

# 1899 PENNSYLVANIA AVENUE PENTHOUSE ADDITION JUNE, 2021

# BUILDING HISTORY

## SITE ANALYSIS



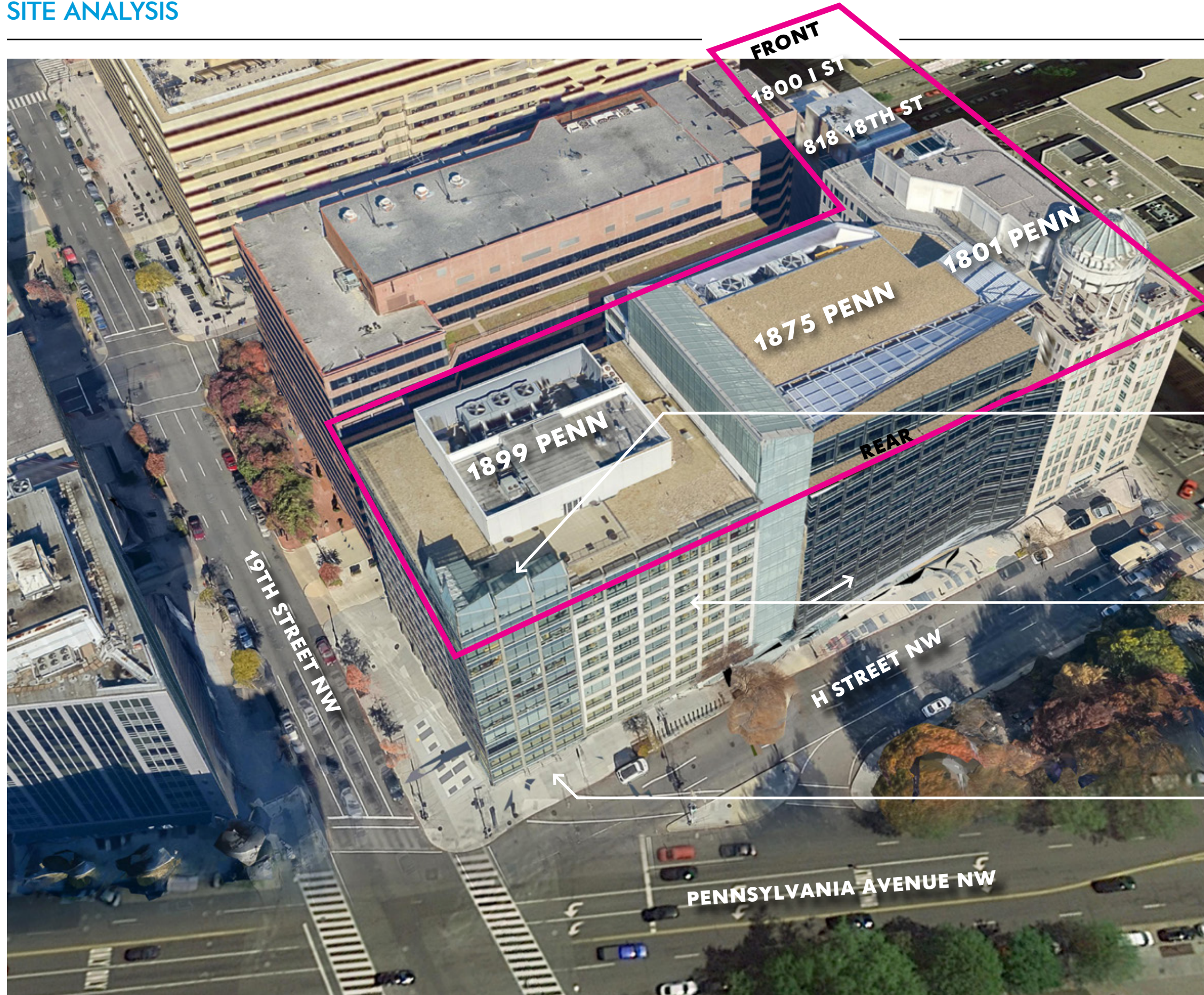
Commerce Building / 1899 Pennsylvania Ave  
Pre 2002 renovation



Commerce Building, 1831 H Street NW  
~1920s

1899 Pennsylvania Ave  
Main structure of the 11 story building is from 1914/1915  
Existing condition  
Renovated in 2002

# RECORD LOT SITE ANALYSIS



RECORD LOT 62

OPEN DECK ARCHITECTURAL  
EMBELLISHMENT AT ROOFTOP

FLOORS DO NOT ALIGN WITH  
REMAINDER OF BLOCK

1899 PENN ADDRESS DOES NOT  
MAXIMIZE HEIGHT (MEASURED  
FROM EYE STREET

H STREET NW ELEVATION ~5'  
BELOW GROUND LEVEL

aerial looking NE

# EXISTING BUILDING AT THE STREET PHOTOS



EXISTING BUILDING  
ALLEY AND NORTH ELEVATION  
LOOKING WEST TOWARD 19TH STREET



EXISTING BUILDING  
19TH STREET NW  
LOOKING SOUTH



EXISTING BUILDING  
PENNSYLVANIA AVENUE / H STREET NW  
LOOKING EAST

# EXISTING PENTHOUSE PHOTOS



EXISTING PENTHOUSE  
WEST ELEVATION



EXISTING PENTHOUSE  
SOUTH ELEVATION WITH EXISTING EMELLISHMENT (RIGHT SIDE OF IMAGE)  
(1875 PENNSYLVANIA AVENUE NW BEYOND)

