



# PAPPAS TOMATO FACTORY

BZA MODIFICATION OF SIGNIFICANCE TO BZA CASE NO. 19200A

1401 Okie Street NE, Washington, DC 20002

Owner/Developer

**Douglas Development**  
702 H Street NW #400  
Washington, DC 20001  
202.638.6300

Architects and Planners

**Antunovich Associates**  
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Arlington, VA 22201  
703.224.1126

Board of Zoning Adjustment, October 4, 2018  
District of Columbia  
CASE NO. 19200B  
EXHIBIT NO. 4



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ITEM
SITE AREA - SF
TOTAL GROSS FLOOR AREA (GFA) - SF
TOTAL AREA - SF
TOTAL FLOOR AREA RATIO (FAR) - SF
BUILDING AREA (FOOTPRINT) - SF
LOT OCCUPANCY
BUILDING HEIGHT
REAR YARD DEPTH
GREEN AREA RATIO (GAR)
SIDE YARD - NONE REQUIRED
FRONT YARD - NONE REQUIRED
PARKING REQUIREMENT
LOADING REQUIREMENT (20,000 TO 50,000 SF GFA) (5,000 TO 20,000 SF GFA) (LESS THAN 50,000 SF GFA) (5,000 TO 20,000 SF GFA) (5,000 TO 25,000 SF GFA)
COURTS
ROOF STRUCTURES

REQUIRED / PERMITTED PDR-1 (ZR16)			
78,950			
2.0 FAR - RESTRICTED USES		3.5 FAR - MAXIMUM PERMITTED	
58,170 (EXISTING BUILDING FOOTPRINT)			
74% (EXISTING BUILDING FOOTPRINT)			
50 FEET			
2.5" PER FOOT OF HEIGHT, 12 FOOT MIN. REAR YARD NOT REQUIRED BELOW A HORIZONTAL PLANE 20 FT. ABOVE MEAN FINISHED GRADE			
AT LEAST 0.3 (SEC. 11-J208)			
N.A.			
NONE			
OFFICE	0.5 PER 1,000 SF IN EXCESS OF 3,000 SF		
RETAIL	1.33 PER 1,000 SF IN EXCESS OF 3,000 SF		
ENTERTAINMENT	2 PER 1,000 SF		
EATING & DRINKING	1.33 PER 1,000 SF IN EXCESS OF 3,000 SF		
PRODUCTION	1 PER 1,000 SF IN EXCESS OF 3,000 SF		
	LOADING BERTH	LOADING PLATFORMS	SERVICE DELIVERY
OFFICE	1	1	1
RETAIL	1	1	NONE
ENTERTAINMENT	0	0	NONE
EATING & DRINKING	1	1	NONE
PRODUCTION	1	1	NONE
NONE			
REQUIRED/PERMITTED: MAXIMUM HEIGHT: 12 ft. except 15 ft. for penthouse mechanical space. STORIES: 1; Second Story for Penthouse Mechanical space (Sub. J, Sec. 203.6) NUMBER: One penthouse permitted, plus separate rooftop egress stairwell, plus separate elevator enclosure.			

APPROVED UNDER PDR-1 (BZA CASE #19200A)				
78,950				
	CELLAR FLOOR (38,324 SF RETAIL) (13,258 SF PDR)	FIRST FLOOR (RETAIL)	SECOND FLOOR (OFFICE)	THIRD FLOOR (OFFICE)
73,244 (GFA) SF	51,582 SF TOTAL	57,011 SF TOTAL	8,022 SF TOTAL	8,211 SF TOTAL
124,826				
0.93				
52,261				
66%				
40 FEET				
REQUIRED	2.5" PER FOOT OF HEIGHT = 2.5" X 39'-0" / 12 = 8.13 FEET MINIMUM DEPTH PER DC ZONING - 12 FEET			
APPROVED	34'-3"			
EXEMPT	APPROVED GAR EXEMPTION FROM THE OFFICE OF TAX & REVENUE			
N.A.				
NONE				
OFFICE	{{{(16,233) - (420)}} / (1,000)}(1.33) = 21 SPACES		144 TOTAL SPACES REQUIRED - 101 PARKING CREDIT = 43 TOTAL PARKING REQUIRED	
RETAIL	{{{(95,335) - (2,580)}} / (1,000)}(1.33) = 123 SPACES			
APPROVED	<b>NONE - SEEKING PARKING RELIEF PER 43 SPACES</b>			
	LOADING BERTH	LOADING PLATFORMS	SERVICE DELIVERY	
APPROVED	2 @ 30 FEET DEEP	1 @ 100 SF	1 @ 20 FEET DEEP	
	1 @ 55 FEET DEEP	2 @ 200 SF		
OPEN COURT REQ'D WIDTH	(2.5" PER FOOT OF HEIGHT) 2.5" X 29'-9"/12 = 6.198 FEET			
APPROVED OPEN COURT WIDTH	33'-6"			
APPROVED	ROOF STRUCTURE	HEIGHT ABOVE ROOF	SETBACK	
	ELEVATOR PENTHOUSE #1	9'-4"	53'-7"	
	STAIR & ELEVATOR PENTHOUSE #2	10'-3"	45'-7"	
	UNCOVERED MECH. EQUIP. WEST ROOF	9'-6"	19'-6"	
	STAIR & ELEVATOR PENTHOUSE #3	9'-2"	18'-7" & 40'-0"	
	UNCOVERED MECH. EQUIP. EAST ROOF	7'-9"	54'-0"	
	STAIR # 4	9'-2"	11'-9"	

PROPOSED UNDER PDR-1				
78,950				
	CELLAR FLOOR (51,073 - PDR)	FIRST FLOOR (6,488 RTL./ENT.) (16,110 PDR/ENT.) (18,263 E/D.) (10,705 ENT.) (6,645 LOADING)	SECOND FLOOR (11,600 OFF.) (11,013 ENT.) (374 E/D.)	THIRD FLOOR (11,982 OFF.)
93,180 (GFA) SF	51,073 SF TOTAL	58,211 SF TOTAL	22,987 SF TOTAL	11,982 SF TOTAL
144,253				
1.18				
58,211				
74%				
49'-5"				
REQUIRED	2.5" PER FOOT OF HEIGHT = 2.5" X 49'-5" / 12 = 10.29 FEET MINIMUM DEPTH PER DC ZONING - 12 FEET			
PROPOSED	4'-9"			
EXEMPT				
N.A.				
NONE				
PLEASE NOTE: FLEXIBILITY IS REQUESTED TO INCREASE OR DECREASE THE SQUARE FOOTAGE OF ENTERTAINMENT USES IN THE BUILDING. THE PARKING CALCULATION ASSUMES THAT 100% OF THE GROSS FLOOR AREA IS BEING DEDICATED TO THE ENTERTAINMENT USE, WHICH HAS THE HIGHEST PARKING REQUIREMENT.			186 TOTAL SPACES REQUIRED - 101 PARKING CREDIT = 85 TOTAL PARKING REQUIRED	
*ENTERTAINMENT	{{{(93,180)/(1,000)}}(2) = 186 SPACES			
PROPOSED	<b>NONE - SEEKING RELIEF PER 85 SPACES</b>			
	LOADING BERTH	LOADING PLATFORMS	SERVICE DELIVERY	
PROPOSED	2 @ 30 FEET DEEP	1 @ 100 SF	1 @ 20 FEET DEEP	
	1 @ 55 FEET DEEP	2 @ 200 SF		
"WHERE TWO OR MORE USES SHARE A BUILDING, THE USES MAY SHARE LOADING SO LONG AS INTERNAL ACCESS IS PROVIDED" C - 901.8				
OPEN COURT REQ'D WIDTH	(2.5" PER FOOT OF HEIGHT) 2.5" X 45'/12 = 9.38 FEET MINIMUM WIDTH PER DC ZONING - 6 FEET			
PROPOSED OPEN COURT WIDTH	33'-6"			
PROPOSED: ONE PENTHOUSE PROPOSED AT 53'-4" ELEVATION (9'-4" ABOVE ROOF AT 44'-0" ELEVATION.)				

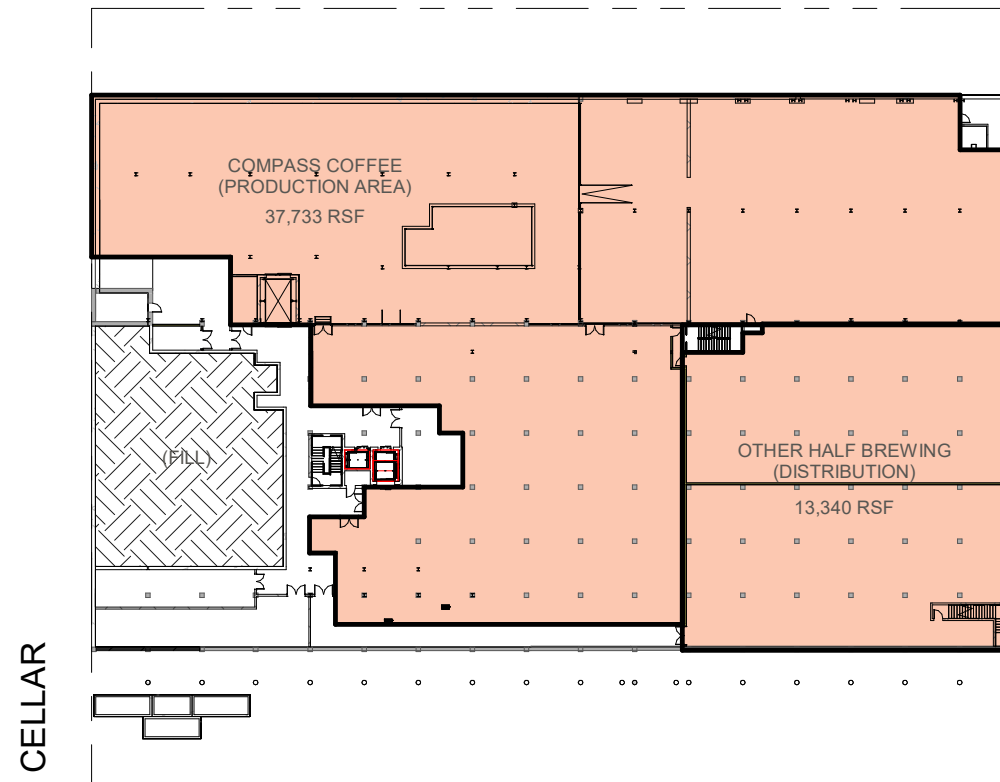
# PAPPAS TOMATO FACTORY

USE TYPES	RSF
PRODUCTION (aa) / ENTERTAINMENT	67,183 RSF
OFFICE (x) / ENTERTAINMENT	23,582 RSF
RETAIL (cc) / ENTERTAINMENT	6,488 RSF
ENTERTAINMENT (n)	21,718 RSF
EATING & DRINKING (j) / ENTERTAINMENT	18,637 RSF

