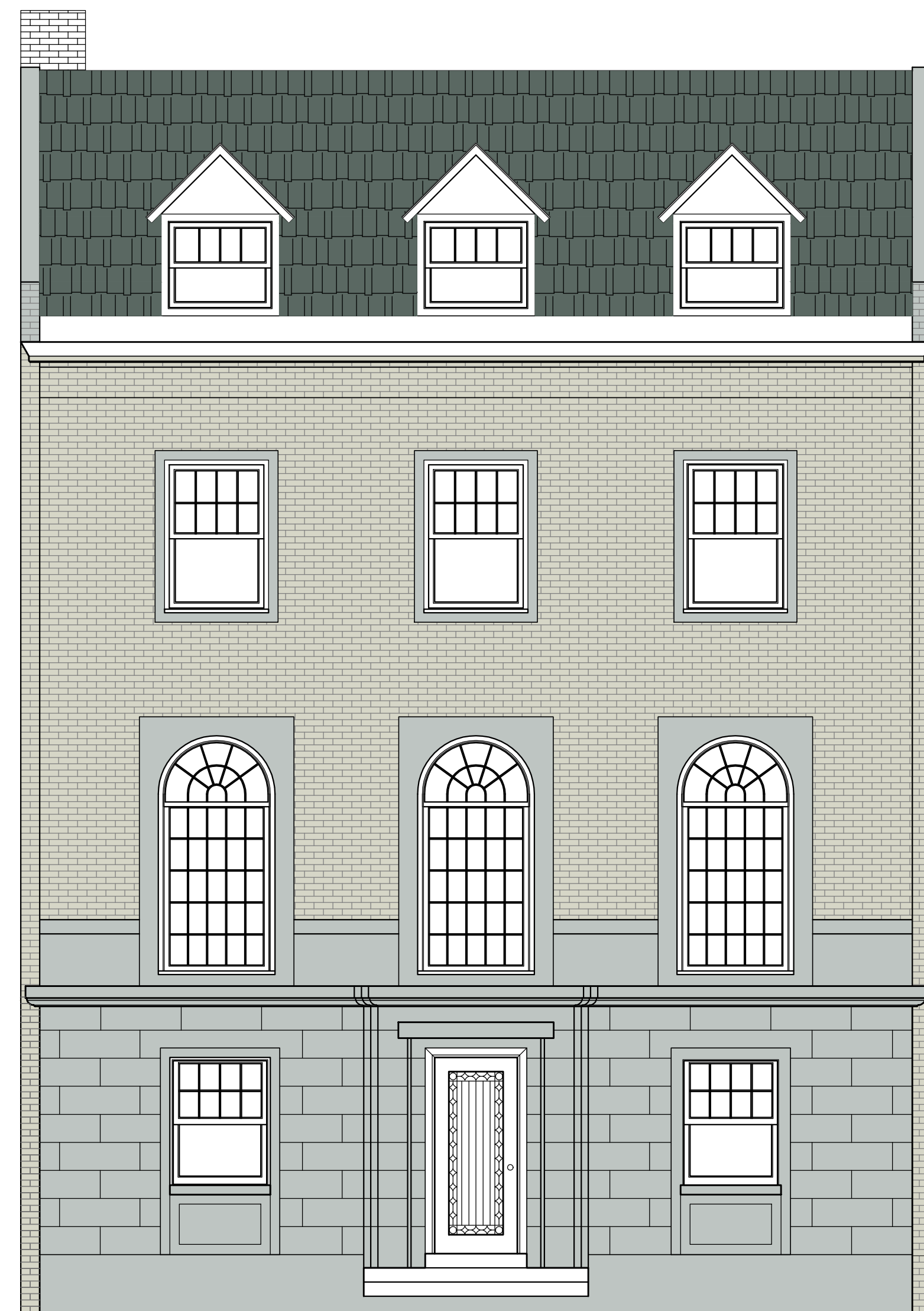


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hilton residence

PHASE II

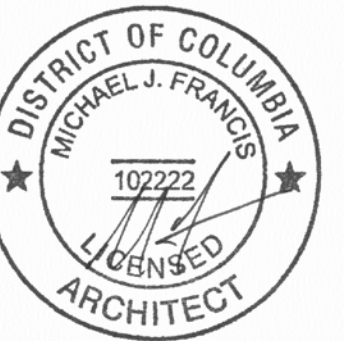
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project name
**HILTON
RESIDENCE-
PHASE 2**
2318 california street, NW
Washington, DC 20008

project no: 1605

issue / description:

Phase 2: HP Review 06.13.17

Phase 2: Historic Review 08.30.17

Phase 2: Historic Review 2 09.08.17

For Permit 10.02.17

HP-BZA Revision 04.18.18

drawn by: GM/DC

checked by: FB/MF

sheet title

sheet no.

Board of Zoning Adjustment
District of Columbia
CASE NO.19621A
EXHIBIT NO.443

1. DEMOLITION PLANS ARE DIAGRAMATIC AND REFLECT EXTENT OF REQUIRED DEMOLITION TO ACCOMMODATE PLANNED NEW CONSTRUCTION
2. ALL EXISTING PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEM COMPONENTS SHALL BE REMOVED BACK TO RESPECTIVE EQUIPMENT SOURCE AND SAFELY SECURED OR CAPPED.
3. STABILIZED, SECURE, OR OTHERWISE MAKE SAFE ALL EXISTING TO REMAIN STRUCTURE AND FRAMING AS REQUIRED WHERE DEMOLITION OCCURS
4. ENTIRE SITE MUST REMAIN SECURE AND WATERTIGHT DURING ALL DEMOLITION WORK

- 01 EXISTING PARTITIONS TO BE DEMOLISHED THROUGHOUT
- 02 EXISTING DOORS TO BE DEMOLISHED WHERE INDICATED
- 03 EXISTING PLUMBING FIXTURES TO BE REMOVED THROUGHOUT
- 04 EXISTING CONCRETE STEPS TO BE REMOVED
- 05 EXISTING WOOD STAIRS TO BE REMOVED
- 06 EXISTING MASONRY PARTITIONS TO BE REMOVED
- 07 NOT USED
- 08 EXTENT OF EXISTING FLOOR FRAMING TO BE REMOVED TO ACCOMMODATE NEW OPENING SIZE
- 09 EXISTING METAL HANDRAIL TO BE REMOVED
- 10 EXISTING WOOD HANDRAIL AND GUARDRAIL TO BE REMOVED
- 11 EXISTING DOOR/WINDOW SYSTEM TO BE REMOVED

GENERAL DEMOLITION NOTES

KEYNOTES

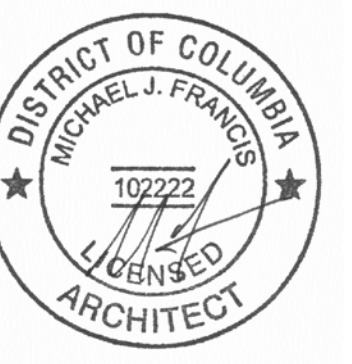


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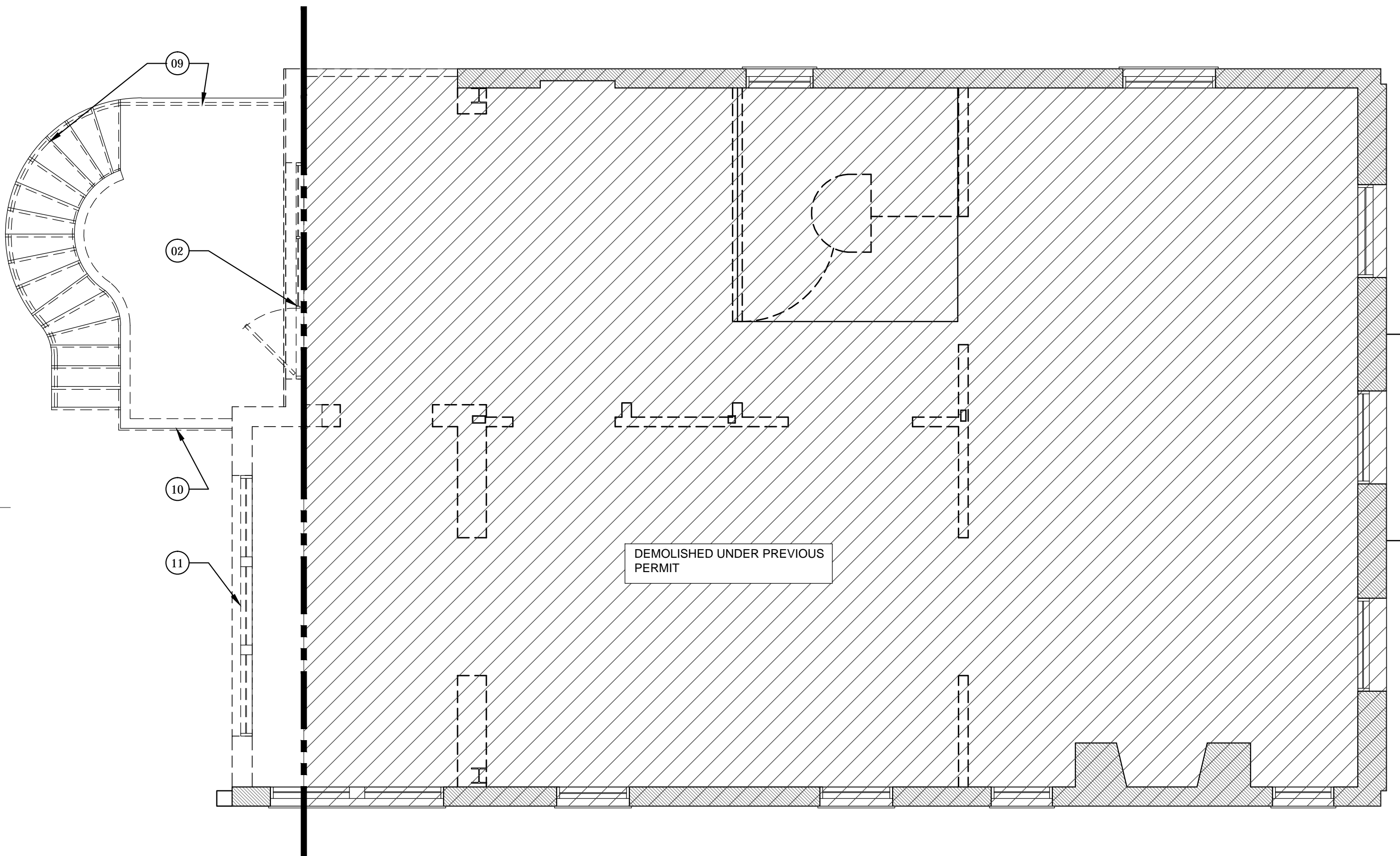
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sheet title

DEMOLITION PLANS
FIRST & SECOND FLOORS

sheet no.