# EXISTING PENTHOUSE PHOTOS



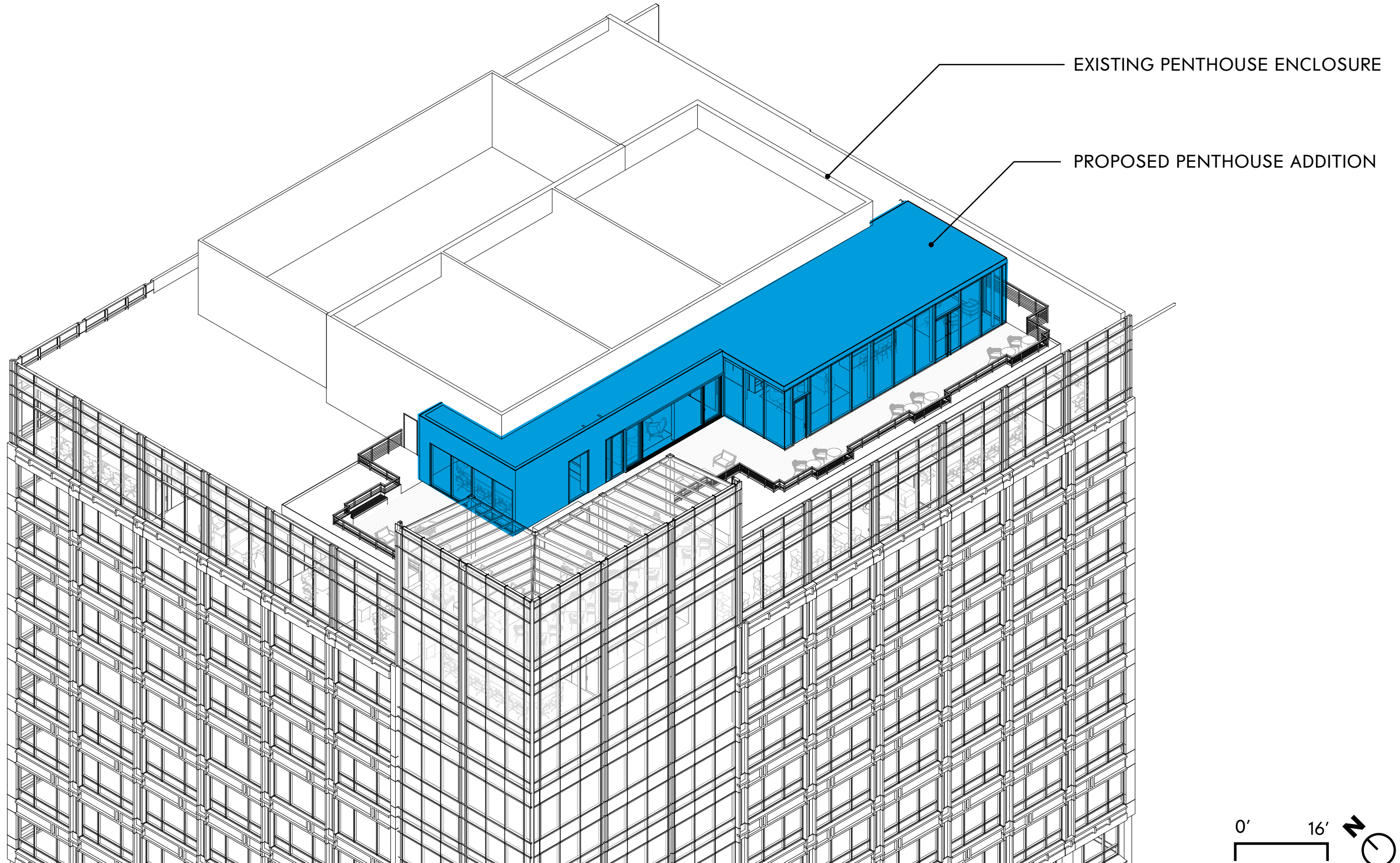
EXISTING PENTHOUSE  
ARCHITECTURAL EMBELLISHMENT  
AT PENNSYLVANIA AVENUE AND 19TH STREET NW



