



LOCATION MAP



STREET VIEW

GENERAL NOTES

1. INFORMATION OF STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING IN THE DRAWINGS ARE GENERAL AND DIAGRAMMATIC. THE BUILDER SHALL HAVE PERTAINING PROFESSIONS TO VERIFY THOSE INFORMATION.
2. ALL DIMENSIONS ARE TO THE FACE OF STUDS OR FACE OF MASONRY UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED.
4. DIMENSIONS AND NOTES FOR A GIVEN CONDITION ARE TYPICAL FOR ALL SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
5. DRAWINGS AT A LARGER SCALE SHALL TAKE PRECEDENCE OVER DRAWINGS AT A SMALLER SCALE.
6. ALL FINISH SHALL HAVE A FLAME SPREAD RATING OF 200 OR LESS W/A MAXIMUM SMOKE GENERATION FACTOR OF 450 PER NFPA L.S. 101. SECTION 10.2

B2003712

SCOPE OF WORK:

1. 2ND FLOOR: ADD NEW SINK. RENOVATE TOILET. REPLACE/REPAIR CABINETS AND COUNTERTOP. REPLACE LIGHTS

CODE:

- ALL WORK AND MATERIAL SHALL COMPLY WITH REQUIREMENTS OF CODE ADAPTED BY THE DISTRICT OF COLUMBIA.
- TITLE 12 DCMR, DC CONSTRUCTION CODES SUPPLEMENT (2013)
 - DCMR 12 DC CONSTRUCTION CODES SUPPLEMENT (2008)
 - AMENDMENT TO DCMR 12 DC CONSTRUCTION CODE SUPPLEMENT 2008
 - 2013 DISTRICT OF COLUMBIA GREEN CONSTRUCTION CODE
 - 2013 DISTRICT OF COLUMBIA ENERGY CONSERVATION CODE
 - 2013 DISTRICT OF COLUMBIA FIRE CODE
 - 2013 DISTRICT OF COLUMBIA MECHANICAL CODE
 - 2013 DISTRICT OF COLUMBIA PLUMBING CODE
 - 2011 NATIONAL ELECTRICAL CODE

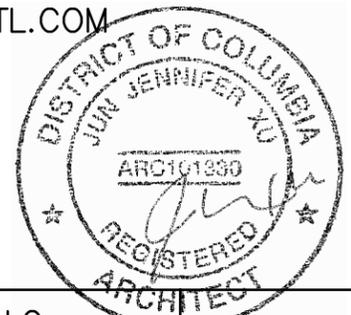
PROJECT INFO:

SQUARE 0361 LOT 0123
WORK AREA: 900 SF

OWNER: HA QUAN
1914 BY KOLBEN
EMAIL: HANAQ@THECULINARYDISTRICT.INFO
PHONE: 408.649.1393

DESIGNER: PRIME PLANNING/J. JENNIFER XU
EMAIL: JENNIFER@PRIMEPLANNINGINTL.COM
PHONE: 571.919.0418

USE GROUP: A-2 RESTAURANT
CONSTRUCTION TYPE: IIIB
NON SPRINKLERED
FIRE ALARM: YES



PROJECT: 1914 BY KOLBEN – 1914 9TH ST NW, WASHINGTON, DC 20001	PRIME PLANNING PLLC INFO@PRIMEPLANNINGINTL.COM 571.919.0418
SUBJECT: RENOVATION DRAWING TITLE: PROJECT INFO	DATE: 1.9.2020

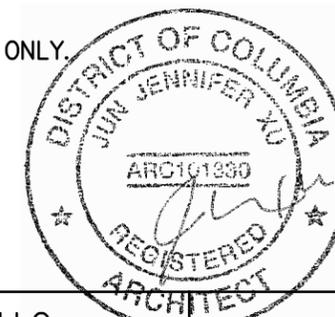
Board of Zoning Adjustment
District of Columbia
CASE NO 20489
EXHIBIT NO.3