A1.01

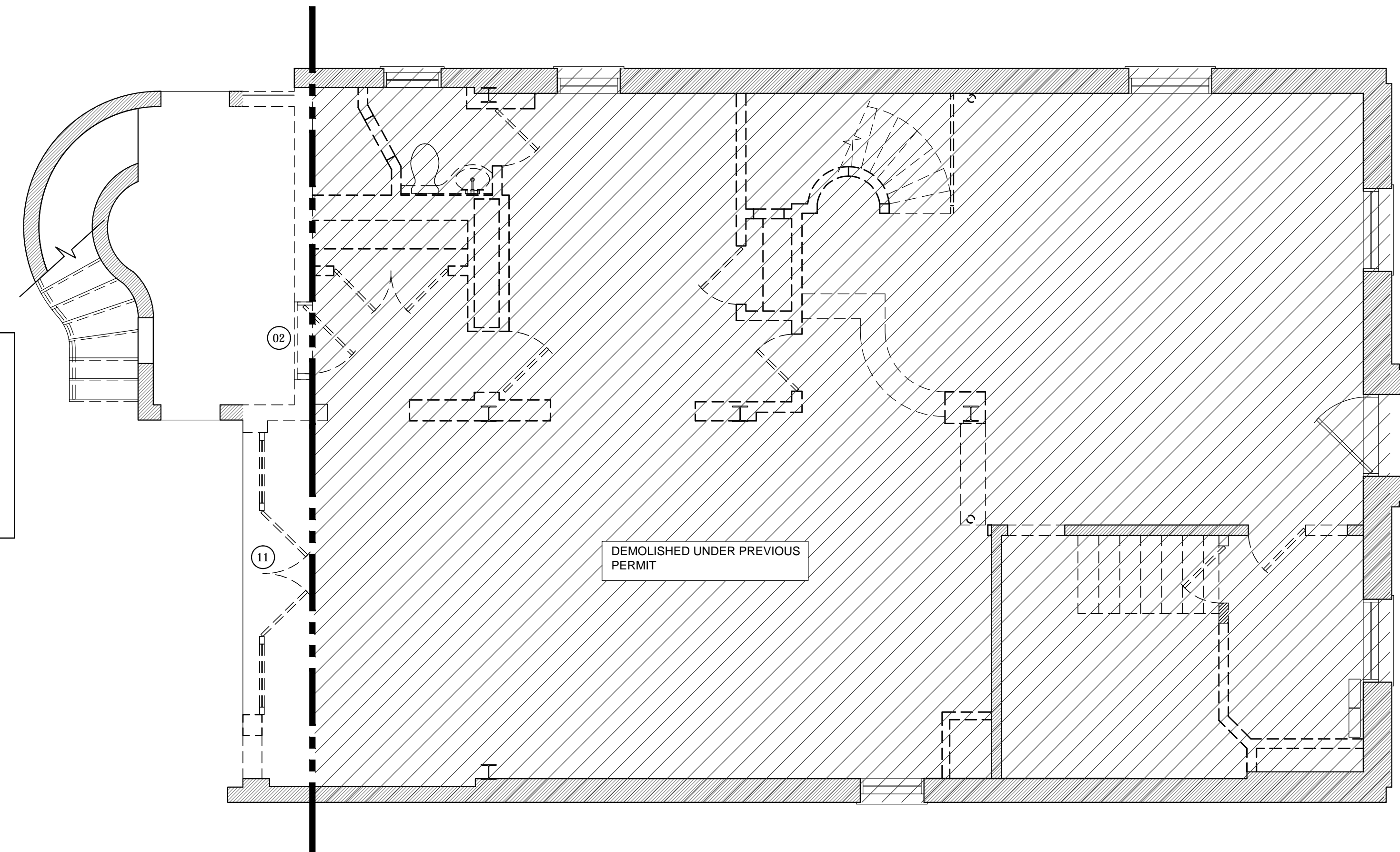


SECOND FLOOR PLAN

SCALE
1/4"=1'-0"

03

FIRST FLOOR PLAN



SCALE
1/4"=1'-0"

01

1. DEMOLITION PLANS ARE DIAGRAMATIC AND REFLECT EXTENT OF REQUIRED DEMOLITION TO ACCOMMODATE PLANNED NEW CONSTRUCTION
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- 04 EXISTING CONCRETE STEPS TO BE REMOVED
- 05 EXISTING WOOD STAIRS TO BE REMOVED
- 06 NOT USED
- 07 EXISTING ROOF TO BE REMOVED
- 08 EXTENT OF EXISTING FLOOR FRAMING TO BE REMOVED TO ACCOMMODATE NEW OPENING SIZE

