# **ALTERATIONS AND REPAIRS AT 2805 M ST, NW**

# 2805 M STREET, NW WASHINGTON, DC 2007

BBGM Project Number 1123.00

# **BZA APPLICATION**

02.09.2021





BBGM 1825 K Street, NW suite 300 Washington, DC 20006

Tel. 202.452.1644 Fax. 202.452.1647

CONSULTANT: CHRISTIE DESIGN GROUP

912 THAYER AVE, STE 300 SILVER SPRING, MD 20910

OFFICE: (301)608-0005 PROJECT NAME: 2805 M ST, NW Washington, D.C., 20009

### SCOPE OF WORK:

2805 M STREET, NW IS AN EXISTING HISTORIC BUILDING WHICH WAS PREVIOUSLY SUBDIVIDED TO INCLUDE THE PRIOR ADDRESSES OF 2801, 2803, NW. IT IS A 3-STORY ABOVE-GRADE STRUCTURE WITH ONE FULL LEVEL BELOW GRADE (IN ADDITION TO LIMITED BELOW-GRADE MECHANICAL AREAS). THE BUILDING IS IN DISREPAIR, IN PART DUE TO RECENT VEHICULAR DAMAGE, AND REQUIRES IMPROVEMENTS TO THE INTERIOR AND EXTERIOR TO ENHANCE HISTORIC APPEAL. THE CURRENT SCOPE OF WORK WILL INVOLVE INTERIOR ALTERATIONS ON THE 2ND AND 3RD FLOORS ONLY AND WILL INCLUDE REPLACEMENT OF EXISTING PLUMBING FIXTURES AT RESTROOMS IN KIND; REPLACEMENT OF EXISTING LIGHTING AND DEVICES (RECEPTACLES, SWITCHES, ETC.) IN KIND; REPLACEMENT OF MECHANICAL EQUIPMENT IN KIND; AND PROVIDING SECURITY ALARM UPGRADES. THE NEW EGRESS STAIR WILL BE INSTALLED (PER PRIOR CFA APPROVAL DATED 6/12/19);

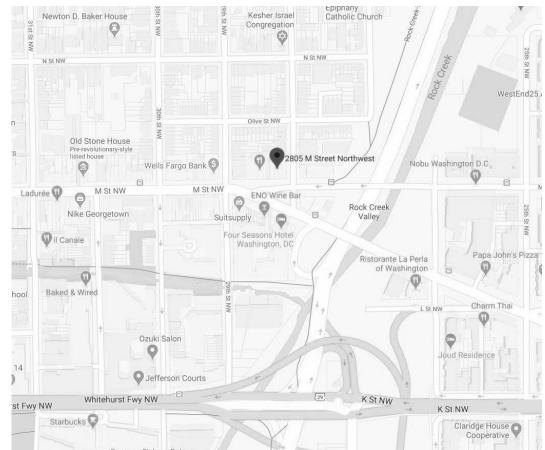
**BUILDING CODES** - (Washington D.C.)

- BUILDING- INTERNATIONAL EXISTING BUILDING CODE (IEBC) 2012 INTERNATIONAL BUILDING CODE (IBC) 2012 DC BUILDING CODE (DCBC) 2013 DCMR 12A BUILDING CODE SUPPLEMENT 2013
- DC EXISTING BUILDING CODE 2013 DCMA 12J EXISTING BUILDING CODE 2013
- MECHANICAL- INTERNATIONAL MECHANICAL CODE (IMC) 2012
- DC MECHANICAL CODE 2013 DCMR 12E 2013 MECHANICAL CODE SUPPLEMENT
- PLUMBING- INTERNATIONAL PLUMBING CODE (IPC) 2012 [REF. 12 DCMR F DC PLUMBING CODE 2013 DCMR 12F 2013 PLUMBIND CODE SUPPLEMENT
- GAS- INTERNATIONAL FUEL GAS CODE (IFGC) 2012 DCMR 12D FUEL GAS CODE SUPPLEMENT
- ELECTRICAL- NATIONAL ELECTRICAL CODE (NEC NFPA 70, 2011 EDITION) NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 72 2010 EDITION DC ELECTRICAL CODE 1013
- DCMR 12C 2013 ELECTRICAL CODE SUPPLEMENT ENERGY- INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2012 GREEN CONSTRUCTION CODE SUPPLEMENT (IGCC) 2012
- DC ENERGY CONSERVATION CODE 2013 DCMR 12 2013 ENERGY CONSERVATION CODE SUPPLEMENT FIRE PREVENTION- NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 2012
- LIFE SAFETY- LIFE SAFETY CODE (LSC) 101 2012
- ACCESSIBILITY-2010 ADA STANDARDS FOR ACCESSIBLE DESIGN INTERNATIONAL BUILDING CODE (IBC) 2012
- 2009 ANSI A117.1 DCMR 12A BUILDING CODE SUPPLEMENT
- ELEVATOR CODE- INTERNATIONAL BUILDING CODE (IBC) 2012 ASME A17.1/CSA B44 OTHER CODES-DC GREEN BUILDING ACT OF 2006 DC GREEN CONSTURCTION CODE 2013
- INTERNATIONAL GREEN CONSTRUCTION CODE 2012 DCMR 12K 2013 GREEN CONSTRUCTION CODE SUPPLEMENT DC PROPERTY MAINTENANCE CODE 2013
- INTERNATIONAL PROPERTY MAINTENANCE CODE 2012 DCMR 12G 2013 PROPERTY MAINTENANCE CODE SUPPLEMENT

<u>ZONING</u> LOTS: 0201 SQUARE: 1212 ZONE: MU-4 HEIGHT: 32' - 6"

- STORIES: 3 ABOVE GRADE + BASEMENT SITE AREA: 5,130 SQ.FT. HISTORIC: GEORGETOWN
- USES: OFFICE/RETAIL

### **VICINITY MAP**



### STRUCTURAL: STRUCTURA INC.

12358 Parklawn Drive, Suite #140 North Bethesda, MD, 20852

(301) 987-9234

Caitlin Mueller, PE cmueller@structura-inc.com 240.477.1882

### USE GROUP:

- **B** OFFICE/RETAIL
- M MERCANTILE
- CONSTRUCTION TYPE: **BUILDING - TYPE IIIB, NOT SPRINKLED**
- NUMBER OF STORIES: 3
- HIGHRISE: NO
- COVERED MALL: NO
- FULLY SPRINKLERED & MONITORED: NO
- FIRE ALARM SYSTEM: NO
- ADA ACCESSIBILITY: NO
- EMERGENCY POWER: NO OCCUPANCY CALCULATION:
- OCCUPANCY REMAINS UNCHANGED AS FLOOR AREAS AND OCCUPANCIES ARE UNCHANGED.

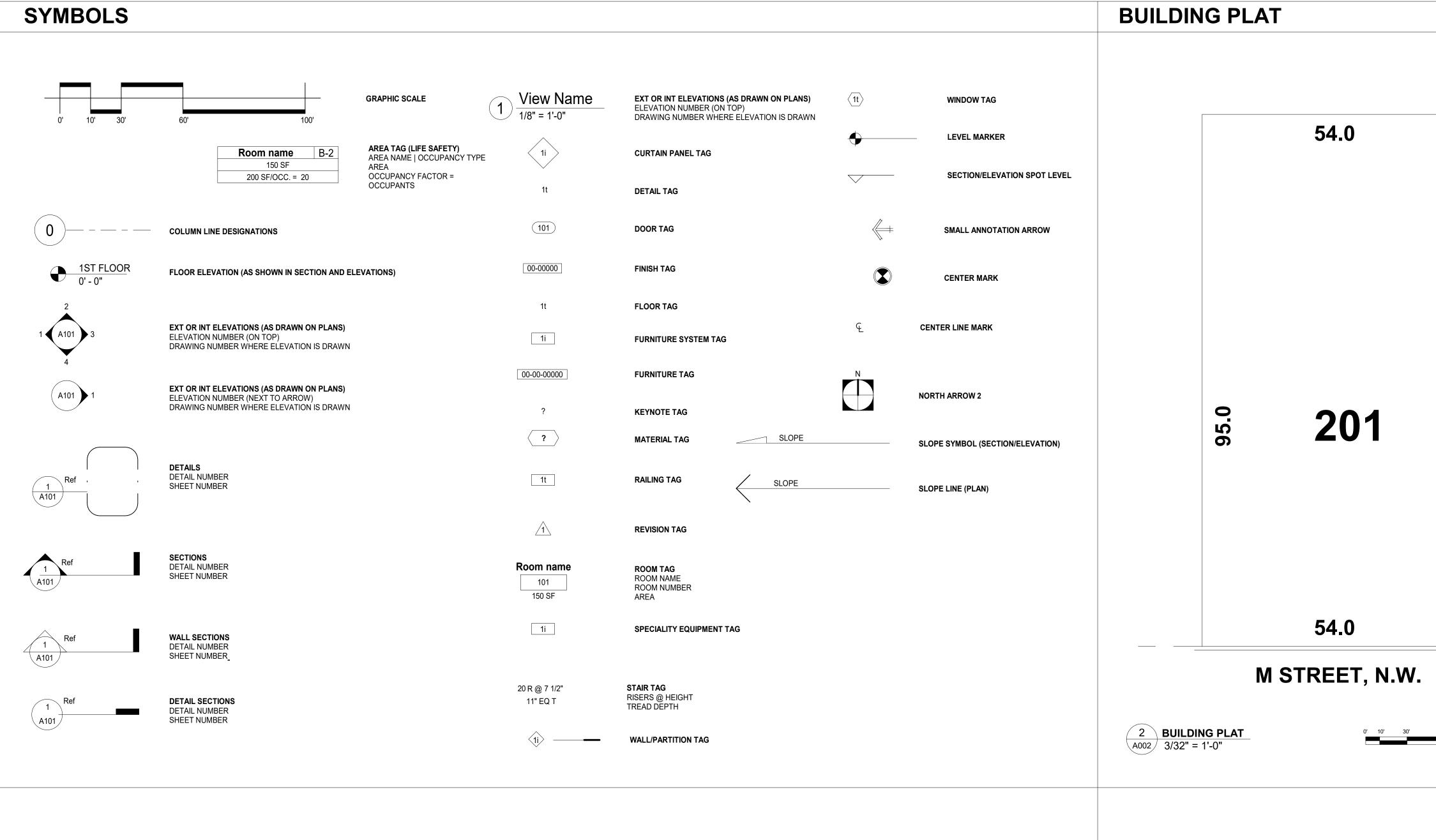
EGRESS LOADS: THIS RENOVATION WILL NOT CHANGE THE EXISTING POPULATION LOADS AND EGRESS REQUIREMENTS OF THE BUILDING.

EXISTING BUILDING LEVEL OF ALTERATION: LEVEL 2 ALTERATION - "LEVEL 2 ALTERATIONS INCLUDE THE RECONFIGURATION OF SPACE, THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INTALLATION OF ANY ADDITIONAL EQUIPTMENT." (IEBC2012 504.1)