EXISTING PENTHOUSE  
SOUTHEAST CORNER LOOKING NORTHWEST

# PENTHOUSE

## PROPOSED ADDITION CONCEPT AXON



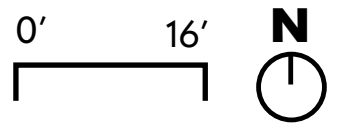
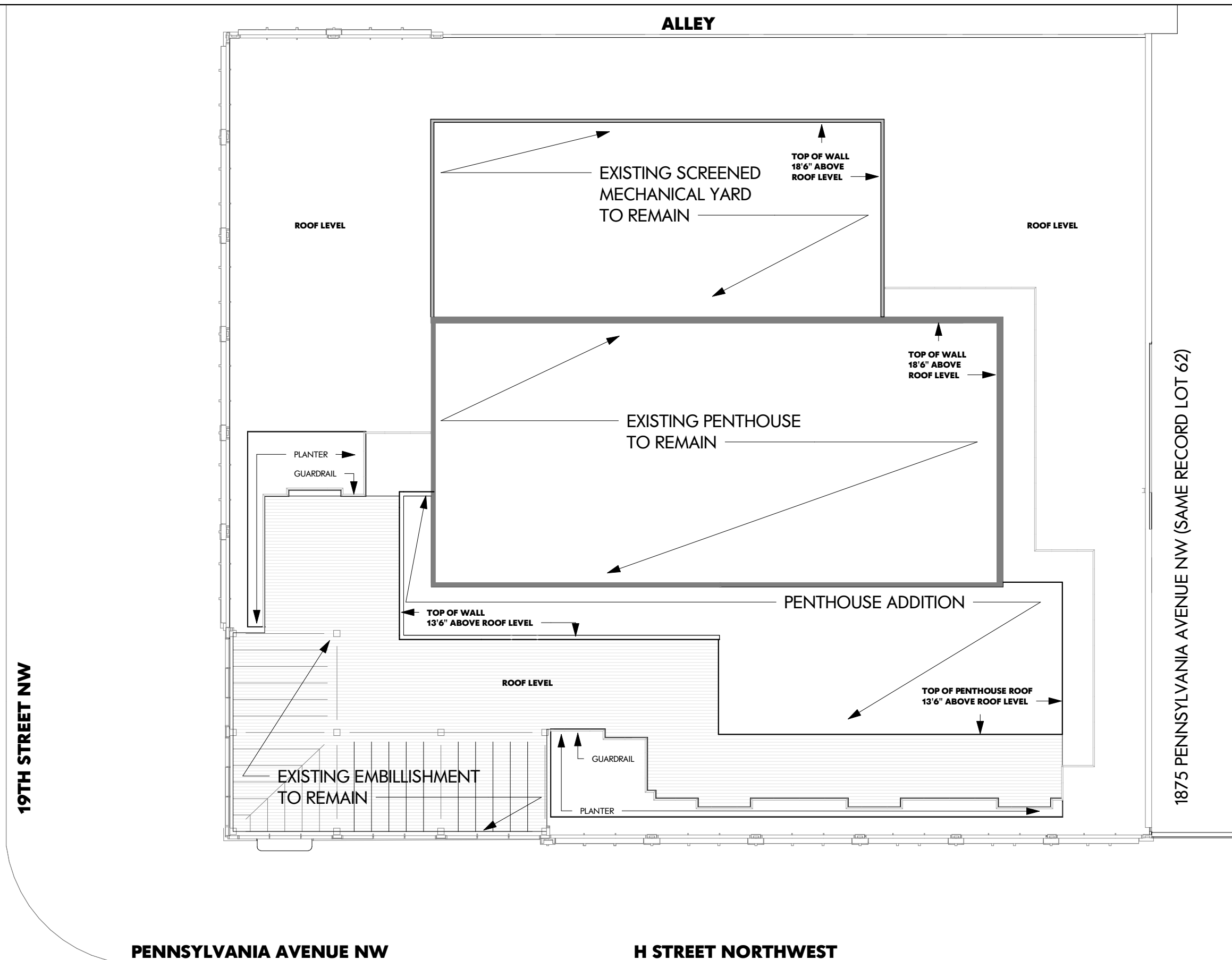
# PENTHOUSE

## PROPOSED ADDITION CONCEPT RENDERING

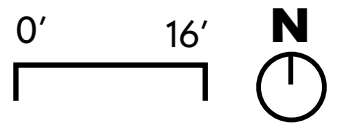
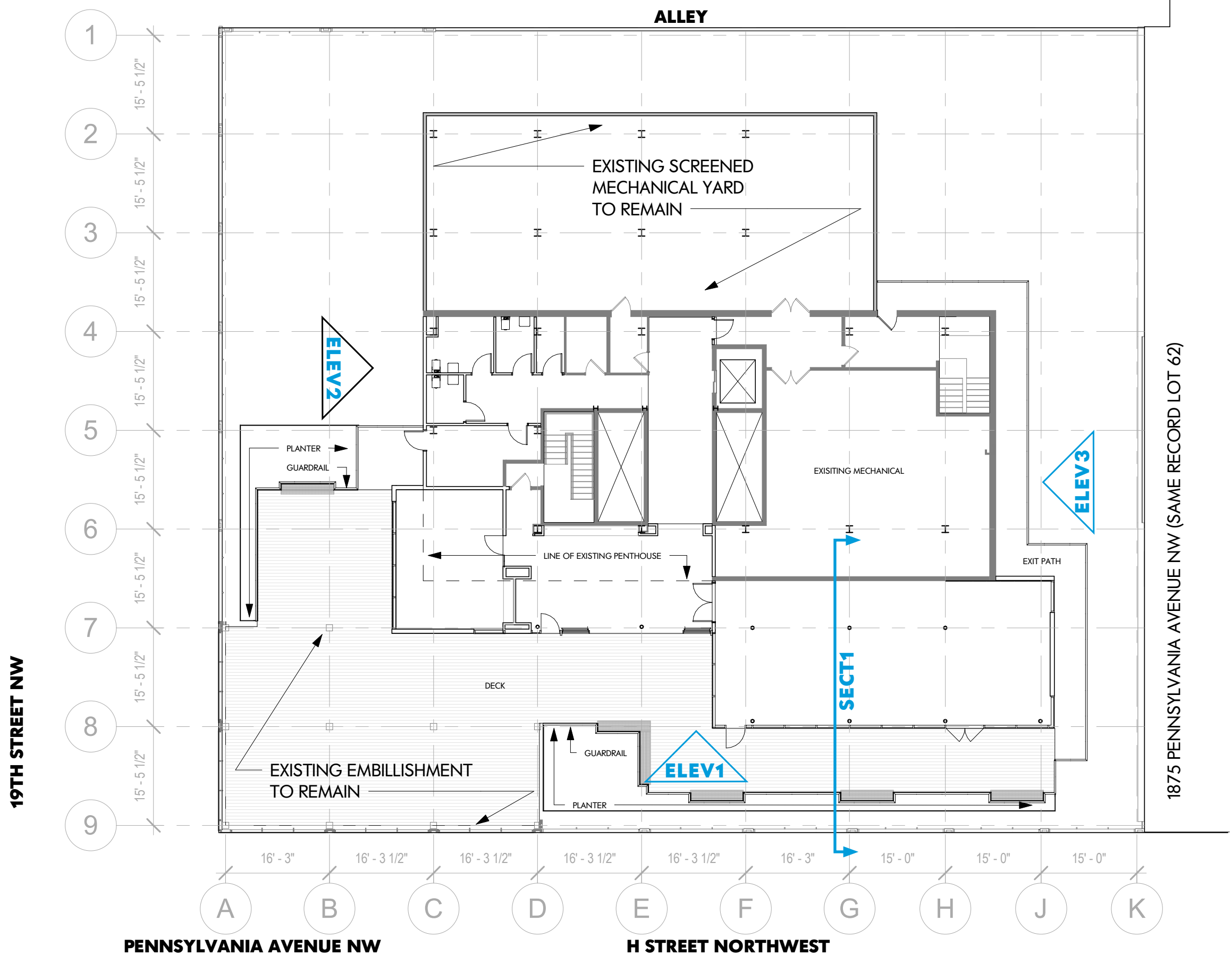