GENERAL DEMOLITION NOTES

KEYNOTES

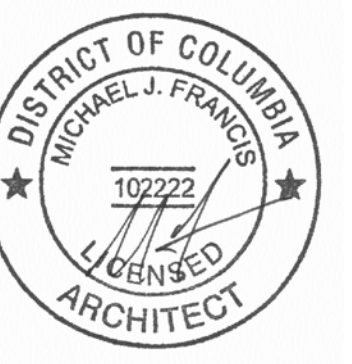


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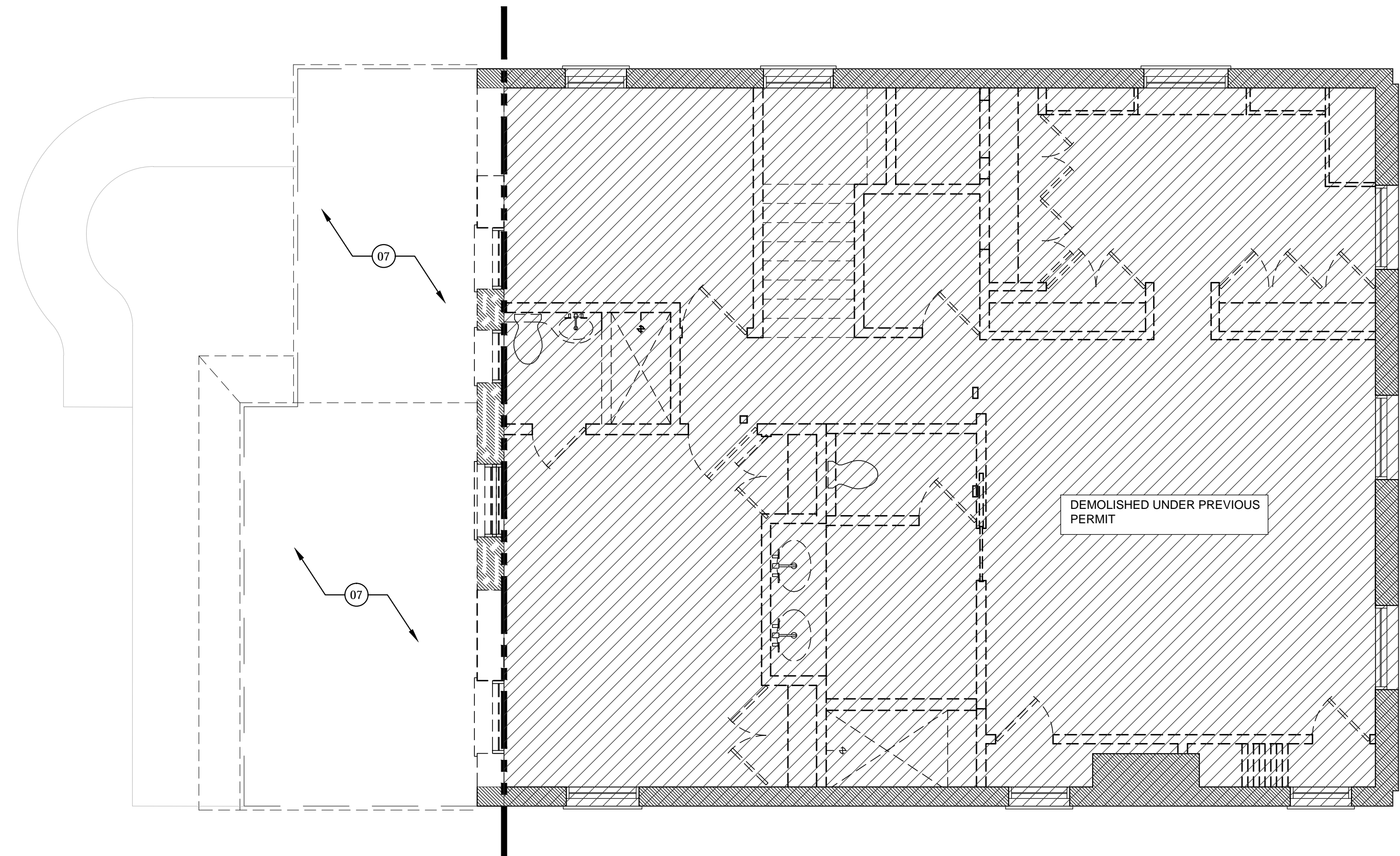
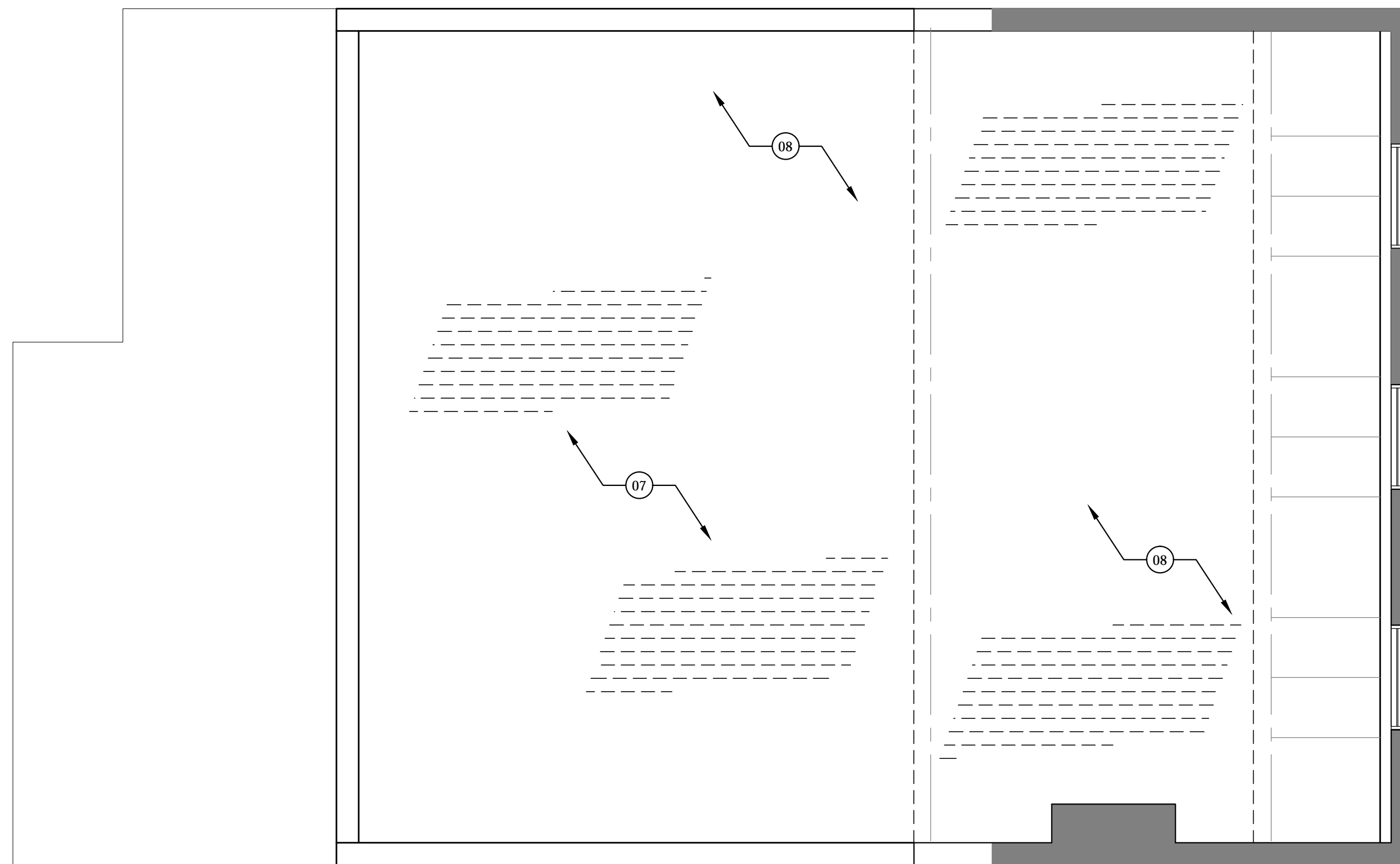
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**DEMOLITION PLAN
THIRD FLOOR & PENTHOUSE**

sheet no.

A1.02

GENERAL NOTE:
ALL EXISTING CEILING JOIST SHALL REMAIN
WHERE POSSIBLE



PENTHOUSE & ROOF DEMOLITION PLAN

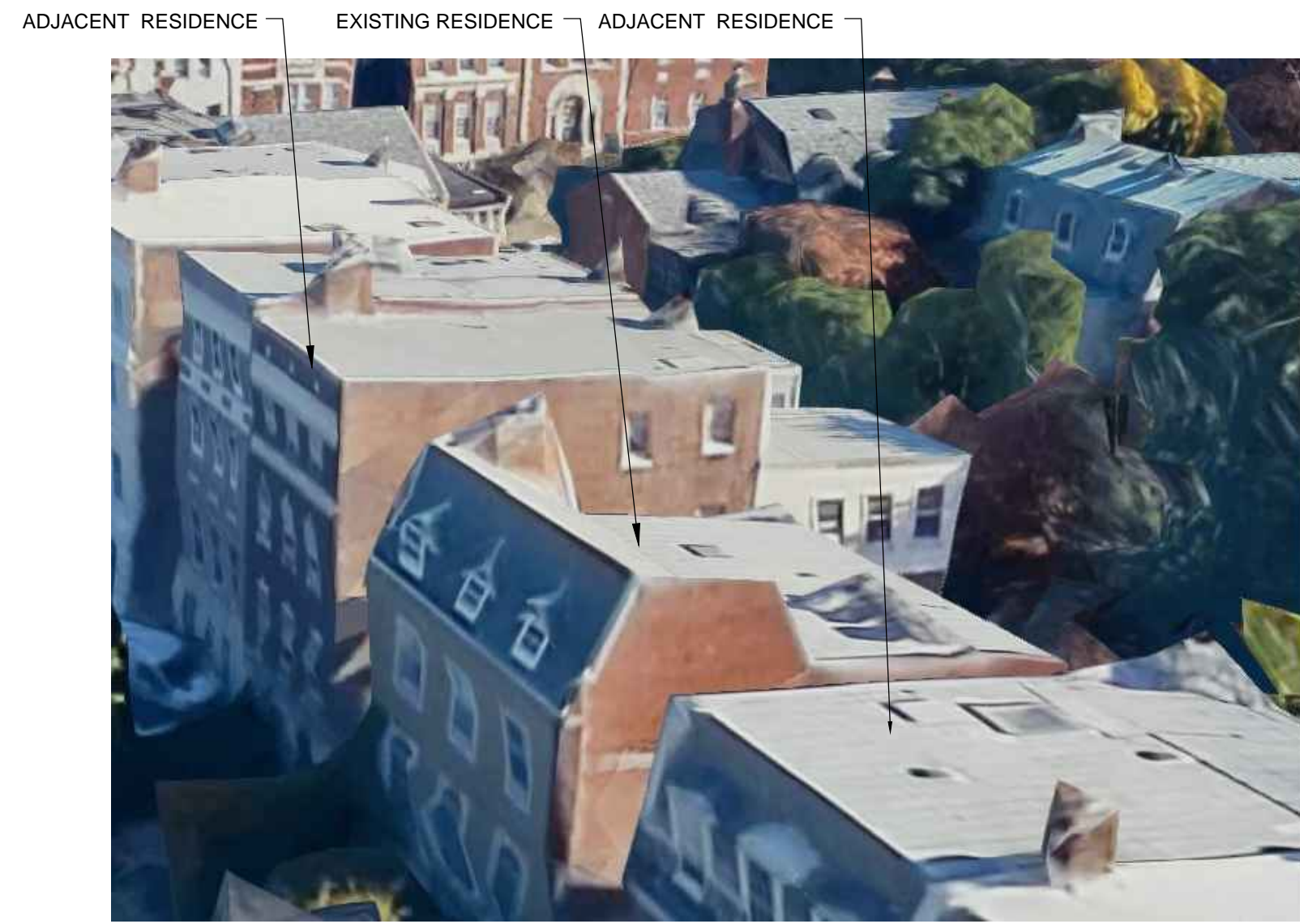
SCALE
1/4"=1'-0"

03

THIRD FLOOR DEMOLITION PLAN

SCALE
1/4"=1'-0"