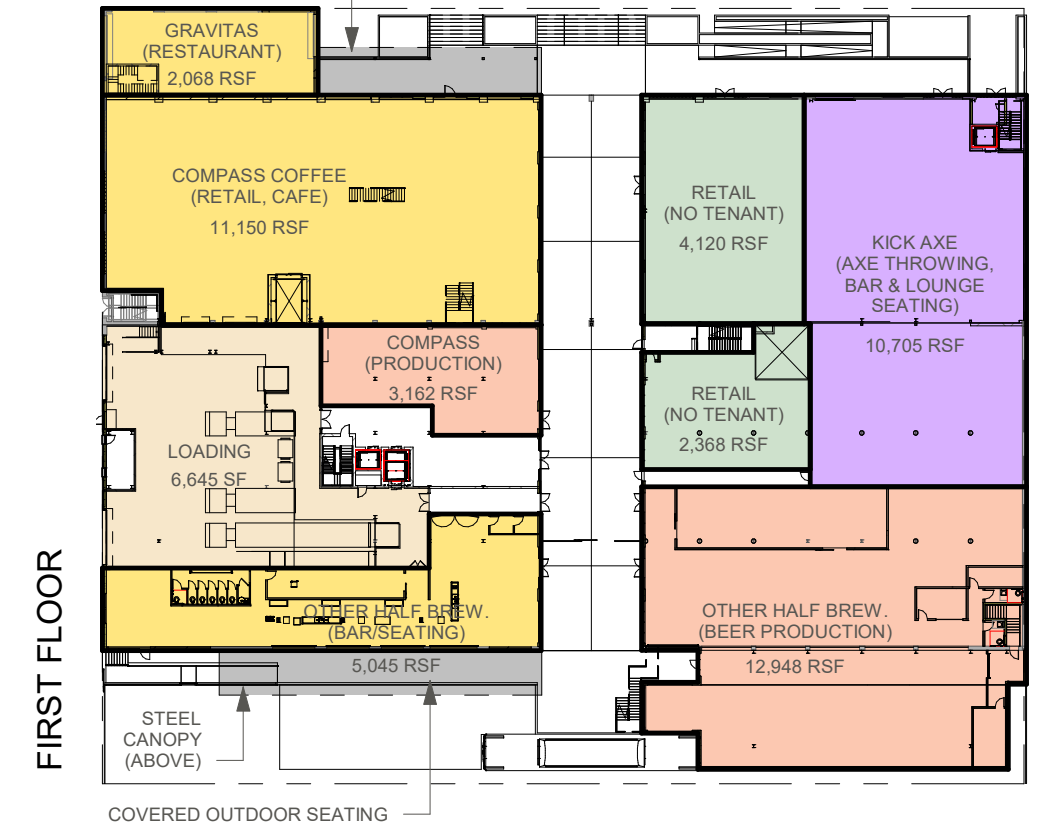
  

OTHER	RSF
BUILDING SUPPORT	(PRORATED INTO OTHER USES)
UNCOVERED ROOF DECK	
COVERED ROOF DECK	
SCREENED ROOFTOP MECHANICAL YARD	
LOADING	6,645 RSF