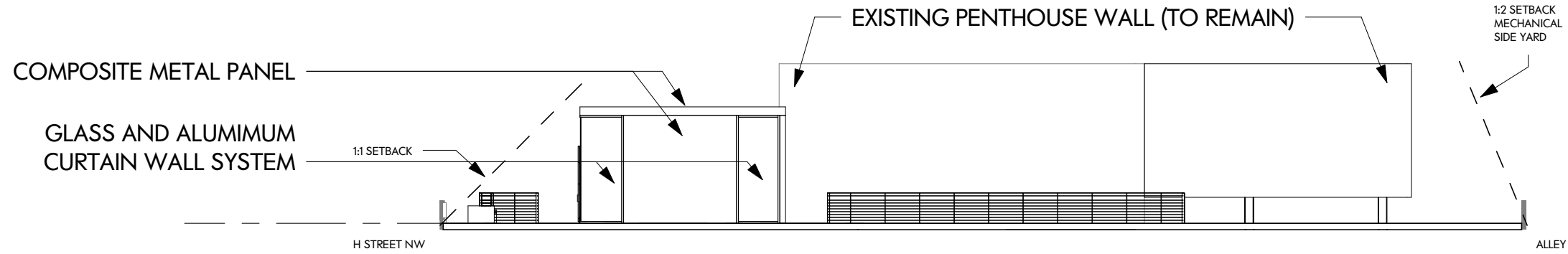
# PENTHOUSE ROOF PLAN PROPOSED



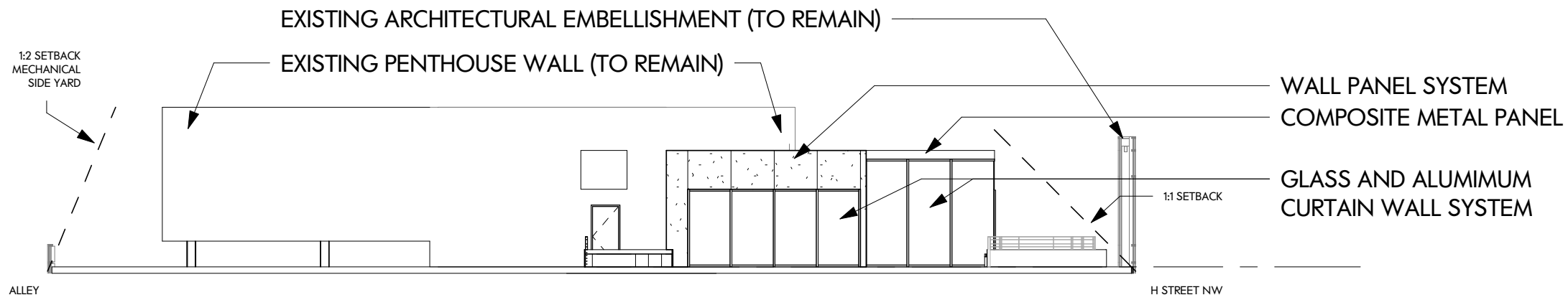
# PENTHOUSE FLOOR PLAN PROPOSED



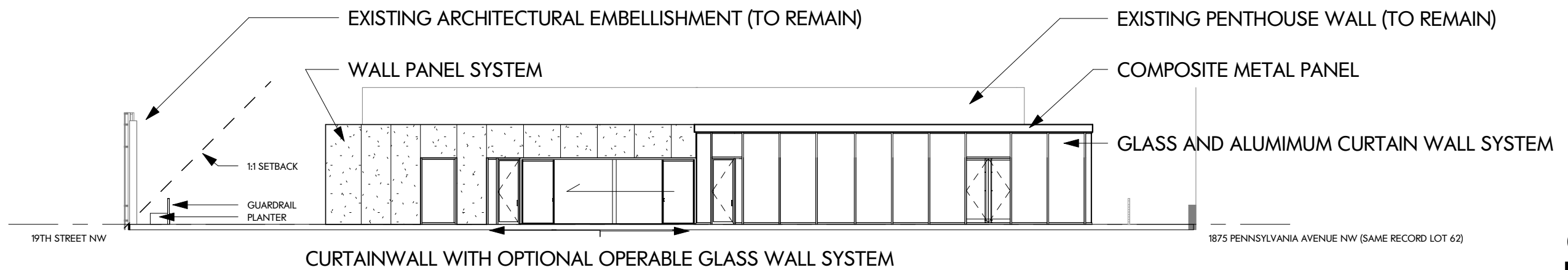
# PENTHOUSE ELEVATIONS PROPOSED



ELEV3: WEST PENTHOUSE ELEVATION

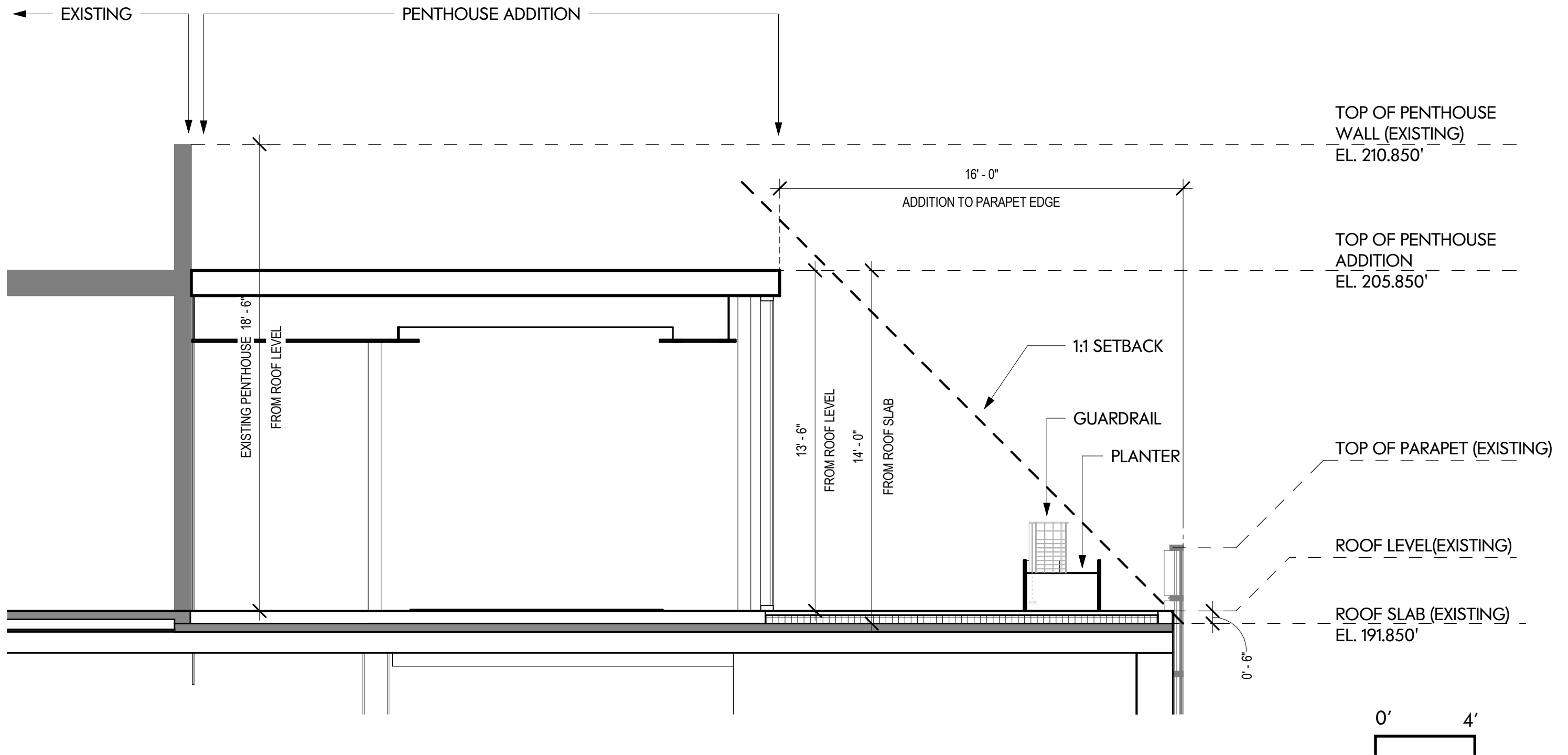


ELEV2: WEST PENTHOUSE ELEVATION



ELEV1: SOUTH PENTHOUSE ELEVATION

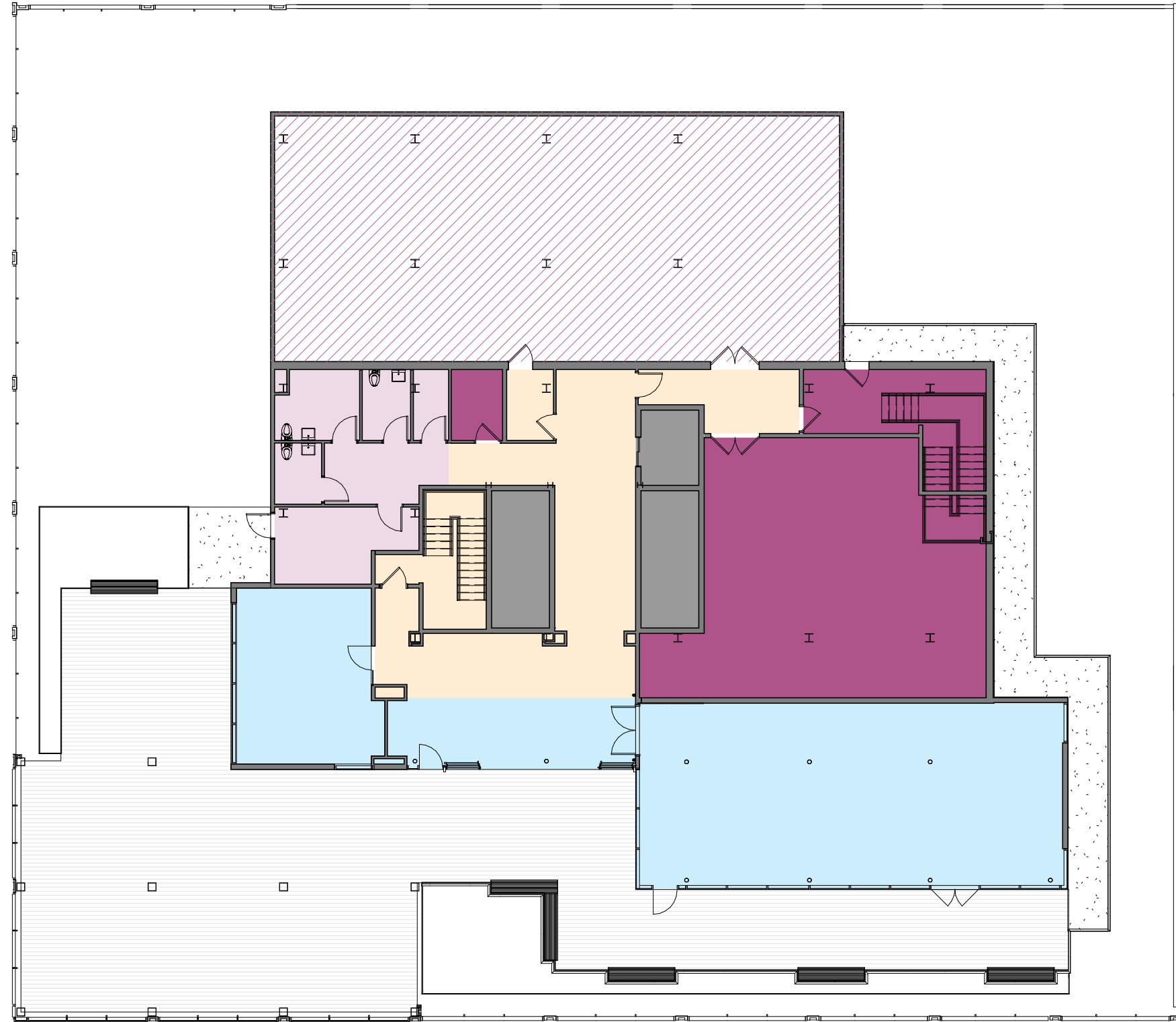
# PENTHOUSE SECTION PROPOSED AT BUILDING ADDITION



SECT1: PENTHOUSE SECTION