G1

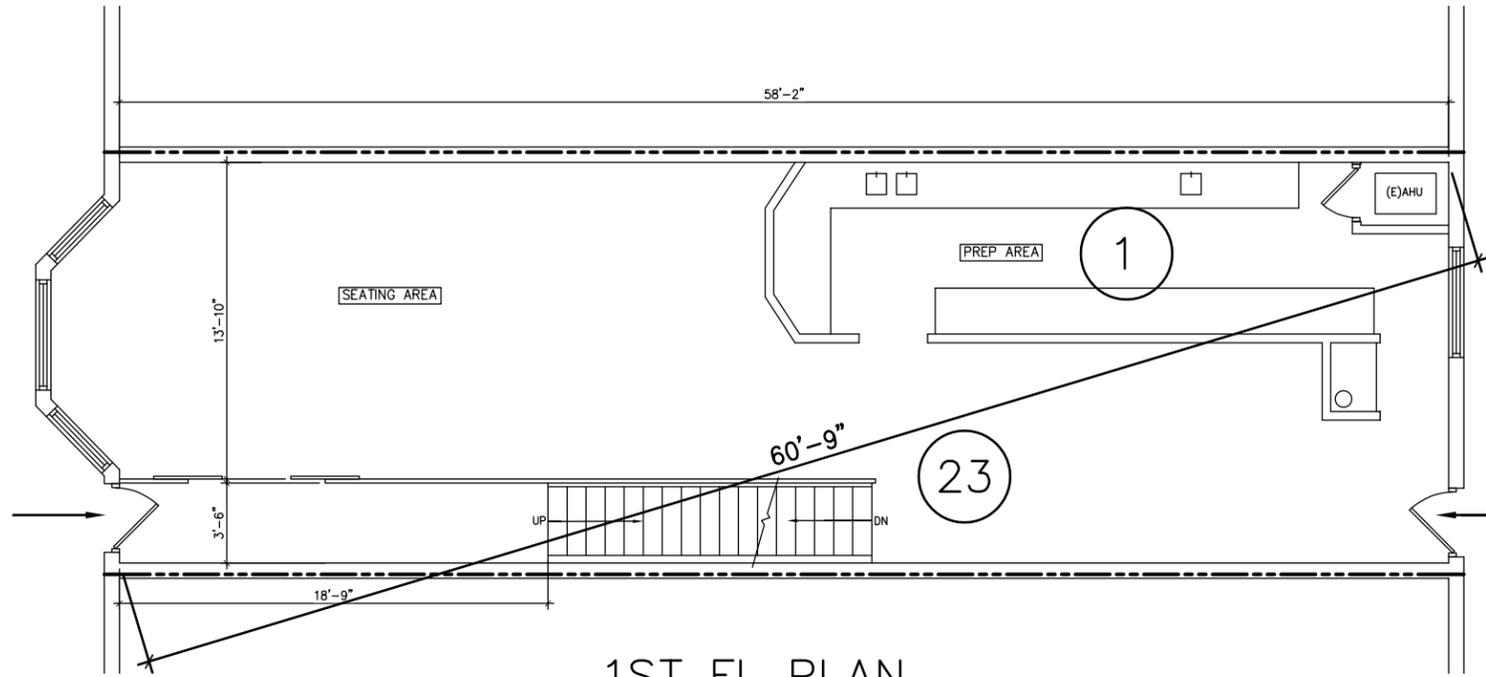
GENERAL NOTES

1. WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL BUILDING CODES, RULES, REGULATIONS, ORDINANCES, STANDARDS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT, AND THE AMERICANS WITH DISABILITIES ACT. IF ANY PORTION OF THESE DOCUMENTS IS FOUND TO BE IN CONFLICT WITH APPLICABLE CODES, THE ARCHITECT SHALL BE NOTIFIED OF THESE CONFLICTS IN WRITING BY THE OWNER, HIS AGENT, OR THE CONTRACTOR. UPON CODE APPROVAL AND PERMITTING OF THESE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL SEND THE ARCHITECT AND OWNER A SIGNED COPY OF THE PERMITTED DRAWING(S) PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. THE CONTRACTOR IS RESPONSIBLE FOR APPLYING, OBTAINING, AND PAYING FOR ALL PERMITS, OCCUPANCY CERTIFICATIONS, FEES, INSPECTIONS, AND APPROVALS BY LOCAL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT. PROVIDE COPIES OF ALL TRANSACTIONS TO OWNER. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK.
3. CONTRACTOR IS TO INVESTIGATE JOB SITE TO COMPARE CONTRACT DOCUMENTS WITH EXISTING CONDITIONS. INCLUDE COST FOR ALL WORK DESCRIBED IN CONTRACT DOCUMENTS AND REQUIRED OR IMPLIED BY EXISTING CONDITIONS. NOTIFY THE ARCHITECT OF ANY CONFLICTS BETWEEN EXISTING CONDITIONS AND PROPOSED NEW WORK, OMISSIONS, OR CONFLICTS IN THE DRAWINGS AND ANY RESTRICTIONS TO THE EXECUTION OF THE WORK.
4. ALL WORK IS TO BE PERFORMED IN A PROFESSIONAL AND WORKMANLIKE MANNER, AND ANY WORK NOT IN COMPLIANCE WITH THIS INFORMATION WILL BE CORRECTED BY THE CONTRACTOR AT THE CONVENIENCE OF THE OWNER.
5. CONTRACTOR SHALL WAIVE "COMMON PRACTICE" AND "COMMON USAGE" AND ALL OTHER "STANDARD OF CARE" AS CONSTRUCTION CRITERIA WHEREVER DETAILS AND CONTRACT DOCUMENTS OR GOVERNING CODES, ORDINANCES, ETC. REQUIRE GREATER QUANTITY OR BETTER QUALITY THAN COMMON PRACTICE OR COMMON USAGE WOULD REQUIRE.
6. THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL MATERIALS, LABOR, TOOLS, STORAGE, TRASH REMOVAL, AND TRANSPORTATION NECESSARY FOR EXECUTION AND COMPLETION OF WORK. CONTRACTOR SHALL SCHEDULE WORK IN CONJUNCTION WITH BUILDING REQUIREMENTS.
7. ALL DEMOLISHED SALVAGEABLE MATERIAL AND/OR EQUIPMENT REMOVED (AND NOT INTENDED FOR REUSE) BECOMES THE PROPERTY OF THE BUILDING AND SHALL BE PLACED IN BUILDING STORAGE AS DIRECTED BY THE OWNER OR REPRESENTATIVE, UNLESS OTHERWISE NOTED ON THE DRAWING OR AS INSTRUCTED IN WRITING BY THE BUILDING OWNER. VERIFY WITH OWNER PRIOR TO REMOVAL FROM SITE.
8. ALL WORK SHALL BE PERFORMED BY THE CONTRACTOR UNLESS OTHERWISE NOTED. ALL REFERENCES TO THE "CONTRACTOR" INCLUDE THE GENERAL CONTRACTOR AND THE SUBCONTRACTORS.
9. CONTRACTOR IS TO ISSUE COMPLETE SETS OF CONTRACT DOCUMENTS TO EACH SUBCONTRACTOR FOR COORDINATION OF THEIR WORK AND DESCRIPTION OF WORK.
10. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR, AND HAVE CONTROL OVER, ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES SEQUENCES AND PROCEDURES, AND FOR COORDINATING ALL PORTIONS OF THE WORK REQUIRED BY THE CONSTRUCTION DOCUMENTS.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR ACTS AND OMISSIONS OF THE CONTRACTOR'S EMPLOYEES, SUBCONTRACTORS, THEIR AGENTS AND EMPLOYEES, AND ANY OTHER PERSON PERFORMING WORK UNDER A CONTRACT WITH THE CONTRACTOR.
12. OTHER TRADES, CONTRACTORS, AND THEIR SUBCONTRACTORS MAY BE WORKING ON THE PREMISES SIMULTANEOUSLY DURING THE WORK OF THIS CONTRACT. NO ACTION SHALL BE TAKEN BY ANY CONTRACTOR OR SUBCONTRACTOR TO IMPEDE THE ACCESS OR OPERATION OF ANY OTHER SUBCONTRACTOR ON THE PREMISES, UNION OR NON-UNION. COORDINATE CONSTRUCTION OPERATIONS OF EACH TRADE INVOLVED SO WORK MAY BE CARRIED OUT SMOOTHLY AND WITHOUT DELAY. COORDINATE

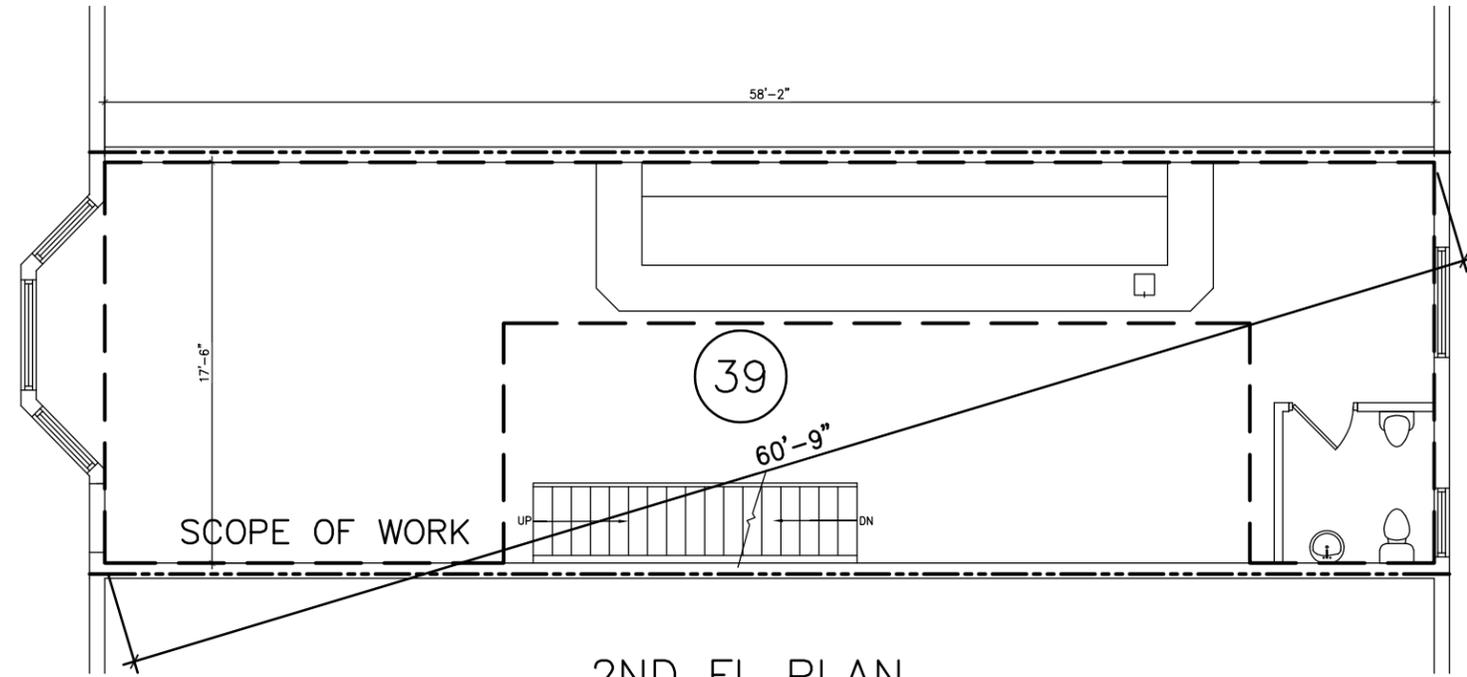
- WORK THAT DEPEND ON EACH OTHER FOR PROPER INSTALLATION, CONNECTION, AND FUNCTION.
13. CONTRACTOR SHALL ORDER AND SCHEDULE DELIVERY OF MATERIALS, EQUIPMENT, ETC. IN AMPLE TIME TO AVOID DELAYS IN CONSTRUCTION. IF AN ITEM IS FOUND TO BE UNAVAILABLE, CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY TO ALLOW SUFFICIENT TIME FOR THE DELIVERY AND INSTALLATION OF THE SUBSTITUTE ITEM.
 14. THE ARCHITECT IS NOT RESPONSIBLE FOR ERRORS, OMISSIONS, OR DELAYS BY THE CONTRACTOR.
 15. OBTAIN THE ARCHITECT'S AND THE OWNER'S WRITTEN AUTHORIZATION BEFORE ANY WORK IS PERFORMED OR MATERIAL ORDERED WHICH INVOLVE ADDITIONAL COSTS ABOVE THE CONTRACT AMOUNT.
 16. MAKE ALL NECESSARY PROVISIONS FOR ITEMS NOTED TO BE FURNISHED OR INSTALLED BY OCCUPANT. PROVIDE PROTECTION FOR THESE PROVISIONS UNTIL COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL COORDINATE OWNER-SUPPLIED ITEMS WITH APPROPRIATE TRADES.
 17. VERIFY DIMENSIONS AND CONDITIONS IN THE FIELD. DO NOT SCALE DRAWINGS. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE DETAILS. NOTIFY ARCHITECT IMMEDIATELY PRIOR TO PROCEEDING WITH THE WORK, PURCHASING OF ANY MATERIALS, OR STARTING FABRICATION SHOULD CONFLICT ARISE BETWEEN INDICATED DIMENSIONS AND FIELD CONDITIONS.
 18. HORIZONTAL DIMENSIONS INDICATED ARE TO/ FROM FINISHED FACE OF CONSTRUCTION, UNLESS OTHERWISE NOTED (UON).
 19. VERTICAL DIMENSIONS ARE FROM TOP OF FLOOR SLAB TO, EXCEPT WHERE NOTED TO BE FROM ABOVE FINISHED FLOOR (AFF).
 20. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF THE ARCHITECT UNLESS NOTED (+/-). DIMENSIONS MARKED "CLEAR" (CLR) OR "HOLD" INDICATE A CRITICAL OPENING SIZE AND MAY NOT BE ADJUSTED WITHOUT PRIOR APPROVAL AND ARE MEASURED FROM FINISH FACE TO FINISH FACE OF REFERENCED SURFACES. ALLOW SUFFICIENT SPACE BETWEEN SUBSTRATES FOR FINISH MATERIAL THICKNESS AND MOUNTING SPACE. DIMENSIONS NOTED AS "c" TO BE MEASURED FROM CENTER LINE OF REFERENCED ITEM SHOWN.
 21. THE CONTRACTOR SHALL CONTINUOUSLY CHECK ARCHITECTURAL AND STRUCTURAL CLEARANCES FOR ACCESSIBILITY OF EQUIPMENT AND MECHANICAL AND ELECTRICAL SYSTEMS. NO ALLOWANCE OF ANY KIND WILL BE MADE FOR THE CONTRACTOR'S NEGLIGENCE OR NONCONFORMANCE TO FORESEE MEANS OF INSTALLING EQUIPMENT INTO POSITION.
 22. DOOR DIMENSIONAL TOLERANCES TO ADHERE TO THE MOST RECENT PUBLICATION OF WDMA (WINDOW AND DOOR MANUFACTURER'S ASSOCIATION), OR NFPA, WHERE APPLICABLE FOR FIRE-RATED LABELED DOORS.
 23. THE ARCHITECT SHALL HAVE THE RIGHT TO MAKE FIELD ADJUSTMENTS IN ORDER TO MAINTAIN THE DESIGN INTENT. THE INFORMATION CONTAINED HEREIN MAY REQUIRE ADJUSTMENT OR MODIFICATION TO CONFORM WITH EXISTING CONDITIONS. IN CASE WHERE CHANGES IN DETAILS ARE NECESSARY, THESE DRAWINGS SHALL BE USED TO SHOW ONLY THE DESIGN INTENT.
 24. CHANGES IN DRAWINGS OR ACTUAL WORK SHALL BE ISSUED BY THE ARCHITECT ONLY.