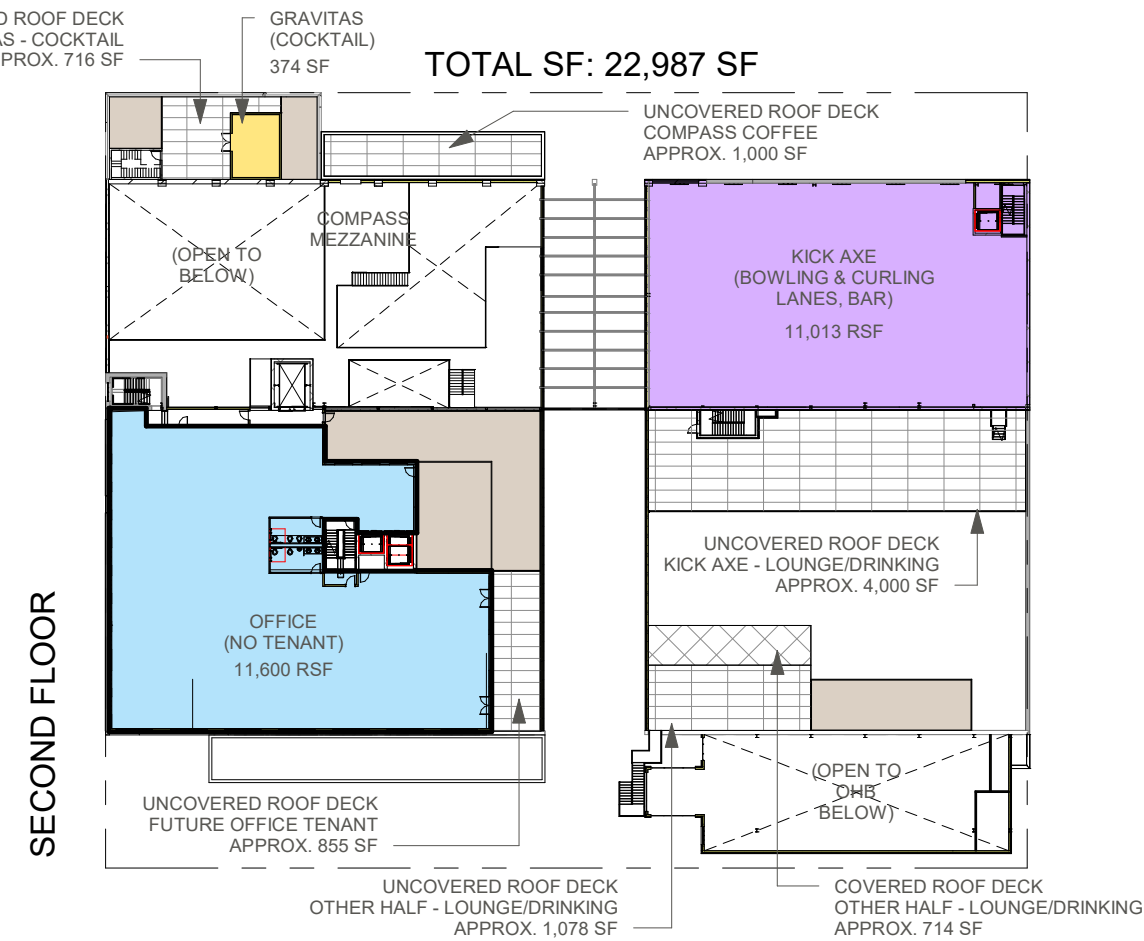
TOTAL SF: 51,073 SF



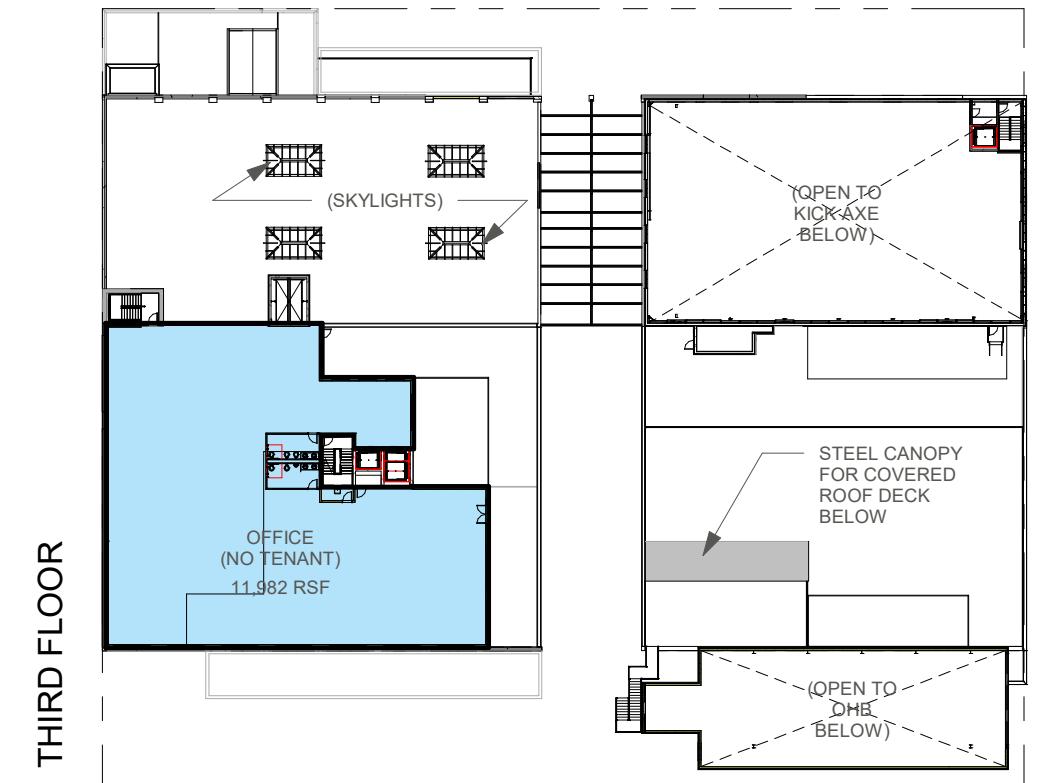
TOTAL SF: 58,211 SF



TOTAL SF: 22,987 SF

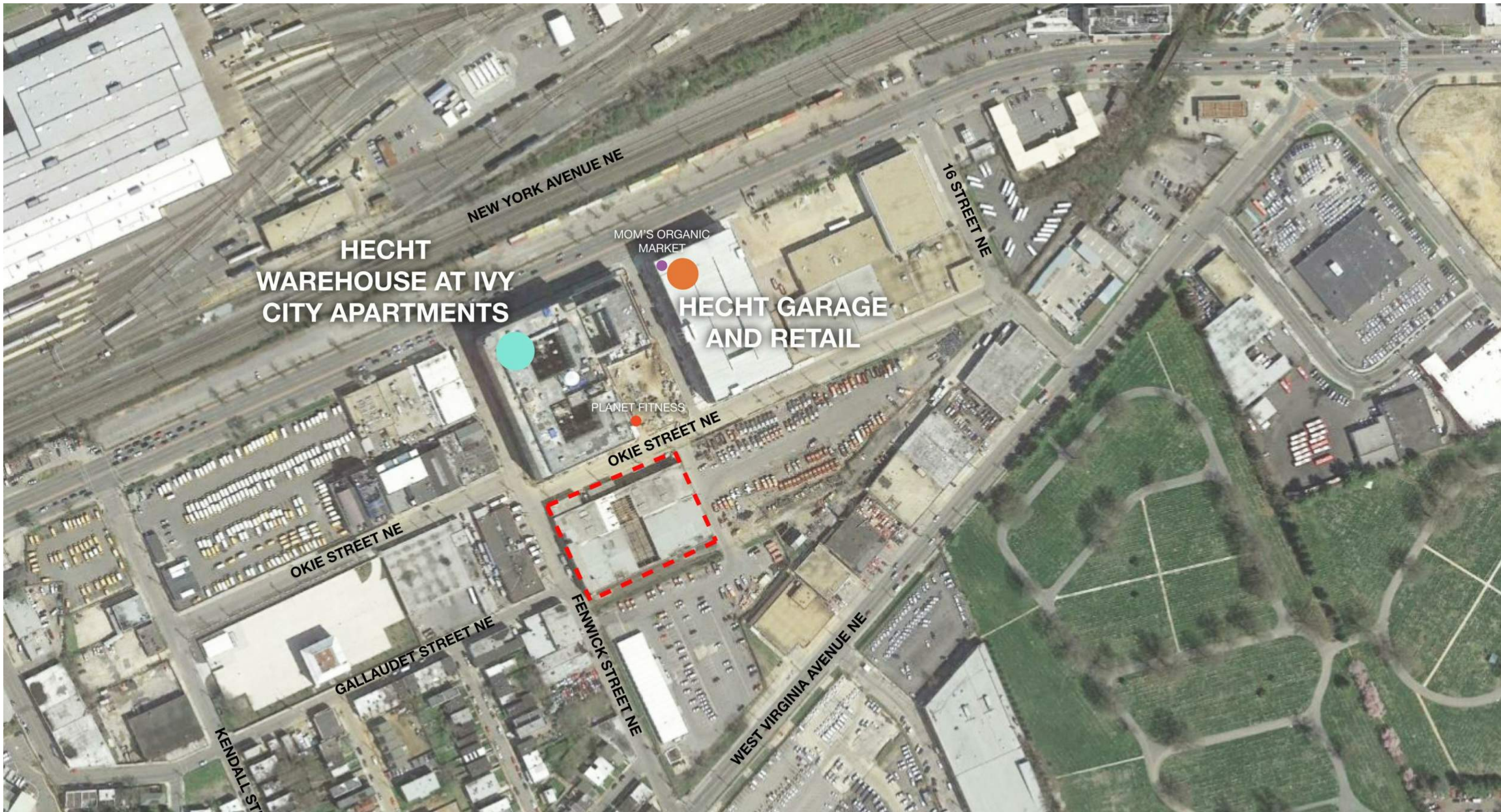


TOTAL SF: 11,982 SF



# PAPPAS TOMATO FACTORY





# PAPPAS TOMATO FACTORY

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Vicinity Map

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October 4, 2018





VIEW LOOKING SOUTH FROM HECHT AVENUE NE



VIEW OF SIDE YARD LOOKING SW FROM OKIE STREET NE



SIDE VIEW LOOKING NORTHEAST ALONG FENWICK STREET NE



VIEW OF WEST BUILDING FROM TRAINCAR & PLAZA



SIDE VIEW LOOKING EAST FROM GALLAUDET STREET NE

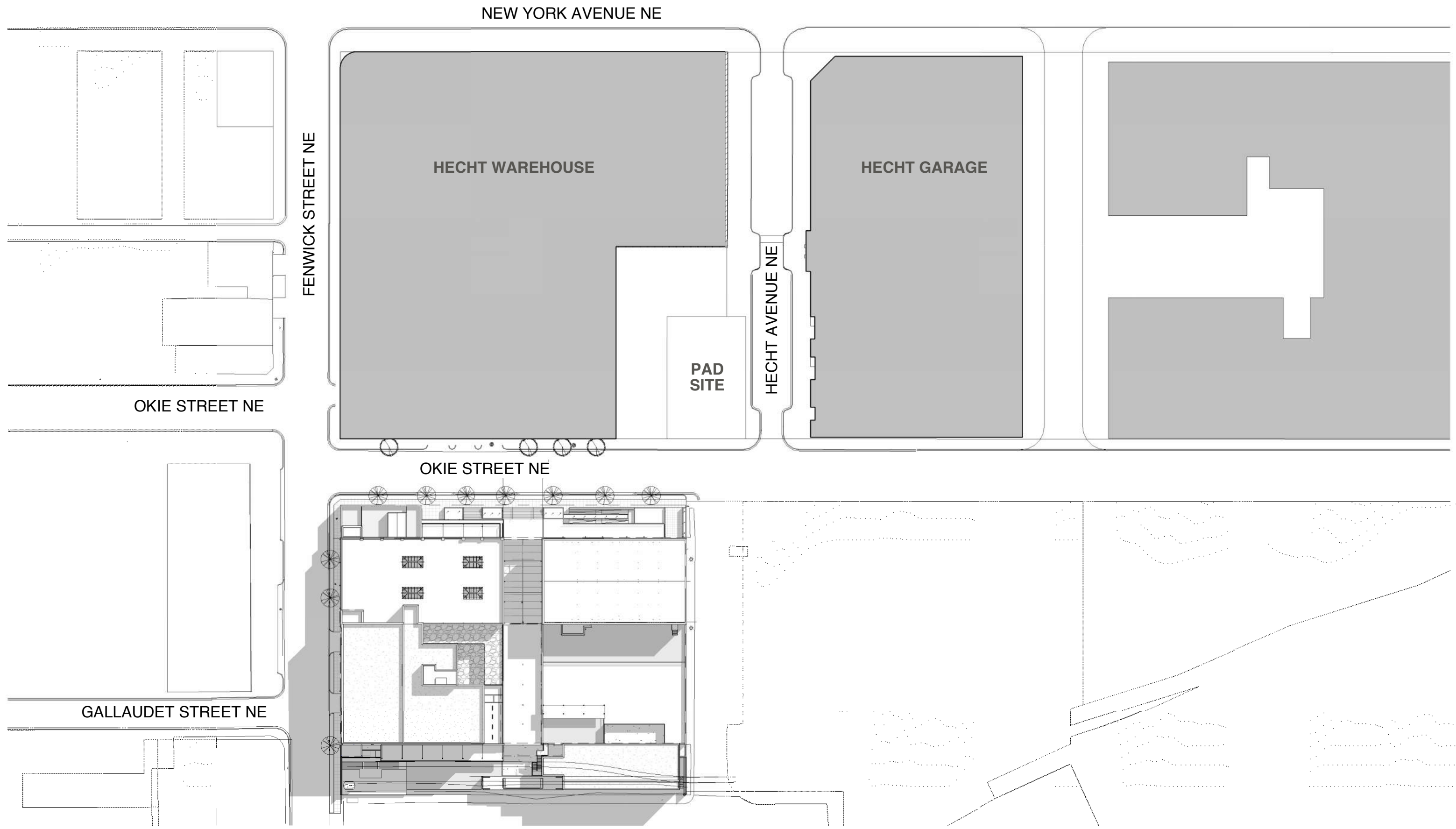


FRONT VIEW LOOKING SOUTHEAST FROM OKIE STREET NE

# PAPPAS TOMATO FACTORY

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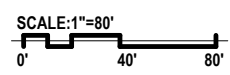


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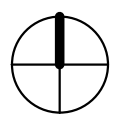
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Proposed Site Plan

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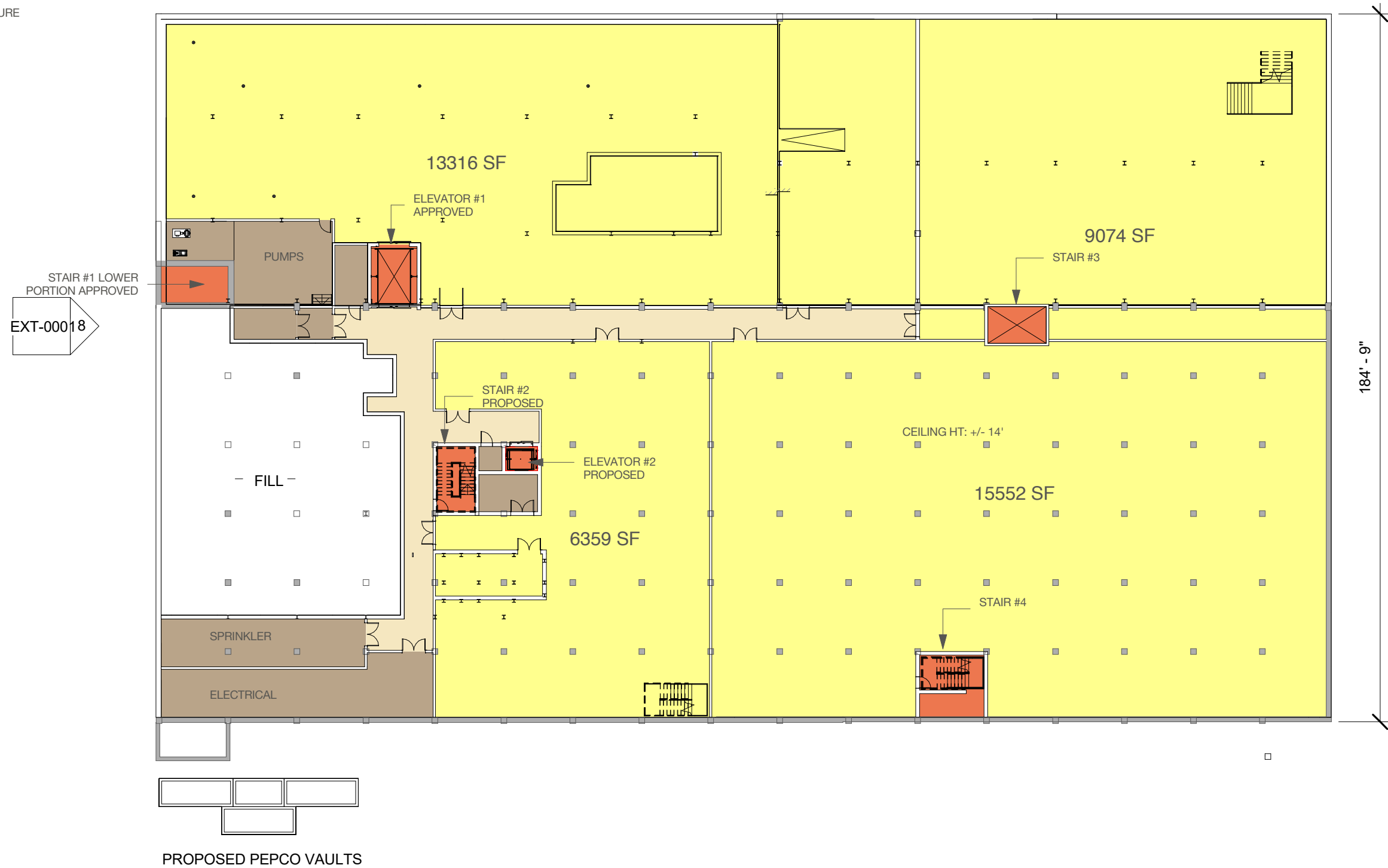
7



- RETAIL & OFFICE
- VERTICAL CIRCULATION
- BUILDING SUPPORT
- NEW ROOF STRUCTURE

TOTAL SF: 51,582 SF

NOTE:  
RETAIL TENANT SPACES ARE  
SUBJECT TO CHANGE PER  
TENANT NEEDS

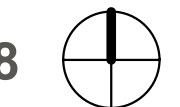
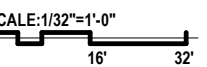


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Approved Cellar Plan

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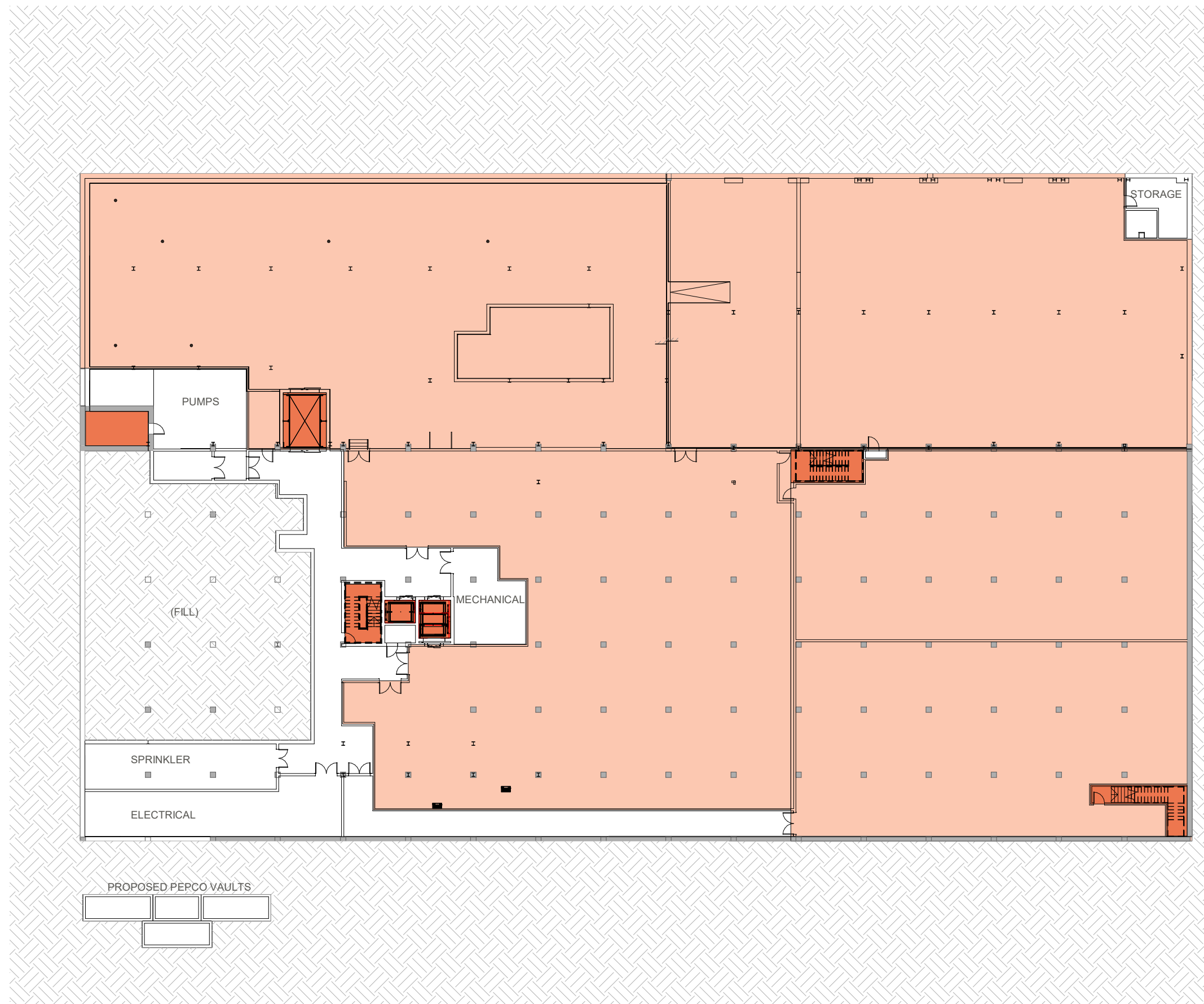




- USE TYPES**
- PRODUCTION, DISTRIBUTION & REPAIR (aa)
  - OFFICE / ENTERTAINMENT (x)
  - RETAIL / ENTERTAINMENT (cc)
  - ENTERTAINMENT (n)
  - EATING & DRINKING / ENTERTAINMENT (j)

