LEVEL 3**  
3/64" = 1'-0"



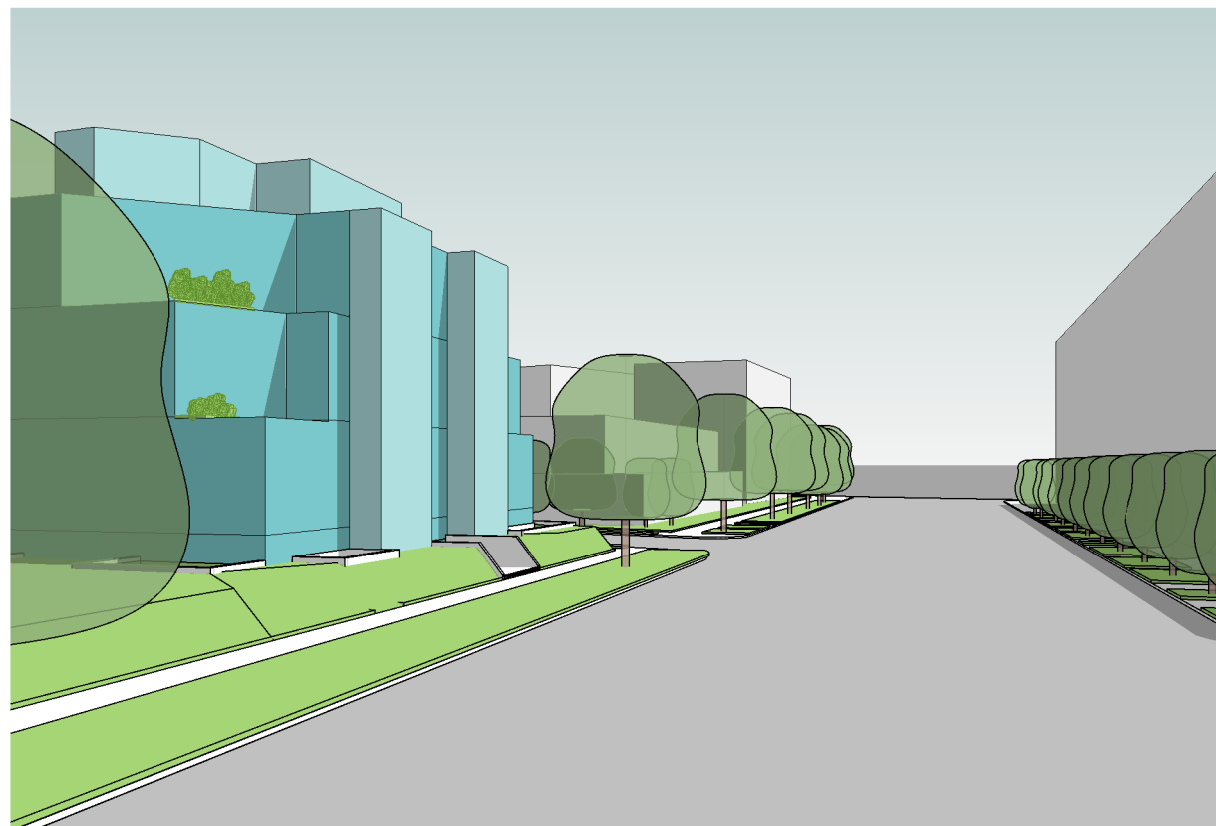
**3 | LEVEL 2**  
3/64" = 1'-0"