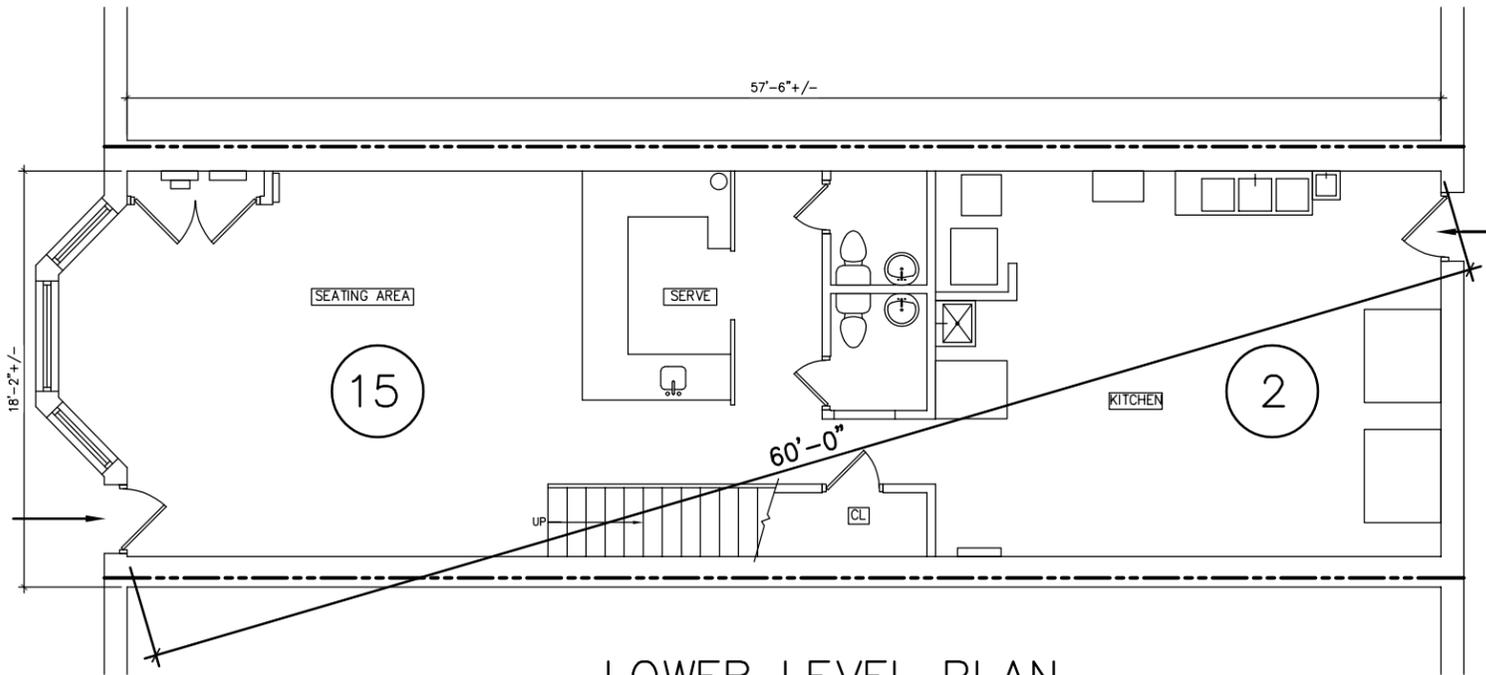
PROJECT: 1914 BY KOLBEN – 1914 9TH ST NW, WASHINGTON, DC 20001	PRIME PLANNING PLLC INFO@PRIMEPLANNINGINTL.COM 571.919.0418	G2
SUBJECT: RENOVATION DRAWING TITLE: GENERAL NOTES	DATE: 1.9.2020	



1ST FL PLAN
SCALE: 1/8"=1'-0"



2ND FL PLAN
SCALE: 1/8"=1'-0"

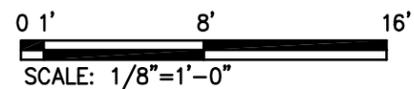
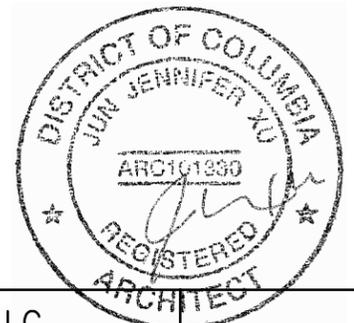


LOWER LEVEL PLAN
SCALE: 1/8"=1'-0"

LEGEND

- EXISTING 2 HR RATED WALL
- - - - SCOPE OF WORK
- (XX) OCCUPANCY

372 SF COMMERCIAL KITCHEN/ 200GSF PER OCC.=	2 OCCUPANTS
200 SF COMMERCIAL KITCHEN/ 200GSF PER OCC.=	1 OCCUPANTS
215 SF ASSEMBLY CONC. T&C/ 15NSF PER OCC. =	15 OCCUPANTS
340 SF ASSEMBLY CONC. T&C/ 15NSF PER OCC. =	23 OCCUPANTS
585 SF ASSEMBLY CONC. T&C/ 15NSF PER OCC. =	39 OCCUPANTS
TOTAL TENANT SPACE OCCUPANT LOAD =	80 OCCUPANTS



PROJECT: 1914 BY KOLBEN - 1914 9TH ST NW, WASHINGTON, DC 20001
 SUBJECT: RENOVATION
 DRAWING TITLE: KEY PLANS

PRIME PLANNING PLLC
 INFO@PRIMEPLANNINGINTL.COM
 571.919.0418
 DATE: 1.9.2020

G3

NO WORK. REFERENCE ONLY

57'-6"

(E) PANEL B

SEATING AREA

SERVE

FIRE EXTINGUISHER PER NFPA 10.

(E)HWH

FIRE EXTINGUISHER PER NFPA 10.

(E) GREASE TRAP ABOVE FL

(E) 3 COMP SINK

(E)HAND SINK

(E)AHU

(E)MOP SINK

(E)ICE MAKER

KITCHEN

(E) COOKING STATION

(E) COOKING STATION

SD
CD

UP

CL

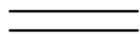
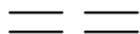
EXIST. ELEC PANEL K

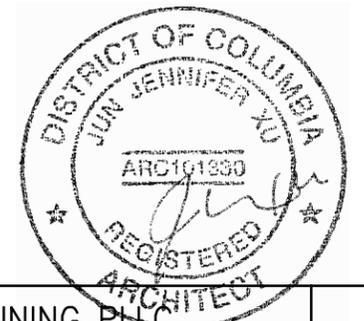
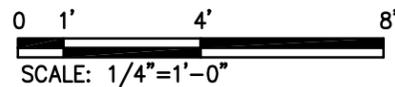
18'-2"

LOWER LEVEL PLAN

SCALE: 1/4"=1'-0"