ALTAIR HANDLING UNITDMTDEMOUNTABLEGLGLASSMHMANHOLEREOMTREOMTREOUREMENTVCTVINTLCOMPOSITIOLALUMALUTERNATEDNDOWNGMGLALONS PER MINUTEMINMINUMRETRETURNVEST	AFFADJUSTABLEDIMDIMEAHUABOVE FINISHED FLOORDIVDIVISALTAIR HANDLING UNITDMTDEMALUMALTERNATEDNDOWAPALUMINUMDPDAMAPCACCESS PANELDRDOOAPPRARCH. PRECAST CONCRETEDSDOWARCHAPPROXIMATEDTDTLASBARCHITECT(URAL)DTLDET/ATTENASBESTOSDWDWRAUTOATTENUATIONDWGDRAVAVGAUTOMATICDWRDRAVAWPAVERAGEEEASTBCBOTTOM OF CURBEAEACHBDBULLETIN BOARDEIFSEXTEBLDGBUILDINGEIFSEXTEBLKBLOCKELELEVBKBENCH MARKELEVELEVBRGBEARINGEPBDELCOBRKBRICKEPSEXPABTWNBETWEENEQEQUIPCCARPETEWEACHCABCABINETEWCELCOCABCABINETEWCELCOCHALKPOARDEWCELCOEWCCHALKPOARDEWCELCOCABCABINETEWCELCOCHALKPOARDEWCELCOCHALKPOARDEXHEXH	IENSION GFC ISION GFR MOUNTABLE GL WN GPM MPPROOFING GR OR GS WN SPOUT GSL AIN TILE GW TAIL GYF YWALL HB AWING HBD AWER HBC OT H HAUST FAN TERIOR INSULATION & FINISH SYSTEM HDW PANSION JOINT HGT EVATION HINSULATION & FINISH SYSTEM HDW PANSION JOINT HGT EVATION HM ECTRICAL PANELBOARD HR ERGENCY HP ERGENCY HP ETRICAL PANELBOARD HR DAVE HT DXY HTG JAL HTR JIPMENT HVA	CI GROU RC GLAS GLAS M GALLO C GALV GU GLAZ VT GLAZ VT GLAZ VT GLAZ VT GLAZ VT GLAZ VT GLAZ VT HORI C HORI R HEAD NR HARD VD HARD VD HARD VD HARD VD HARD VR HARD	JND FAULT CIRC. INTERUP. S FIBER REIN. CONC. S ONS PER MINUTE DE 'ANIZED STEEL ED STRUCTURAL UNIT ED WALL TILE SUM E BIBB DBOARD ZONTAL BRICK COURSE(S) ZONTAL COURSE(S) (CMU) DER DENER DENER DWOOD DWARE HT .OW METAL ZONTAL SEPOWER R I STRENGTH HT	MEMB MFR MH MIN MIR MISC MLDG MO MR MT MTD MTD MTD MTG MTL MUL MWP N NIC NO NOM NRC NTS	MEMBRANE MANUFACTURER MANHOLE MINIMUM MIRROR MISCELLANEOUS MOLDING MASONRY OPENING MASONRY OPENING MAP RAIL MOUNT MOUNTED MOUNTED MOUNTING METAL MULLION MEMBRANE WATERPROOFING NORTH NOT IN CONTRACT NUMBER NOMINAL NOISE REDUCTION COEFFICIENT NOT TO SCALE	REINF REQD REQMT RES RET RF RFG RH RL RM RO RT RTU R/W S SAN SAB SC SCH SCWD SD	REINFORCE(D)(ING) REQUIRED REQUIREMENT RESILIENT RESILIENT RADIO FREQUENCY ROOFING RIGHT HAND RAIN LEADER ROOM ROUGH OPENING RUBBER TILE ROOFTOP UNIT RIGHT OF WAY SOUTH SANITARY SOUND ATTENUATION BLANKET SOLID CORE SCHEDULE SOLID CORE WOOD DOOR STORM DRAIN	VB VBC VCT VERT VEST VIF VR VT VWB VWC WW WD WD WD WDW WGL WH	VINYL BASE HORIZONTAL BRICK COURSE VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VAPOR RETARDER VINYL TILE VINYL WALL BASE VINYL WALL COVERING WEST WITH WOOD BASE WATER CLOSET WOOD BASE WINDOW WIRE GLASS WATER HEATER
BLOC         BUILDING         EL         EXPANSION_MORT         PERTURNAL         NO         NUMBER NUMBER         SC         SCULD COME         WCL	BLDGBUILDINGEJEXPABLKBLOCKELELEVBLKGBLOCKINGELECELEVBMBENCH MARKELEVELEVBOTBOTTOM OF CURBEMEREMERBRGBEARINGEPBDELECBRKBRICKEPSEXPABSMTBASEMENTEPXEPOXBTWNBETWEENEQEQUIPCCARPETEWEACHCABCABINETEWCELECCHALKBOARDEXHEXH	PANSION JOINTHGTEVATIONHMECTRICALHOREVATORHPERGENCYHRECTRICAL PANELBOARDHSPANDED POLYSTYRENEHTDXYHTGJALHTRJIPMENTHVA	T HEIGI I HOLL RIZ HORI HORS HOUF HIGH HEIGI G HEAT R HEAT	HT LOW METAL ZONTAL SEPOWER R STRENGTH HT	NO NOM NRC NTS OC	NUMBER NOMINAL NOISE REDUCTION COEFFICIENT NOT TO SCALE	SC SCH SCWD SD	SOLID CORE SCHEDULE SOLID CORE WOOD DOOR STORM DRAIN	WGL WH	WIRE GLASS WATER HEATER
CONTRCONTRACT(OR)FLOW </td <td>CGCOBIC FEET FERMINOTEEXP CEXP CCGCORNER GUARDEXTEXTCICAST IRONEXTEXTCIPCAST-IN-PLACE CONCRETEFBFACECJCONTROL JOINTFDFLOOCLCENTERLINEFEFIRECLGCEILINGFECFIRECLOSCLOSETFFFINISCLRCLEARFFEFINISCMCENTIMETERFGLFIBECMUCONCRETE MASONRY UNITFHFIRECOLCLEAN OUTFHVCFIRECOLCOLUMNFINFINISCONCCONCRETEFIXFIXTCONSTCONSTRUCT(ION)FLSHGFLASCONTCONTINUOUSFLRFLOO</td> <td>ECTRIC WATER COOLERIDHAUSTINSTINGINCLPANSIONINFOPOSED CONSTRUCTIONINSTPOSED CONSTRUCTIONINSTPOSED CONSTRUCTIONINSTPOSED CONSTRUCTIONINSTPOSED CONSTRUCTIONINSTPOSED CONSTRUCTIONINSTPOSED CONSTRUCTIONINSTPOSED CONSTRUCTIONINSTPOSED CONSTRUCTIONINSTPOR DRAININVE EXTINGUISHERJANE EXTINGUISHER CABINETJBISHED FLOORJCTISHED FLOOR ELEVATIONJSTE HYDRANTJTE HOSE CABINETKITE HOSE CABINETK-OISH(ED)IABTURELABASHINGLAMOORLAV</td> <td>/ HOT \ INSID INCH INCH INCH INCH INCH INCH INFOF INSUL INSU</td> <td>TER TING, VENTILATING AIR CONDITIONING WATER DE DIAMETER UDE RMATION ALL(ATION) LATE(ION) RIOR RT TOR CTION BOX CTION BOX CTION T HEN CK-OUT DRATORY NATE TORY</td> <td>OH OPNG OPP PRKG PC PERF PERM PIP PL PLAM PLAS PLUMB PLYWD PNL PNT POLY PNL PNT POLY PR PREFAB PREFIN PREFIN PREF</td> <td>OUTSIDE DIAMETER OVERHEAD OPENING OPPOSITE PARKING PRECAST PERFORATE(D) PERIMETER POURED IN PLACE PROPERTY LINE PLATE PLASTIC LAMINATE PLASTER PLUMBING PLYWOOD PANEL PAINT POLYETHYLENE PAIR PREFABRICATE(D) PREFINISHED PREFARE PROJECT POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH</td> <td>SHT SHTH SOF SPEC SPR SQ SS ST STA STC STD STL STOR STRUCT SUBFLR SUSP SYM T TB TBD T&amp;B TBD T&amp;B TBD T&amp;B TBD T&amp;B TBD T&amp;B THD T&amp;B THHD THK</td> <td>SHEET SHEATHING SPRAY FIREPROOFING SPECIFICATION SPRINKLER SQUARE STAINLESS STEEL STREET STATION SOUND TRANSMISSION COEF. STANDARD STEEL STORAGE STRUCTURAL SUBFLOOR SUSPENSION SYMMETRY(RICAL) TREAD TACKBOARD TO BE DETERMINE TOP &amp; BOTTOM TOP OF CURB TELEPHONE TONGUE &amp; GROOVE THRESHOLD THICK(NESS)</td> <td>WP WPT WR WSCT</td> <td>WATERPROOFING WORKING POINT WATER RESISTANT WAINSCOT</td>	CGCOBIC FEET FERMINOTEEXP CEXP CCGCORNER GUARDEXTEXTCICAST IRONEXTEXTCIPCAST-IN-PLACE CONCRETEFBFACECJCONTROL JOINTFDFLOOCLCENTERLINEFEFIRECLGCEILINGFECFIRECLOSCLOSETFFFINISCLRCLEARFFEFINISCMCENTIMETERFGLFIBECMUCONCRETE MASONRY UNITFHFIRECOLCLEAN OUTFHVCFIRECOLCOLUMNFINFINISCONCCONCRETEFIXFIXTCONSTCONSTRUCT(ION)FLSHGFLASCONTCONTINUOUSFLRFLOO	ECTRIC WATER COOLERIDHAUSTINSTINGINCLPANSIONINFOPOSED CONSTRUCTIONINSTPOSED CONSTRUCTIONINSTPOSED CONSTRUCTIONINSTPOSED CONSTRUCTIONINSTPOSED CONSTRUCTIONINSTPOSED CONSTRUCTIONINSTPOSED CONSTRUCTIONINSTPOSED CONSTRUCTIONINSTPOSED CONSTRUCTIONINSTPOR DRAININVE EXTINGUISHERJANE EXTINGUISHER CABINETJBISHED FLOORJCTISHED FLOOR ELEVATIONJSTE HYDRANTJTE HOSE CABINETKITE HOSE CABINETK-OISH(ED)IABTURELABASHINGLAMOORLAV	/ HOT \ INSID INCH INCH INCH INCH INCH INCH INFOF INSUL INSU	TER TING, VENTILATING AIR CONDITIONING WATER DE DIAMETER UDE RMATION ALL(ATION) LATE(ION) RIOR RT TOR CTION BOX CTION BOX CTION T HEN CK-OUT DRATORY NATE TORY	OH OPNG OPP PRKG PC PERF PERM PIP PL PLAM PLAS PLUMB PLYWD PNL PNT POLY PNL PNT POLY PR PREFAB PREFIN PREFIN PREF	OUTSIDE DIAMETER OVERHEAD OPENING OPPOSITE PARKING PRECAST PERFORATE(D) PERIMETER POURED IN PLACE PROPERTY LINE PLATE PLASTIC LAMINATE PLASTER PLUMBING PLYWOOD PANEL PAINT POLYETHYLENE PAIR PREFABRICATE(D) PREFINISHED PREFARE PROJECT POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH	SHT SHTH SOF SPEC SPR SQ SS ST STA STC STD STL STOR STRUCT SUBFLR SUSP SYM T TB TBD T&B TBD T&B TBD T&B TBD T&B TBD T&B THD T&B THHD THK	SHEET SHEATHING SPRAY FIREPROOFING SPECIFICATION SPRINKLER SQUARE STAINLESS STEEL STREET STATION SOUND TRANSMISSION COEF. STANDARD STEEL STORAGE STRUCTURAL SUBFLOOR SUSPENSION SYMMETRY(RICAL) TREAD TACKBOARD TO BE DETERMINE TOP & BOTTOM TOP OF CURB TELEPHONE TONGUE & GROOVE THRESHOLD THICK(NESS)	WP WPT WR WSCT	WATERPROOFING WORKING POINT WATER RESISTANT WAINSCOT
	CORRCORRIDORFNDFOUICRCLASSROOMFOCFACECRSCOURSEFOMFACECTLCARPET TILESFRFIRECTSKCOUNTERSINKFRMGFRAMCTCERAMIC TILEFRPFIBECUHCABINET UNIT HEATERFRTFIBECU YDCUBIC YARDFTFOOCWCOLD WATERFTGFOOFURNFURNFURNFURN	JNDATIONLFDE OF CONCRETELHDE OF MASONRYLKRE RATEDLTAMINGLVRERGLASS REINF PLASTICLWER RETARDANT TREATEDDT, FEETDTINGRNITURERRINGLVR	LINEA LEFT R LOCK LIGHT R LOUV	AR FEET (FOOT) HAND KER T /ER	PVC PVMT QT	POLYVINYL CHLORIDE PAVEMENT QUARRY TILE	TOS TOW TPT TRT TOS TV	TOP OF STEEL TOP OF WALL TEXTURES PAINT TREAT(ED) TOP OF SLAB TELEVISION		
YMBOLS BUILDING PLAT	MBOLS						BU	ILDING PLAT		



# **INDEX OF DRAWINGS**

	INDEX OF DRAWINGS	
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A003		X
A004	EXISTING EXTERIOR IMAGES	X
A006	EXISTING FIRST FLOOR PLAN	X
A007	EXISTING SECOND FLOOR PLAN	X
A008	EXISTING LOFT FLOOR PLAN	X
A009	EXISTING BUILDING SECTION	X
A010	EXISTING EXTERIOR ELEVATIONS	X
A103	FIRST FLOOR PLAN	X
A104	SECOND FLOOR PLAN	X
A105		X
A201	EXTERIOR ELEVATIONS	X
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A302	EXTERIOR ELEVATIONS AND SECTIONS	X
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M000		X
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M005	VENTILATION SYSTEM, SCHEDULE AND RISER DIAGRAM	X
E000	NOTES, EXISTING POWER RISER	X
E000	NEW ELECTRICAL LAYOUT 2ND. FLOOR PLAN	X
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E005	EXISTING 800 AMPS PANEL PANELS C & B	X
EE01	ENERGY EFFICIENCY SCHEDULE	X
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S001	STRUCTURAL NOTES	X
S002	SPECIAL INSPECTIONS	X
S101	EXTERIOR EGRESS STAIR FOUNDATION PLAN	X
S102	EXTERIOR EGRESS STAIR FRAMING PLAN	X
S201	STRUCTURAL SECTIONS	X
S202	STRUCTURAL SECTIONS	X

### SITE PLAN

95.0

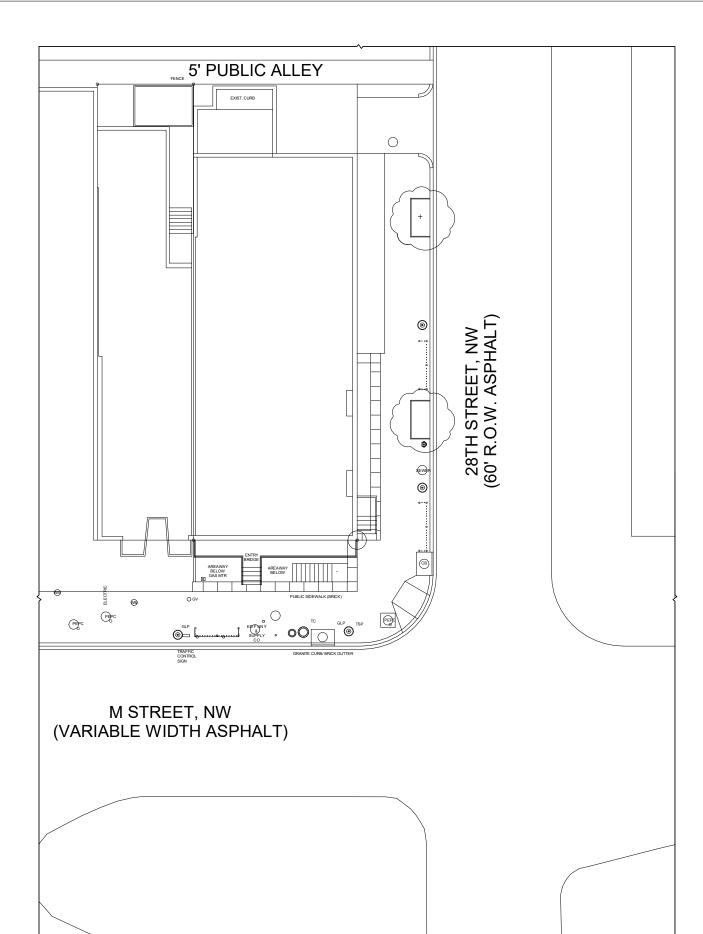
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**28TH** 



2805 BOND ST. EQUITIES, LLC BRIAN FRIEDMAN 2805 M STREET, NW WASHINGTON, DC 20007 202-271-4200 CONSULTANTS MEP: CHRISTIE DESIGN GROUP 912 THAYER AVE, STE 300, SILVER SPRING, MD 20910 OFFICE: (301)608-0005 STRUCTURAL: STRUCTURA INC. 12358 Parklawn Drive, Suite #140 North Bethesda, MD, 20852 (301) 987-9234 Caitlin Mueller, PE cmueller@structura-inc.com 240.477.1882 SUBMISSIONS DateDescription02.09.2021BZA APPLICATION REVISIONS No. Date Description BBGN 1825 K Street NW Suite 300 Washington DC 20006 Tel 202 452 1644 Fax 202 452 1647 www.bbgm.com This document and the ideas and designs incorporated within it are instruments of Professional Service. They are and remain the property of BBGM/Architects & Interiors, Inc. (BBGM) and are not to be used or reproduced in whole or in part for another project without the express written consent of BBGM. Unauthorized additions to or alterations of this document, or to related construction, are prohibited. These drawings are protected by copyright. © 2014 BBGM/Architects & Interiors, Inc. PROJECT ALTERATIONS AND REPAIRS AT 2805 M ST, NW 2805 M STREET, NW WASHINGTON, DC 2007 INDEX AND ABBREVIATION, SYMBOLS AND LEGENDS PROJECT No.: 1123.00 SEAL & SIGNATURE TRUCT OF CO DWG No: A002 No. 4296