- OTHER**
- UNCOVERED ROOF DECK
  - COVERED ROOF DECK
  - LOADING
  - SCREENED ROOFTOP MECHANICAL YARD
  - BUILDING SUPPORT
  - VERTICAL CIRCULATION
  - RAILING LOCATION

**NOTE:**  
RETAIL TENANT SPACES ARE SUBJECT TO CHANGE PER TENANT NEEDS



# PAPPAS TOMATO FACTORY

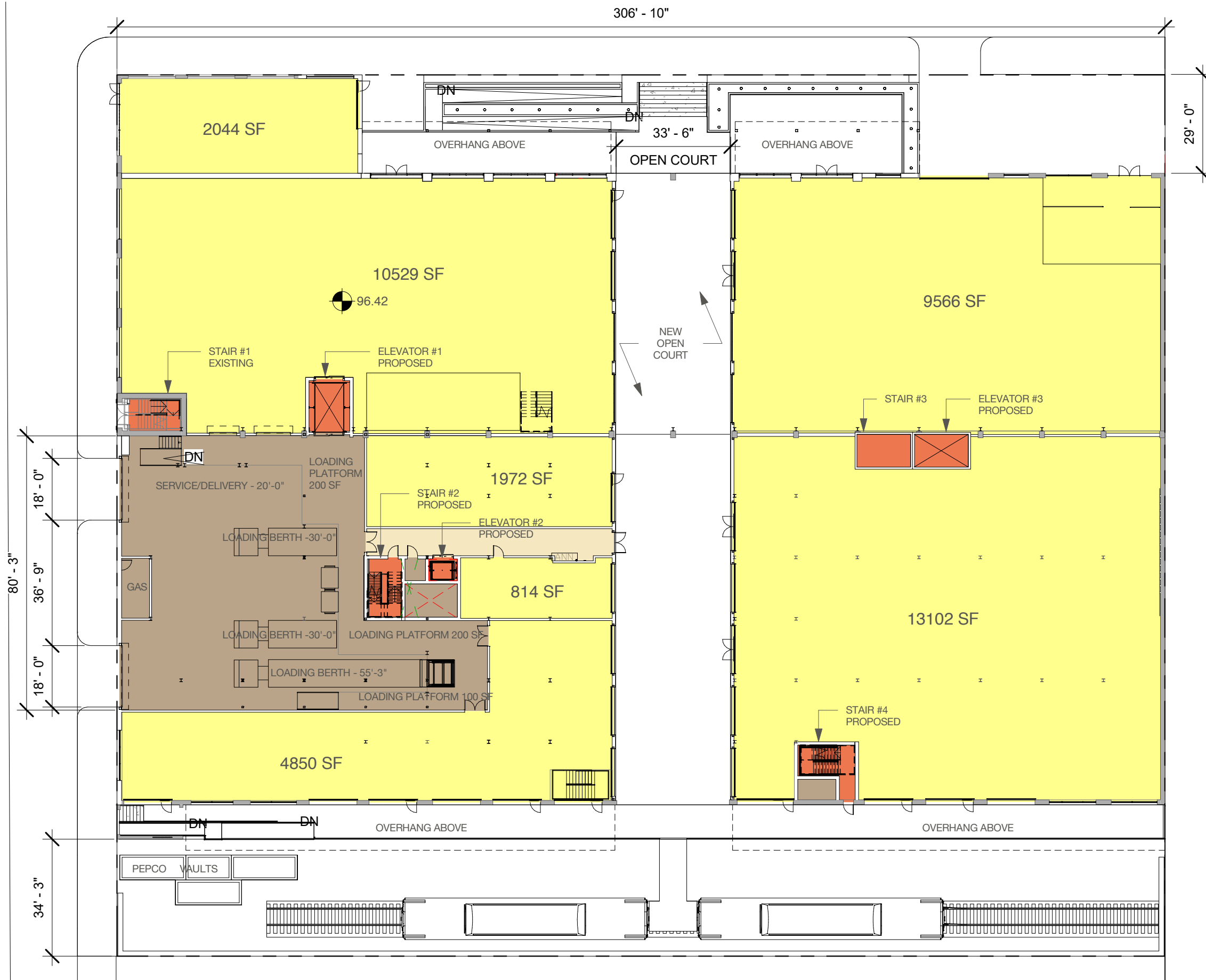


- RETAIL & OFFICE
- VERTICAL CIRCULATION
- BUILDING SUPPORT
- NEW ROOF STRUCTURE

NOTE:  
RETAIL TENANT SPACES ARE  
SUBJECT TO CHANGE PER  
TENANT NEEDS

TOTAL SF: 57,011 SF

AD3.00 1



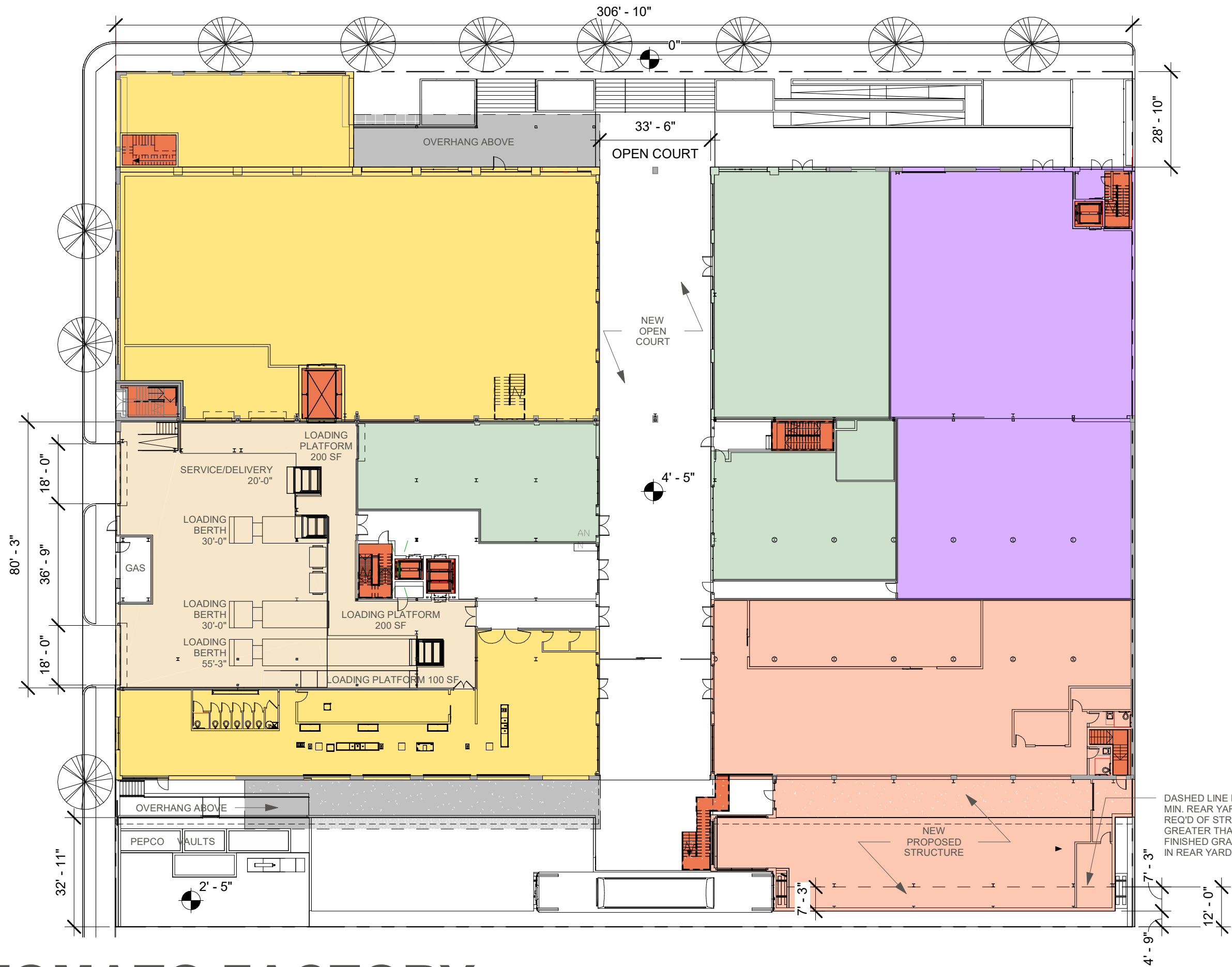
SCALE: 1/32" = 1'-0"  
0' 16' 32'

# PAPPAS TOMATO FACTORY



- USE TYPES**
- PRODUCTION, DISTRIBUTION & REPAIR / ENTERTAINMENT (aa) ■
  - OFFICE / ENTERTAINMENT (x) ■
  - RETAIL / ENTERTAINMENT (cc) ■
  - ENTERTAINMENT (n) ■
  - EATING & DRINKING / ENTERTAINMENT (j) ■
- OTHER**
- UNCOVERED ROOF DECK
  - COVERED ROOF DECK
  - LOADING
  - SCREENED ROOFTOP MECHANICAL YARD
  - BUILDING SUPPORT
  - VERTICAL CIRCULATION
  - RAILING LOCATION

NOTE:  
RETAIL TENANT SPACES ARE SUBJECT TO CHANGE PER TENANT NEEDS



DASHED LINE DELINEATES 12' MIN. REAR YARD SETBACK REQ'D OF STRUCTURES GREATER THAN 20' ABOVE MEAN FINISHED GRADE. STRUCTURE IN REAR YARD IS 36'-6".

SCALE: 1/32" = 1'-0"  
0' 16' 32'

# PAPPAS TOMATO FACTORY

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## Proposed First Floor Plan