01



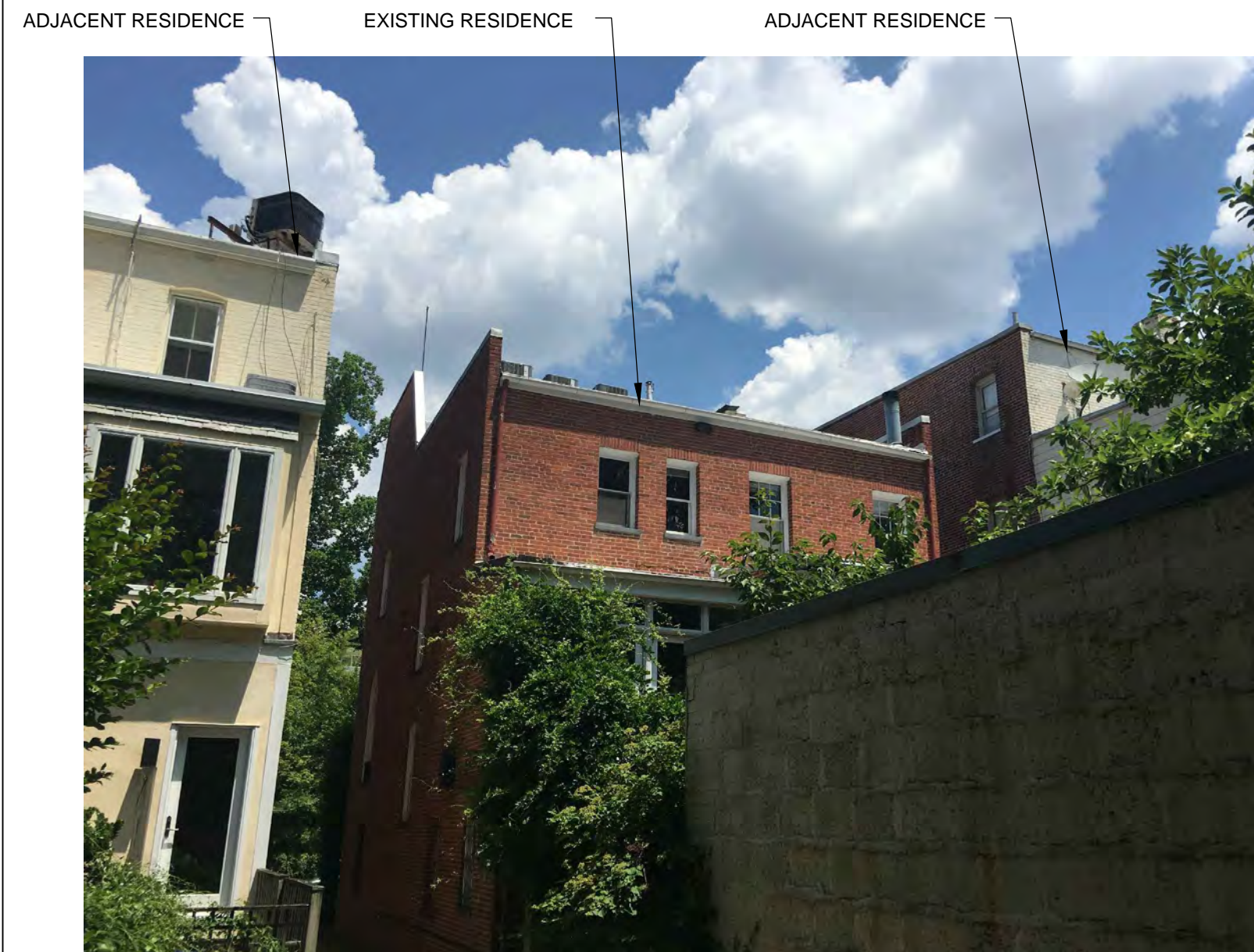
SITE PHOTO 4

SCALE
NTS 19



SITE PHOTO 3

SCALE
NTS 18



SITE PHOTO 2

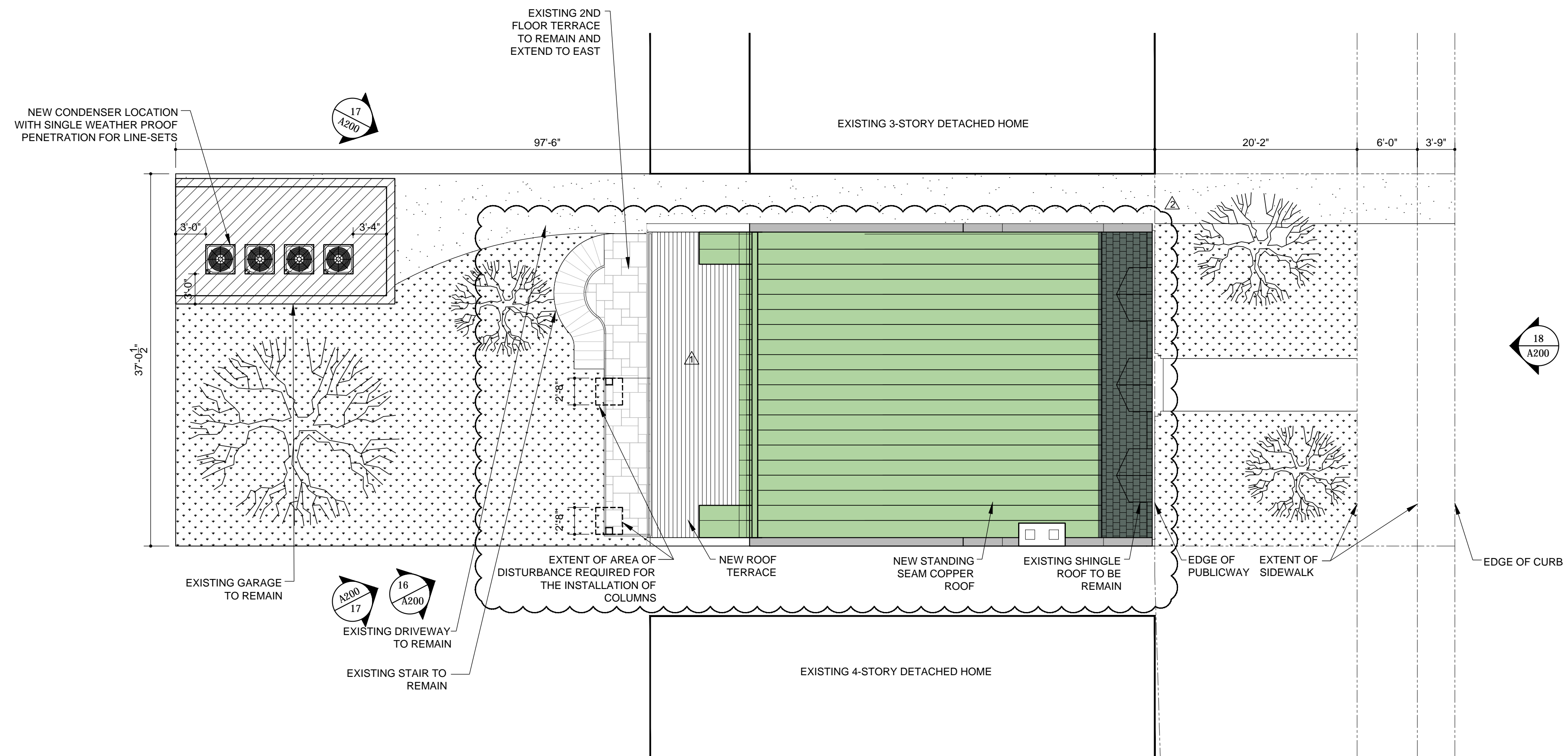
SCALE
NTS 17



SITE PHOTO 1

SCALE
NTS 16

NOTES:
1. NO DISTURBANCE OF EXISTING SOIL OR REGRADING WILL BE PERFORMED FOR THIS PROJECT OTHER THAN THE EXCAVATION NECESSARY TO INSTALL THE INDIVIDUAL FOOTINGS.



SITE PLAN

SCALE
1/8"=1'-0" 01

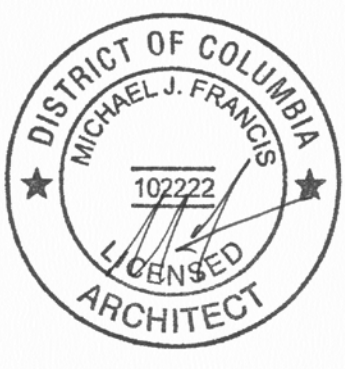


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For Permit 10.02.17

Permit Revision 01.09.17

drawn by: GM/DC

checked by: FB/MF

sheet title

**SITE PLAN
& EXISTING PHOTOS**

sheet no.

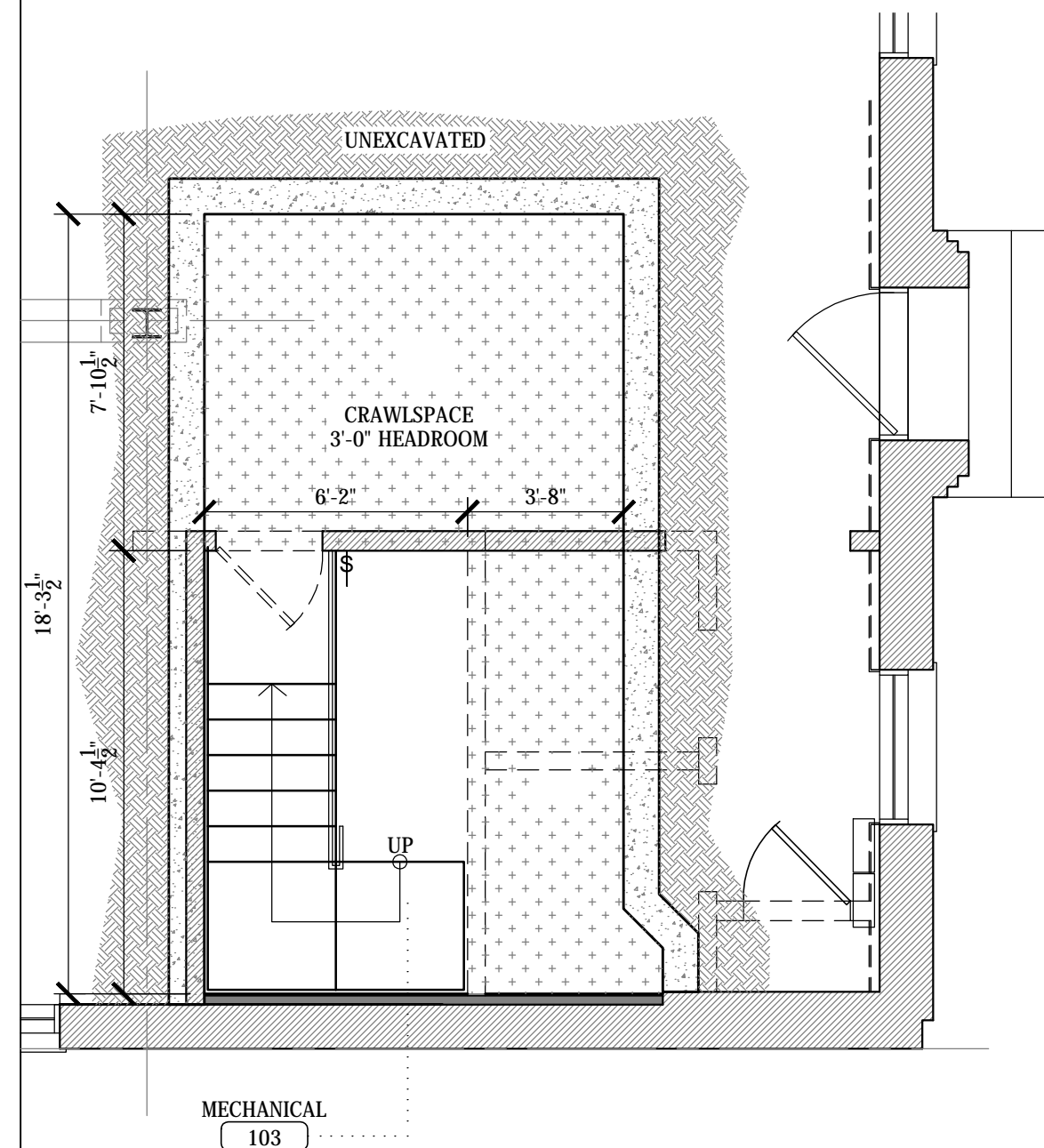
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- ALIGNMENT OF DOOR HEADS AND OTHER CRITICAL HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT A CONSTANT LEVEL RELATIVE TO THE CEILING PLAN AND SHALL NOT FOLLOW VARIATIONS IN THE FLOOR PLANE.
- G.C. TO NOTIFY ARCHITECT OF DATE FOR PARTITION LAYOUT. LAYOUT TO BE APPROVED BY ARCHITECT BEFORE BEGINNING CONSTRUCTION.
- PARTITION TYPES ABOVE DOORS TO SAME AS THAT OF ADJACENT PARTITION U.O.N.
- ALL OUTSIDE CORNERS OF GYPSUM BOARD TO RECEIVE METAL CORNER BEADS, U.O.N. SUPPLY OTHER METAL TRIM AT GYPSUM BOARD JOINTS AND TRANSITION EDGES (CASING BEADS ETC.) PER MANUFACTURER'S RECOMMENDATIONS.
- ALL DIMENSIONS SHOWN FROM FINISH FACE OF CONSTRUCTION U.O.N.
- ALL DIMENSIONS INDICATED AS CLEAR OR 'CLR' SHALL BE MAINTAINED. ANY DISCREPANCY OR VARIATION IN SUCH A DIMENSION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION. ANY DIMENSION INDICATED TO BE VERIFIED IN THE FIELD OR 'VIF' WILL BE REVIEWED WITH THE ARCHITECT BEFORE BEGINNING CONSTRUCTION.
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- ALL GYPSUM BOARD CONSTRUCTION SHALL CONFORM TO STANDARDS DETAILED IN GYPSUM ASSOCIATION DOCUMENT #GA-216-2000 APPLICATION AND FINISHING OF GYPSUM BOARD.