# PENTHOUSE AREA PLAN

## PROPOSED OCCUPIABLE PENTHOUSE AREAS

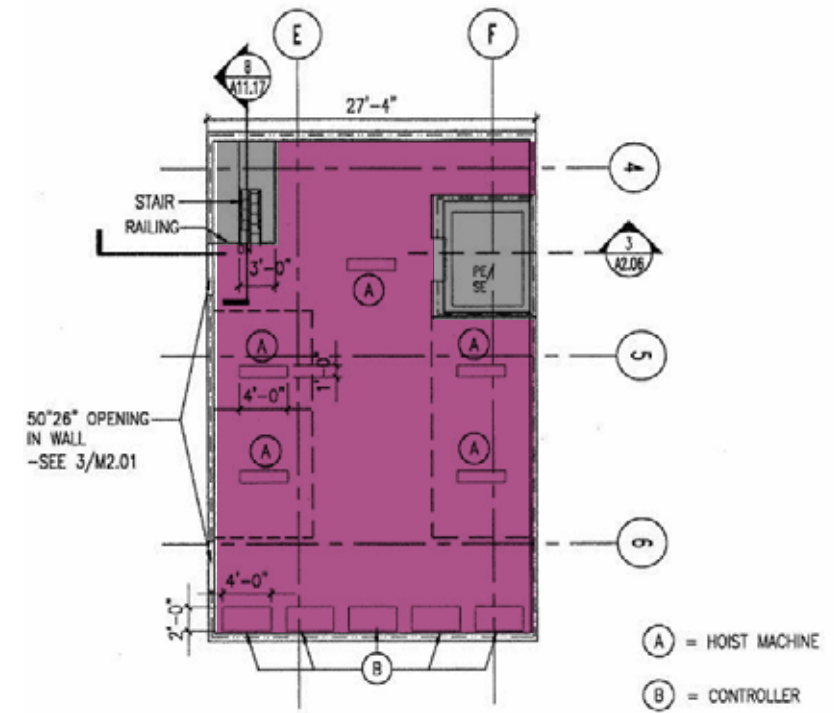


PENTHOUSE PLAN

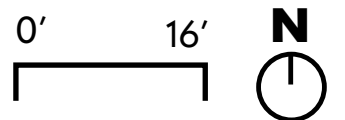
### PENTHOUSE AREAS

### SF

	EXISTING MECHANICAL YARD (NOT ENCLOSED)	N/A
	MAJOR VERTICAL PENETRATIONS	N/A
	EXISTING CIRCULATION	1,035
	EXISTING MECHANICAL	2,453
	RECONFIGURED MECHANICAL	503
	NEW HABITABLE	1,884
	<b>TOTAL</b>	<b>5,875</b>



ELEVATOR MACHINE ROOM PLAN



## CALCULATION

## PENTHOUSE - OCCUPIABLE PENTHOUSE AREAS

Penthouse - Habitable Space (New)	1,884 SF	(32%)
Penthouse - Mechanical Space (Exist) (2,453 + 503)	2,956 SF	(68%)
Unenclosed Mechanical Space	N/A	
Circulation space - Exist Mechanical Access	1035 SF	(331 sf pro-rata added to habitable)
Circulation space - Exit Access	0	(All exterior)
<hr/>		
Total Penthouse Area (2,956 + 1,884 + 1,035)	5,875 SF	
<b>Total NEW Habitable Area (1,884 + 331 (32% of 1035))</b>	<b>2,215 SF</b>	