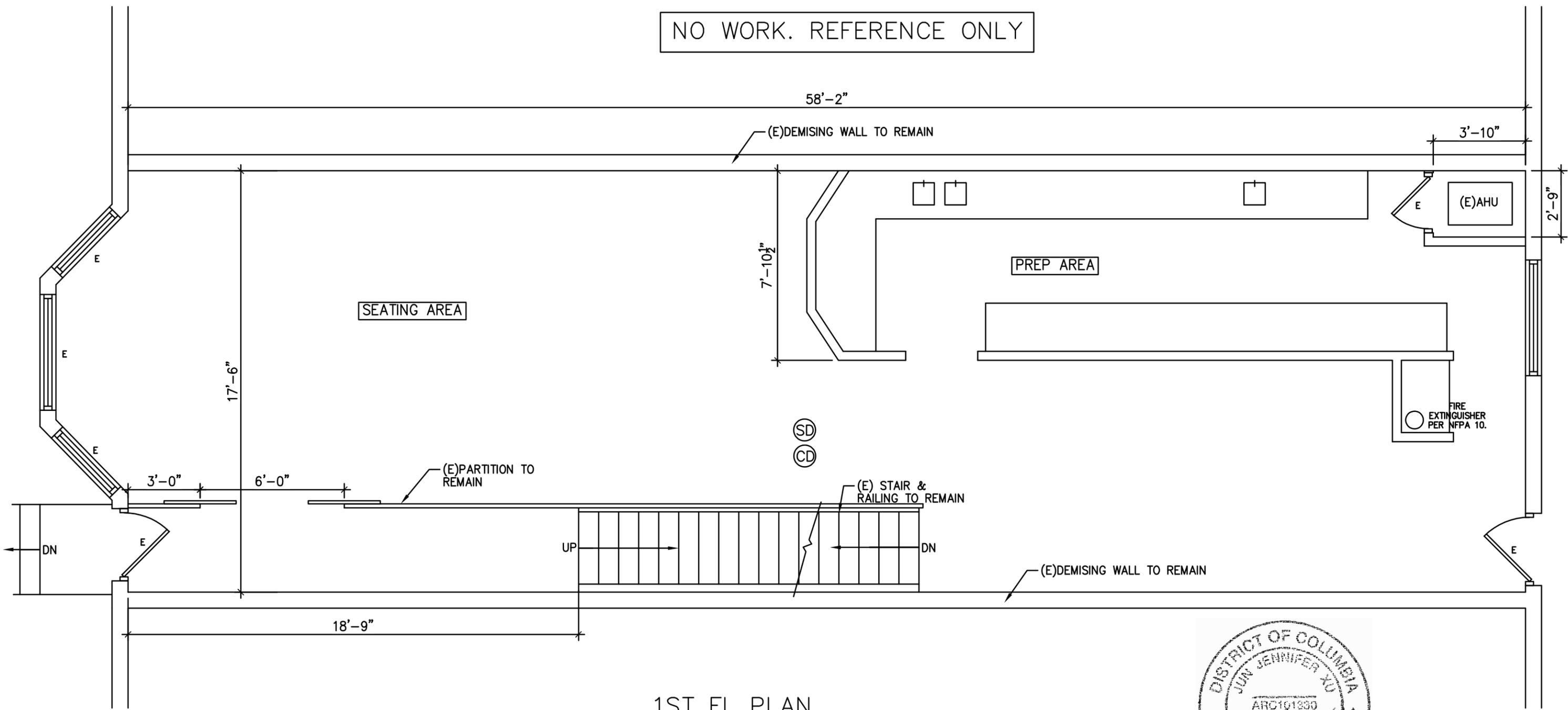
LEGEND

-  EXISTING TO REMAIN
-  NEW WALL
-  DEMO



PROJECT: 1914 BY KOLBEN – 1914 9TH ST NW, WASHINGTON, DC 20001	PRIME PLANNING PLLC INFO@PRIMEPLANNINGINTL.COM 571.919.0418	A1
SUBJECT: RENOVATION DRAWING TITLE: FLOOR PLAN	DATE: 1.9.2020	

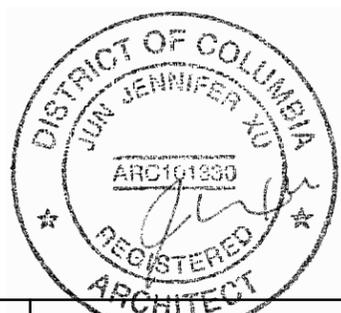
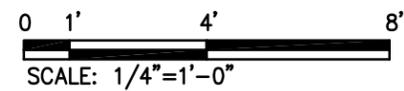
NO WORK. REFERENCE ONLY



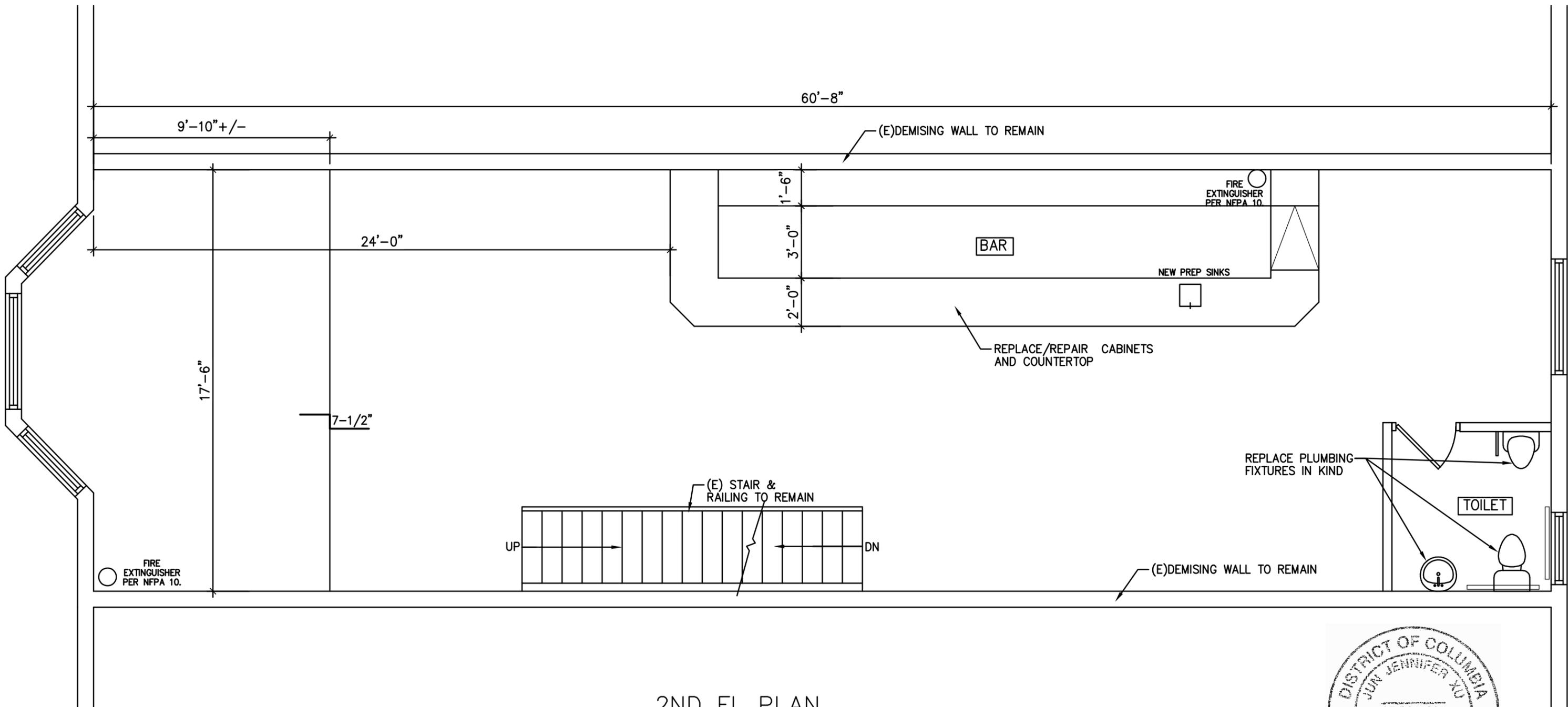
1ST FL PLAN
SCALE: 1/4"=1'-0"

LEGEND

- EXISTING TO REMAIN
- NEW WALL
- DEMO

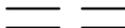


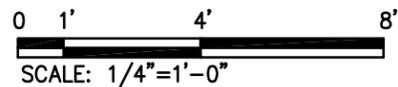
PROJECT: 1914 BY KOLBEN - 1914 9TH ST NW, WASHINGTON, DC 20001	PRIME PLANNING PLLC INFO@PRIMEPLANNINGINTL.COM 571.919.0418	A2
SUBJECT: RENOVATION DRAWING TITLE: FLOOR PLAN	DATE: 1.9.2020	



2ND FL PLAN
SCALE: 1/4"=1'-0"

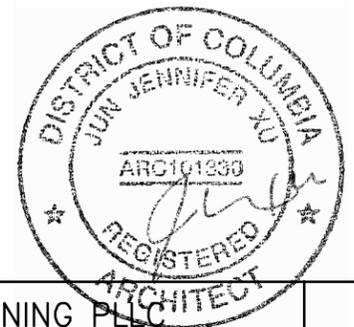
LEGEND

-  EXISTING TO REMAIN
-  NEW WALL
-  DEMO



PROJECT: 1914 BY KOLBEN - 1914 9TH ST NW, WASHINGTON, DC 20001
 SUBJECT: RENOVATION
 DRAWING TITLE: FLOOR PLAN

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 INFO@PRIMEPLANNINGINTL.COM
 571.919.0418
 DATE: 1.9.2020