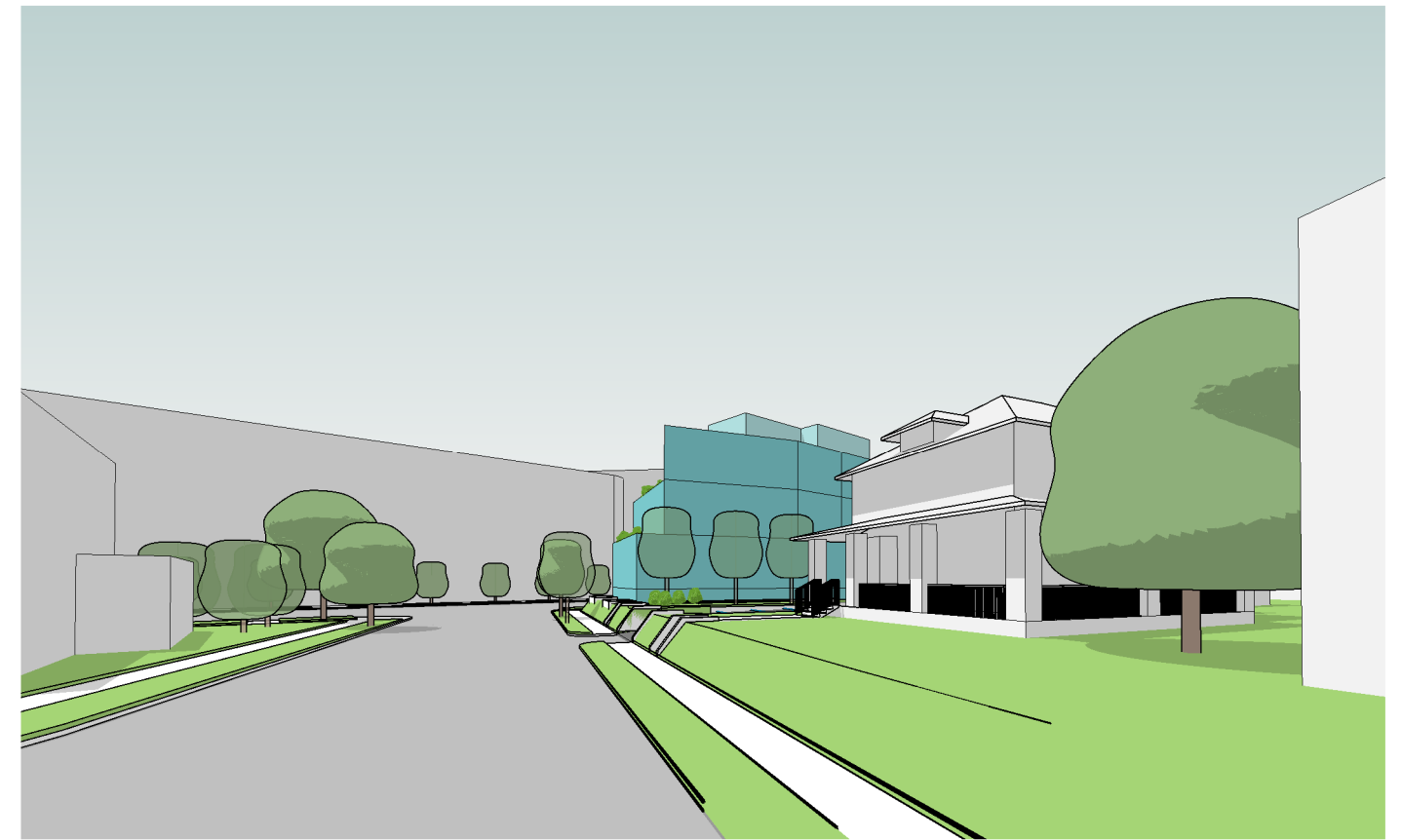
**2 | CELLAR**  
3/64" = 1'-0"