October 4, 2018

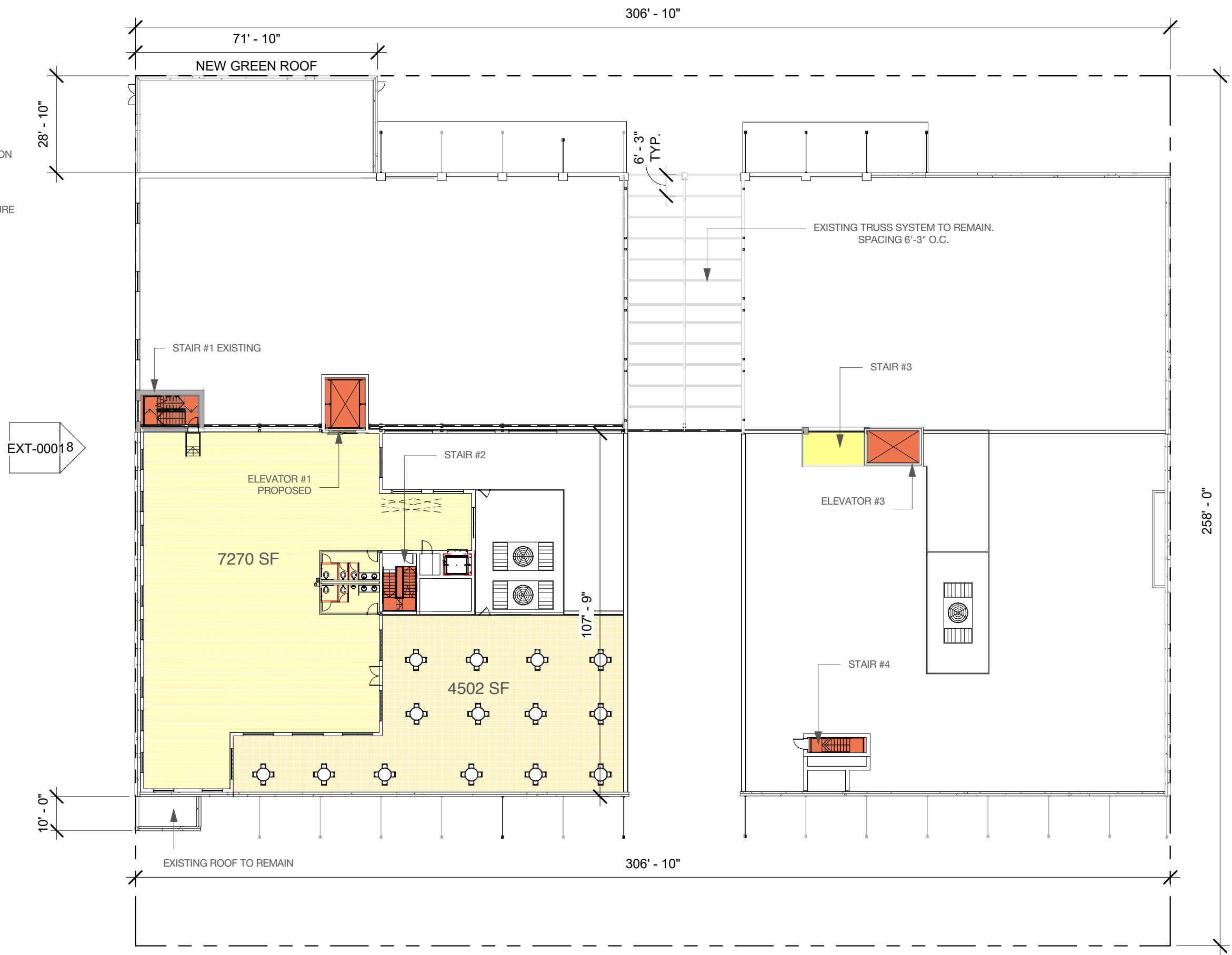




- RETAIL & OFFICE
- VERTICAL CIRCULATION
- BUILDING SUPPORT
- NEW ROOF STRUCTURE

TOTAL SF: 8,022 SF

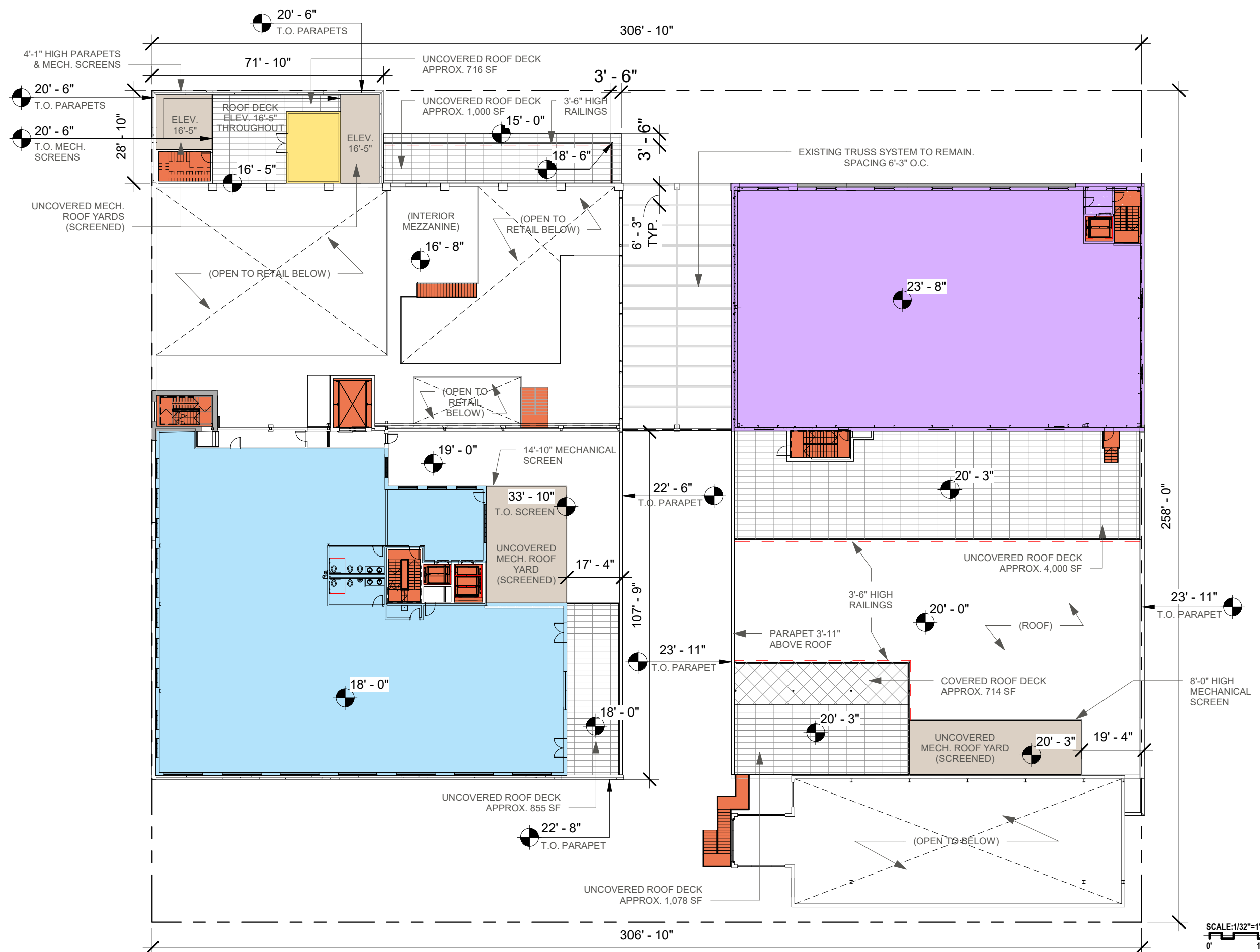
NOTE:  
RETAIL TENANT SPACES ARE  
SUBJECT TO CHANGE PER  
TENANT NEEDS



# PAPPAS TOMATO FACTORY

- USE TYPES**
- PRODUCTION, DISTRIBUTION & REPAIR / ENTERTAINMENT (aa) ■
  - OFFICE / ENTERTAINMENT (x) ■
  - RETAIL / ENTERTAINMENT (cc) ■
  - ENTERTAINMENT (n) ■
  - EATING & DRINKING / ENTERTAINMENT (j) ■
- OTHER**
- UNCOVERED ROOF DECK
  - COVERED ROOF DECK
  - LOADING
  - SCREENED ROOFTOP MECHANICAL YARD
  - BUILDING SUPPORT
  - VERTICAL CIRCULATION
  - RAILING LOCATION

NOTE:  
RETAIL TENANT SPACES ARE SUBJECT  
TO CHANGE PER TENANT NEEDS



# PAPPAS TOMATO FACTORY

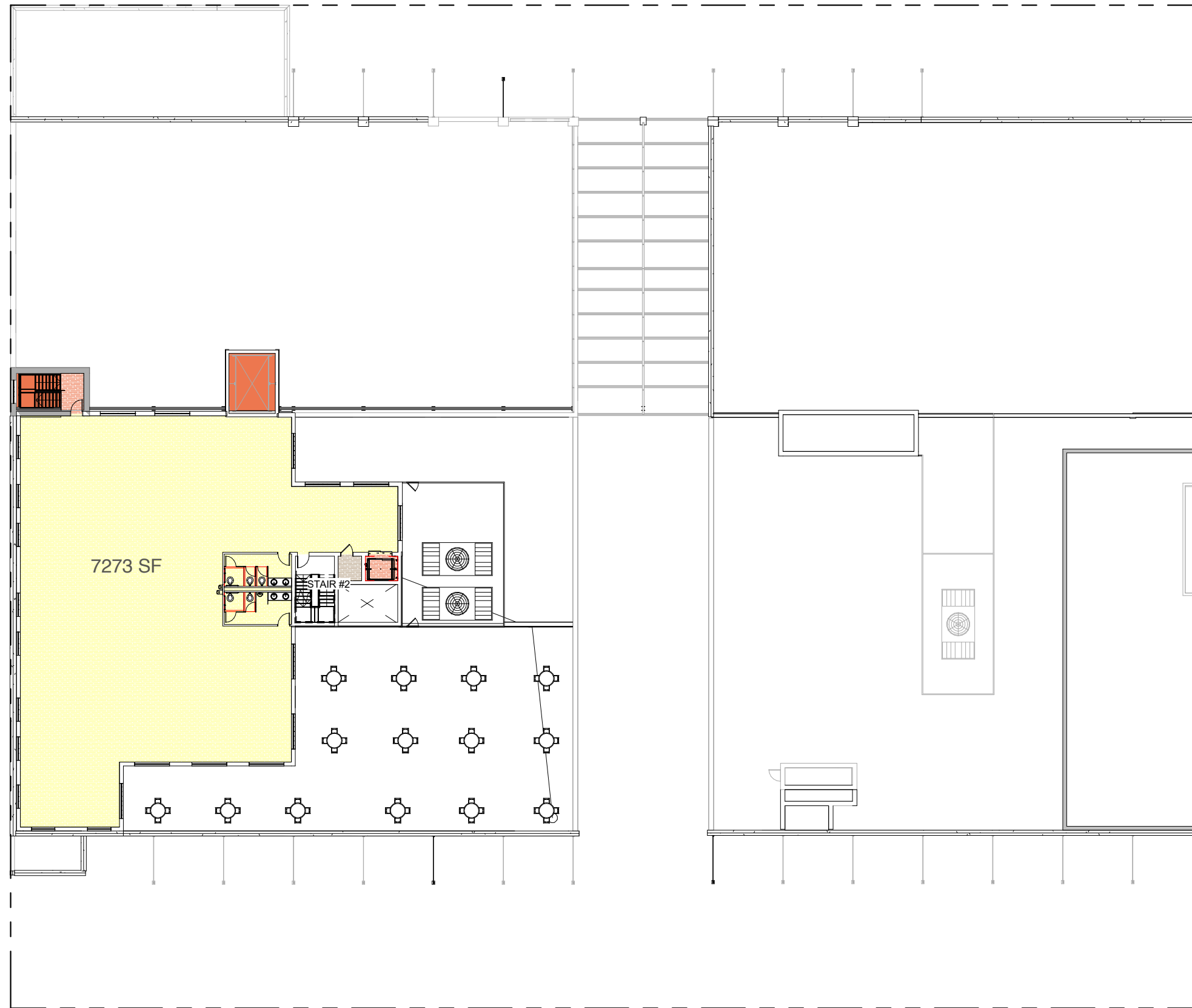




- RETAIL & OFFICE
- VERTICAL CIRCULATION
- BUILDING SUPPORT
- NEW ROOF STRUCTURE

TOTAL SF: 8,211 SF

NOTE:  
RETAIL TENANT SPACES ARE  
SUBJECT TO CHANGE PER  
TENANT NEEDS



SCALE: 1/32" = 1'-0"  
0' 16' 32'

# PAPPAS TOMATO FACTORY

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Approved Third Floor Plan

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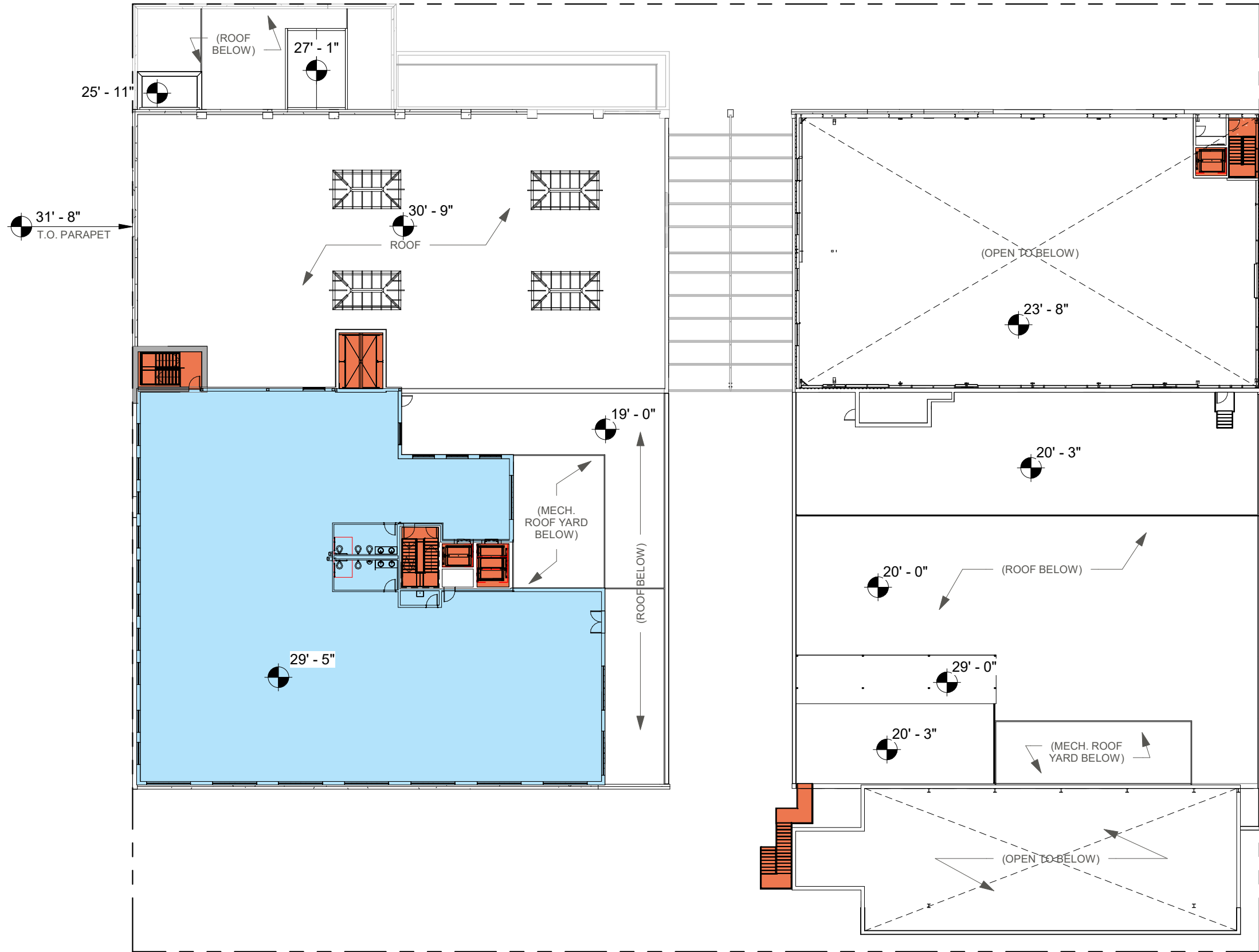
USE TYPES