A3

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH 2014 NEC.
2. MOUNTING HEIGHTS, UNLESS OTHERWISE NOTED, ARE TO CENTER LINE OF EQUIPMENT, EXCEPT MOUNTING HEIGHTS OF LIGHTING FIXTURES WHICH IS TO BOTTOM OF FIXTURE, UNLESS NOTED OTHERWISE.
3. PROVIDE GROUNDING CONDUCTORS IN ALL BRANCH CIRCUIT RACEWAYS.
4. ALL CND AND WIRING SHALL BE RUN CONCEALED ABOVE FINISHED CEILINGS, WITHIN WALLS, OR BELOW FLOORS IN FINISHED SPACES. WHERE DEVICES ARE INDICATED AS SURFACE MTD, THEY SHALL BE IN SURFACE METAL RACEWAY BOXES. CONDUIT TO THESE BOXES SHALL BE SURFACE METAL RACEWAY, WIREMOLD V700 OR EQUAL.
5. WHERE LIGHT SWITCHES ARE INDICATED TO BE MOUNTED BACK OF DOOR, THEY SHALL BE MOUNTED A MINIMUM OF 3'-4" FROM HINGED SIDE.
6. REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR CEILING TYPES AND EXACT LOCATIONS OF LIGHTING FIXTURES. REFER TO ARCHITECTURAL INTERIOR ELEVATIONS FOR SPECIFIC LOCATIONS OF WALL-MOUNTED ELECTRICAL COMPONENTS. COORDINATE DEVICE LOCATIONS WITH WALL FRAMING TO ACHIEVE LOCATIONS INDICATED ON CEILINGS AND WALLS.
7. ELECTRICAL CONTRACTOR(S) SHALL COORDINATE THEIR WORK WITH ALL OTHER TRADES PRIOR TO FABRICATION OF SYSTEMS AND COMMENCEMENT OF INSTALLATION. IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO REVIEW THE WORK OF OTHER TRADES (INCLUDING, BUT NOT LIMITED TO , ARCHITECTURAL, FIRE ALARM, MECHANICAL, PLUMBING, TELE/DATA, SPRINKLER AND KITCHEN) AS IT AFFECTS THE ELECTRICAL WORK, AND AS THE ELECTRICAL WORK AFFECTS OTHER TRADES, TO INSURE THAT THE CONSTRUCTION DOCUMENTS ARE CLOSELY FOLLOWED. WHERE DISCREPANCIES ARISE, THEY SHALL BE REFERRED TO THE A/E FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK.

ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR
A/E	ARCHITECT/ENGINEER
BLDG	BUILDING
CLG	CEILING
COMM	COMMUNICATION
DIV	DIVISION
DN	DOWN
DWG	DRAWING
ELEC	ELECTRIC
EQPT	EQUIPMENT
FLR	FLOOR
FT	FOOT, FEET
LTG	LIGHTING
LTS	LIGHTS
MAX	MAXIMUM
MH	MOUNTING HEIGHT (AFF UNO)
MIN	MINIMUM
MTD	MOUNTED
NTS	NOT TO SCALE
PWR	POWER
REC	RECEPTACLE
REQD	REQUIRED
RM	ROOM
SW	SWITCH
TEL	TELEPHONE
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
V	VOLTS

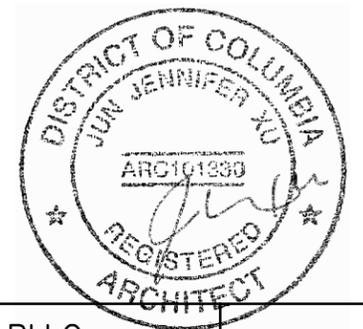
ELECTRICAL LEGEND

- — EXISTING TO BE REMOVED
- — EXISTING TO REMAIN
- ↷ CIRCUIT HOMERUN

- WIRING DEVICES
- S_X WALL SWITCH, AT 48" AFF UNO. SUBSCRIPTS INDICATE THE FOLLOWING:
 (NONE) SINGLE POLE
 O OCCUPANCY SENSOR
- ⊕ DUPLEX RECEPTACLE AT 18" AFF OR GRADE, UNO.
- ⊙ 120V, 20A DUPLEX RECEPTACLE IN FLUSH FLOOR BOX WITH COVER. POKE-THRU TYPE
- ⓔ EQUIPMENT CONNECTION
- ◀ VOICE/DATA OUTLET WITH COVER FLUSH IN WALL. MOUNTED AT 18" AFF UNO.

- FIRE ALARM SYSTEMS
- ▽¹⁵_C FIRE ALARM SPEAKER/VISUAL INDICATOR

- LIGHT FIXTURES
- ==== LED LIGHT
- ⤴ LED WALL SCONCE
- ⊗ EXIT SIGN, CEILING MOUNTED. DARKENED QUADRANT INDICATES STENCILED FACE(S). ARROW INDICATES DIRECTIONAL EXIT.



PROJECT: 1914 BY KOLBEN – 1914 9TH ST NW, WASHINGTON, DC 20001	PRIME PLANNING PLLC INFO@PRIMEPLANNINGINTL.COM 571.919.0418	E1
SUBJECT: RENOVATION	DATE: 1.9.2020	
DRAWING TITLE: ELEC NOTES		



COMcheck Software Version 4.1.1.0
Interior Lighting Compliance Certificate

Project Information

Energy Code: 2015 IECC
 Project Title: 1914 BY KOLBEN
 Project Type: Alteration

Construction Site: 1914 9TH ST NW WASHINGTON, DC
 Owner/Agent:
 Designer/Contractor:

Allowed Interior Lighting Power

A Area Category	B Floor Area (ft2)	C Allowed Watts / ft2	D Allowed Watts (B X C)
1-LOUNGE (Common Space Types:Dining Area - Bar Lounge/Leisure)	1000	1.07	1070
Total Allowed Watts =			1070

Proposed Interior Lighting Power

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixtures	D Fixture Watt.	E (C X D)
LOUNGE (Common Space Types:Dining Area - Bar Lounge/Leisure 1000 sq.ft.)				
A: LED Other Fixture Unit 25W:	2	4	52	208
B: LED Other Fixture Unit 13W:	1	24	13	307
C: LED MR 6W:	1	24	4	108
Total Proposed Watts =				623

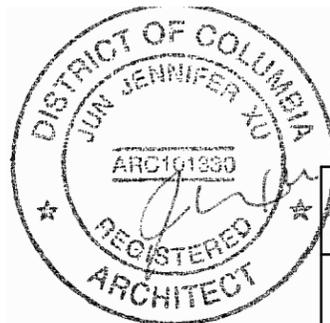
Interior Lighting PASSES

Interior Lighting Compliance Statement

Compliance Statement: The proposed interior lighting alteration project represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed interior lighting systems have been designed to meet the 2015 IECC requirements in COMcheck Version 4.1.1.0 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Name - Title _____ Signature _____ Date _____

Project Title: MOGE TEE Report date: 03/20/19
 Data filename: P:\Are\National Harbor - Bldg P - Jazz Restaurant (F10-48)\15.0 Cost Estimating\jennifer\catimini\comcheck.cck Page 1 of 5



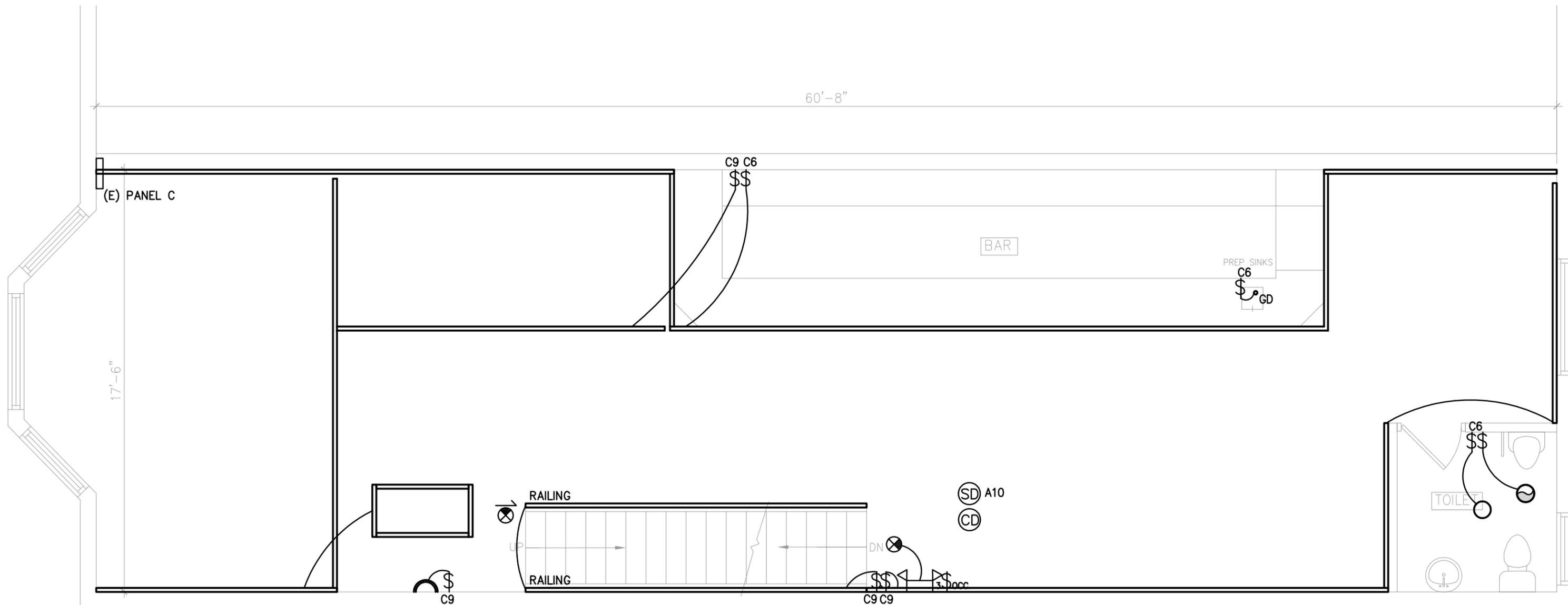
PROJECT: 1914 BY KOLBEN – 1914 9TH ST NW, WASHINGTON, DC 20001
 SUBJECT: RENOVATION
 DRAWING TITLE: ELEC SCHEDULE