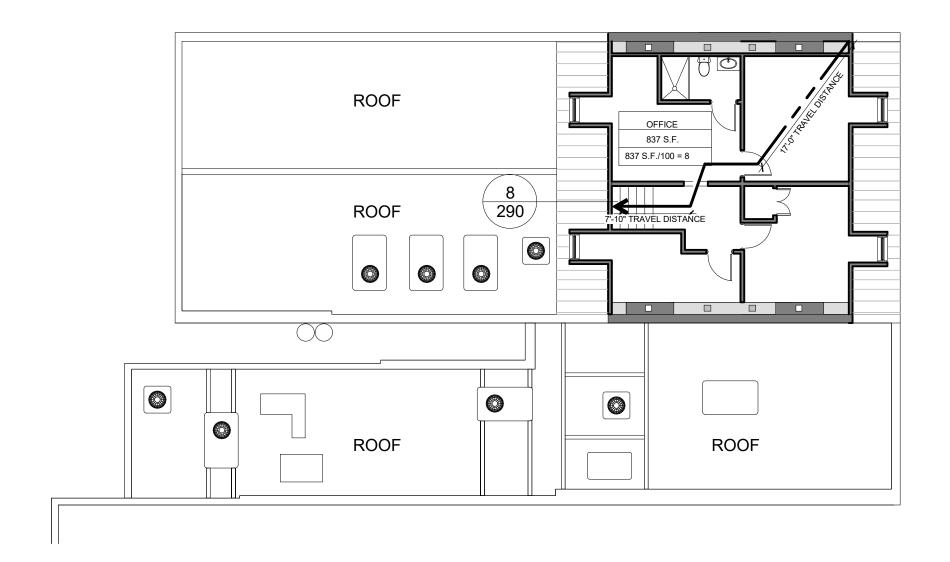
# OCCUPANCY INFORMATION

	D. D. (	Specific	Location	U	se				Certificate of	F
Original Address Bay Refere	Bay Reference	Level	Portion	Current	Proposed	AREA	SQ.FT. PER PERSON	OCCUPANCY LOAD	CofO #	
		Basement	All	Office - B	No Change	2,640	100 SQ.FT.	26	B172760	-
			Partial	Office - B					CO1500318	
2801 #1	1st	Partial	Office - B	Mercantile - M	2,664	30 SQ.FT.	88	B174297	ſ	
		Partial								
	2nd	All	Office - B	No Change	1,316	100 SQ.FT.	13	B172760	ł.	
		3rd / Loft	All		No Change	837	100 SQ.FT.	8		
	Basement	All	Office - B	No Change	2,640	100 SQ.FT.	26	B172760		
			Partial	Office - B		2,664	30 SQ.FT.	88	CO1500318	
2002	"2	1st	Partial	Office - B	Mercantile - M				B174297	1
2803	#2		Partial							1
	2nd	All	Office - B	No Change	1,316	100 SQ.FT.	13	B172760		
		3rd / Loft	3rd / Loft All		No Change	837	100 SQ.FT.	8		
	Base	Basement	All	Fort Ford A D						[
2805	#3	1st	All	Fast Food A-2	No Change		N.I.C		CO1702540	
2005	#5	2nd	All	Gym or Exercise Studio	No Change	3,843	50 SQ.FT.	77	CO1302977	

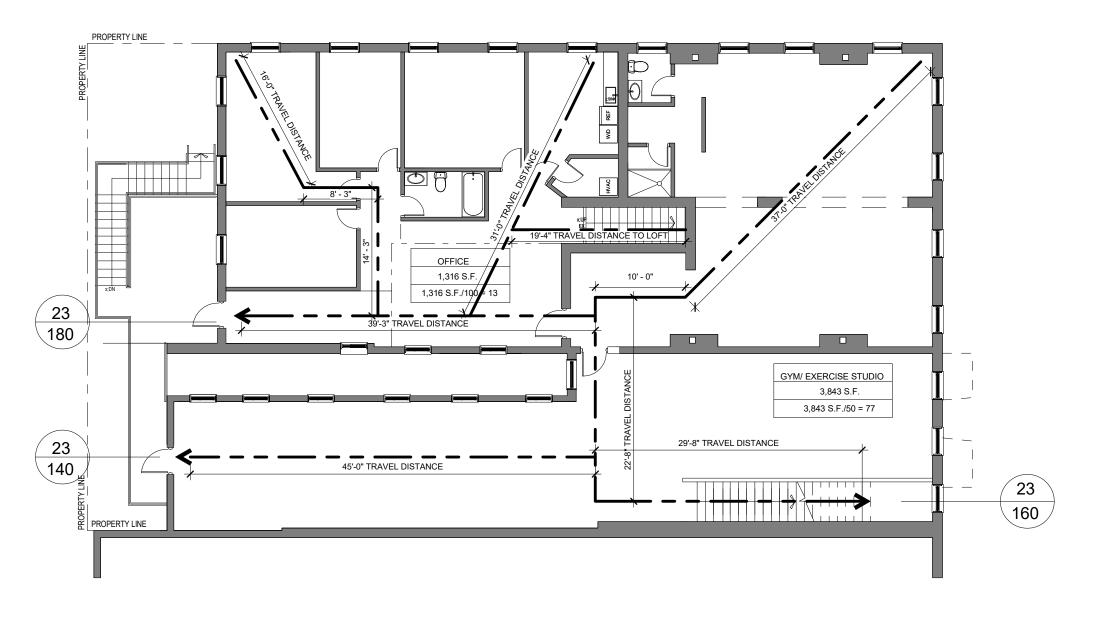
### EGRESS INFORMATION

LIFE SAFETY DIAGR	AM LEGEND
<b>&gt;</b>	TRAVEL DISTANCE
	UNOCCUPIED AREA N.I.C.
	AREA NOT IN SCOPE OF WORK
X	X = # OF OCCUPANTS
Y	Y = EXIT CAPACITY
SPACE NAME S.F. S.F./OC =XX	S.F = SQUARE FOOT OC = OCCUPANCY PER PERSON
FIRE RESISTENCE RE	QUIREMENTS: TYPE III B
1. STRUCTURAL FRAME: 0 HOURS	
2. BEARING WALLS - EXTERIOR: 2 HOURS	
3. BEARING WALLS - INTERIORS: 0 HOURS	
4. NON-BEARING WALLS: 0 HOURS	
5. FLOOR CONSTRUCTION: 0 HOURS	
6. ROOF CONSTRUCTION: 0 HOURS	

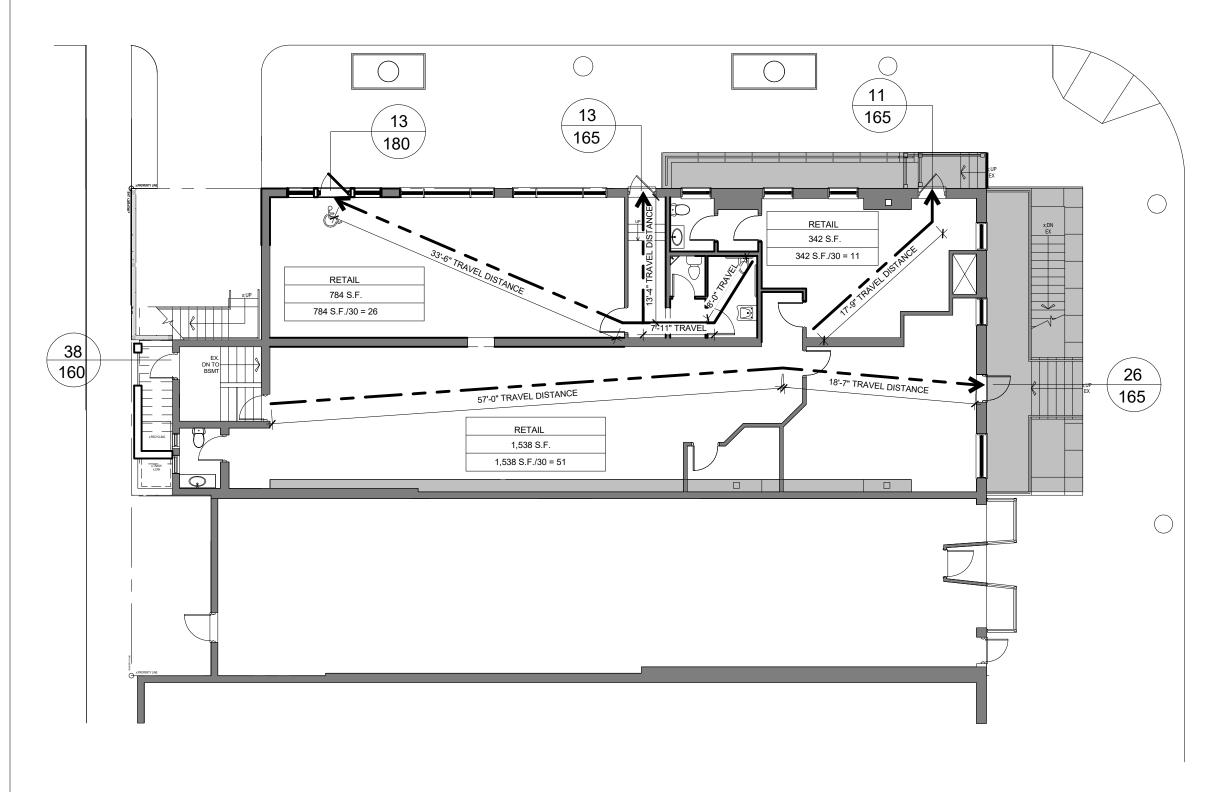
7. DEMISING WALL: 0 HOURS



3 LIFE SAFETY PLAN - LOFT A003 3/32" = 1'-0"

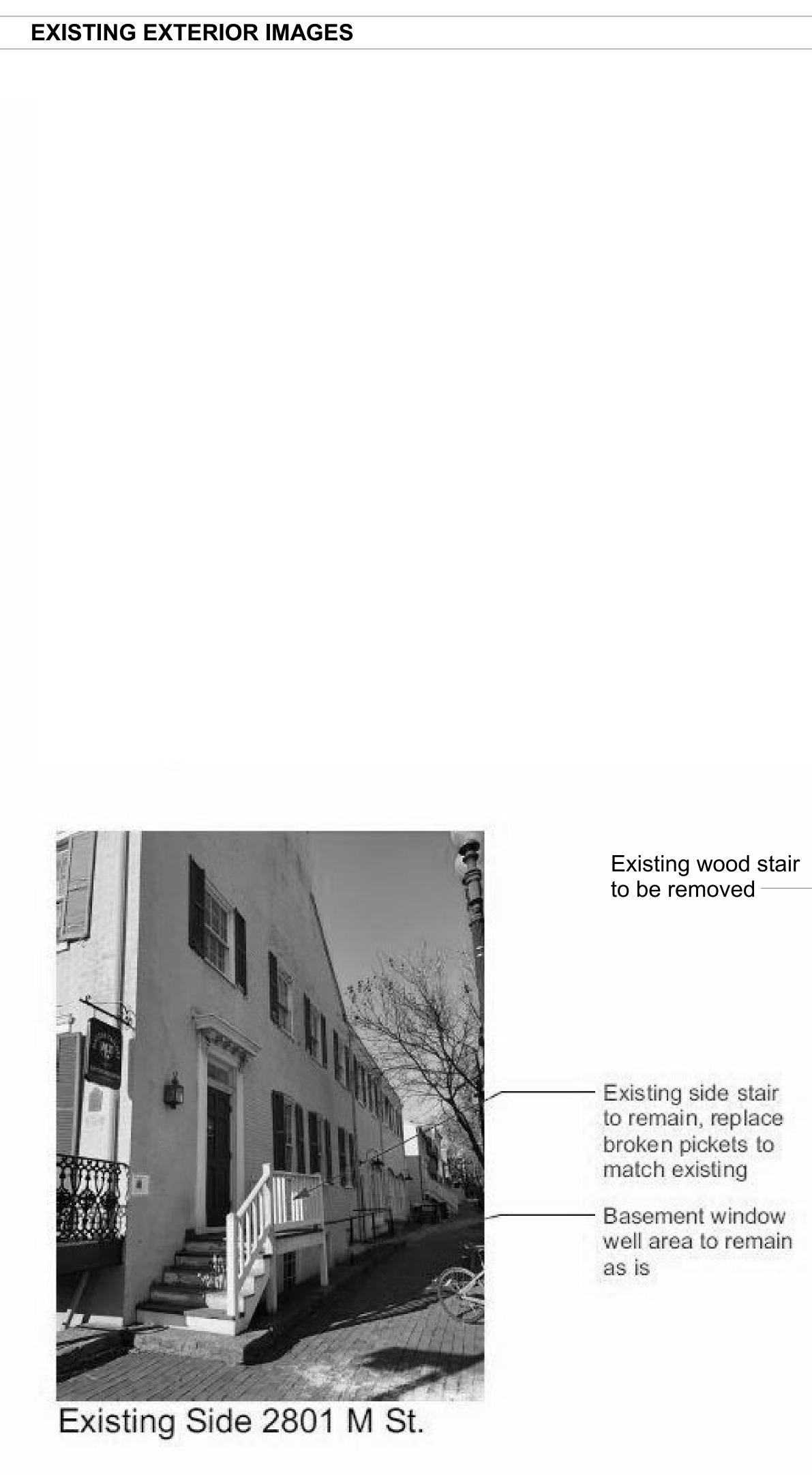


2 LIFE SAFETY PLAN - SECOND FLOOR A003 3/32" = 1'-0"



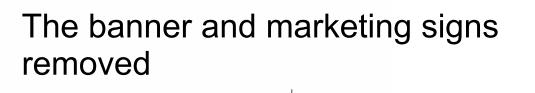
1LIFE SAFETY PLAN - FIRST FLOORA0033/32" = 1'-0"

2805 BOND ST. EQUITIES, LLC BRIAN FRIEDMAN 2805 M STREET, NW WASHINGTON, DC 20007 202-271-4200 CONSULTANTS MEP: CHRISTIE DESIGN GROUP 912 THAYER AVE, STE 300, SILVER SPRING, MD 20910 OFFICE: (301)608-0005 STRUCTURAL: STRUCTURA INC. 12358 Parklawn Drive, Suite #140 North Bethesda, MD, 20852 (301) 987-9234 Caitlin Mueller, PE cmueller@structura-inc.com 240.477.1882 SUBMISSIONS Date Description 02.09.2021 BZA APPLICATION REVISIONS No. Date Description BBGN 1825 K Street NW Suite 300 Washington DC 20006 Tel 202 452 1644 Fax 202 452 1647 www.bbgm.com This document and the ideas and designs incorporated within it are instruments of Professional Service. They are and remain the property of BBGM/Architects & Interiors, Inc. (BBGM) and are not to be used or reproduced in whole or in part for another project without the express written consent of BBGM. Unauthorized additions to or alterations of this document, or to related construction, are prohibited. These drawings are protected by copyright. © 2014 BBGM/Architects & Interiors, Inc. PROJECT ALTERATIONS AND REPAIRS AT 2805 M ST, NW 2805 M STREET, NW WASHINGTON, DC 2007 LIFE SAFETY PLAN SEAL & SIGNATURE PROJECT No.: 1123.00 CT OF C DWG No: A003 No. 4296





Existing Side/Rear 2805 M St.