- EXISTING STAIR TO REMAIN, NEW TREADS ONLY
- REMOVE EXISTING DECKING, INSTALL NEW DECKING OVER EXISTING STRUCTURE
- REMOVE EXISTING RAILING, INSTALL NEW WROUGHT IRON RAILING
- EXISTING EXTERIOR AREAWAY TO REMAIN
- EXISTING BELOW GRADE MECHANICAL ROOM TO REMAIN
- NEW FLOOR INFILL TO MATCH EXISTING ADJACENT
- NEW THREE-SIDED, VENTLESS GAS FIREPLACE BY ORTAL
- EXISTING GAS LOG FIREPLACE TO REMAIN
- EXISTING MASONRY WALLS TO BE FURRED WITH 2 1/2" METAL STUDS FILLED WITH R-8 CLOSED CELL FOAM INSULATION

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION
- NEW MILLWORK
- NOT IN CURRENT SCOPE
- PHASE LINE



GENERAL NOTES

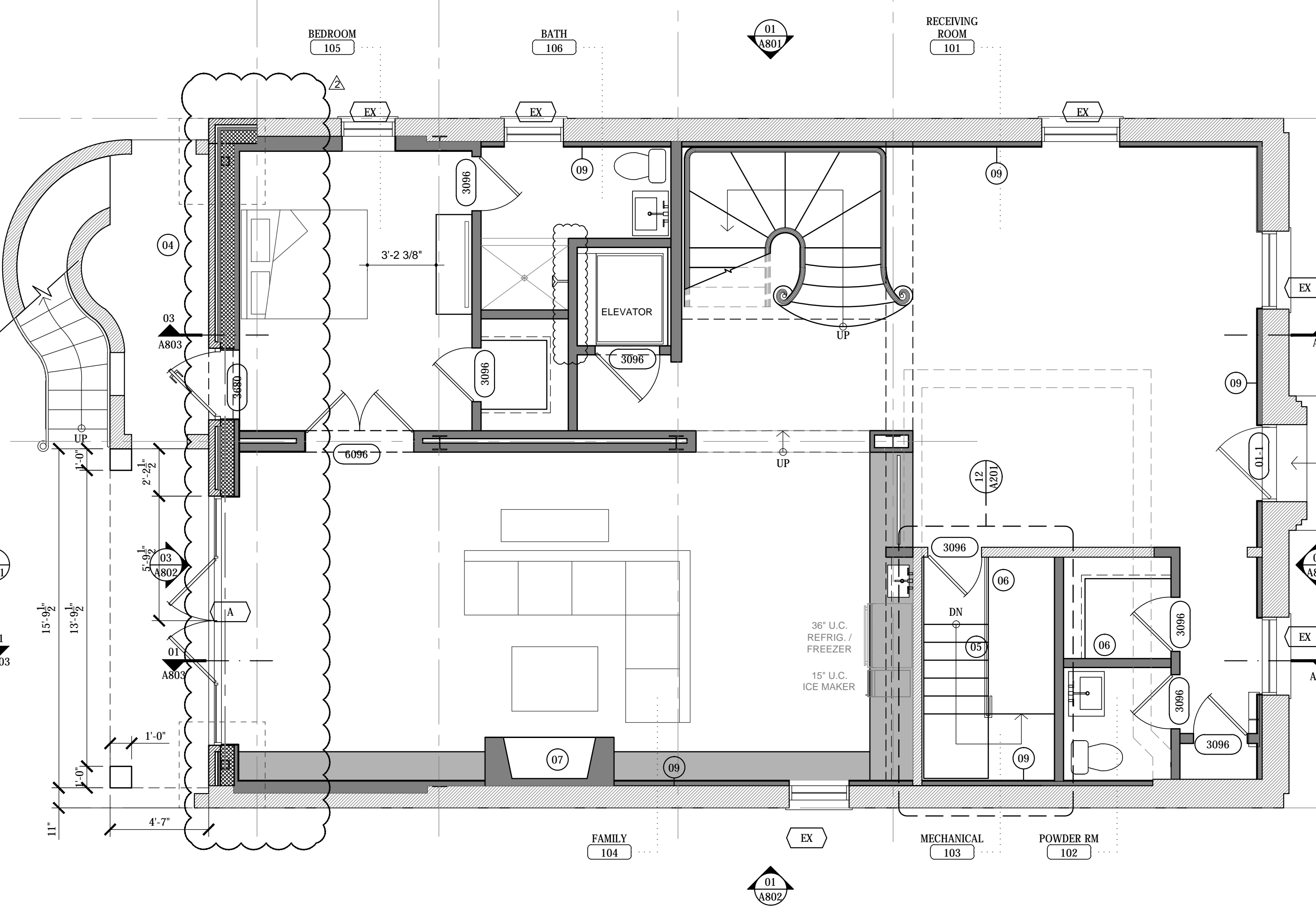
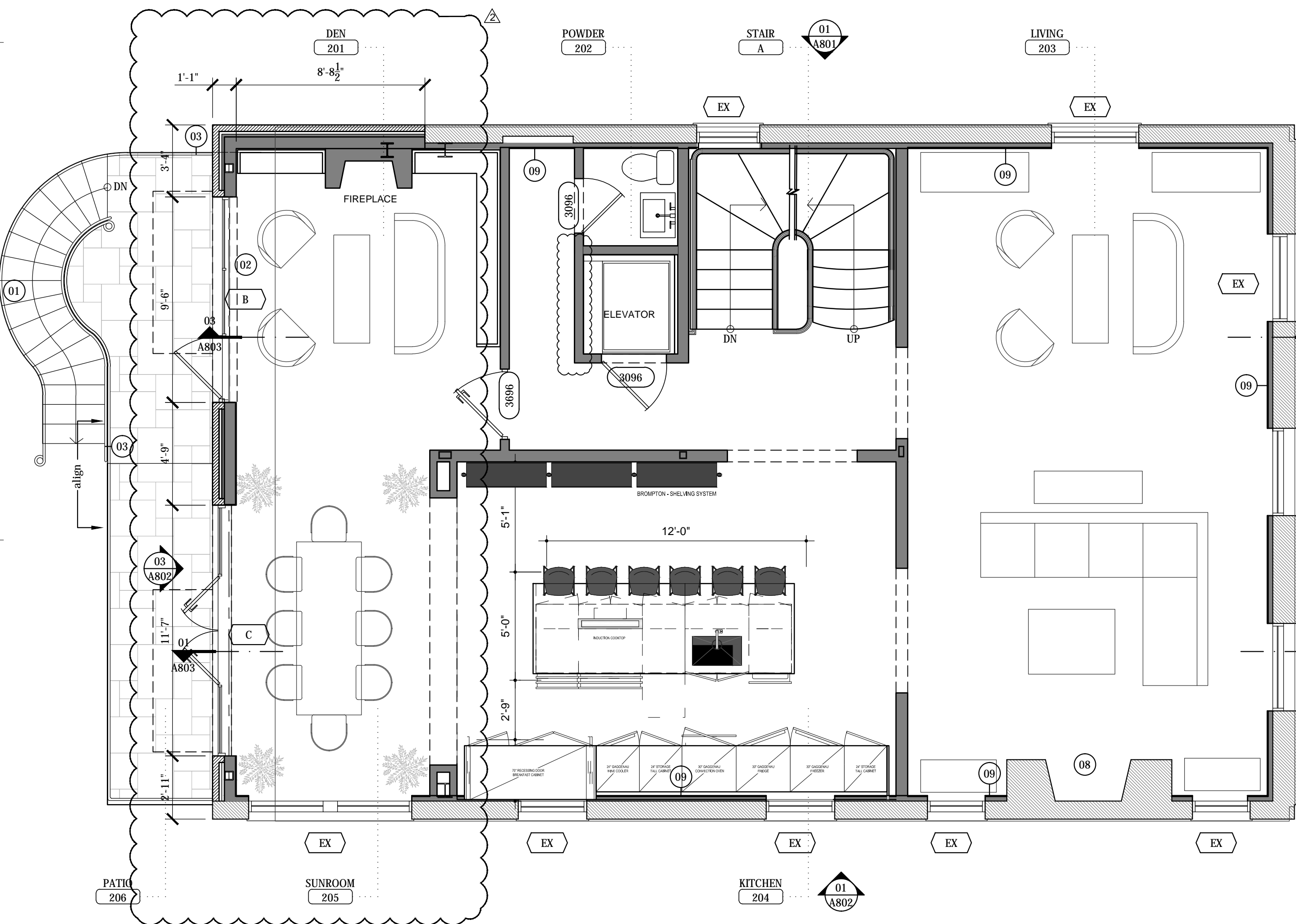
KEY NOTES