PRIME PLANNING PLLC
 INFO@PRIMEPLANNINGINTL.COM
 571.919.0418
 DATE: 1.9.2020

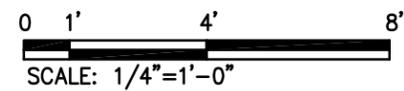
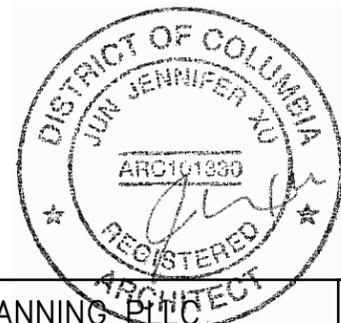
E2

ELEC PANEL A SCHEDULE									
120/240 VOLT, 1 PH, 3W, 125AMP. AIC 10K. W/NEUTRAL BUS & EQUIP. GND. BUS									
DESCRIPTION	AMPS	POLE	CKT NO.	LOAD-A	LOAD-B	CKT NO.	POLE	AMPS	DESCRIPTION
HEAT PUMP	50	2	1	1500				30	AC1
				950		2	1		
			3		1500				
					950	4	1		
RECEPTACLES/TIME CLOCK	20	1	5	400					
				900		6	1	20	RECEPTACLES
PREP AREA GFI	20	1	7		1200				
					700	8	1	20	LIGHTS
RECEPTACLES	20	1	9	900					
				500		10	1	15	SMOKE DETECTOR - ALL
RECEPTACLES	20	1	11		700				
						12	1	20	SPARE
				TOTAL VA	5150	5050	TOTAL KVA		10.2
				TOTAL AMP/PHASE	43	42	TOTAL AMP		43

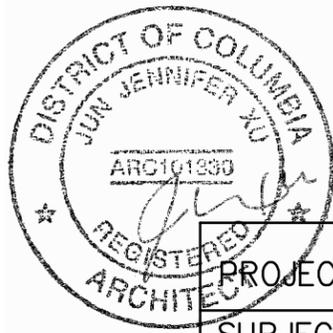
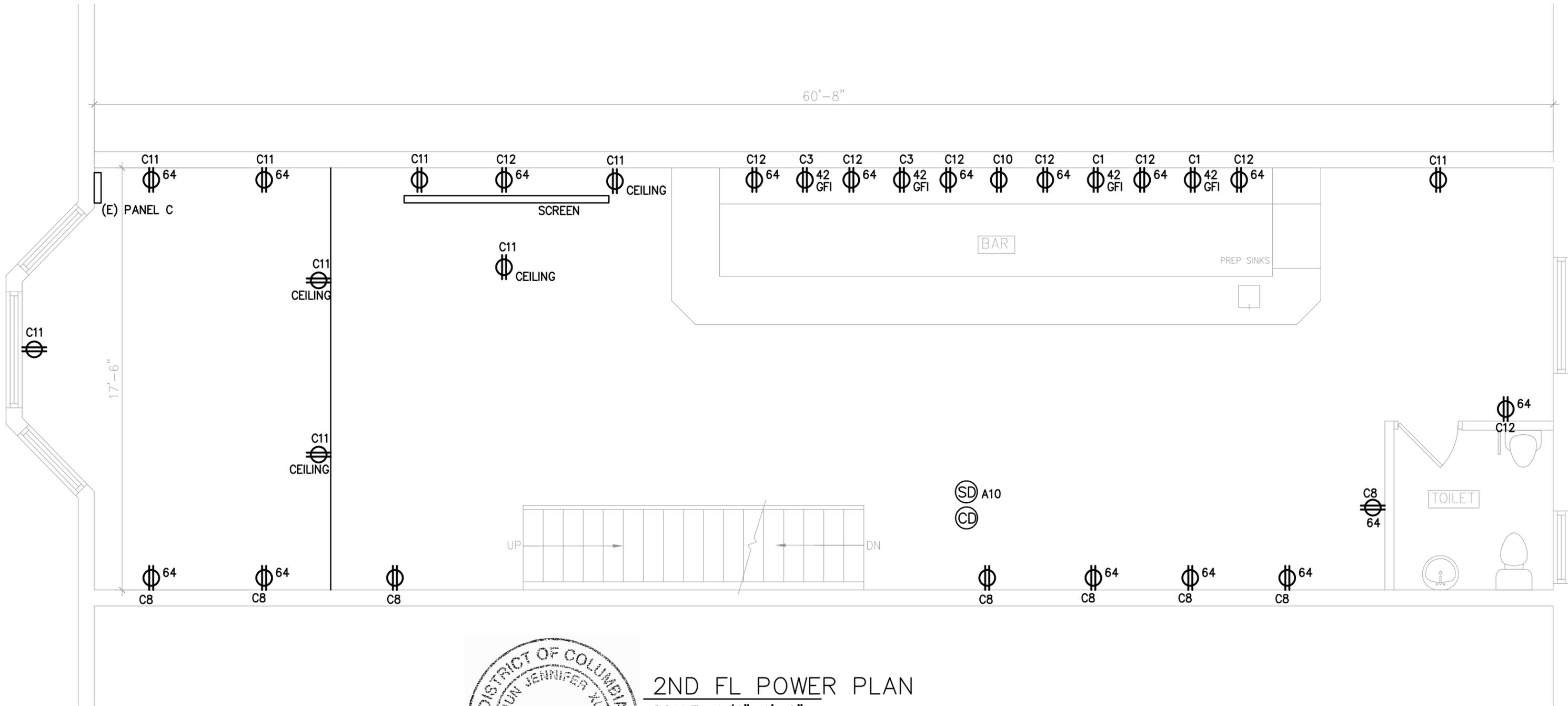
ELEC PANEL C SCHEDULE										
120/240 VOLT, 1 PH, 3W, 125AMP. AIC 10K. W/NEUTRAL BUS & EQUIP. GND. BUS										
DESCRIPTION	AMPS	POLE	CKT NO.	LOAD-A	LOAD-B	CKT NO.	POLE	AMPS	DESCRIPTION	
COUNTER GFI	20	1	1	1200				50	ELEC HEAT	
				1500		2	1			
					1200		4			1
COUNTER GFI	20	1	3		1200					
					1500	4	1			
AC2	30	1	5	950				20	LIGHT COUNTER	
				1000		6	1			
			1	7		950				
					1000	8	1			20
LIGHT SITTING	20	1	9	700						
				900		10	1	20	REFRIGERATOR	
RECEPTACLES LEFT	20	1	11		900					
					1200	12	1	20	TV	
				TOTAL VA	6250	6750	TOTAL KVA		13.0	
				TOTAL AMP/PHASE	52	56	TOTAL AMP		54	



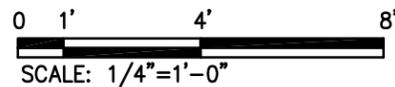
2ND FL LIGHTING PLAN
 SCALE: 1/4"=1'-0"



PROJECT: 1914 BY KOLBEN – 1914 9TH ST NW, WASHINGTON, DC 20001	PRIME PLANNING P.L.L.C. INFO@PRIMEPLANNINGINTL.COM 571.919.0418	E3
SUBJECT: RENOVATION DRAWING TITLE: ELEC FLOOR PLAN	DATE: 1.9.2020	



2ND FL POWER PLAN
 SCALE: 1/4"=1'-0"



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 SUBJECT: RENOVATION
 DRAWING TITLE: ELEC FLOOR PLAN

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 571.919.0418
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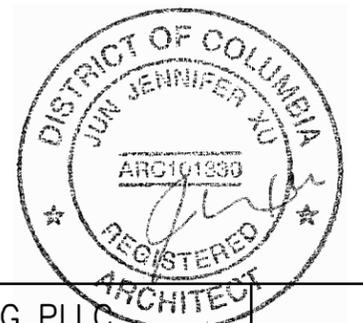
E4