- Remove bracket sign at the corner



Existing Front/Rear 2805 M St.

EXISTING CONDITIONS DWG SUBMITTED PER REQUEST OF OGB/ CFA DOES NOT CHANGE SCOPE OF WORK.

2805 BOND ST. EQUITIES, LLC BRIAN FRIEDMAN 2805 M STREET, NW WASHINGTON, DC 20007 202-271-4200 MEP: CHRISTIE DESIGN GROUP 912 THAYER AVE, STE 300, SILVER SPRING, MD 20910 OFFICE: (301)608-0005 STRUCTURAL: STRUCTURA INC. 12358 Parklawn Drive, Suite #140 North Bethesda, MD, 20852 (301) 987-9234 Caitlin Mueller, PE cmueller@structura-inc.com 240.477.1882 SUBMISSIONS DateDescription02.09.2021BZA APPLICATION REVISIONS BBGN 1825 K Street NW Suite 300 Washington DC 20006 Tel 202 452 1644 Fax 202 452 1647 www.bbgm.com This document and the ideas and designs incorporated within it are instruments of Professional Service. They are and remain the property of BGM/Architects & Interiors, Inc. (BBGM) and are not to be used or reproduced in whole or in part for another project without the express written consent of BBGM. Unauthorized additions to or alterations of this document, or to related construction, are prohibited. These drawings are protected by copyright. © 2014 BBGM/Architects & Interiors, Inc. PROJECT ALTERATIONS AND REPAIRS AT 2805 M ST, NW 2805 M STREET, NW WASHINGTON, DC 2007 EXISTING EXTERIOR IMAGES SEAL & SIGNATURE PROJECT No.: 1123.00 DWG No: A004



EXISTING CONDITIONS DWG SUBMITTED PER REQUEST OF OGB/ CFA DOES NOT CHANGE SCOPE OF WORK.

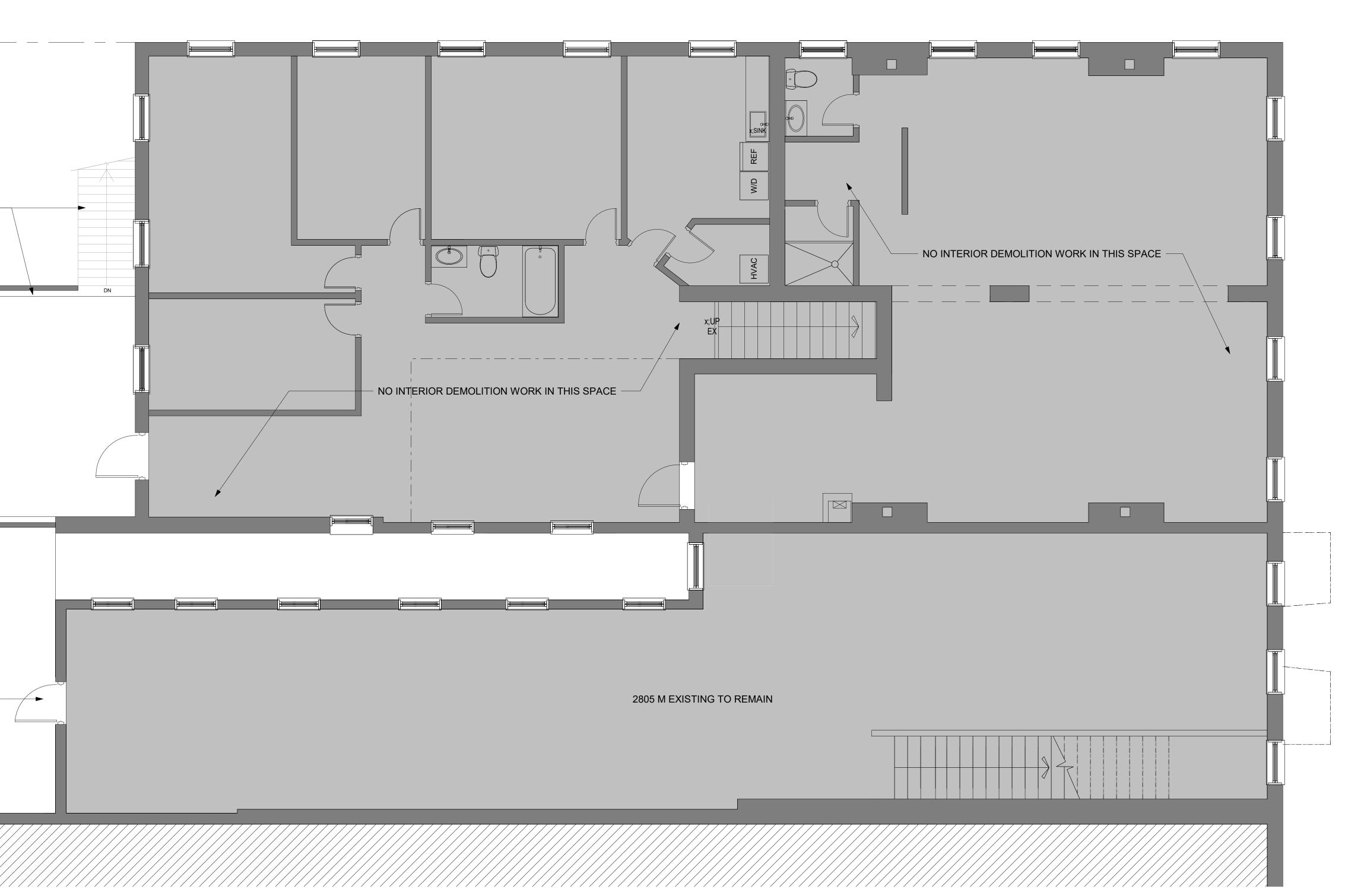
2805 BOND ST. EQUITIES, LLC BRIAN FRIEDMAN 2805 M STREET, NW WASHINGTON, DC 20007 202-271-4200 CONSULTANTS MEP: CHRISTIE DESIGN GROUP 912 THAYER AVE, STE 300, SILVER SPRING, MD 20910 OFFICE: (301)608-0005 STRUCTURAL: STRUCTURA INC. 12358 Parklawn Drive, Suite #140 North Bethesda, MD, 20852 (301) 987-9234 Caitlin Mueller, PE cmueller@structura-inc.com 240.477.1882 SUBMISSIONS Date Description 02.09.2021 BZA APPLICATION REVISIONS No. Date  $\mathsf{BB}$ 1825 K Street NW Suite 300 Washington DC 20006 Tel 202 452 1644 Fax 202 452 1647 www.bbgm.com -----This document and the ideas and designs incorporated within it are instruments of Professional Service. They are and remain the property of BBGM/Architects & Interiors, Inc. (BBGM) and are not to be used or reproduced in whole or in part for another project without the express written consent of BBGM. Unauthorized additions to or alterations of this document, or to related construction, are prohibited. These drawings are protected by copyright. © 2014 BBGM/Architects & Interiors, Inc. PROJECT ALTERATIONS AND REPAIRS AT 2805 M ST, NW 2805 M STREET, NW WASHINGTON, DC 2007 EXISTING FIRST FLOOR PLAN SEAL & SIGNATURE PROJECT No.: 1123.00 DWG No: A006

### **EXISTING SECOND FLOOR PLAN**



EXISTING OPENING -PROPERTY LINE

PROPERTY LINE

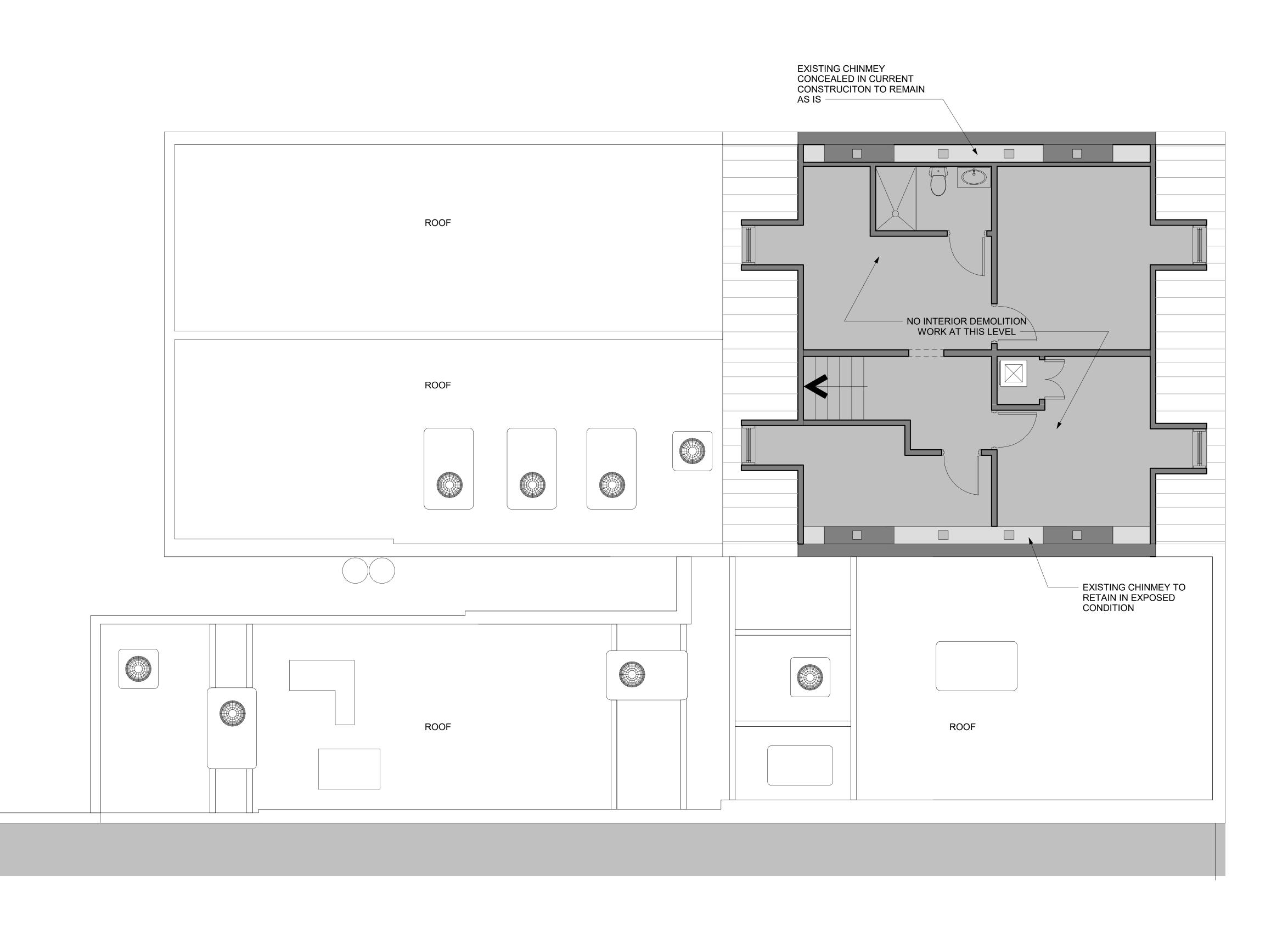


1EXISTING SECOND FLOOR PLANA0071/4" = 1'-0"