- PRODUCTION, DISTRIBUTION & REPAIR / ENTERTAINMENT (aa)
- OFFICE / ENTERTAINMENT (x)
- RETAIL / ENTERTAINMENT (cc)
- ENTERTAINMENT (n)
- EATING & DRINKING / ENTERTAINMENT (j)

OTHER

- UNCOVERED ROOF DECK
- COVERED ROOF DECK
- LOADING
- SCREENED ROOFTOP MECHANICAL YARD
- BUILDING SUPPORT
- VERTICAL CIRCULATION
- RAILING LOCATION

NOTE:  
RETAIL TENANT SPACES ARE SUBJECT  
TO CHANGE PER TENANT NEEDS



SCALE: 1/32" = 1'-0"  
0' 16' 32'

# PAPPAS TOMATO FACTORY



- RETAIL & OFFICE
- VERTICAL CIRCULATION
- BUILDING SUPPORT
- NEW ROOF STRUCTURE

NOTE:  
RETAIL TENANT SPACES ARE  
SUBJECT TO CHANGE PER  
TENANT NEEDS



SCALE: 1/32"=1'-0"  
0' 16' 32'

# PAPPAS TOMATO FACTORY

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Approved Roof Plan

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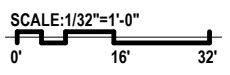
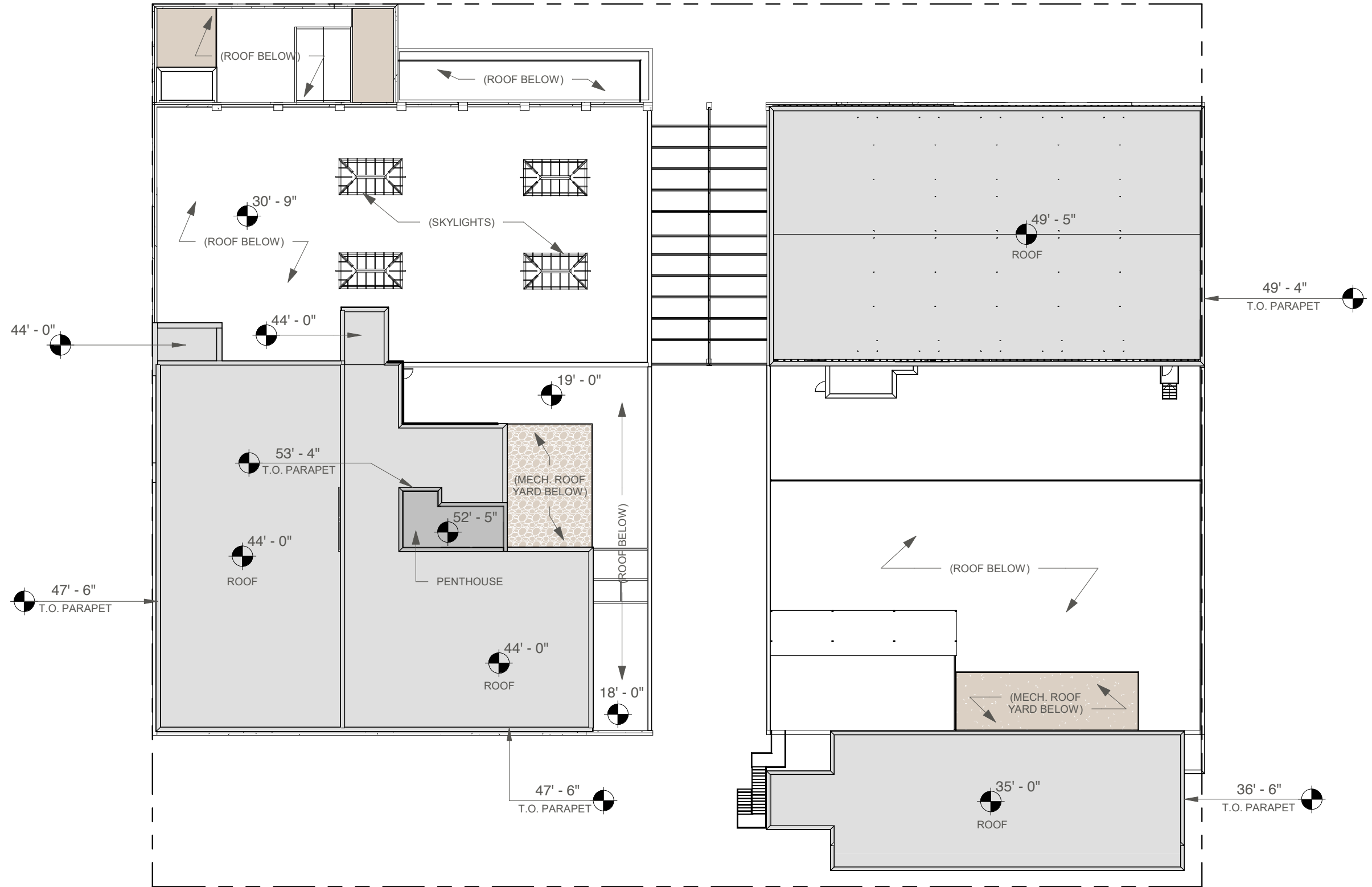
USE TYPES

- PRODUCTION, DISTRIBUTION & REPAIR / ENTERTAINMENT (aa)
- OFFICE / ENTERTAINMENT (x)
- RETAIL / ENTERTAINMENT (cc)
- ENTERTAINMENT (n)
- EATING & DRINKING / ENTERTAINMENT (j)

OTHER

- UNCOVERED ROOF DECK
- COVERED ROOF DECK
- LOADING
- SCREENED ROOFTOP MECHANICAL YARD
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- VERTICAL CIRCULATION
- RAILING LOCATION

NOTE:  
RETAIL TENANT SPACES ARE SUBJECT  
TO CHANGE PER TENANT NEEDS



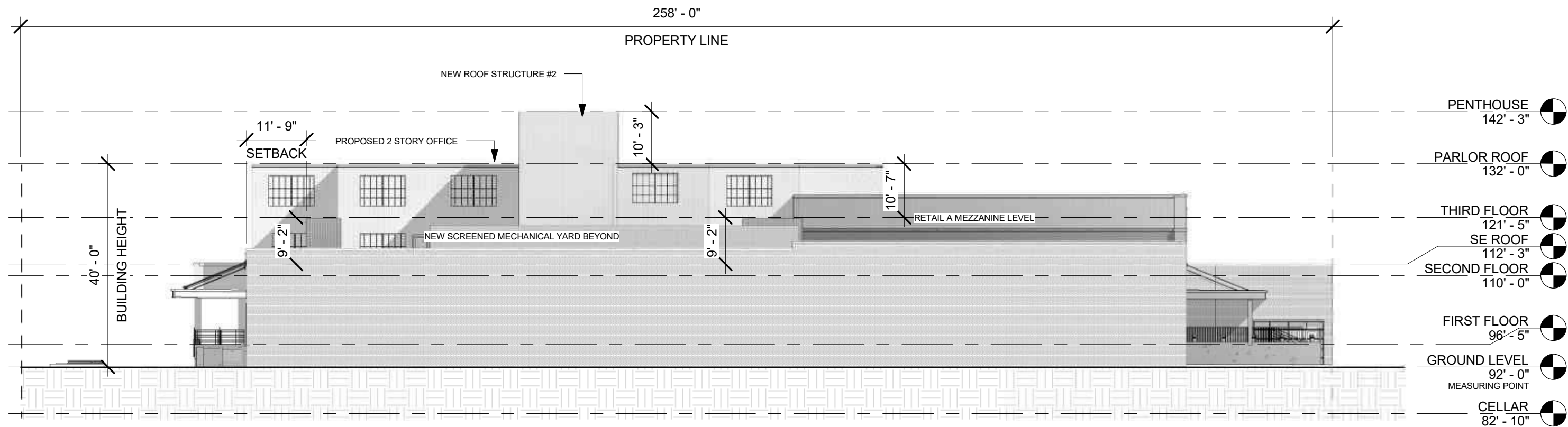
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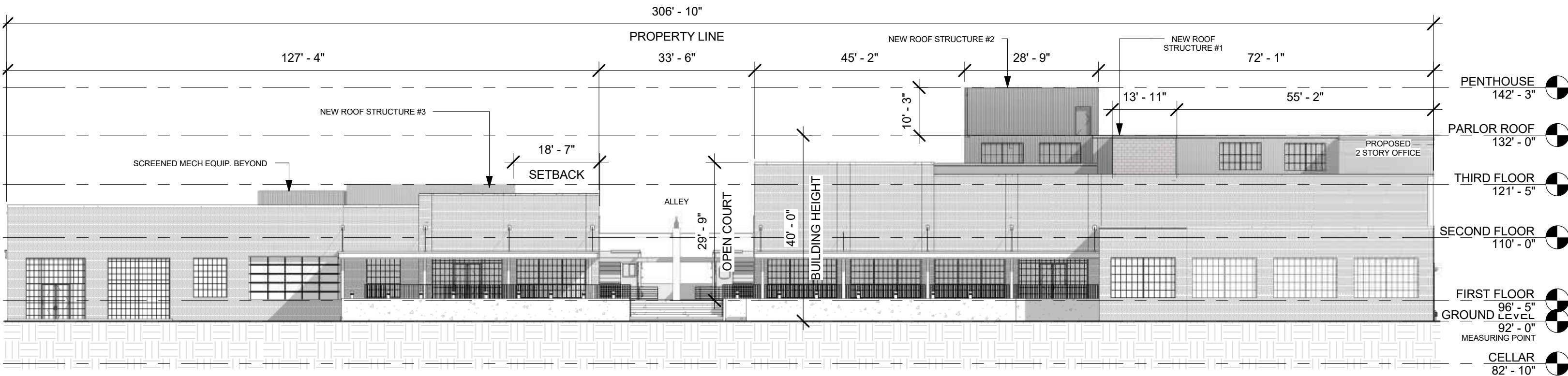
Proposed Roof Plan