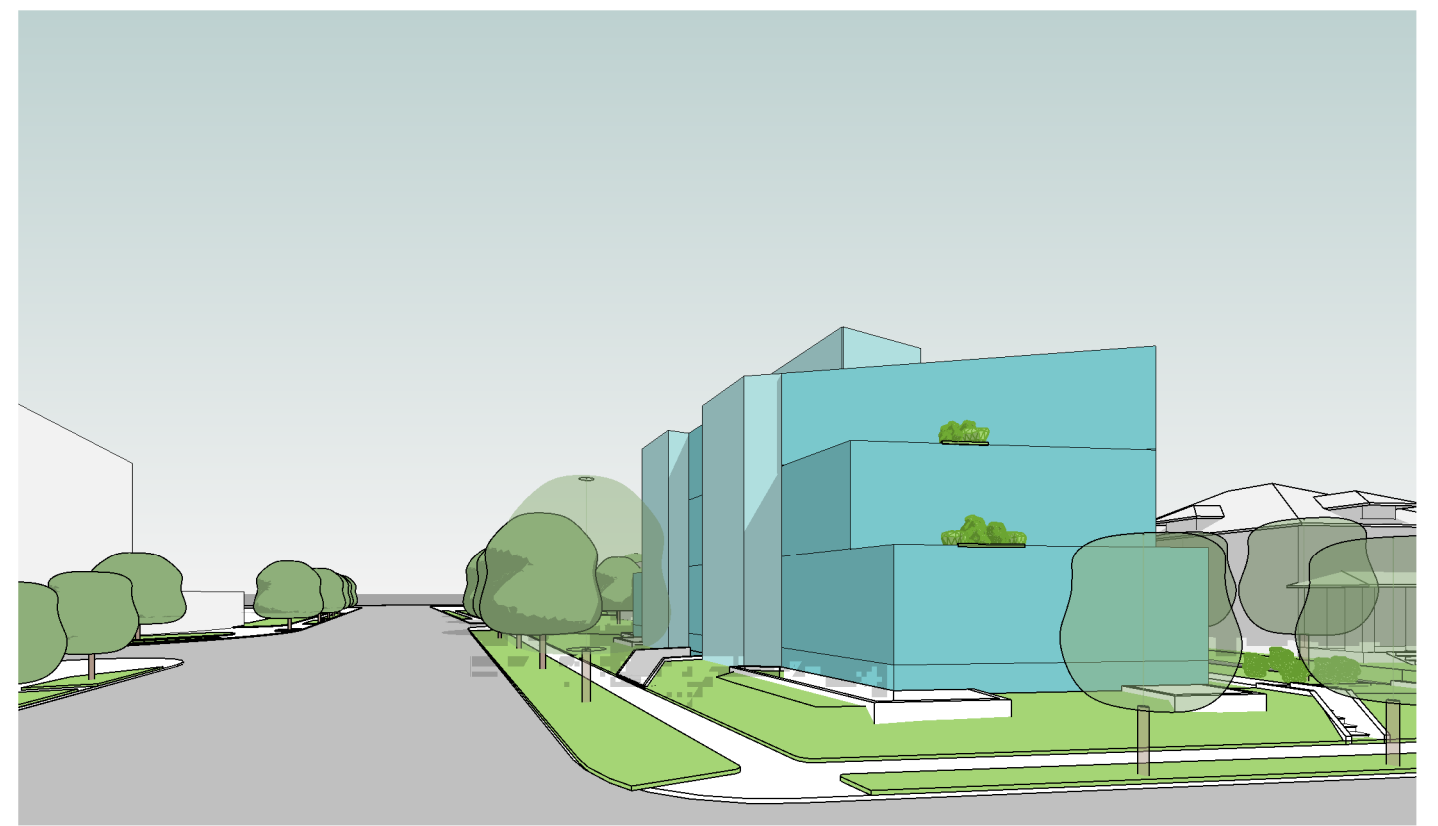
**1 | LEVEL 1**  
3/64" = 1'-0"



2 | Wisconsin Looking South



3 | Norton Looking West



1 | Wisconsin Looking North

**GENERAL NOTES**

SEE BUILDING PERMIT SITE, DC WATER, GRADING, AND STORMWATER MANAGEMENT RELATED NOTES ON SHEETS CIV001 AND CIV002.

**LEGEND**

Table with 2 columns: PROPOSED FEATURES and symbols. Includes items like PROP. DOM/FIRE, PROP. WATER CONNECTION, PROP. SAN., PROP. SEWER CONNECTION, etc.

**PUBLIC SPACE SCOPE**

**WISCONSIN AVENUE, NW**

FEATURES TO BE REMOVED:

- EXISTING LEAD WALK AND STEPS
- EXISTING CURB & GUTTER
- EXISTING SIDEWALK
- EXISTING STREET TREES

FEATURES TO BE CONSTRUCTED:

- NEW BAY WINDOW BUILDING PROJECTIONS
- NEW AREAWAY PROJECTIONS
- LEADWALK CONNECTION TO EXISTING SIDEWALK WITH WALLS
- NEW UTILITY CONNECTIONS
- ROLL CURB AT BACK OF SIDEWALK IN PLACE OF REMOVED STEPS
- MINOR GRADING AND LANDSCAPING

**NORTON PLACE, NW**

FEATURES TO BE REMOVED:

- EXISTING DRIVEWAY AND APRON (TO BE REPLACED)
- EXISTING CURB & GUTTER
- EXISTING SIDEWALK
- EXISTING STREET TREES

FEATURES TO BE CONSTRUCTED:

- NEW CURB CUT AND DRIVEWAY
- NEW AREAWAY PROJECTIONS
- NEW PORCH PROJECTIONS
- NEW UTILITY CONNECTIONS
- LEAD WALK CONNECTIONS WITH STEPS
- MINOR GRADING AND LANDSCAPING

**PROJECTION ANALYSIS**

**WISCONSIN AVENUE, NW**

STREET WIDTH: 120'-WIDE

BUILDING LENGTH AT FRONTAGE: 79.8'