# EXISTING CONDITIONS DWG SUBMITTED PER REQUEST OF OGB/ CFA DOES NOT CHANGE SCOPE OF WORK.

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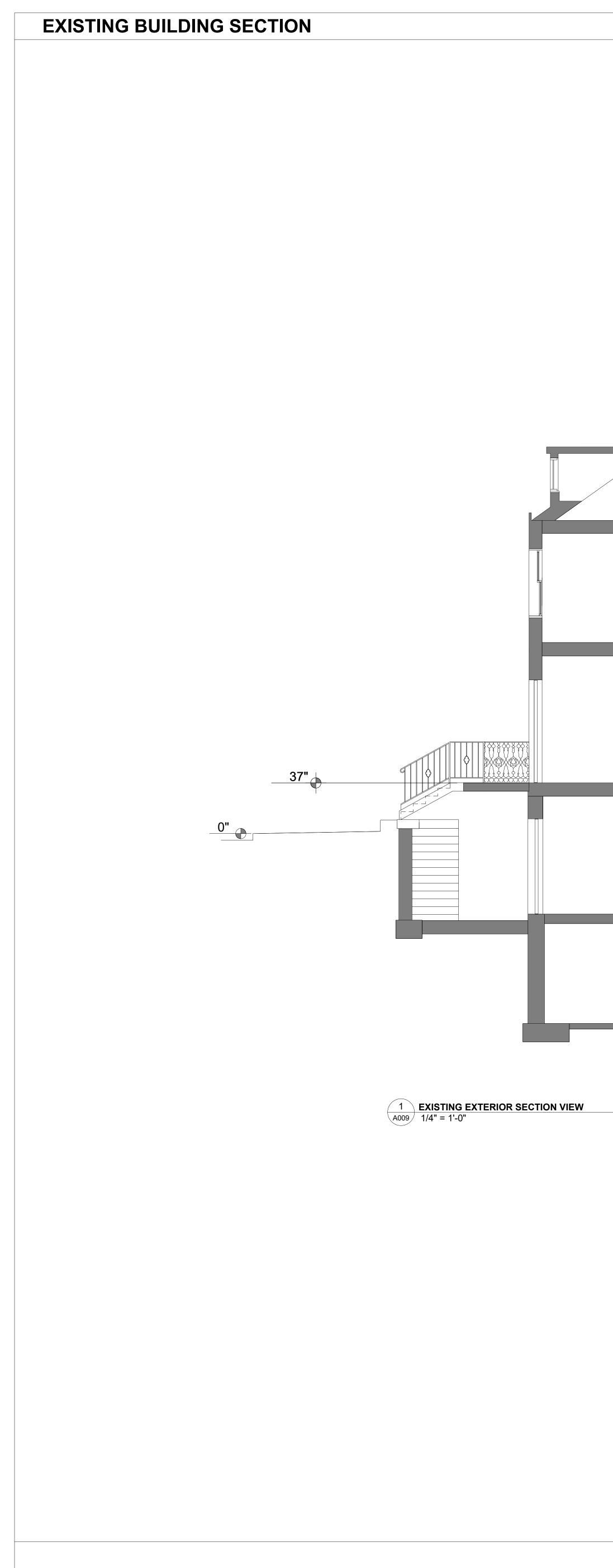
## **EXISTING LOFT FLOOR PLAN**



1EXISTING LOFT FLOOR PLANA0081/4" = 1'-0"

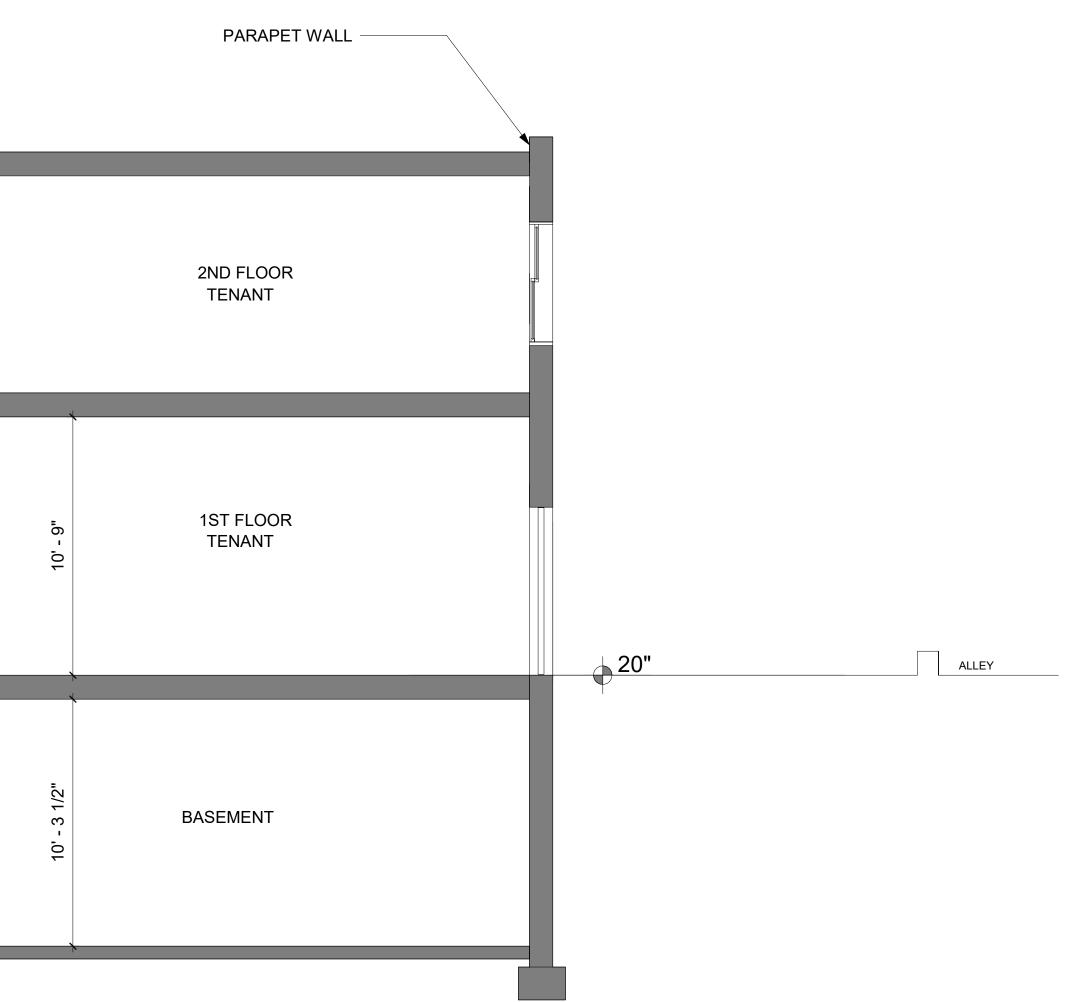
# EXISTING CONDITIONS DWG SUBMITTED PER REQUEST OF OGB/ CFA DOES NOT CHANGE SCOPE OF WORK.

2805 BOND ST. EQUITIES, LLC BRIAN FRIEDMAN 2805 M STREET, NW WASHINGTON, DC 20007 202-271-4200 CONSULTANTS MEP: CHRISTIE DESIGN GROUP 912 THAYER AVE, STE 300, SILVER SPRING, MD 20910 OFFICE: (301)608-0005 STRUCTURAL: STRUCTURA INC. 12358 Parklawn Drive, Suite #140 North Bethesda, MD, 20852 (301) 987-9234 Caitlin Mueller, PE cmueller@structura-inc.com 240.477.1882 SUBMISSIONS Date Description 02.09.2021 BZA APPLICATION REVISIONS No. Date Description BB 1825 K Street NW Suite 300 Washington DC 20006 Tel 202 452 1644 Fax 202 452 1647 www.bbgm.com \_\_\_\_\_ This document and the ideas and designs incorporated within it are instruments of Professional Service. They are and remain the property of BBGM/Architects & Interiors, Inc. (BBGM) and are not to be used or reproduced in whole or in part for another project without the express written consent of BBGM. Unauthorized additions to or alterations of this document, or to related construction, are prohibited. These drawings are protected by copyright. © 2014 BBGM/Architects & Interiors, Inc. PROJECT ALTERATIONS AND REPAIRS AT 2805 M ST, NW 2805 M STREET, NW WASHINGTON, DC 2007 EXISTING LOFT FLOOR PLAN SEAL & SIGNATURE PROJECT No.: 1123.00 DWG No: A008

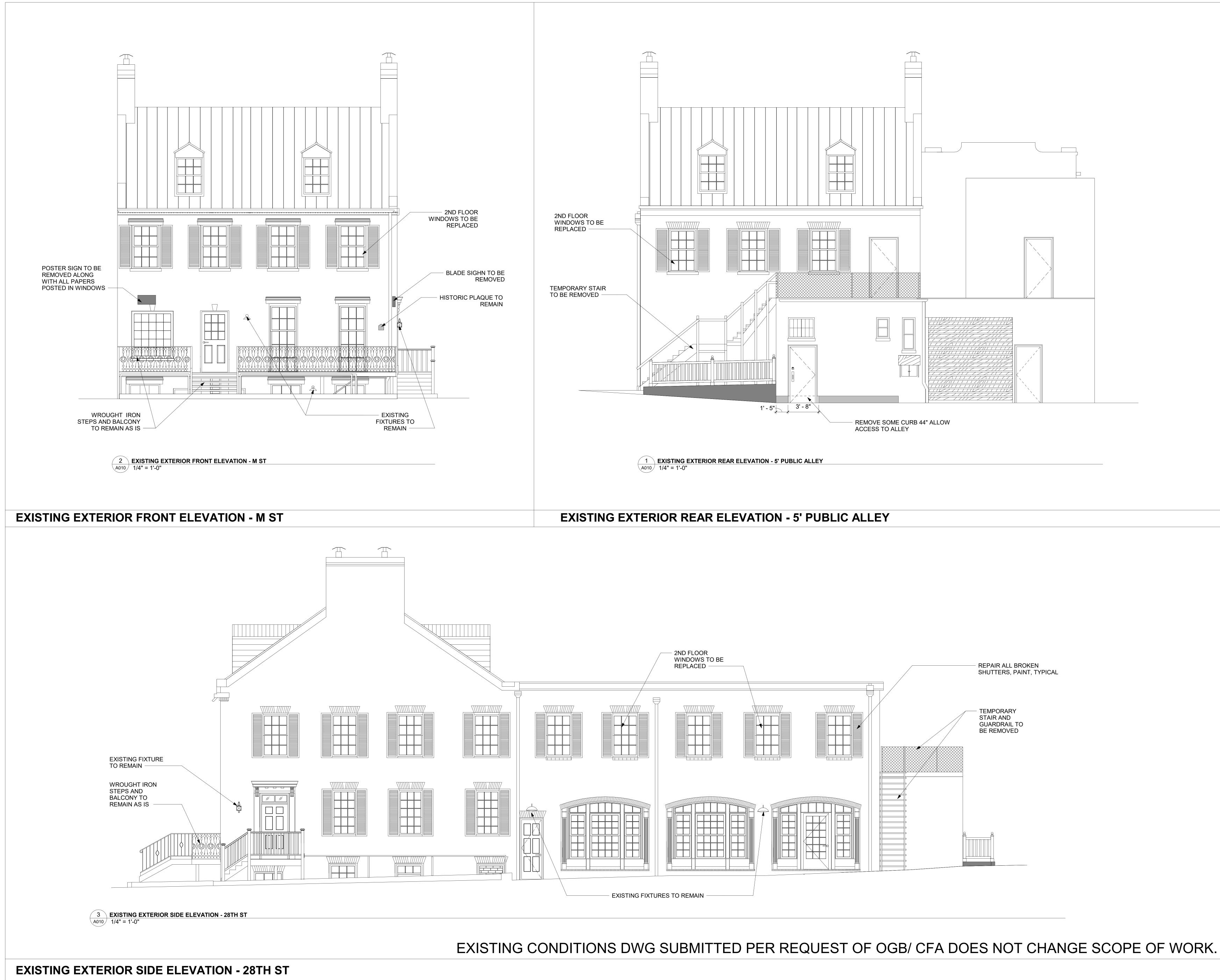


io - io - io	LOFT	
8' - 1 1/2"	2ND FLOOR TENANT	
9' - 5 1/2"	1ST FLOOR TENANT	
8' - 9 1/2"	BASEMENT	
7' - 5 1/2"	CRAWL SPACE	

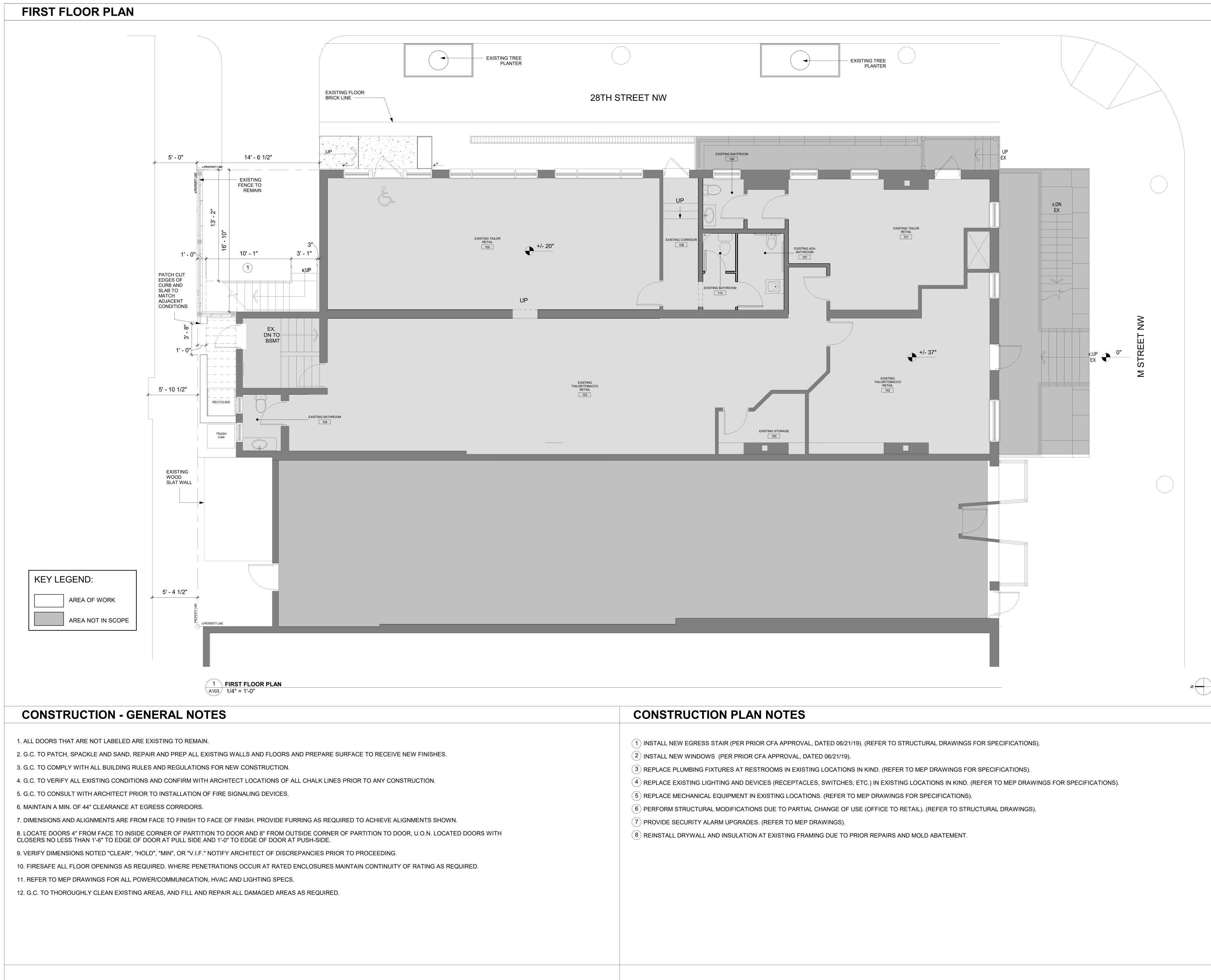
# EXISTING CONDITIONS DWG SUBMITTED PER REQUEST OF OGB/ CFA DOES NOT CHANGE SCOPE OF WORK.