PLUMBING NOTES

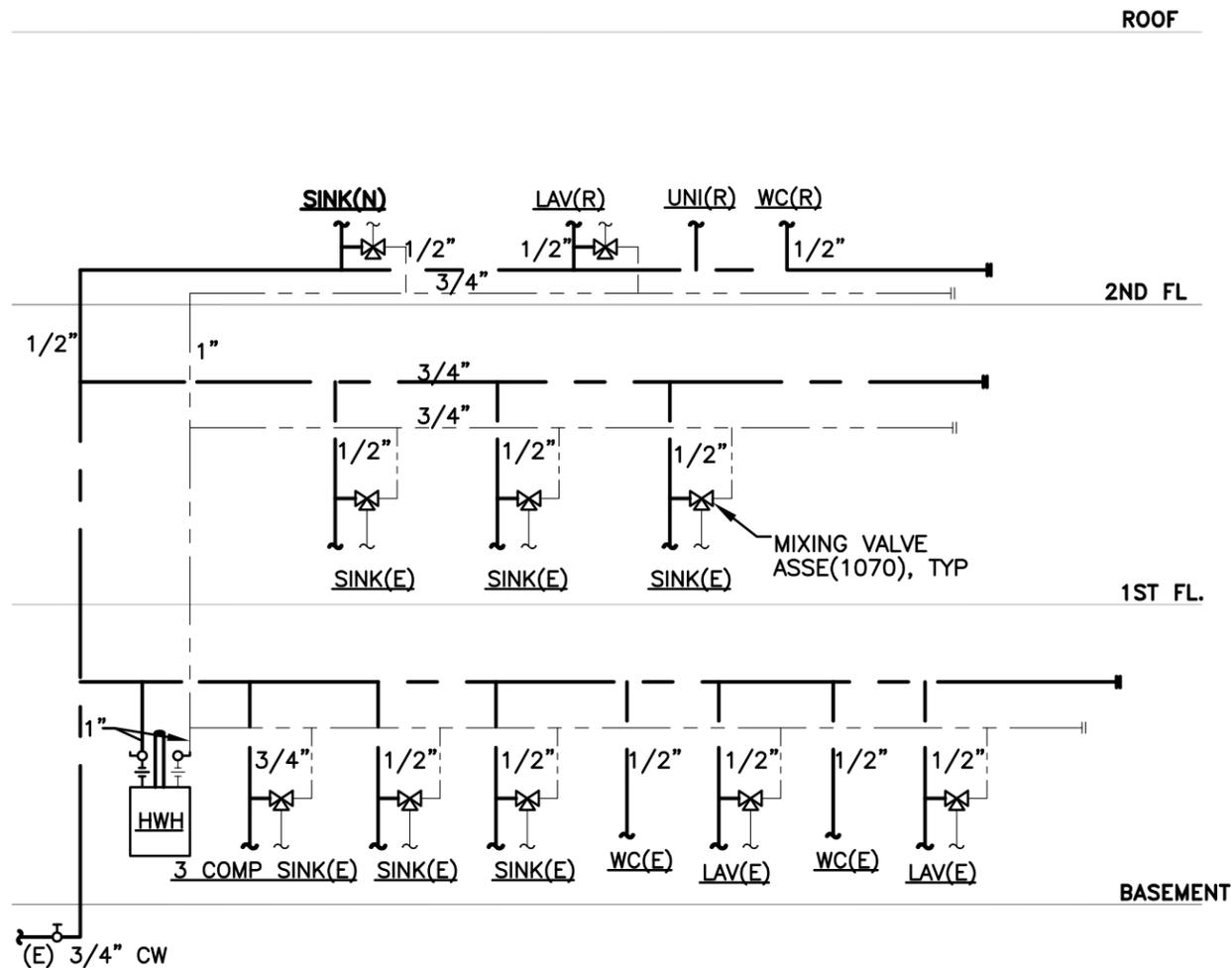
1. ALL PLUMBING WORK SHALL CONFORM WITH ALL LOCAL AND STATE CODES, RULES AND REGULATIONS.
2. CONTRACTOR SHALL MAKE NO CHANGES WITHOUT THE WRITTEN PERMISSION FROM THE ARCHITECT/OWNER.
3. ALL MATERIAL AND EQUIPMENT INDICATED ON THE PLANS OR DESCRIBED IN THE SPECIFICATIONS OR BOTH SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE IN NEW CONDITION AT ACCEPTANCE OF WORK, EXCEPT AS APPROVED BY THE ARCHITECT.
4. CONTRACTOR SHALL GUARANTEE ALL MATERIALS, LABOR AND EQUIPMENT FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE OF WORK BY THE OWNER. CONTRACTOR SHALL PAY FOR ANY REPAIRS OR REPLACEMENTS CAUSED BY DEFECTIVE WORKMANSHIP OR FAULTY MATERIALS AS CONSTRUED HEREIN WITHIN THE PERIOD COVERED BY THE GUARANTEE.
5. CONTRACTOR SHALL ARRANGE FOR REQUIRED CHASES, SLOTS AND OPENINGS. CONTRACTOR IS LIABLE FOR CUTTING OR PATCHING MADE NECESSARY BY HIS FAILURE TO MAKE PROPER ARRANGEMENTS IN THIS RESPECT.
6. INSTALL ALL WORK IN A NEAT AND WORKMANLIKE MANNER USING ONLY WORKMEN THOROUGHLY QUALIFIED IN THE TRADE OF DUTIES THEY ARE TO PERFORM. ROUGH WORK WILL BE REJECTED.
7. FURNISH SKETCHES SHOWING THE LOCATIONS AND SIZES OF ALL OPENINGS, CHASES, ETC REQUIRED. ALL CUTTING AND PATCHING SHALL BE DONE BY THE APPROPRIATE TRADE, UNLESS OTHERWISE REQUIRED BY TRADE CUSTOM.
8. MAINTAIN WORK AREA CLEAN AT ALL TIMES DURING CONSTRUCTION. AFTER COMPLETING INSTALLATION OF WORK. CLEAN ALL FIXTURES OF ALL RUBBISH, PLASTER, DIRT AND OTHER DEBRIS.
9. TEST ALL SYSTEMS, ALL FIXTURES SHALL OPERATE SATISFACTORILY AS DESIGNED AND INTENDED. REPORT ANY DEFICIENCIES TO THE ARCHITECT/ENGINEER.
 - a. ALL POTABLE WATER PIPING SHALL BE CHLORINATED AND FLUSHED IN FULL ACCORDANCE WITH THE JURISDICTIONAL AUTHORITIES.
 - b. ALL PIPING SYSTEMS SHALL BE TESTED AT DESIGN PRESSURES FOR A PERIOD OF TIME AS PRESCRIBED BY THE JURISDICTIONAL AUTHORITIES.
10. PITCH DRAINAGE PIPING 2 1/2" AND LARGER 1/4" PER FOOT UNLESS OTHERWISE NOTED.
11. IN GENERAL, DRAWINGS FOR THE WORK ARE DIAGRAMMATIC AND SHOW THE LOCATION, TYPE AND SIZE OF PIPING, EQUIPMENT, AND ACCESSORY EQUIPMENT. THE CONTRACTOR SHALL FURNISH ALL ITEMS NECESSARY FOR THE PROPER INSTALLATION AND OPERATION OF THE WORK, WHETHER CALLED FOR OR NOT. THE CONTRACTOR SHALL VERIFY ALL NECESSARY DIMENSIONS BEFORE INSTALLING ANY OF THE WORK, AND SHALL CHECK HIS LAYOUTS TO ALLOW CLEARANCE REQUIRED FOR OTHER WORK.
12. SNAKE ALL LINES AND TEST SYSTEM JUST PRIOR TO TURN OVER TO OWNER.
13. ALL PLUMBING PIPING WITHIN THE BUILDING INCLUDING SANITARY AND WATER DISTRIBUTION, MUST BE TESTED AND APPROVED BY THE PLUMBING INSPECTOR AND MEET THE REQUIREMENTS OF SECTION 107 OF THE INTERNATIONAL PLUMBING CODE.
14. ALL POTABLE WATER OUTLETS SHALL BE PROTECTED FROM CROSS CONNECTION AS REQUIRED UNDER SECTION 609, INTERNATIONAL PLUMBING CODE. THE PLUMBING INSPECTOR SHOULD BE GIVEN ANY INFORMATION ON TESTABLE BACKFLOW PREVENTERS (REDUCED PRESSURE, DOUBLE CHECK ASSEMBLY, OR PRESSURE VACUUM BREAKER TYPE). TEST REQUIRED BY 'CERTIFIED TESTER PRIOR TO PLUMBING FINAL ON ANY BACKFLOW DEVICE.
15. PROVIDE R-3 INSULATION AT HOT WATER PIPING. USE OWINGS CORNING FIBERGLASS INSULATION, 1" WALL THICKNESS, NOMINAL I.D. 2-5/32"
16. BATHTUB & SHOWER CONTROL VALVES SHALL HAVE HIGH LIMIT STOP CAPABILITY / ANTI-SCALD TYPE, LIMITING HOT WATER TEMPERATURE TO 120 DEGREES FAHRENHEIT