BAY WINDOW PROJECTION DISTANCE = 4.0 FEET  
ALLOWABLE BAY WINDOW PROJECTION DISTANCE = 4.0 FEET  
(PER 12A DCMR 3202.10.3.3.2)

BAY WINDOW PROJECTION WIDTH = 15.7 FEET (SINGLE)  
BAY WINDOW PROJECTION WIDTH = 29.9 FEET (AGGREGATE)  
ALLOWABLE BAY WINDOW PROJECTION WIDTH = 22.3 FEET (SINGLE)  
ALLOWABLE BAY WINDOW PROJECTION WIDTH = 40.9 FEET (AGGREGATE)  
(PER 12A DCMR 3202.10.3.1)

AREAWAY PROJECTION DISTANCE = 5.5 FEET  
ALLOWABLE AREAWAY PROJECTION DISTANCE = 6.5 FEET  
(PER 12A DCMR 3202.11.4)

PROVIDED MINIMUM CLEARANCE TO CURB = 10.1 FEET  
ALLOWABLE MINIMUM CLEARANCE TO CURB = 10.0 FEET  
(PER 12A DCMR 3202.7.1.1.4)

**NORTON PLACE, NW**

STREET WIDTH: 60'-WIDE

BUILDING LENGTH AT FRONTAGE: 34.8'

AREAWAY PROJECTION DISTANCE = 5.0 FEET  
ALLOWABLE AREAWAY PROJECTION DISTANCE = 6.0 FEET  
(PER 12A DCMR 3202.9.1.3.3)

PORCH PROJECTION DISTANCE = 5.0 FEET  
ALLOWABLE PORCH PROJECTION DISTANCE = 5.0 FEET  
(PER 12A DCMR 3202.11.2.3.3)

PROVIDED MINIMUM CLEARANCE TO CURB = 10.1 FEET  
ALLOWABLE MINIMUM CLEARANCE TO CURB = 10.0 FEET  
(PER 12A DCMR 3202.7.1.1.4)

DC WATER WET UTILITY MATERIAL SCHEDULE:  
WATER CONNECTIONS (2" AND SMALLER): TYPE K COPPER  
WATER CONNECTIONS (3" AND LARGER): CLASS 56 DUCTILE IRON W/ MECH. JOINTS  
SANITARY/STORM SEWER CONNECTIONS: SCHEDULE 40 PVC



VICINITY MAP  
ADC MAP 5527, GRID J-1  
SCALE: 1" = 2000'

CAS ENGINEERING-DC, LLC logo and contact information: 4836 MacArthur Boulevard, NW, Washington, DC 20007.

OWNER/CLIENT  
105LAURE DEVELOPMENT  
ATTN: BECK VISAT  
1701 RHODE ISLAND AVENUE, NW  
WASHINGTON, DC 20008

ARCHITECT  
STUDIO MB  
1801 CONNECTICUT AVENUE, NW, SUITE 300  
WASHINGTON, DC 20009

LOTS 0008 & 0009 (PROP. LOTS A & B)  
SQUARE 1913  
CLEVELAND PARK  
3427 WISCONSIN AVENUE, NW & (3615) NORTON STREET, NW  
N.W. WASHINGTON, DISTRICT OF COLUMBIA

**TREE AND ROOT PROTECTION NOTES**

THE CONTRACTOR MUST ADHERE TO THE FOLLOWING TREE PROTECTION CONDITIONS. ALL PROTECTION MEASURES AND EXCAVATION OPERATIONS SHALL COMPLY WITH THE 2013 DISTRICT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND STRUCTURES (GOLD BOOK) - SECTIONS 207.03, 608.07 AND 608.08 AND DDOT STANDARD DRAWINGS 608.10, 608.11, AND 608.12.