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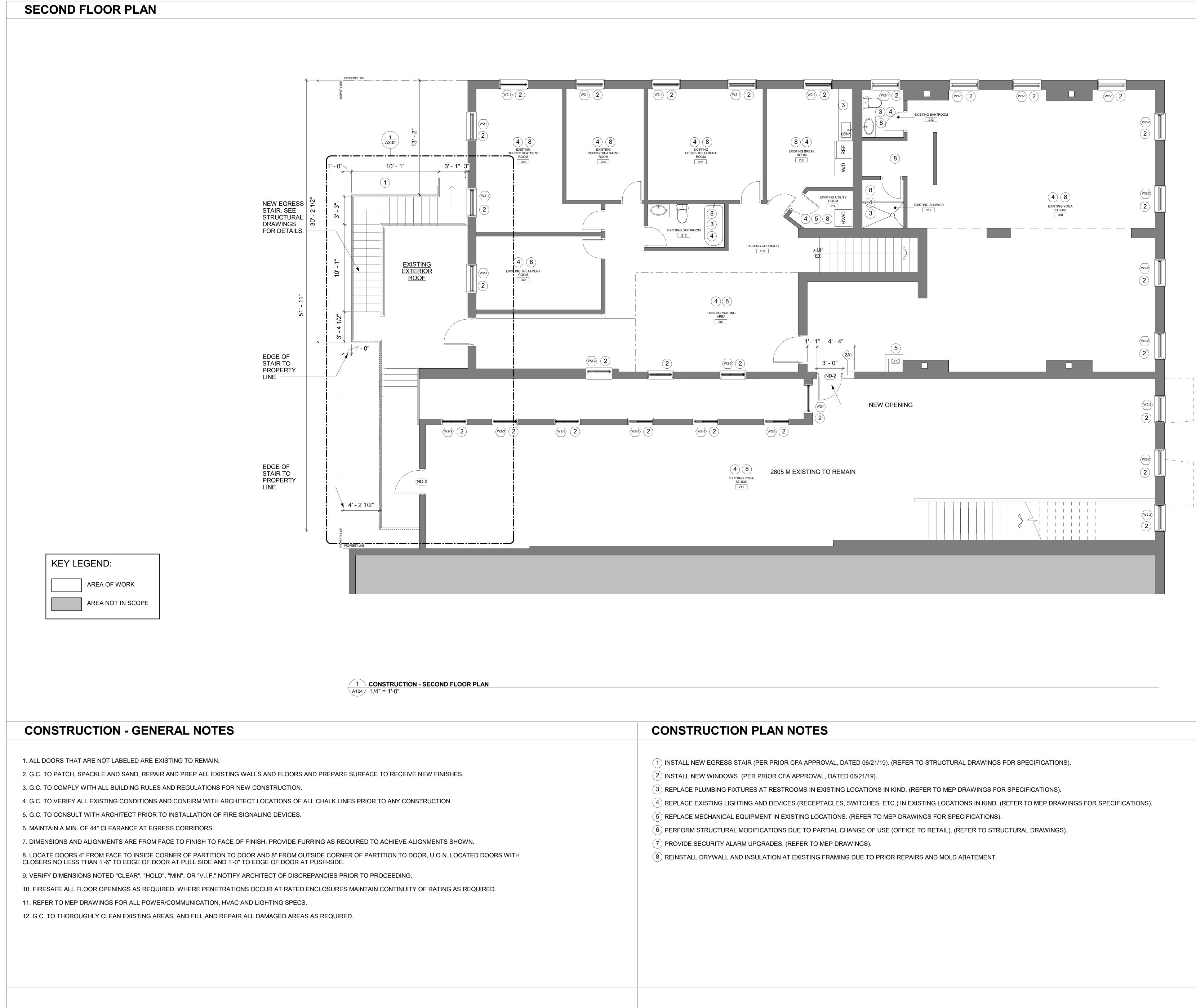


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	CONSTRUCTION PLAN NOTE
	1 INSTALL NEW EGRESS STAIR (PER PRIOR CFA APPRO
RECEIVE NEW FINISHES.	2 INSTALL NEW WINDOWS (PER PRIOR CFA APPROVAL
	3 REPLACE PLUMBING FIXTURES AT RESTROOMS IN EX
ANY CONSTRUCTION.	4 REPLACE EXISTING LIGHTING AND DEVICES (RECEPT
	5 REPLACE MECHANICAL EQUIPMENT IN EXISTING LOC
	6 PERFORM STRUCTURAL MODIFICATIONS DUE TO PAR
CHIEVE ALIGNMENTS SHOWN.	7 PROVIDE SECURITY ALARM UPGRADES. (REFER TO M
ION TO DOOR, U.O.N. LOCATED DOORS WITH	8 REINSTALL DRYWALL AND INSULATION AT EXISTING F
EEDING.	
ONTINUITY OF RATING AS REQUIRED.	

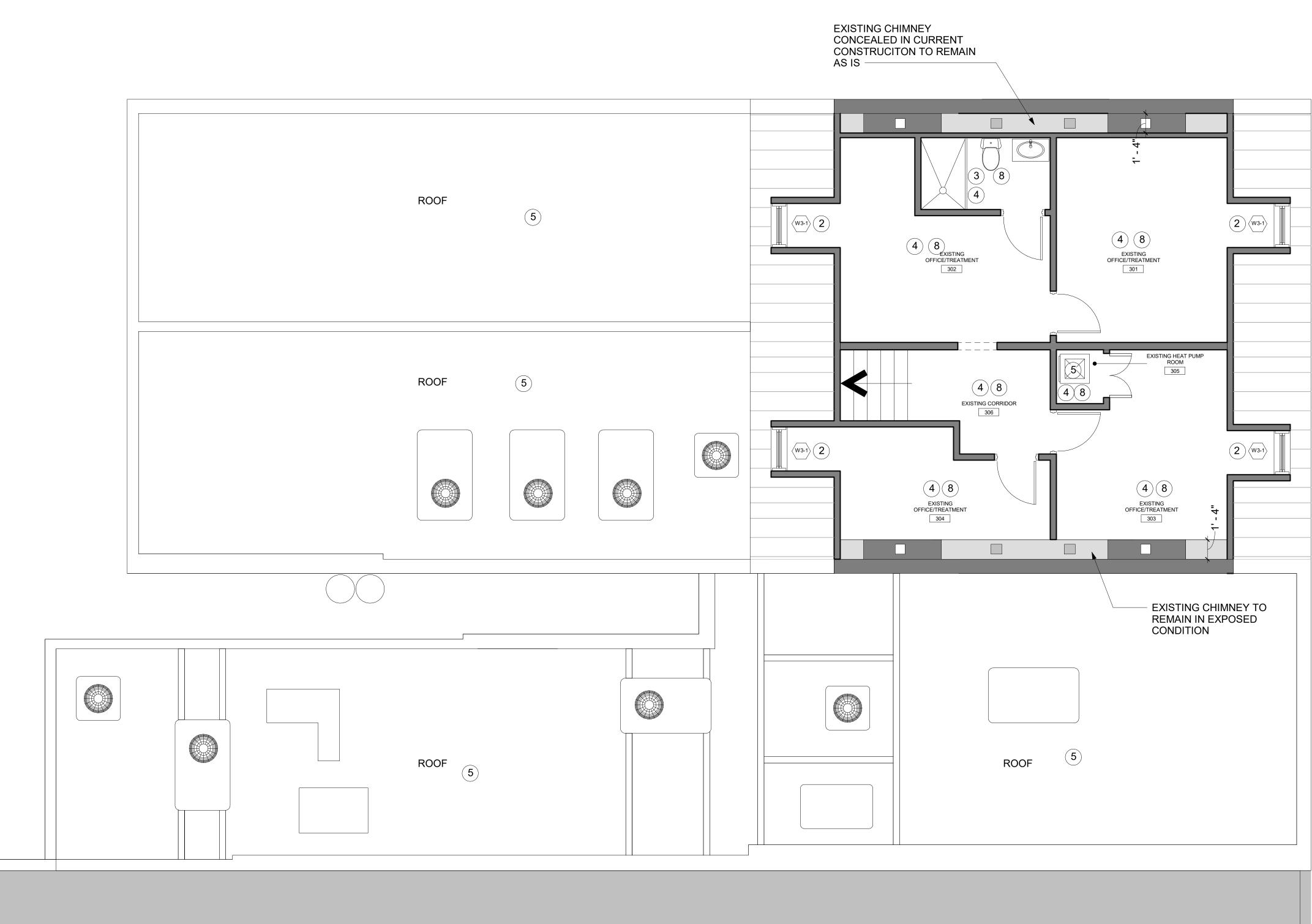
2805 BOND ST. EQUITIES, LLC BRIAN FRIEDMAN 2805 M STREET, NW WASHINGTON, DC 20007 202-271-4200 MEP: CHRISTIE DESIGN GROUP 912 THAYER AVE, STE 300, SILVER SPRING, MD 20910 OFFICE: (301)608-0005 STRUCTURAL: STRUCTURA INC. 12358 Parklawn Drive, Suite #140 North Bethesda, MD, 20852 (301) 987-9234 Caitlin Mueller, PE cmueller@structura-inc.com 240.477.1882 SUBMISSIONS Date Description 02.09.2021 BZA APPLICATION REVISIONS BBGI 1825 K Street NW Suite 300 Washington DC 20006 Tel 202 452 1644 Fax 202 452 1647 www.bbgm.com This document and the ideas and designs incorporated within it are instruments of Professional Service. They are and remain the property of BBGM/Architects & Interiors, Inc. (BBGM) and are not to be used or reproduced in whole or in part for another project without the express written consent of BBGM. Unauthorized additions to or alterations of this document, or to related construction, are prohibited. These drawings are protected by copyright. © 2014 BBGM/Architects & Interiors, Inc. PROJECT ALTERATIONS AND REPAIRS AT 2805 M ST, NW 2805 M STREET, NW WASHINGTON, DC 2007 FIRST FLOOR PLAN PROJECT No.: 1123.00 SEAL & SIGNATURE DWG No: A103 No. 4296

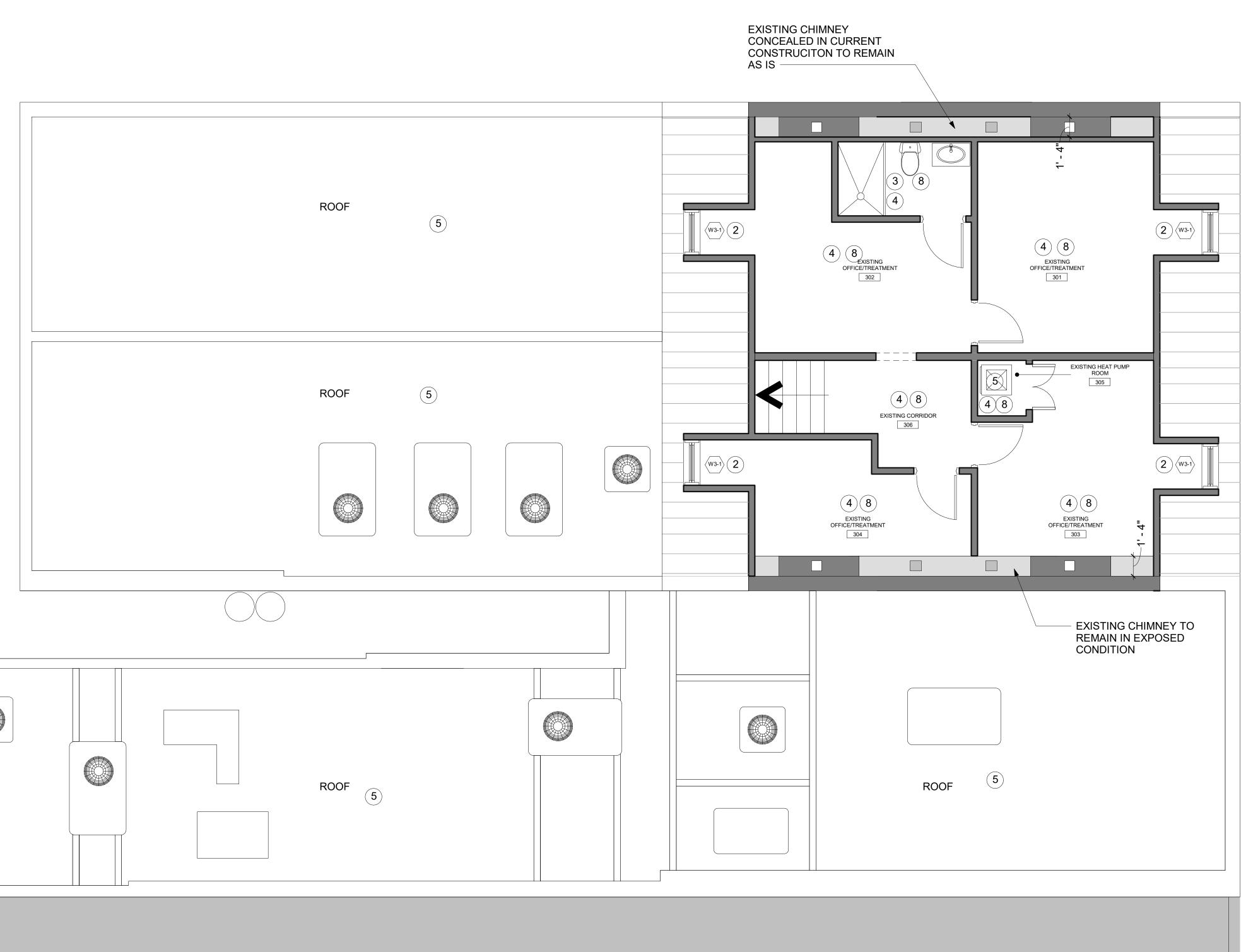


	CONSTRUCTION PLAN NOTES
	(1) INSTALL NEW EGRESS STAIR (PER PRIOR CFA APPRO
O RECEIVE NEW FINISHES.	2 INSTALL NEW WINDOWS (PER PRIOR CFA APPROVAL
	3 REPLACE PLUMBING FIXTURES AT RESTROOMS IN EX
O ANY CONSTRUCTION.	4 REPLACE EXISTING LIGHTING AND DEVICES (RECEPT
	5 REPLACE MECHANICAL EQUIPMENT IN EXISTING LOC
	6 PERFORM STRUCTURAL MODIFICATIONS DUE TO PAR
CHIEVE ALIGNMENTS SHOWN.	7 PROVIDE SECURITY ALARM UPGRADES. (REFER TO N
TION TO DOOR, U.O.N. LOCATED DOORS WITH	8 REINSTALL DRYWALL AND INSULATION AT EXISTING
CEEDING.	
CONTINUITY OF RATING AS REQUIRED.	