# PROPOSED DESIGN

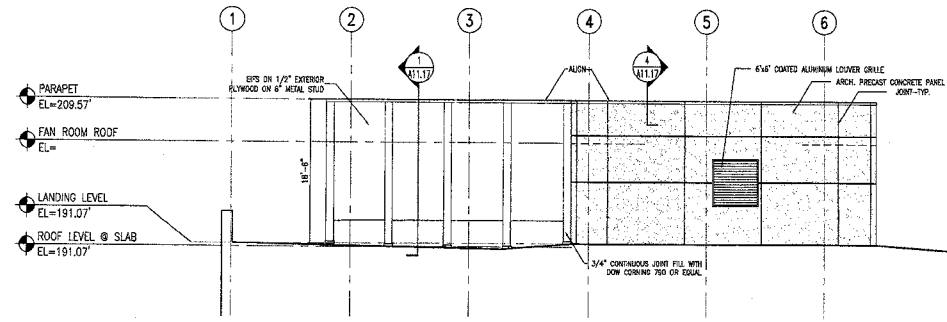
## PROPOSED PENTHOUSE ADDITION RENDERING



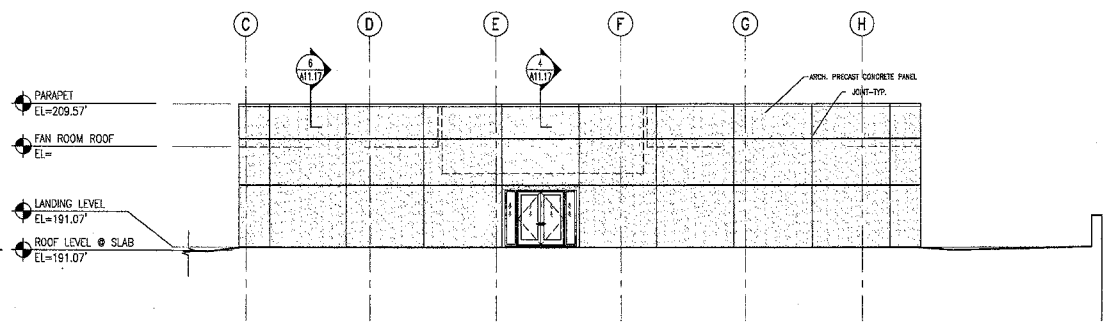
JUNE 2021

PERALTY STUDIOS  
architecture

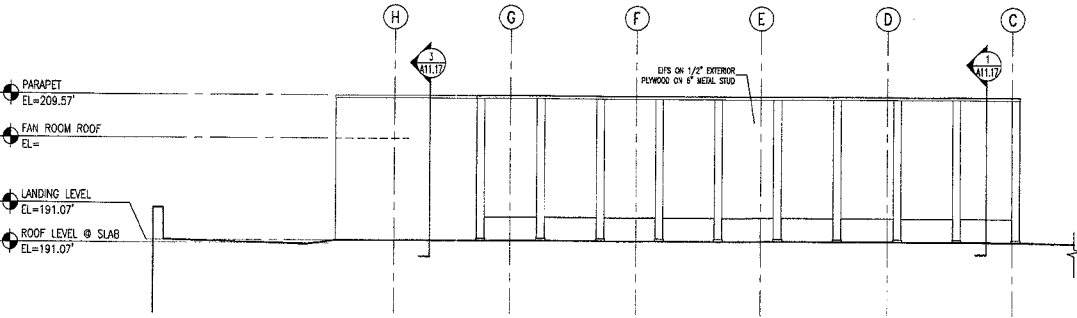
# EXISTING PENTHOUSE 2002 RENOVATION ELEVATIONS



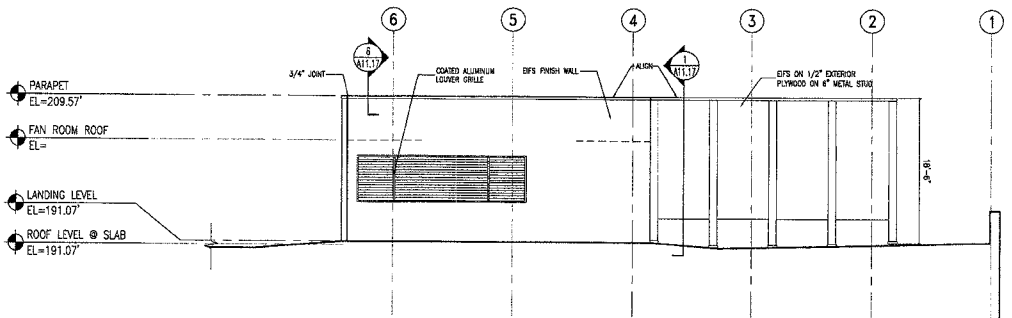
1 PENTHOUSE ELEVATION  
AS.07 SCALE: 1/8"=1'-0"



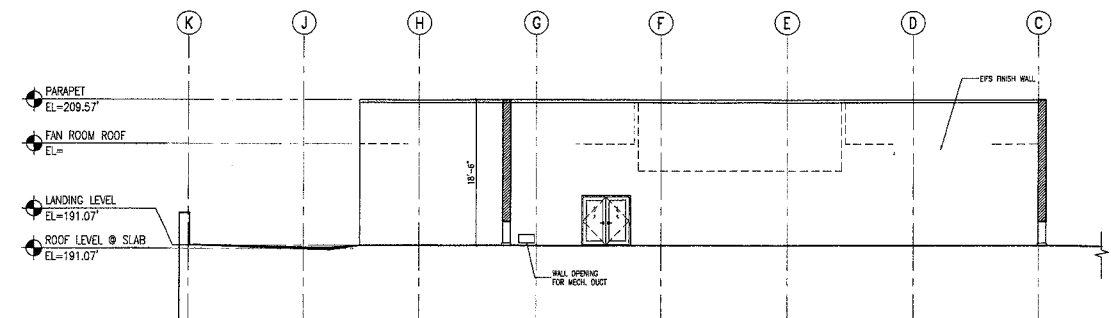
2 PENTHOUSE ELEVATION  
AS.07 SCALE: 1/8"=1'-0"



3 PENTHOUSE ELEVATION  
AS.07 SCALE: 1/8"=1'-0"



4 PENTHOUSE ELEVATION  
AS.07 SCALE: 1/8"=1'-0"



5 PENTHOUSE ELEVATION  
AS.07 SCALE: 1/8"=1'-0"

NOTE:  
 1.-ALL EXISTING DIMENSIONS TO BE VERIFIED IN FIELD BY GENERAL CONTRACTOR.  
 2.-GENERAL CONTRACTOR TO NOTIFY PROMPTLY THE ARCHITECT OF ANY DISCREPANCIES.