17. WHERE TRAPS ARE INSTALLED IN CONCEALED SPACES, THEY MAY BE OF THE SLIP JOINT TYPE ONLY IF AN ACCESS PANEL OR OTHER APPROVED ARRANGEMENT FOR ACCESS TO THE JOINT IS PROVIDED. APPLIES TO TUB / SHOWER / WASHING MACHINE LOCATIONS
18. WATER HAMMER ARRESTORS TO BE PROVIDED WHERE QUICK CLOSING VALVES ARE UTILIZED. APPLIES TO DISHWASHER & CLOTHES WASHING MACHINES.
19. PROVIDE FULL-OPEN VALVES AT WATER SUPPLY PIPES TO ALL DWELLING UNITS AND ON SUPPLY PIPES TO WATER HEATERS.
20. PROVIDE 3M FIRE BARRIER CP 25WB CAULK AROUND ALL PIPE PENETRATIONS THROUGH FIRE RATED WALL AND FLOORS ASSEMBLIES.
21. EQUIPMENT & DEVICES PENETRATING RATED PARTITIONS MUST BE RATED FOR SUCH. PROVIDE ASSE 1010 WATER-HAMMER ARRESTOR AT ALL QUICK-CLOSING VALVE LOCATIONS INCLUDING CLOTHES WASHERS, DISHWASERS AND ICE MAKERS ALL ABOVE GRADE WATER PIPING WITHIN THE BUILDING SHALL BE TYPE 'L' COPPER PIPE WITH 125 PSI WROUGHT COPPER 95/5 SOLDER SWEAT FITTINGS. ALL SANITARY AND VENT PIPING ABOVE GRADE SHALL BE CPVC SCHEDULE 80 PROVIDE AUTOMATIC CONTROL SWITCH FOR HOT WATER CIRCULATING SYSTEM

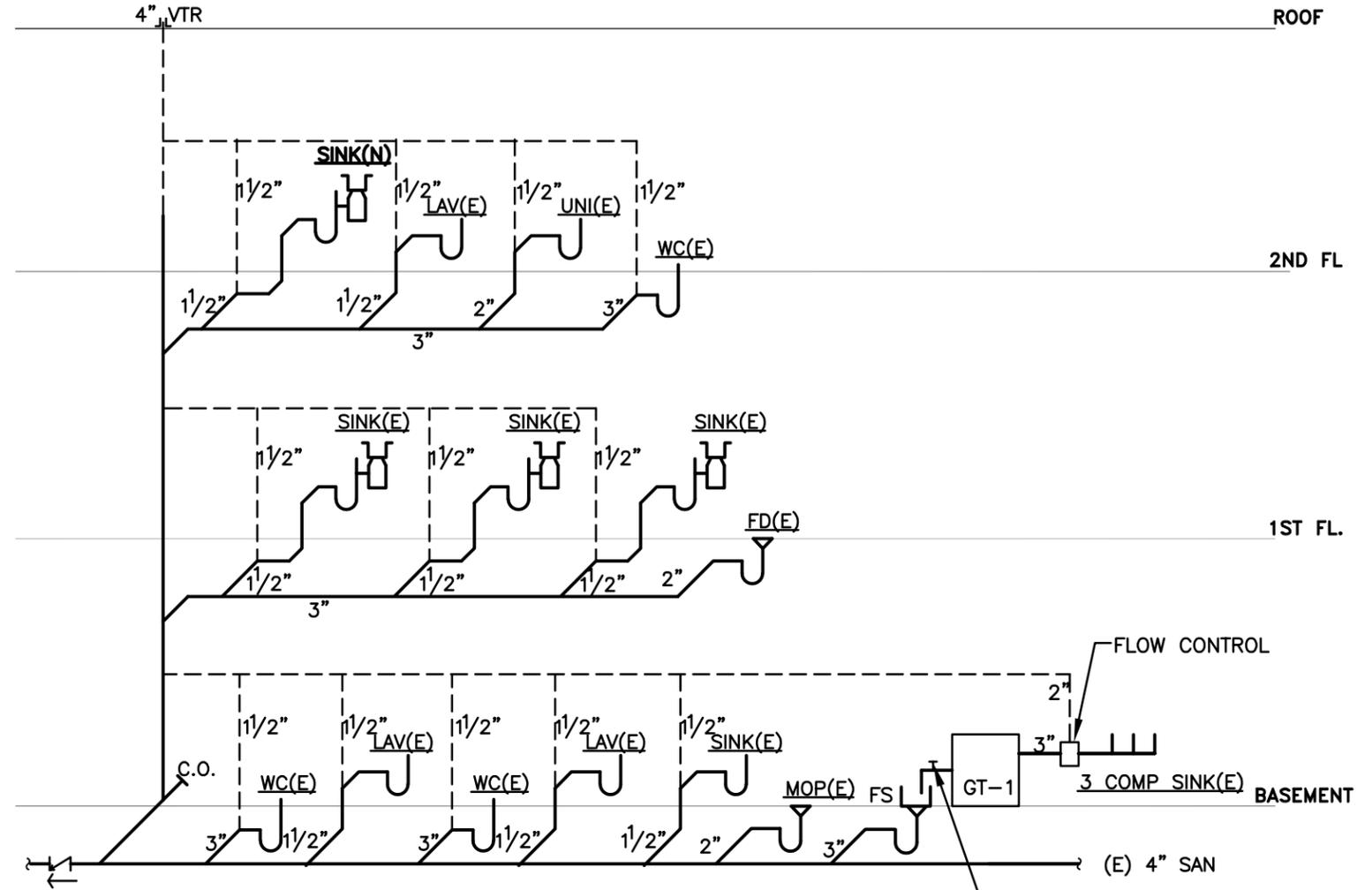
PLUMBING FIXTURE CONNECTION SCHEDULE					
DESCRIPTION	WASTE	VENT	WATER		REMARKS
			CW	HW	
LAVATORY	1 1/2"	1 1/2"	1/2"	1/2"	MIXING VALVE
WATER CLOSET	3"	1 1/2"	1/2"	---	
3 COMP SINK	2"	1 1/2"	3/4"	3/4"	MIXING VALVE
MOP SINK	2"	1 1/2"	1/2"	1/2"	
PREP SINK	1 1/2"	1 1/2"	1/2"	1/2"	MIXING VALVE & DISPOSAL
URINAL	2"	1 1/2"	1/2"	---	



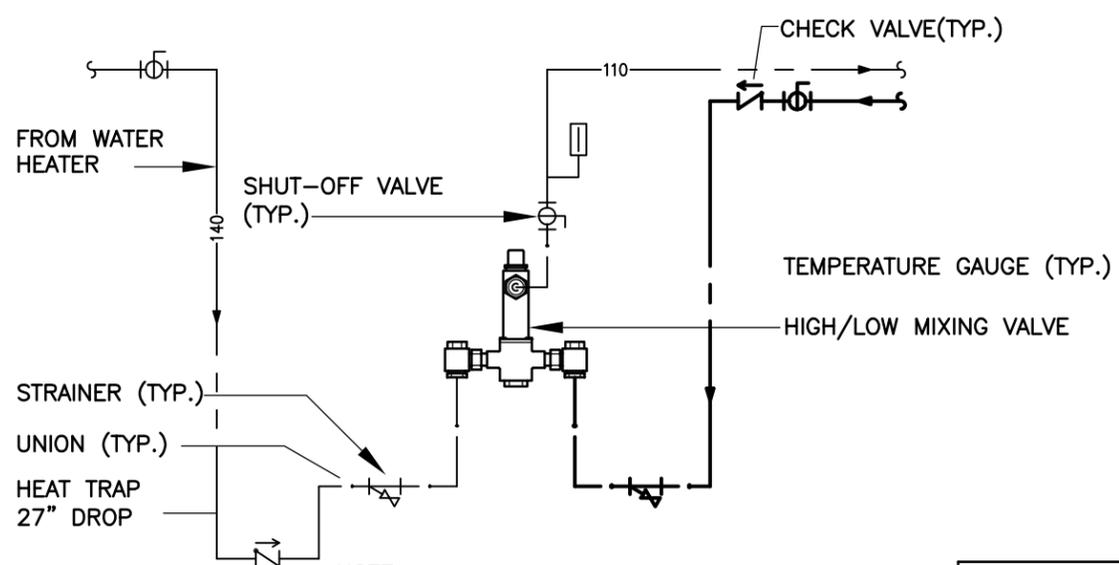
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SUBJECT: RENOVATION	DATE: 1.9.2020	
DRAWING TITLE: PLUMBING NOTES & SCHEDULE		



DOMESTIC WATER PIPING DIAGRAM
NOT TO SCALE

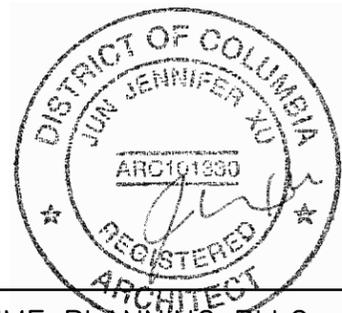


SANITARY RISER DIAGRAM
NOT TO SCALE



NOTE:
FOR PIPE SIZES SEE SCHEDULE AND/OR RISER
DIAGRAM (TYPICAL)

DETAIL - THERMOSTATIC MIXING VALVE
NO SCALE



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SUBJECT: RENOVATION DRAWING TITLE: PLUMBING DIAGRAMS	DATE: 1.9.2020	