2805 BOND ST. EQUITIES, LLC BRIAN FRIEDMAN 2805 M STREET, NW WASHINGTON, DC 20007 202-271-4200 MEP: CHRISTIE DESIGN GROUP 912 THAYER AVE, STE 300, SILVER SPRING, MD 20910 OFFICE: (301)608-0005 STRUCTURAL: STRUCTURA INC. 12358 Parklawn Drive, Suite #140 North Bethesda, MD, 20852 (301) 987-9234 Caitlin Mueller, PE cmueller@structura-inc.com 240.477.1882 SUBMISSIONS Date Description 02.09.2021 BZA APPLICATION REVISIONS BBGI 1825 K Street NW Suite 300 Washington DC 20006 Tel 202 452 1644 Fax 202 452 1647 www.bbgm.com This document and the ideas and designs incorporated within it are instruments of Professional Service. They are and remain the property of BBGM/Architects & Interiors, Inc. (BBGM) and are not to be used or reproduced in whole or in part for another project without the express written consent of BBGM. Unauthorized additions to or alterations of this document, or to related construction, are prohibited. These drawings are protected by copyright. © 2014 BBGM/Architects & Interiors, Inc. PROJECT ALTERATIONS AND REPAIRS AT 2805 M ST, NW 2805 M STREET, NW WASHINGTON, DC 2007 SECOND FLOOR PLAN | PROJECT No.: 1123.00 SEAL & SIGNATURE DWG No: A104 No. 4296

LOFT FLOOR PLAN			
			ROOF 5
			ROOF 5
			ROOF 5
KEY LEGEND:			
AREA NOT IN SCOPE			
1 CONS A105 1/4" =		N	
CONSTRUCTION - GENERAL NOTES			CONSTRUCTION PLAN NOT
1. ALL DOORS THAT ARE NOT LABELED ARE EXISTING TO REMAIN.			1 INSTALL NEW EGRESS STAIR (PER PRIOR CFA APP
2. G.C. TO PATCH, SPACKLE AND SAND, REPAIR AND PREP ALL EXISTING WALLS AND FLOORS AND PREPARE SURFACE TO RECE 3. G.C. TO COMPLY WITH ALL BUILDING RULES AND REGULATIONS FOR NEW CONSTRUCTION.	IVE NEW FINISHES.		<ul> <li>2 INSTALL NEW WINDOWS (PER PRIOR CFA APPROV</li> <li>3 REPLACE PLUMBING FIXTURES AT RESTROOMS IN</li> </ul>
4. G.C. TO VERIFY ALL EXISTING CONDITIONS AND CONFIRM WITH ARCHITECT LOCATIONS OF ALL CHALK LINES PRIOR TO ANY C	ONSTRUCTION.		(4) REPLACE EXISTING LIGHTING AND DEVICES (RECEI
5. G.C. TO CONSULT WITH ARCHITECT PRIOR TO INSTALLATION OF FIRE SIGNALING DEVICES.			5 REPLACE MECHANICAL EQUIPMENT IN EXISTING LC
6. MAINTAIN A MIN. OF 44" CLEARANCE AT EGRESS CORRIDORS.			6 PERFORM STRUCTURAL MODIFICATIONS DUE TO P
7. DIMENSIONS AND ALIGNMENTS ARE FROM FACE TO FINISH TO FACE OF FINISH. PROVIDE FURRING AS REQUIRED TO ACHIEVE	ALIGNMENTS SHOWN.		7 PROVIDE SECURITY ALARM UPGRADES. (REFER TO
8. LOCATE DOORS 4" FROM FACE TO INSIDE CORNER OF PARTITION TO DOOR AND 8" FROM OUTSIDE CORNER OF PARTITION TO CLOSERS NO LESS THAN 1'-6" TO EDGE OF DOOR AT PULL SIDE AND 1'-0" TO EDGE OF DOOR AT PUSH-SIDE.	DOOR, U.O.N. LOCATED DOOR	RS WITH	8 REINSTALL DRYWALL AND INSULATION AT EXISTING
9. VERIFY DIMENSIONS NOTED "CLEAR", "HOLD", "MIN", OR "V.I.F." NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING	G.		
10. FIRESAFE ALL FLOOR OPENINGS AS REQUIRED. WHERE PENETRATIONS OCCUR AT RATED ENCLOSURES MAINTAIN CONTINU	ITY OF RATING AS REQUIRED.		
11. REFER TO MEP DRAWINGS FOR ALL POWER/COMMUNICATION, HVAC AND LIGHTING SPECS.			
12. G.C. TO THOROUGHLY CLEAN EXISTING AREAS, AND FILL AND REPAIR ALL DAMAGED AREAS AS REQUIRED.			





### ΓES

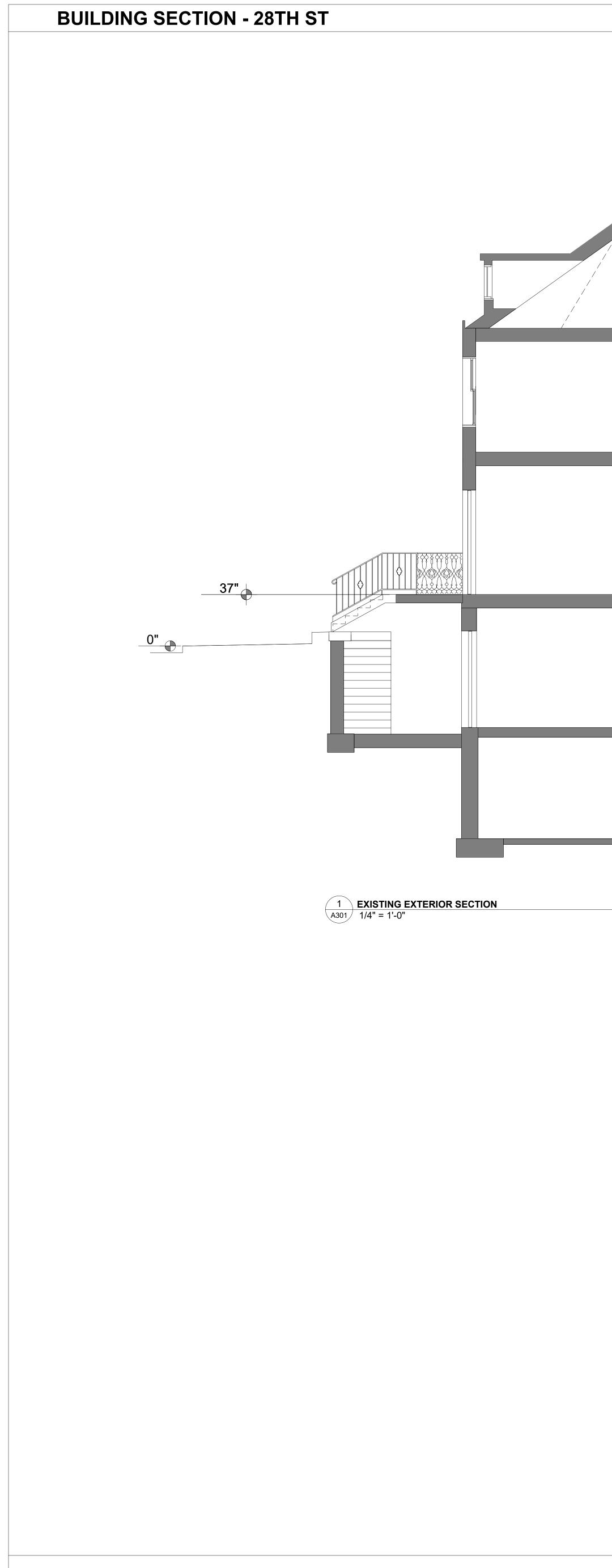
PROVAL, DATED 06/21/19). (REFER TO STRUCTURAL DRAWINGS FOR SPECIFICATIONS).

- OVAL, DATED 06/21/19).
- N EXISTING LOCATIONS IN KIND. (REFER TO MEP DRAWINGS FOR SPECIFICATIONS).
- EPTACLES, SWITCHES, ETC.) IN EXISTING LOCATIONS IN KIND. (REFER TO MEP DRAWINGS FOR SPECIFICATIONS).
- LOCATIONS. (REFER TO MEP DRAWINGS FOR SPECIFICATIONS).
- PARTIAL CHANGE OF USE (OFFICE TO RETAIL). (REFER TO STRUCTURAL DRAWINGS).
- O MEP DRAWINGS).
- NG FRAMING DUE TO PRIOR REPAIRS AND MOLD ABATEMENT.

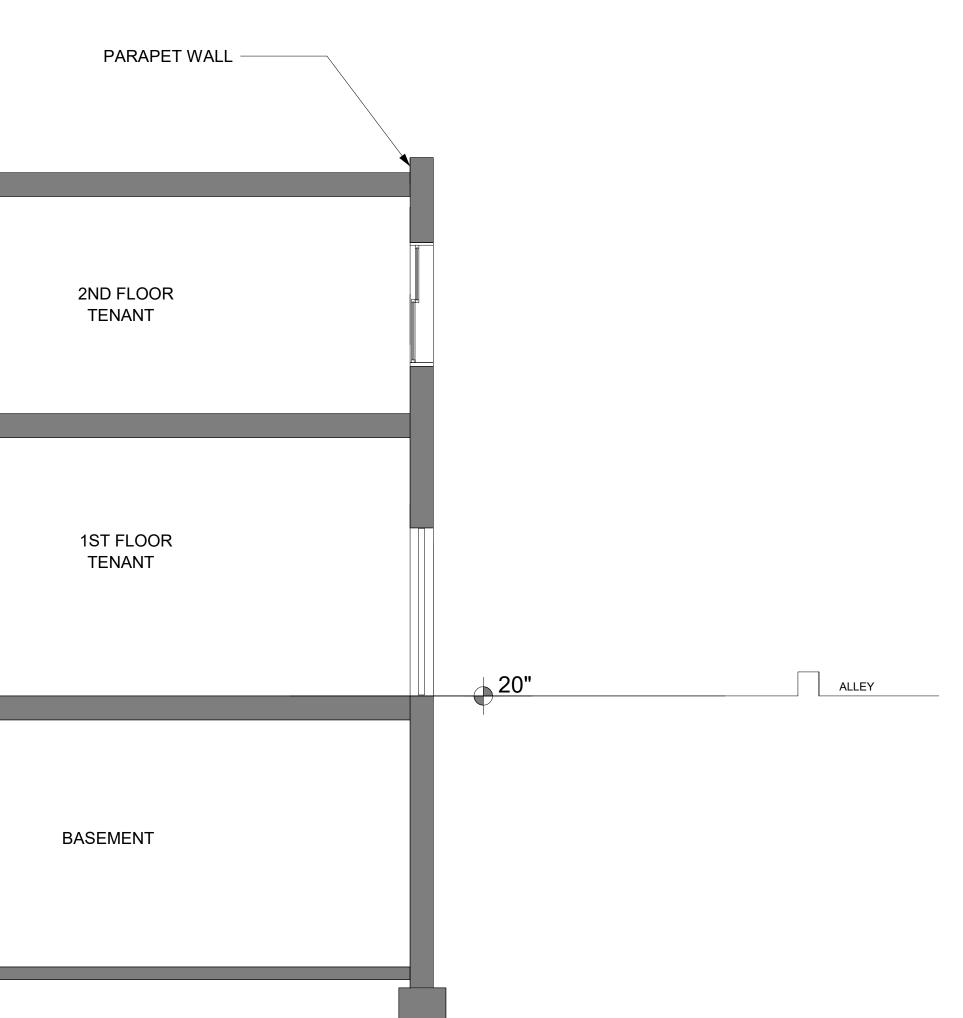
2805 BOND ST. EQUITIES, LLC BRIAN FRIEDMAN 2805 M STREET, NW WASHINGTON, DC 20007 202-271-4200 CONSULTANTS MEP: CHRISTIE DESIGN GROUP 912 THAYER AVE, STE 300, SILVER SPRING, MD 20910 OFFICE: (301)608-0005 STRUCTURAL: STRUCTURA INC. 12358 Parklawn Drive, Suite #140 North Bethesda, MD, 20852 (301) 987-9234 Caitlin Mueller, PE cmueller@structura-inc.com 240.477.1882 SUBMISSIONS Date Description 02.09.2021 BZA APPLICATION REVISIONS No. Date Description BBGN 1825 K Street NW Suite 300 Washington DC 20006 Tel 202 452 1644 Fax 202 452 1647 www.bbgm.com \_\_\_\_\_ This document and the ideas and designs incorporated within it are instruments of Professional Service. They are and remain the property of BBGM/Architects & Interiors, Inc. (BBGM) and are not to be used or reproduced in whole or in part for another project without the express written consent of BBGM. Unauthorized additions to or alterations of this document, or to related construction, are prohibited. These drawings are protected by copyright. © 2014 BBGM/Architects & Interiors, Inc. PROJECT ALTERATIONS AND REPAIRS AT 2805 M ST, NW 2805 M STREET, NW WASHINGTON, DC 2007 LOFT PLAN PROJECT No.: 1123.00 SEAL & SIGNATURE OF OF DWG No: A105 No. 4296