October 4, 2018

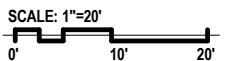




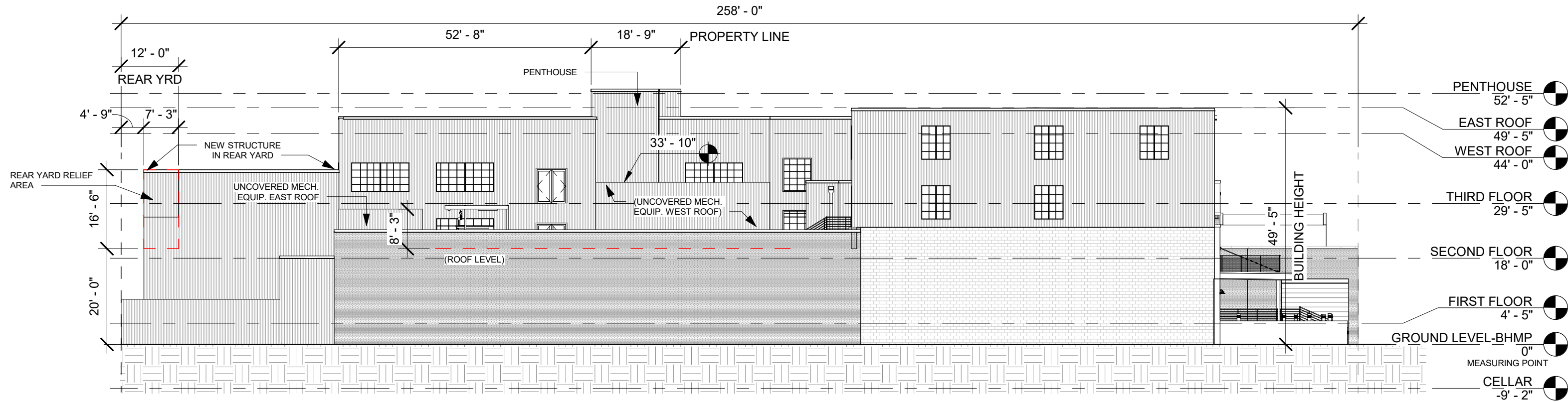
EAST ELEVATION - BZA  
1" = 20'-0"



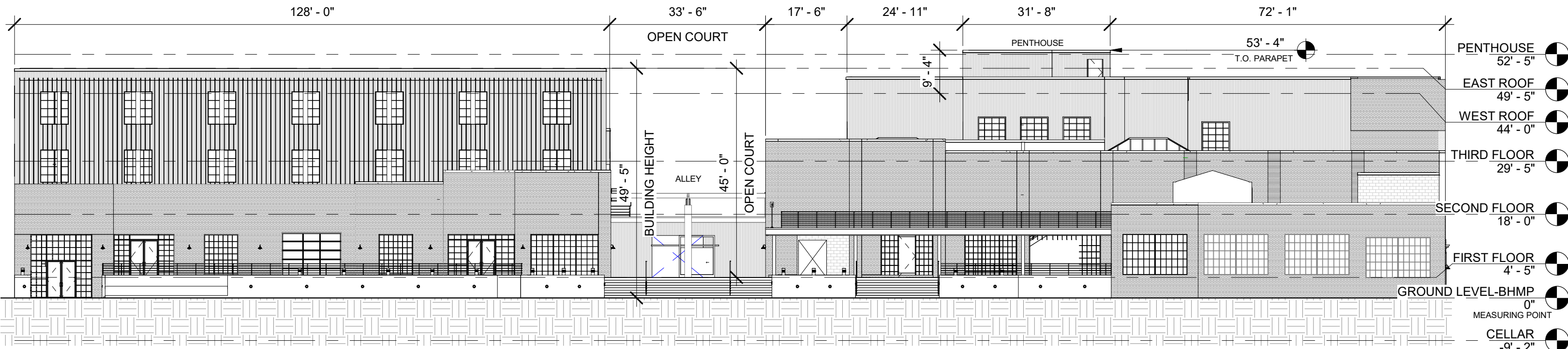
NORTH ELEVATION - BZA  
1" = 20'-0"



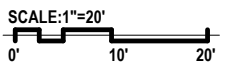
# PAPPAS TOMATO FACTORY



EAST ELEVATION - BZA  
1" = 20'-0"

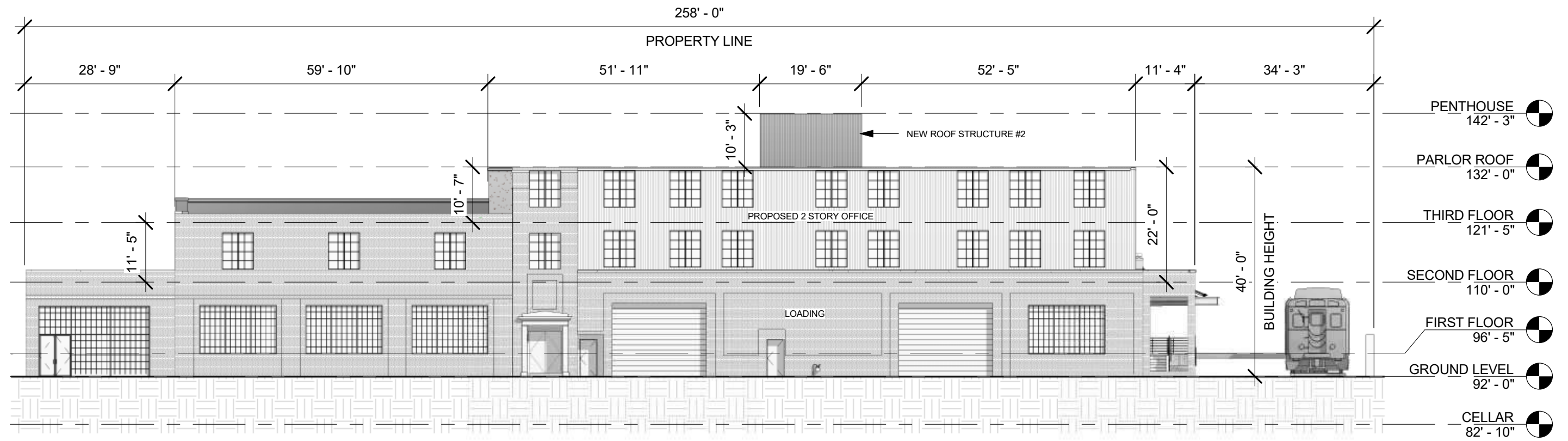


NORTH ELEVATION - BZA  
1" = 20'-0"

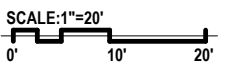


# PAPPAS TOMATO FACTORY

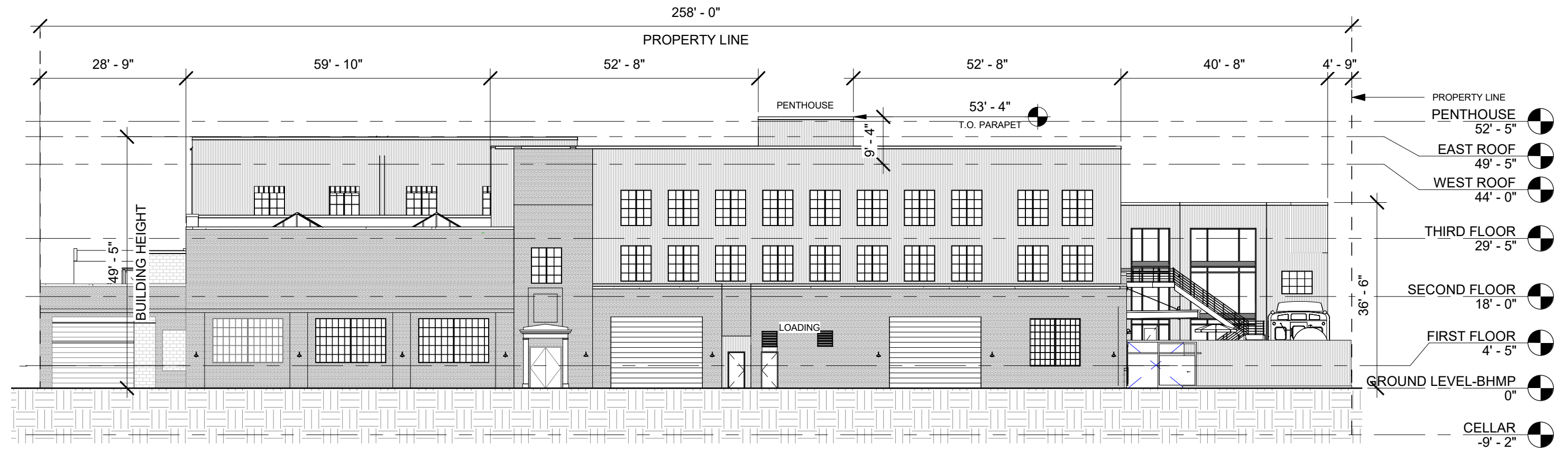




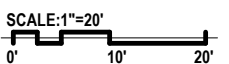
WEST ELEVATION - FENWICK STREET  
1" = 20'-0"



# PAPPAS TOMATO FACTORY

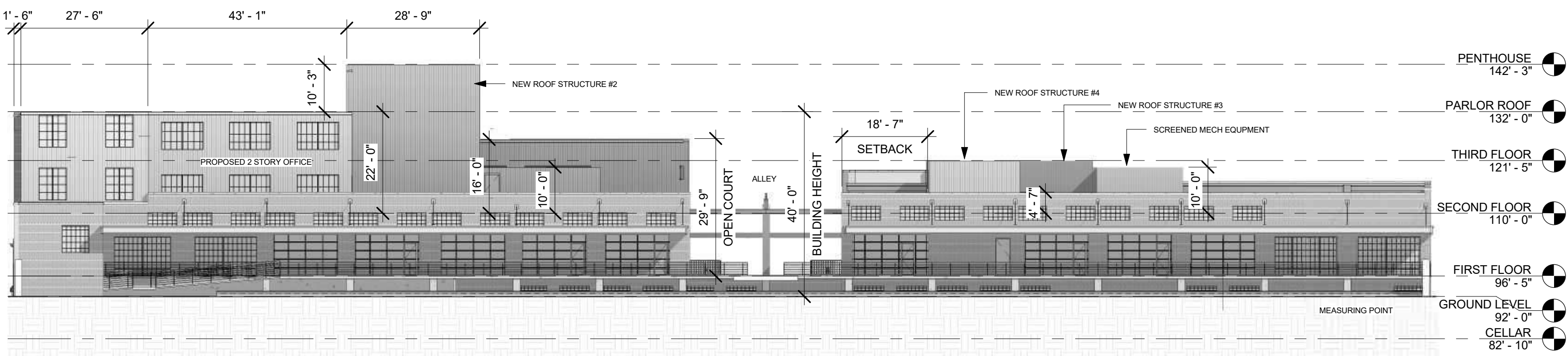


WEST ELEVATION - FENWICK STREET  
 1" = 20'-0"

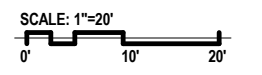


# PAPPAS TOMATO FACTORY





SOUTH ELEVATION - BZA  
1" = 20'-0"

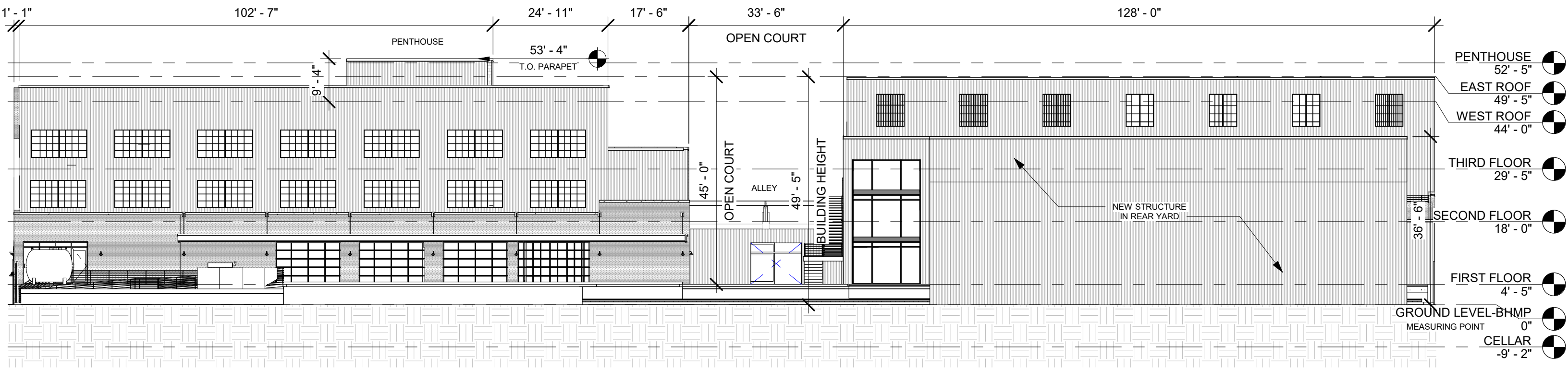


# PAPPAS TOMATO FACTORY

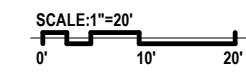
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Approved Elevations