- 1. TREES WITHIN OR DIRECTLY ADJACENT TO THE LIMITS OF WORK MUST BE PROTECTED WITH 6 FT. TALL CHAIN LINK FENCE TO THE EXTENT OF THE TREE BOX (MINIMUM 4 FT. X 9 FT.) OR TO THE ROOT ZONE IN A PLANTING STRIP. THE ROOT ZONE IS MEASURED FROM THE NEAR SIDE OF THE TRUNK TO THE DISTANCE THAT EQUALS THE TREE'S DIAMETER (MEASURED AT 4.5' ABOVE GRADE) X 1 FT. (PREFERRED DISTANCE 1.5 FEET).
- 2. NONE OF THE FOLLOWING SHALL OCCUR WITHIN THE ROOT ZONE OF A TREE: ALTERATION OR DISTURBANCE TO EXISTING GRADE; STAGING OR STORAGE OF CONSTRUCTION MATERIALS, EQUIPMENT, SOIL, OR DEBRIS; DISPOSAL OF ANY LIQUIDS E.G. CONCRETE, GAS, OIL, PAINT, AND BLACKTOP; AND TRENCHING.
- 3. INSTALL ONLY TRENCHLESS SILT/SUPER SILT FENCE METHODS WITHIN THE ROOT ZONE OF A TREE. TRENCHLESS METHODS SUCH AS FILTER LOGS, SILT SOCKS, STRAW BALES, OR AN APPROVED EQUIVALENT SHALL BE USED.
- 4. NO HEAVY EQUIPMENT SHALL BE USED TO EXCAVATE WITHIN THE ROOT ZONE. EXCAVATIONS SHALL PROCEED WITH CARE BY USE OF HAND TOOLS OR EQUIPMENT THAT WILL NOT CAUSE INJURY TO TREE TRUNKS, BRANCHES, AND ROOTS.
- 5. NO ROOTS GREATER THAN TWO (2) INCHES IN DIAMETER SHALL BE CUT WITHOUT AN ARBORIST'S PERMISSION. EXPOSED ROOTS 2 INCHES AND LARGER IN DIAMETER SHALL BE WRAPPED IN BIURAP OR OTHER APPROVED MATERIAL AND KEPT MOIST AT ALL TIMES.
- 6. IF FOR ANY REASON THE SCOPE OF THE PROJECT REQUIRES WORK TO BE PERFORMED WITHIN THE FENCED PROTECTION ZONE, THE PERMIT HOLDER MUST CALL THE DISTRICT DEPARTMENT OF TRANSPORTATION'S URBAN FORESTRY DIVISION (UFD) AT 202-671-5133 OR 202-671-1490 TO RECEIVE CLEARANCE TO CONTINUE THE CONFLICTING WORK.
- 7. IF A TREE REQUIRES REMOVAL, APPLICANT MUST APPLY FOR THE PROPER PERMIT (CONSTRUCTION OR SPECIAL TREE) FOR ITS REMOVAL AND COMPENSATE AS PER CURRENT LAWS/REGULATIONS. PLEASE CONTACT DDOT UFD AT 202-671-5133 OR 202-671-1490 FOR QUESTIONS REGARDING PERMITTING REQUIREMENTS.

**UTILITY INFORMATION**

EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE FIELD VERIFIED. UTILITY LOCATIONS ARE BASED UPON AVAILABLE RECORDS AND ARE SHOWN TO THE BEST OF OUR ABILITY.

MISS UTILITY  
FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-257-7777, OR LOG ON TO WWW.MISSUTILITY.NET/710 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL JURISDICTIONAL REQUIREMENTS.

A SEPARATE DDOT TREE REMOVAL PERMIT IS REQUIRED FOR PUBLIC SPACE TREES AND FOR TREES GREATER THAN 44" CBH (14" DBH).

PUBLIC SPACE RESTORATION TO BE DONE AS NECESSARY PER DDOT PERMIT OR APPLICABLE DETAILS.

CONTRACTOR TO COORDINATE ABANDONMENT OF ALL EXISTING UTILITIES AS NECESSARY.

CONTRACTOR TO PROTECT TREES (BRANCHES, TRUNK, ROOTS) ON NEIGHBORING LOTS THAT OVERLAP THE L.O.D. AND HERITAGE TREES ON SITE. COORDINATE WITH DDOT UFA HARD 3 ARBORIST AS APPLICABLE. CONTRACTOR TO USE A TRENCHLESS SILT FENCE METHOD AND TO HORIZONTALLY BORE OR AIR SPADE EXCAVATE FOR UTILITIES WITHIN THE CANOPY OF ANY TREE TO BE PRESERVED (INCLUDING PROTECTING TREES ON ADJACENT PROPERTIES). COORDINATE WITH DDOT HARD 3 ARBORIST AS APPLICABLE. THE DDOT HARD 3 LEAD ARBORIST IS EVAN ANDERSON, evan.anderson@dc.gov; (202) 497-3022.

TOP, INVERT, PROFILE, AND SPOT ELEVATIONS HAVE BEEN SHORTENED TO DROP THE LEADING HUNDRED DENOTATION FOR SIMPLICITY.

FOR MORE INFORMATION, SEE ADDITIONAL PROFILES, NOTES, COMPUTATIONS, AND DETAILS ON CIV200-SERIES SHEETS.