LEGEND

BASEMENT PLAN

SCALE
1/4"=1'-0"

12



SECOND FLOOR CONSTRUCTION PLAN

SCALE
1/4"=1'-0"

03

FIRST FLOOR CONSTRUCTION PLAN

SCALE
1/4"=1'-0"

01



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HP-BZA Revision 04.18.18

drawn by: GM/DC

checked by: FB/MF

sheet title

CONSTRUCTION PLANS
FIRST & SECOND

sheet no.

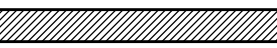


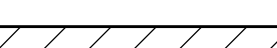

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- 01 EXISTING ROOF TO REMAIN
- 02 NEW WALL SAFE, TBD
- 03 NEW CUSTOM CLOSET MILLWORK THROUGHOUT
- 04 NEW LINEN CLOSET MILLWORK
- 05 NEW SIDE-BY-SIDE WASHER & GAS DRYER
- 06 NEW CUSTOM MILLWORK BOOKSHELVES
- 07 NEW BRICK INFILL USING SALVAGE BRICKS, SEE ELEVATION
- 08 GLAZING FILM TO BE APPLIED TO INTERIOR SIDE OF PANELS INDICATED
- 09 OPEN TO BELOW
- 10 EXISTING PARAPET & CAP TO REMAIN
- 11 EXISTING MASONRY CHIMNEY TO REMAIN, LAMINATE NEW GWB TO FACE
- 12 NEW EXTERIOR WALL ON TOP OF EXISTING PARAPET, 2X6 WD FRAMING W/ R-20 MIN OPEN CELL SPRAY INSULATION, 1/2" ZIPWALL SHEATHING AND WATERPROOFING SYSTEM.
- 13 EXISTING MASONRY WALLS TO BE FURRED WITH 2 1/2" METAL STUDS FILLED WITH R-8 CLOSED CELL FOAM INSULATION

-  EXISTING CONSTRUCTION TO REMAIN
-  NEW CONSTRUCTION
-  NEW MILLWORK
-  NOT IN CURRENT SCOPE
-  PHASE LINE

GENERAL NOTES

KEY NOTES (NOTE: ALL NOTES NOT USED THIS PHASE)

LEGEND



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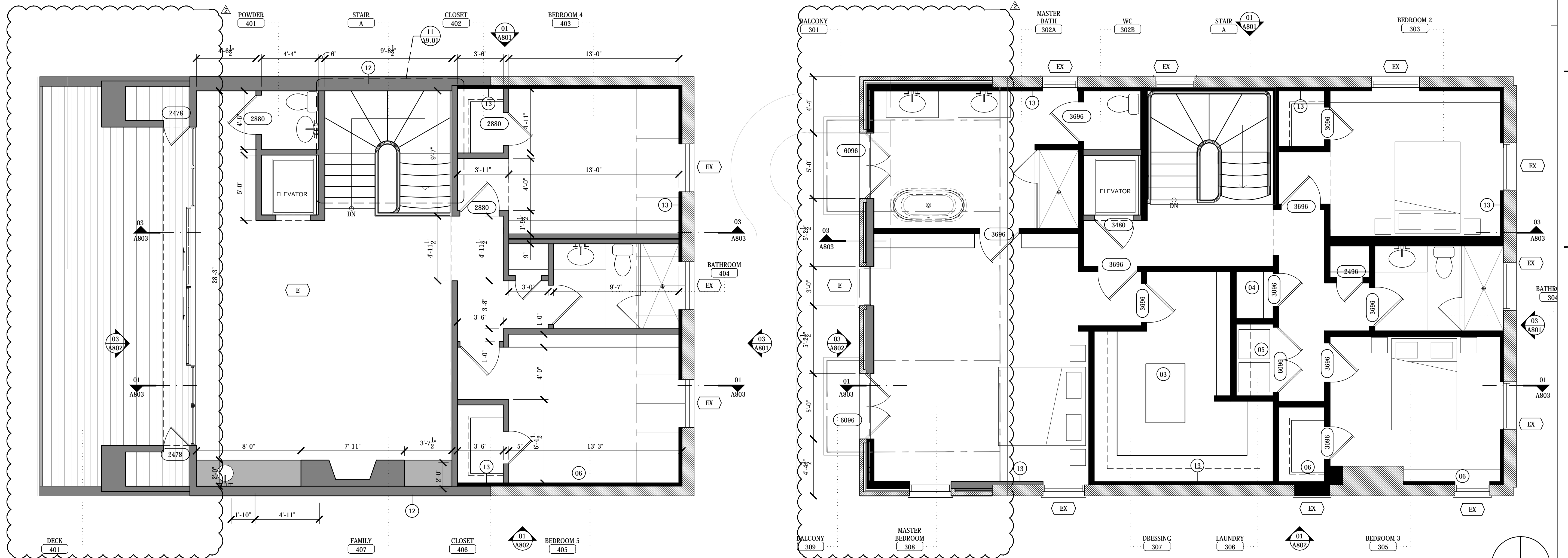
project no: 1605
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For Permit 10.02.17
HP-BZA Revision 04.18.18

drawn by: GM/DC
checked by: FB/MF

sheet title

**CONSTRUCTION PLANS
THIRD FLOOR & PENTHOUSE**

sheet no.
A2.02



PENTHOUSE CONSTRUCTION PLAN

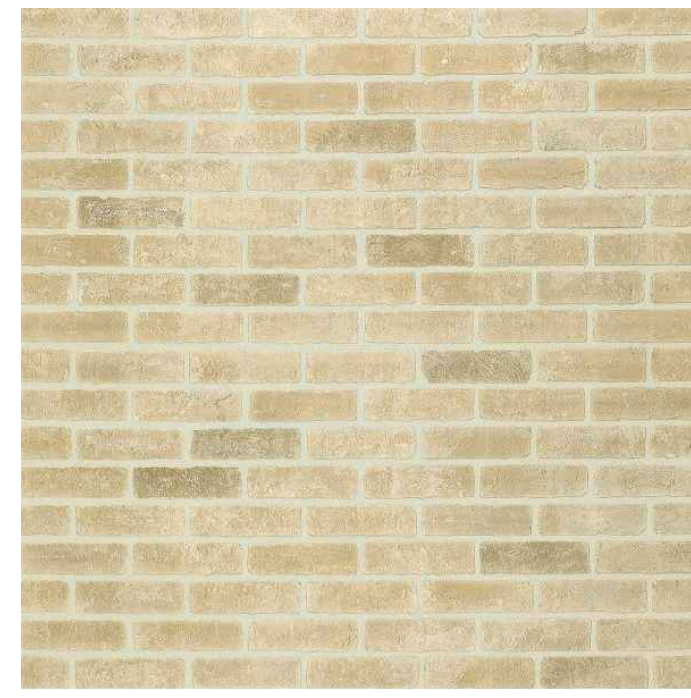
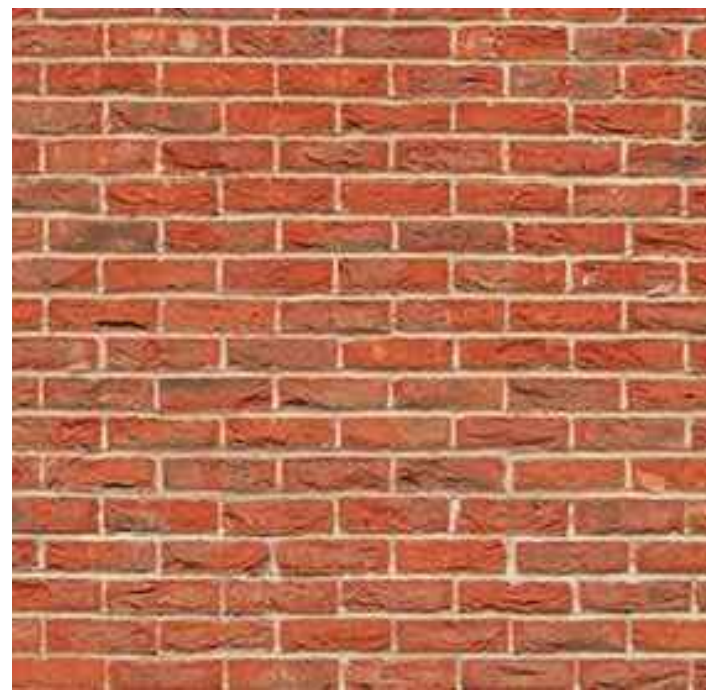
SCALE
1/4"=1'-0"

03

THIRD FLOOR CONSTRUCTION PLAN

SCALE
1/4"=1'-0"

01



BRICK FACADE REFERENCE

SCALE
NTS

19



COPPER ROOF REFERENCE

SCALE
NTS

18



RAILING REFERENCE

SCALE
NTS

17



DOOR REFERENCE

SCALE
NTS

16

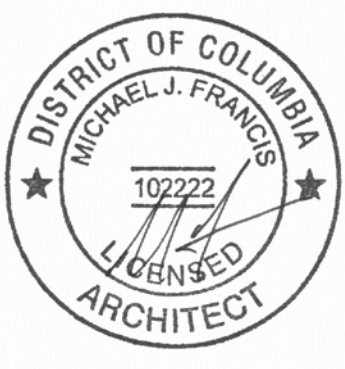


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checked by: FB/MF

sheet title

EXTERIOR ELEVATIONS
SOUTH & WEST - PROPOSED

sheet no.