October 4, 2018



SOUTH ELEVATION - BZA  
1" = 20'-0"



# PAPPAS TOMATO FACTORY

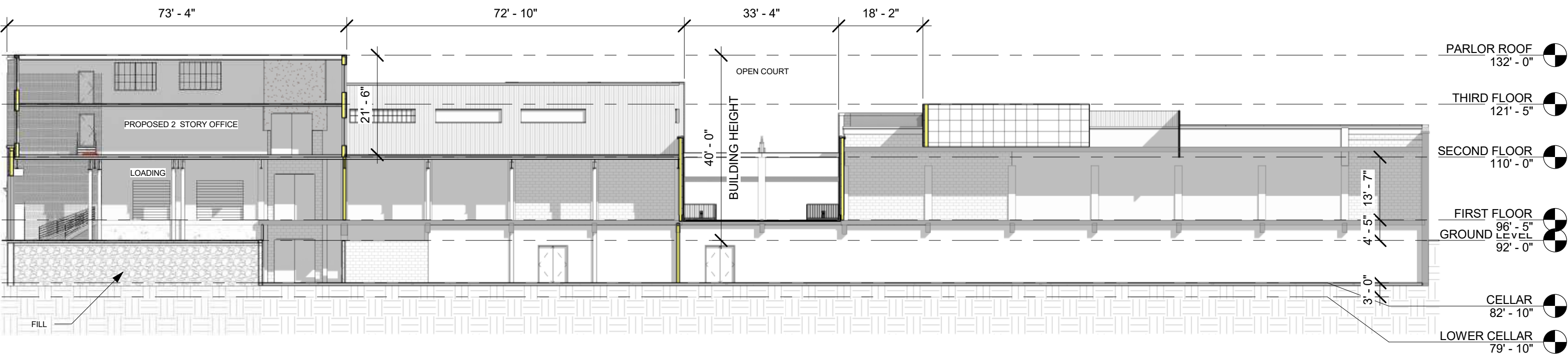
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Proposed Elevations

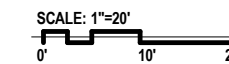
23

October 4, 2018





Section Through Alley  
1" = 20'-0"



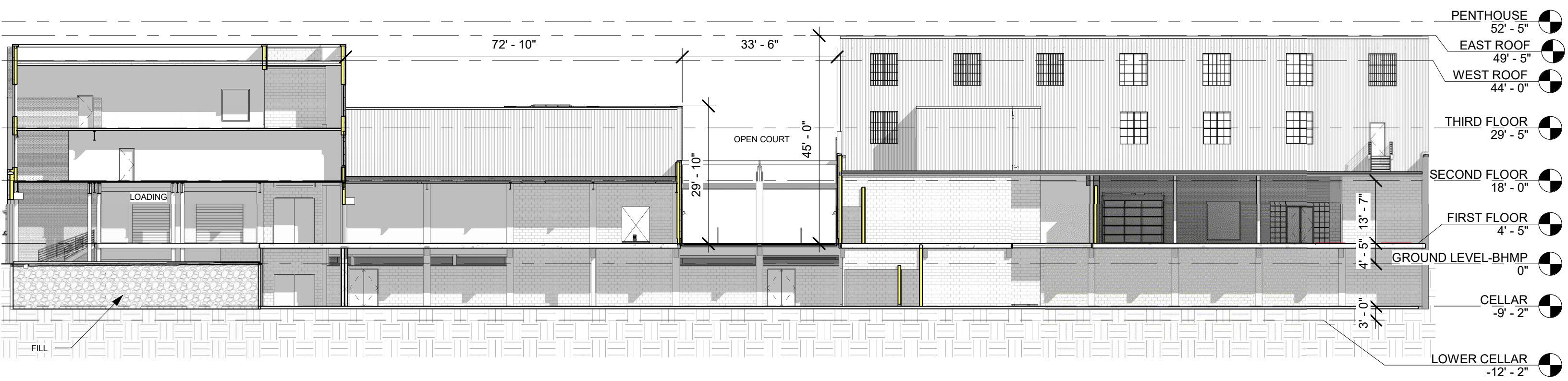
# PAPPAS TOMATO FACTORY

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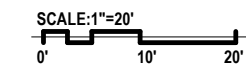
Approved Section

24

October 4, 2018



Section Through Alley  
1" = 20'-0"



# PAPPAS TOMATO FACTORY

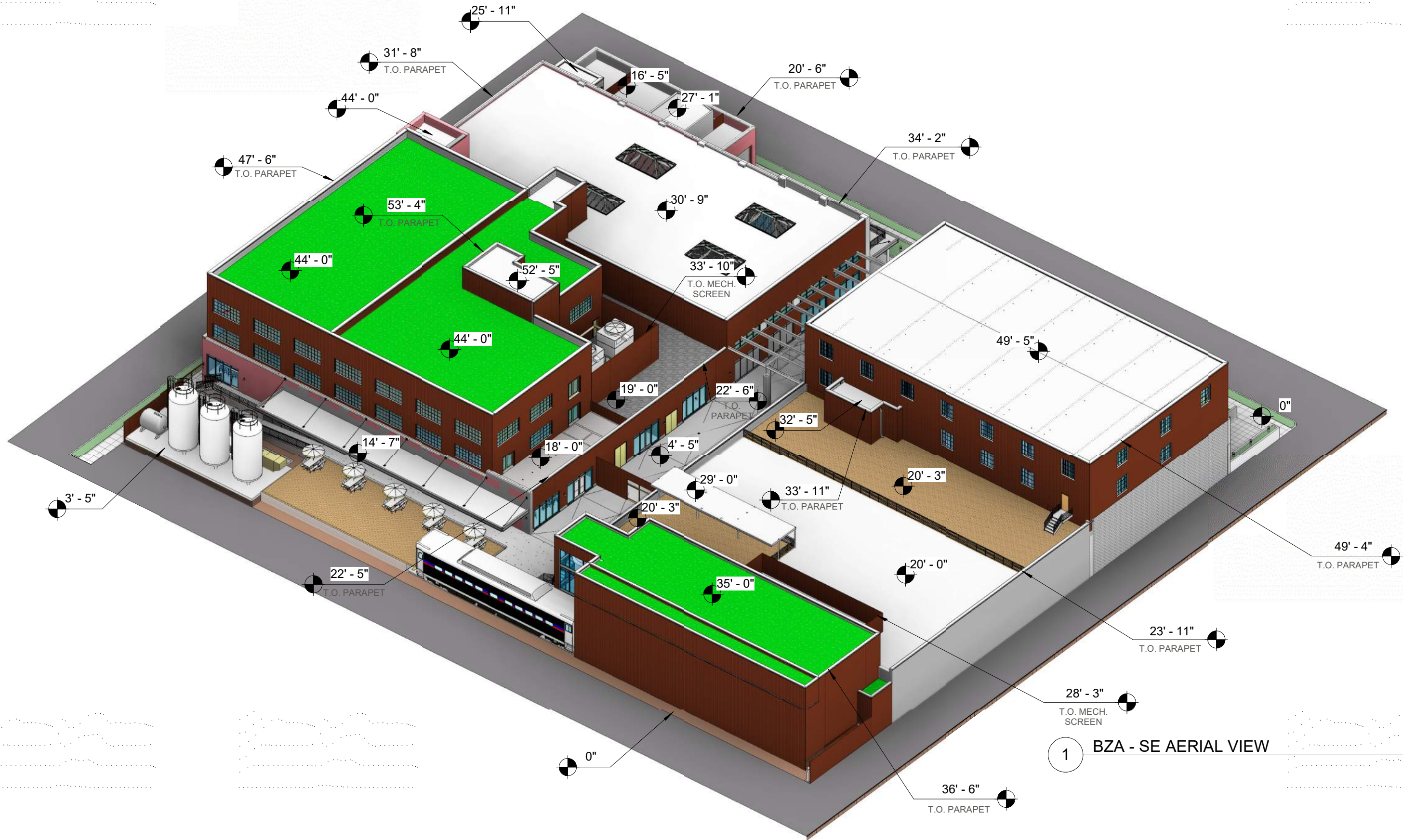
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Proposed Section

25

October 4, 2018

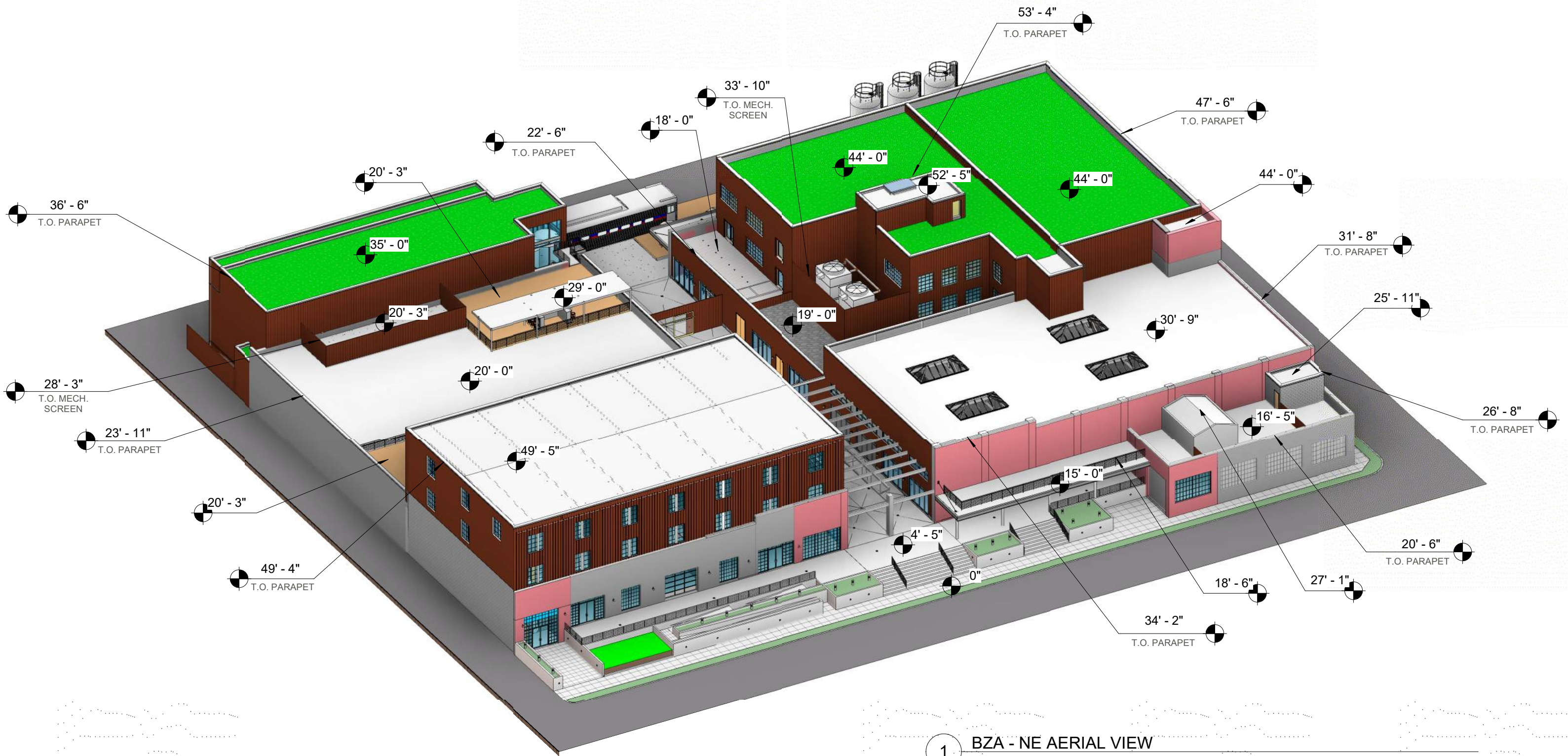




1 BZA - SE AERIAL VIEW

# PAPPAS TOMATO FACTORY





# PAPPAS TOMATO FACTORY