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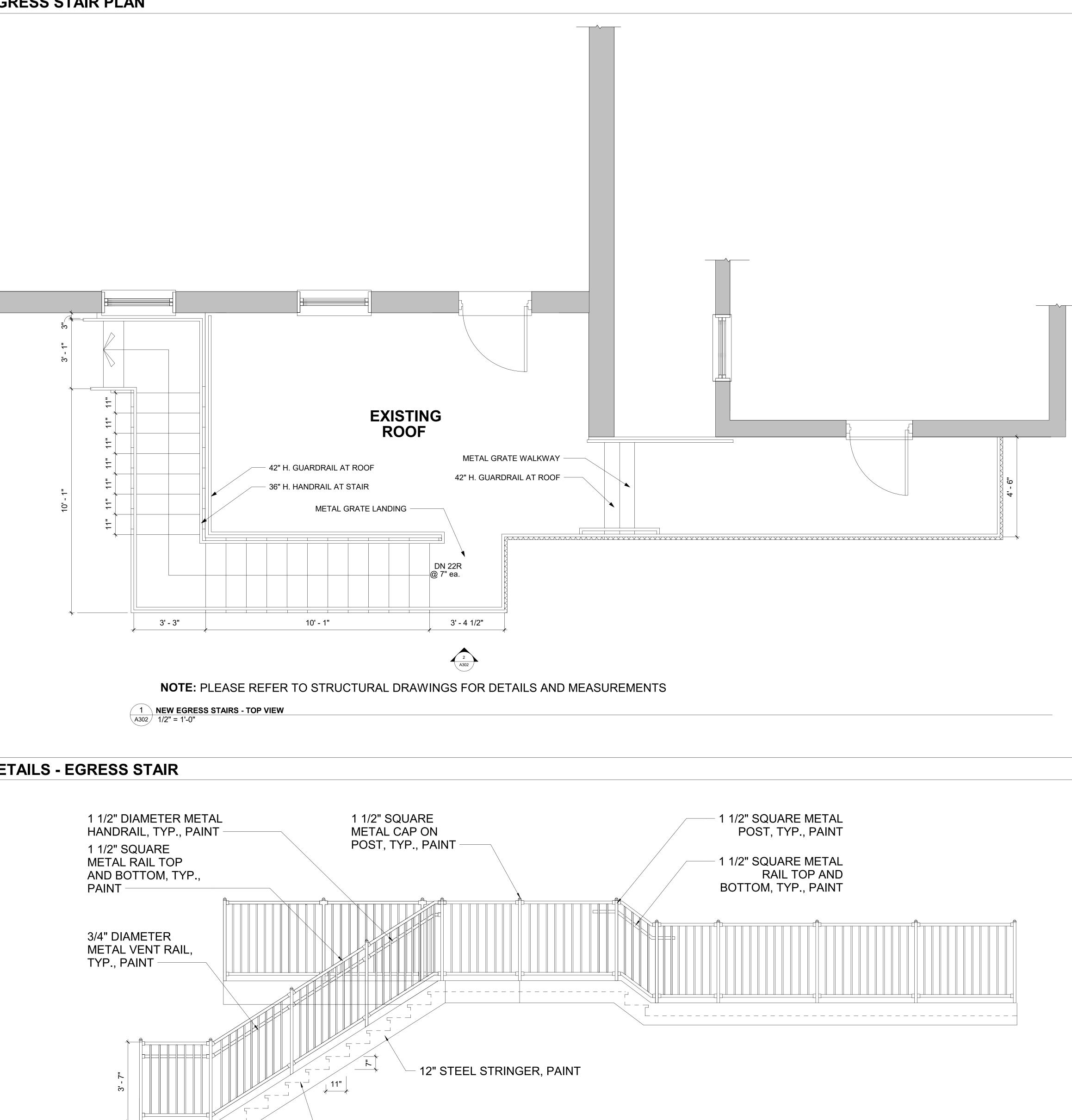


i.9 8	LOFT		
8' - 1 1/2"	2ND FLOOR TENANT		
9' - 5 1/2"	1ST FLOOR TENANT	10, - 9"	
8' - 9 1/2"	BASEMENT	10' - 3 1/2"	
7' - 5 1/2"	CRAWL SPACE		

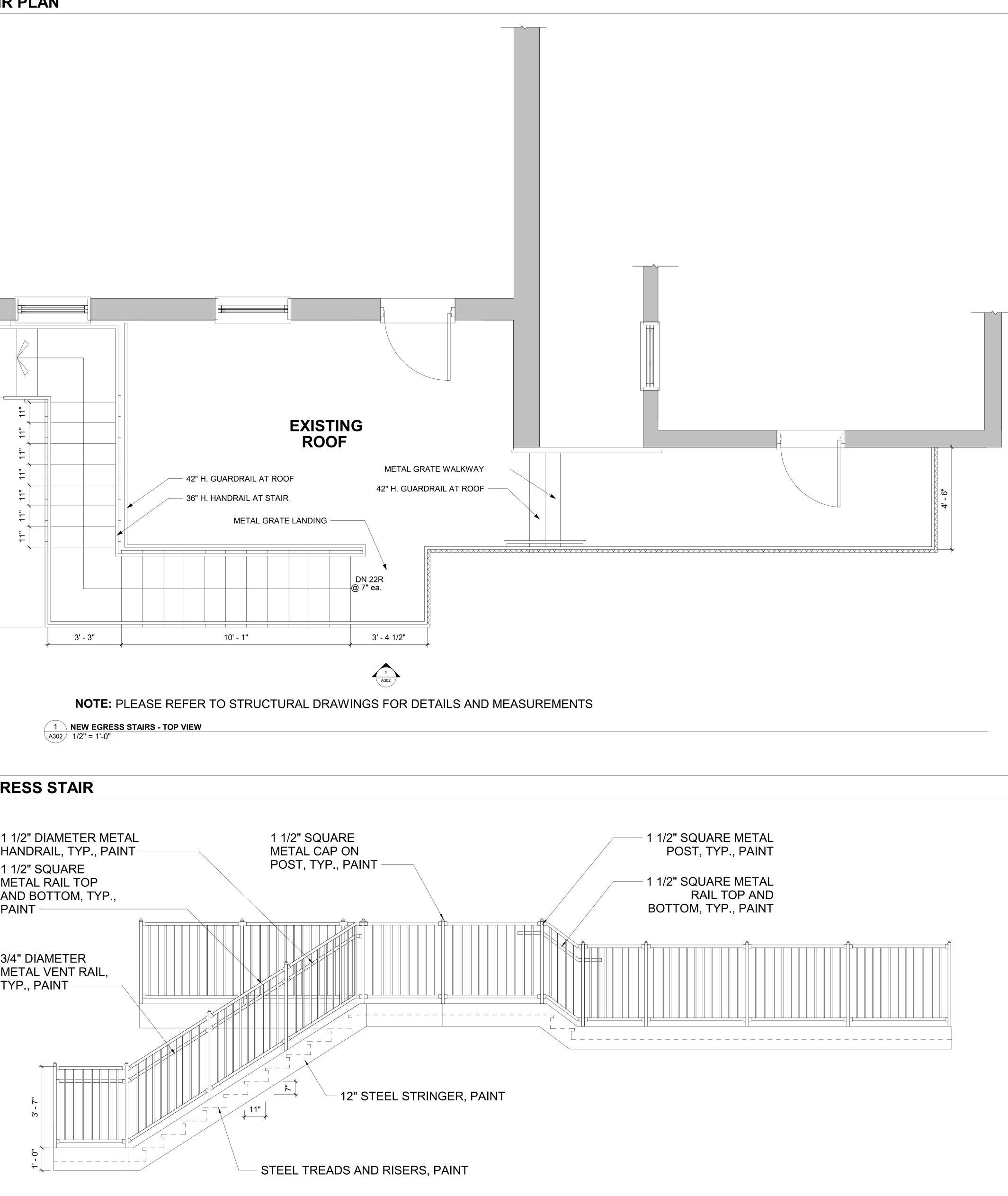


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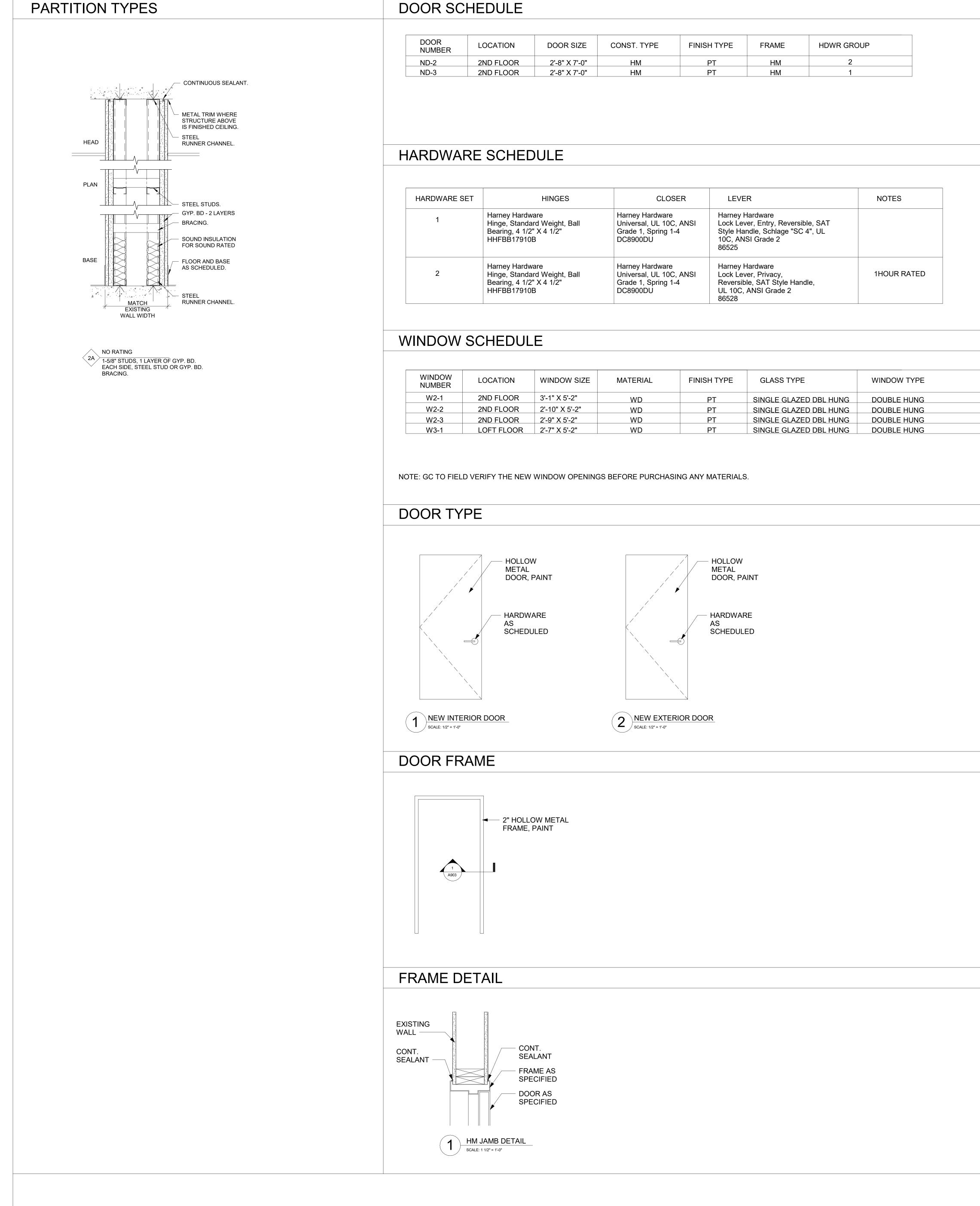
### **EXTERIOR DETAILS - EGRESS STAIR**



**NOTE:** PLEASE REFER TO STRUCTURAL DRAWINGS FOR DETAILS AND MEASUREMENTS

2 EXTERIOR EGRESS STAIR SECTION A302 1/2" = 1'-0"

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LOCATION	DOOR SIZE	CONST. TYPE	FINISH TYPE	FRAME	HDWR GROUP
2ND FLOOR	2'-8" X 7'-0"	HM	PT	НМ	2
2ND FLOOR	2'-8" X 7'-0"	HM	PT	HM	1

SET	HINGES	CLOSER	LEVER	NOTES
	Harney Hardware Hinge, Standard Weight, Ball Bearing, 4 1/2" X 4 1/2" HHFBB17910B	Harney Hardware Universal, UL 10C, ANSI Grade 1, Spring 1-4 DC8900DU	Harney Hardware Lock Lever, Entry, Reversible, SAT Style Handle, Schlage "SC 4", UL 10C, ANSI Grade 2 86525	
	Harney Hardware Hinge, Standard Weight, Ball Bearing, 4 1/2" X 4 1/2" HHFBB17910B	Harney Hardware Universal, UL 10C, ANSI Grade 1, Spring 1-4 DC8900DU	Harney Hardware Lock Lever, Privacy, Reversible, SAT Style Handle, UL 10C, ANSI Grade 2 86528	1HOUR RATED

LOCATION	WINDOW SIZE	MATERIAL	FINISH TYPE	GLASS TYPE	WINDOW TYPE
2ND FLOOR	3'-1" X 5'-2"	WD	PT	SINGLE GLAZED DBL HUNG	DOUBLE HUNG
2ND FLOOR	2'-10" X 5'-2"	WD	PT	SINGLE GLAZED DBL HUNG	DOUBLE HUNG
2ND FLOOR	2'-9" X 5'-2"	WD	PT	SINGLE GLAZED DBL HUNG	DOUBLE HUNG
LOFT FLOOR	2'-7" X 5'-2"	WD	PT	SINGLE GLAZED DBL HUNG	DOUBLE HUNG

### GENERAL NOTES - DOOR & HDWR

1. DOORS THAT ARE NOT LABELED ARE EXISTING TO REMAIN.

FIELD VERIFY ALL OPENINGS, DIMENSIONS AND CONDITIONS AFFECTING WORK PRIOR TO ORDERING AND/OR INSTALLING 2. ALL WINDOWS SHALL BE CAULKED (ALL EDGES) W/ SILICONE SEALANT TO MATCH WINDOW COLOR.

3. UNLATCHING FORCE SHALL NOT EXCEED 15 LBS. IN THE DIRECTION OF TRAVEL.

4. THRESHOLDS SHALL NOT EXCEED 1/2" IN HGT. AND SHALL HAVE BEVELED SIDES THAT SLOPE 1:2 MAXIMUM. 5. ALL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. 6. ALL DOORS TO BE SELF CLOSING U.N.O.

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