A8.02



SOUTH ELEVATION

SCALE
1/4"=1'-0"

03

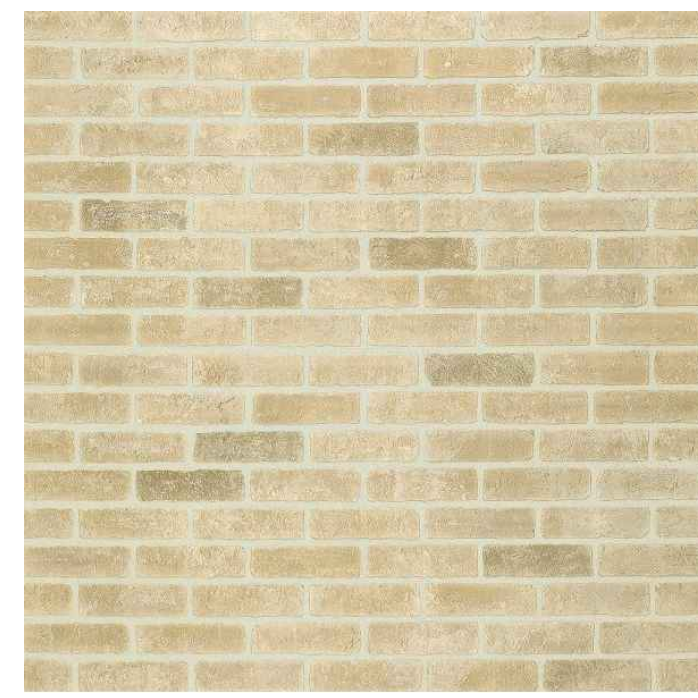
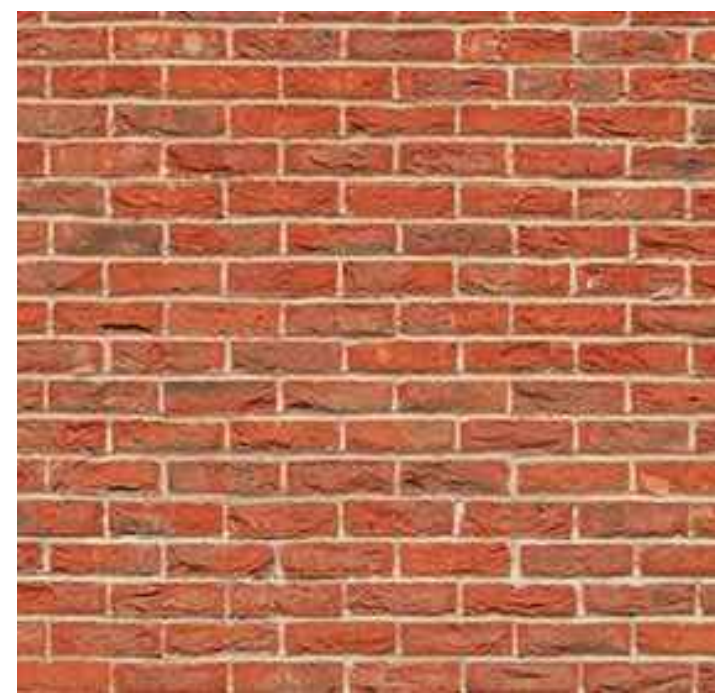


WEST ELEVATION

SCALE
1/4"=1'-0"

01

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BRICK FACADE REFERENCE

SCALE
NTS

19

COPPER ROOF REFERENCE

SCALE
NTS

18

RAILING REFERENCE

SCALE
NTS

17

DOOR REFERENCE

SCALE
NTS

16

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NORTH ELEVATION

SCALE
1/4"=1'-0"

03

EAST ELEVATION



SCALE
1/4"=1'-0"

01



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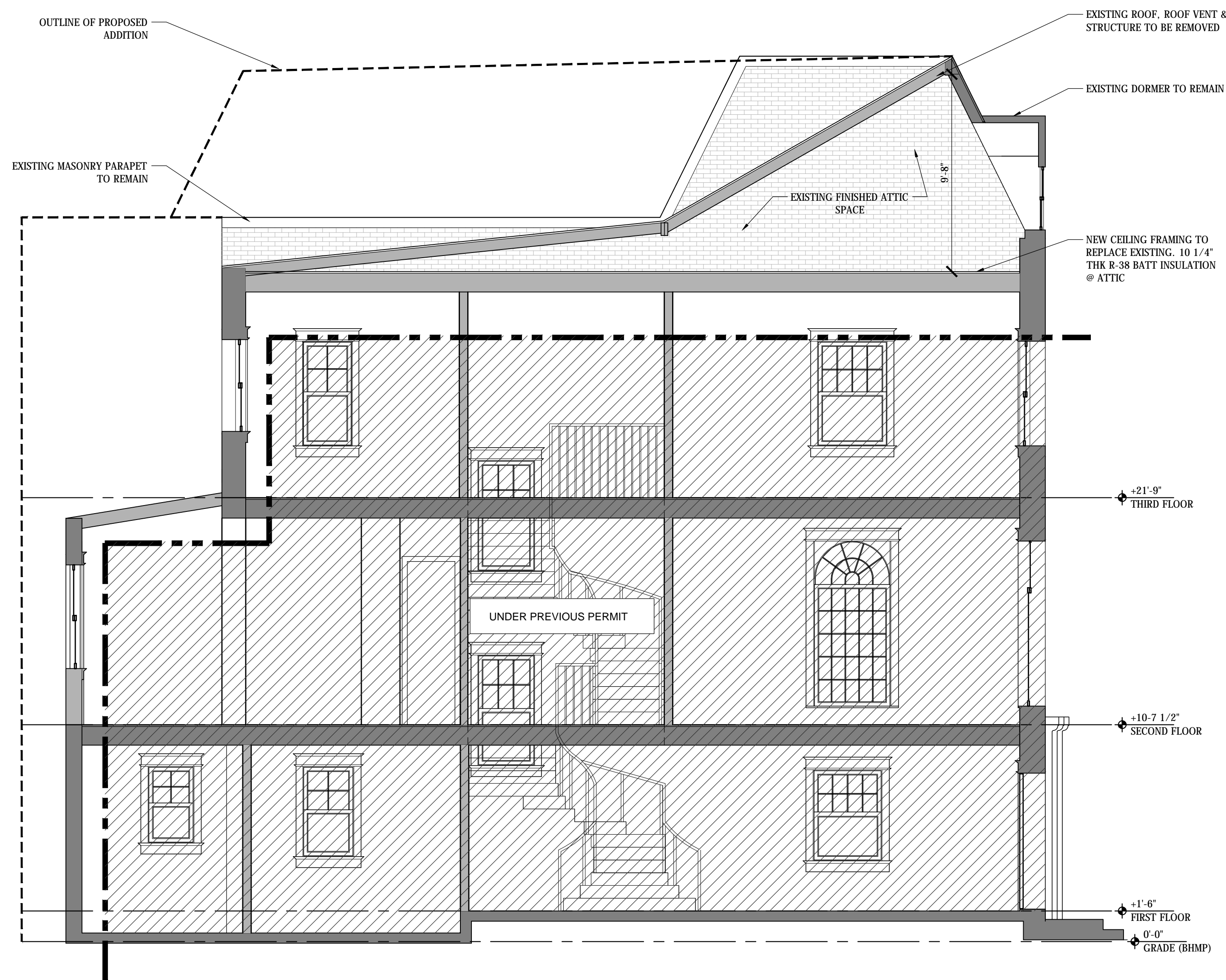
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**EXTERIOR ELEVATIONS
NORTH & EAST**

sheet no.