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 (202) 546-4463  
 FAX (202) 672-1600



CONSTRUCTION  
 DOCUMENT SET  
 08/20/2001



REV. NO.	DATE	REVISION
MANAGER	KI	DRAWN MRH
DESIGNER	MDV	CHECKED

PROJECT TITLE  
**1899 PENNSYLVANIA AVENUE RENOVATION**  
 PROJECT NUMBER 242001-00

SHEET TITLE  
**PENTHOUSE ELEVATIONS**  
**A5.07**  
 DATE 08/20/01 SHEET NUMBER

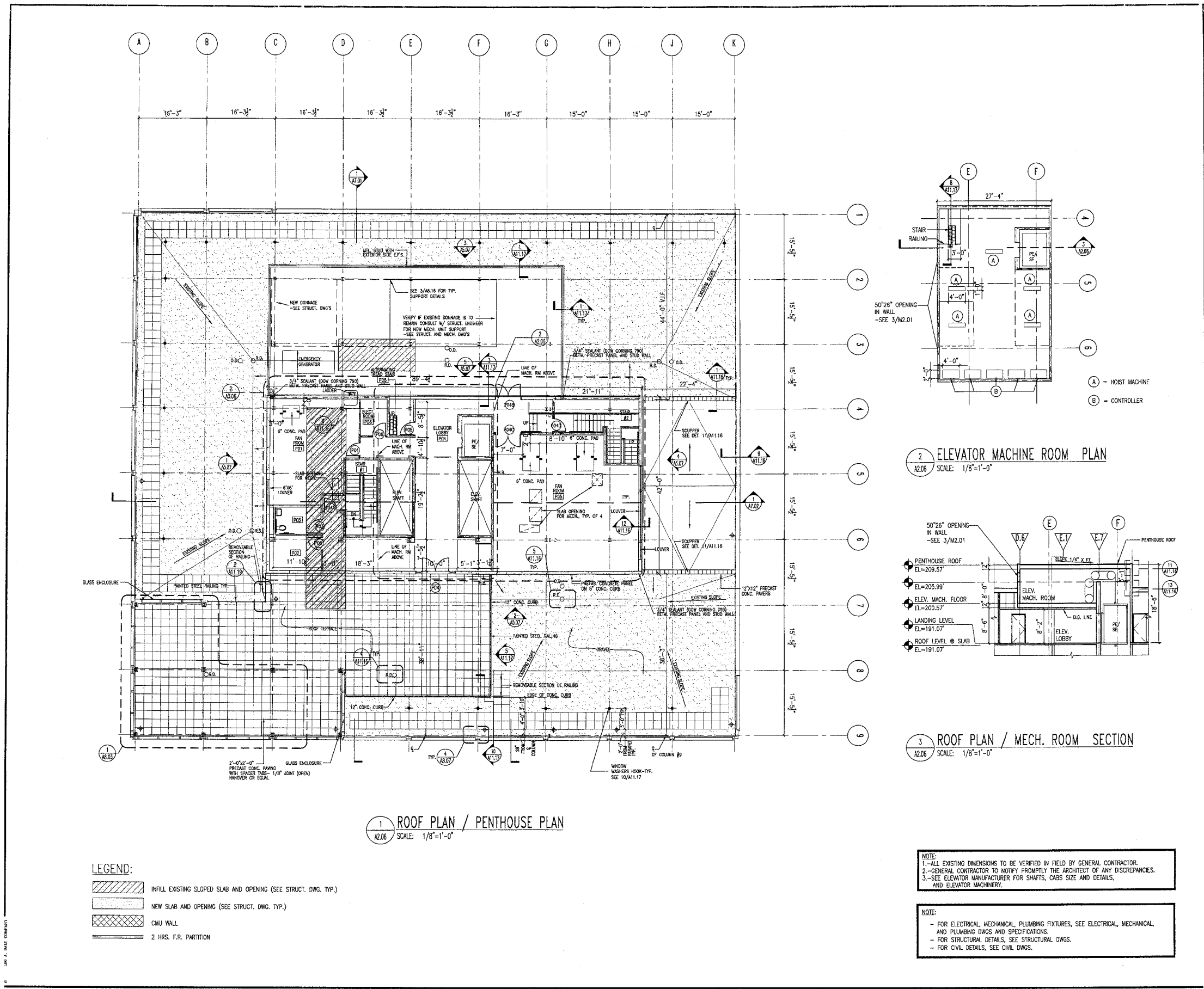




# EXISTING PENTHOUSE 2002 RENOVATION PENTHOUSE PLAN

JUNE 2021

MRP | REALTY STUDIOS  
architecture



**LEO A DALY**  
PLANNING / ARCHITECTURE / ENGINEERING / INTERIORS  
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(202) 391-4800  
FAX (202) 391-4830

**DRI PARTNERS, INC.**

**CONSTRUCTION DOCUMENT SET**  
08/20/2001

N

0 5 10 20  
SCALE: 1/8" = 1'-0"

REV. NO.	DATE	REVISION
MANAGER	KL	DRAWN BY
DESIGNER		CHECKED BY

**PROJECT TITLE**  
1899 PENNSYLVANIA AVENUE RENOVATION  
PROJECT NUMBER 000001-00

**SHEET TITLE**  
ROOF PLAN / PENTHOUSE PLAN  
A2.06  
DATE 06/20/01  
SHEET NUMBER

**LEO A DALY**