GAS CONNECTIONS AND METERS TO BE INSTALLED BY WASHINGTON GAS. SUBJECT TO FIELD MODIFICATION.

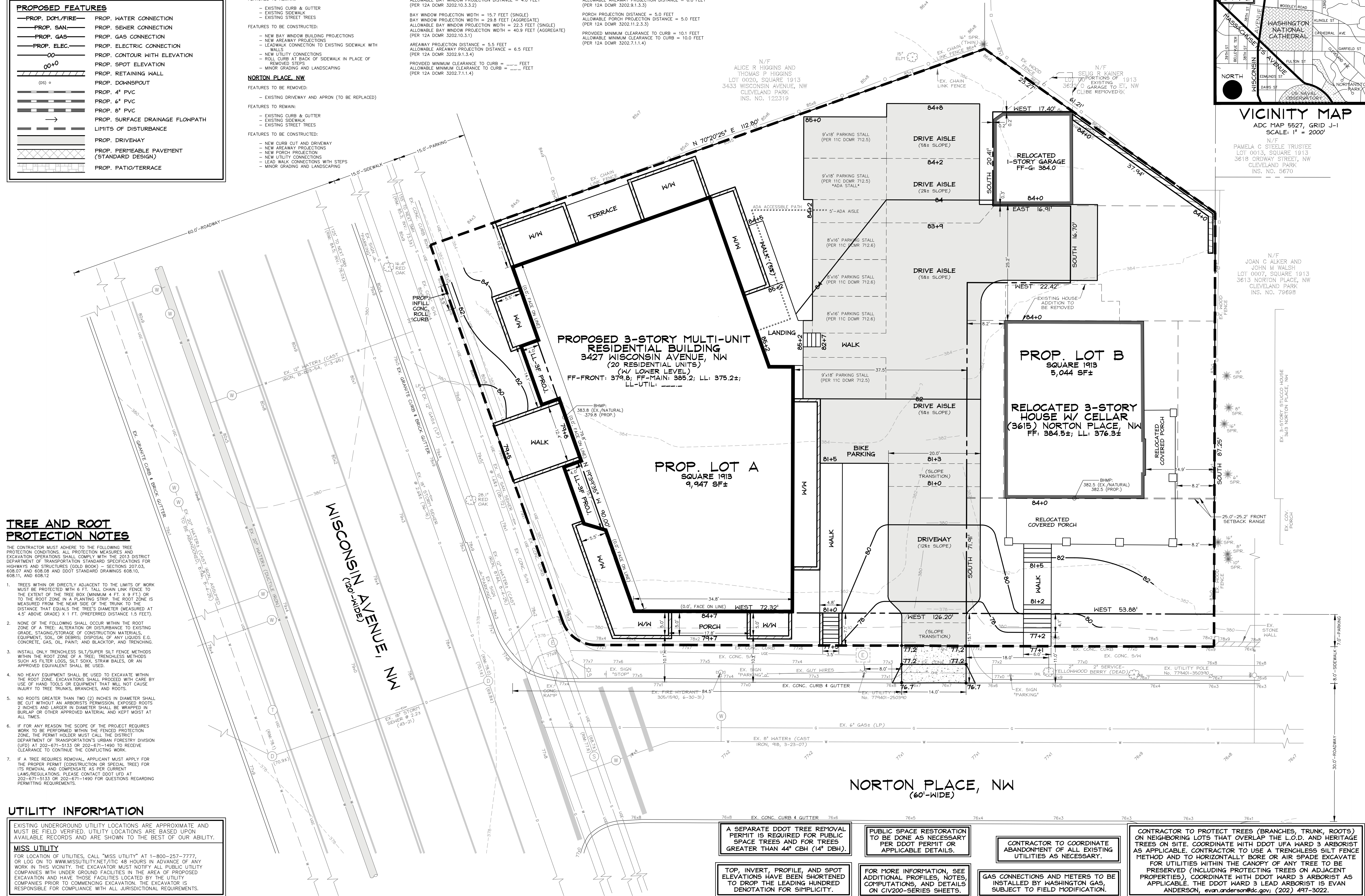


Table with columns for REVISION, DATE, and SCALE. Includes project information: CAS PROJECT 21-688-DC, DATE 10/20/21, DRAWN BY MSL, CHECKED BY DCL, APPROVAL BY DCL, SCALE 1"=10', and SHEET TITLE BUILDING PERMIT SITE, DC WATER, GRADING, AND STORMWATER MANAGEMENT PLAN.