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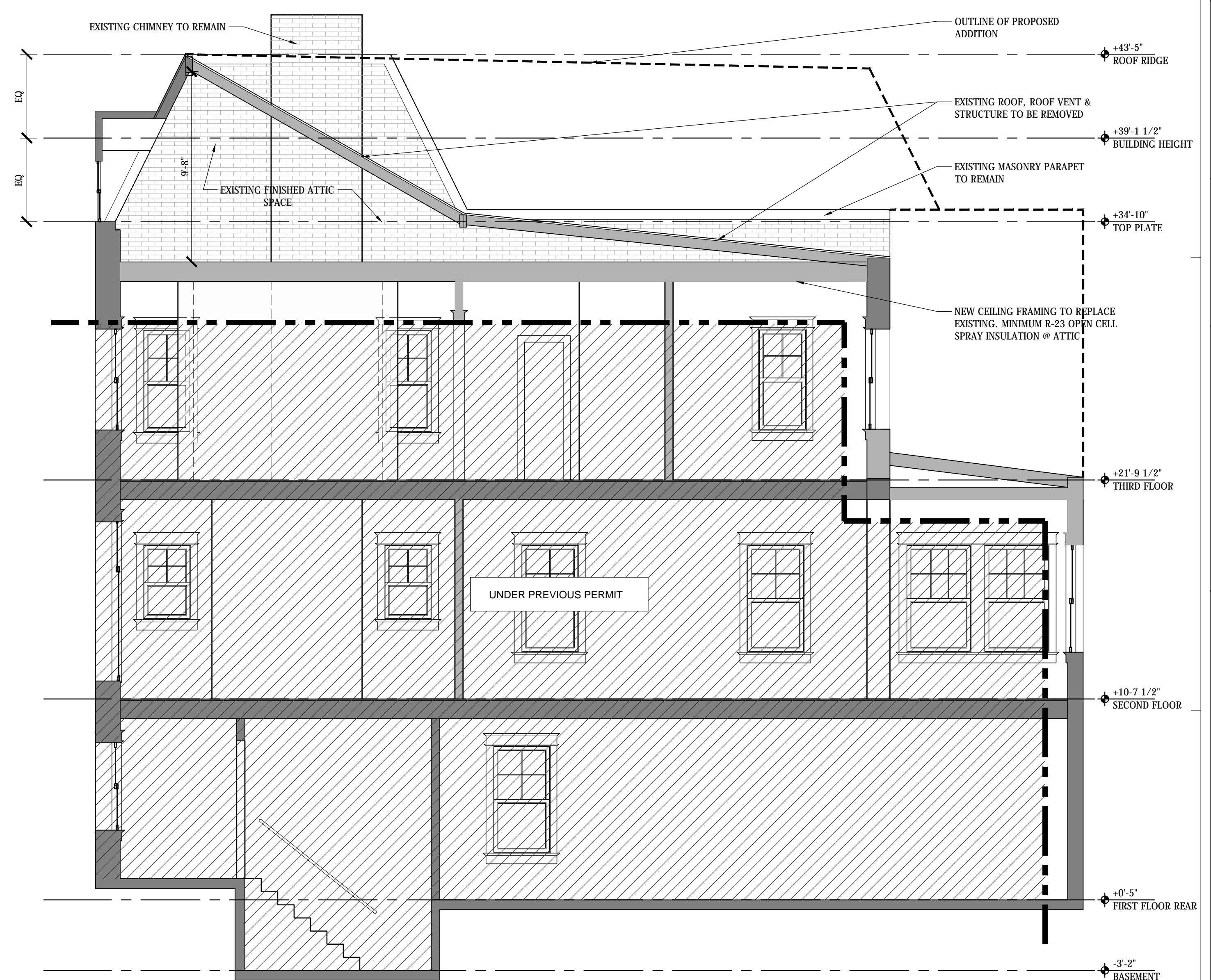


SECTION B

SCALE
1/4"=1'-0"

03

SECTION A



SCALE
1/4"=1'-0"

01

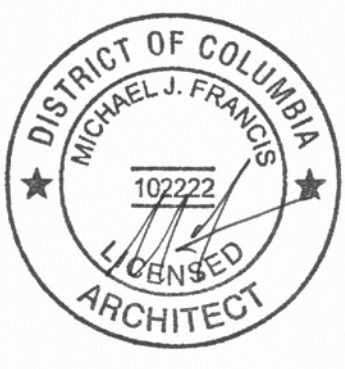


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For Permit	10.02.17
HP-BZA Revision	04.18.18

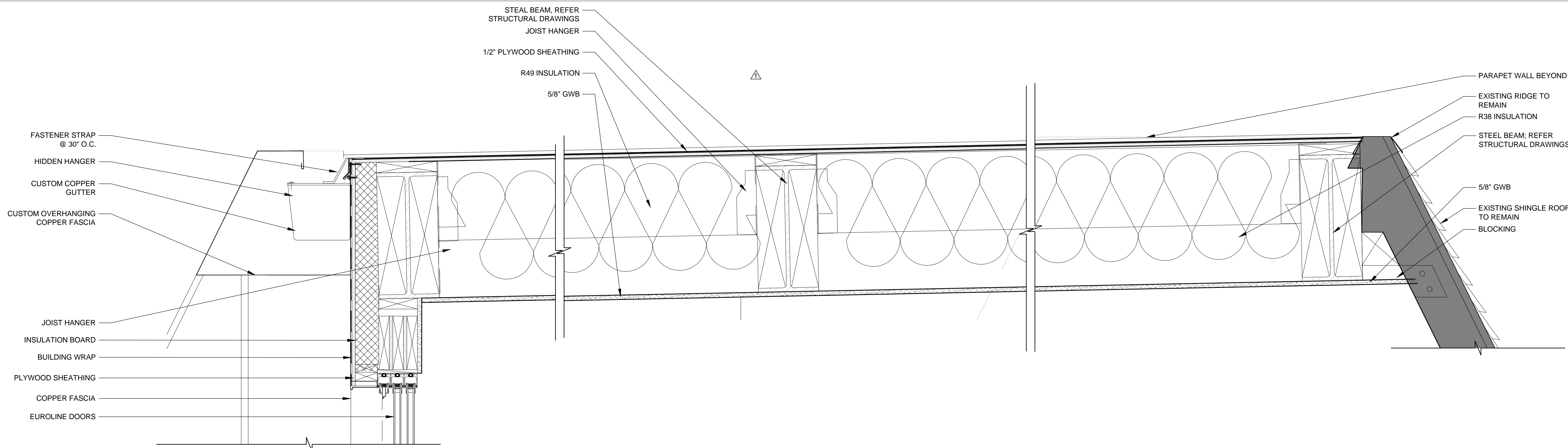
drawn by: GM/DC
checked by: FB/MF

sheet title

EXISTING BUILDING SECTIONS

sheet no.

A8.03E

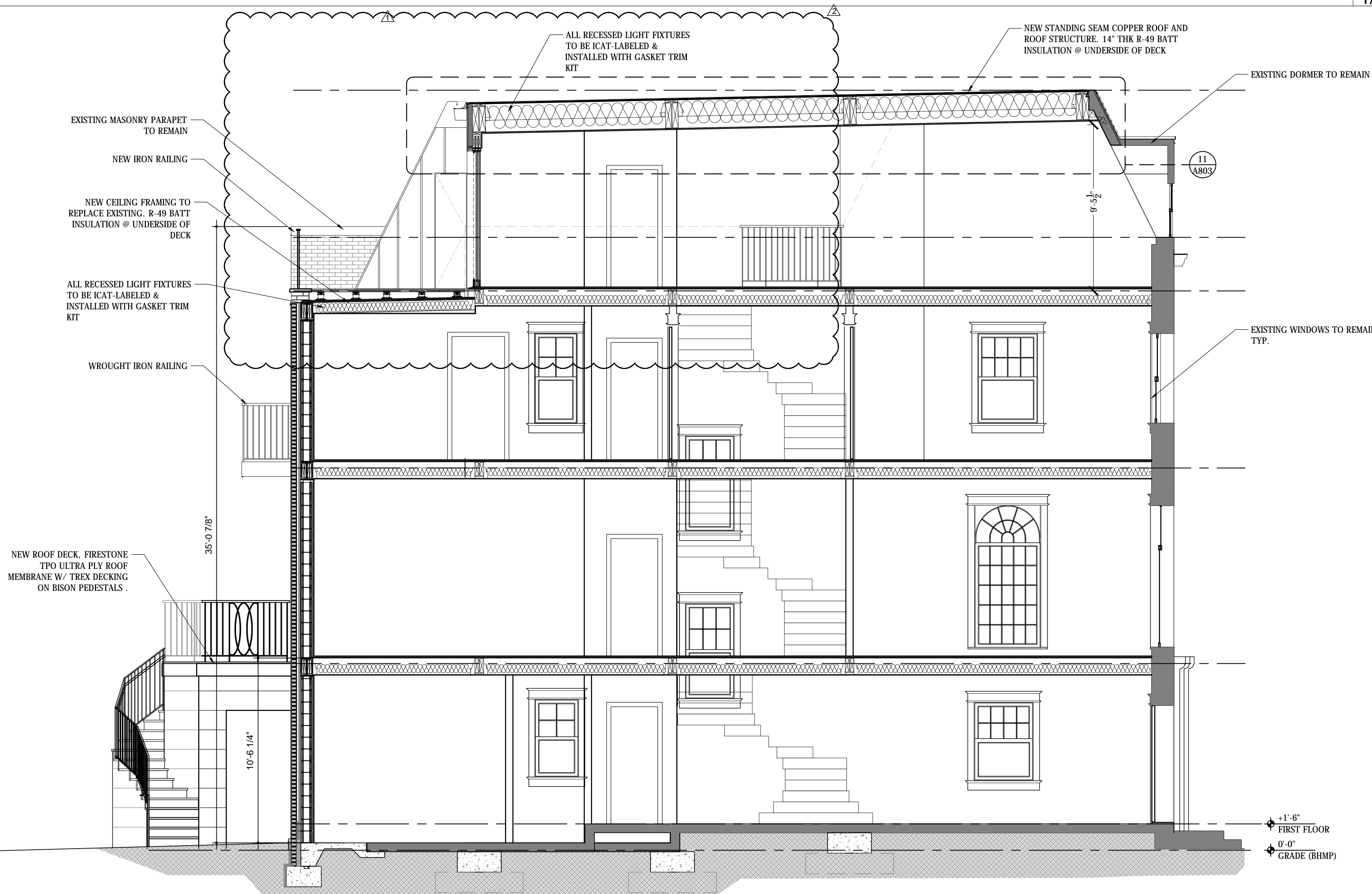


CEILING DETAILS

SCALE
1/4"=1'-0"

11

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SECTION FACING WEST

SCALE
1/4"=1'-0"

01



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project name
**HILTON
RESIDENCE-
PHASE 2**

2318 california street, NW
Washington, DC 20008

project no: 1605

issue / description:

Phase 2: HP Review 06.13.17

Phase 2: Historic Review 08.30.17

Phase 2: Historic Review 2 09.08.17

For Permit 10.02.17

Permit Revision 01.09.17

HP-BZA Revision 04.18.18

drawn by: GM/DC

checked by: FB/MF

sheet title

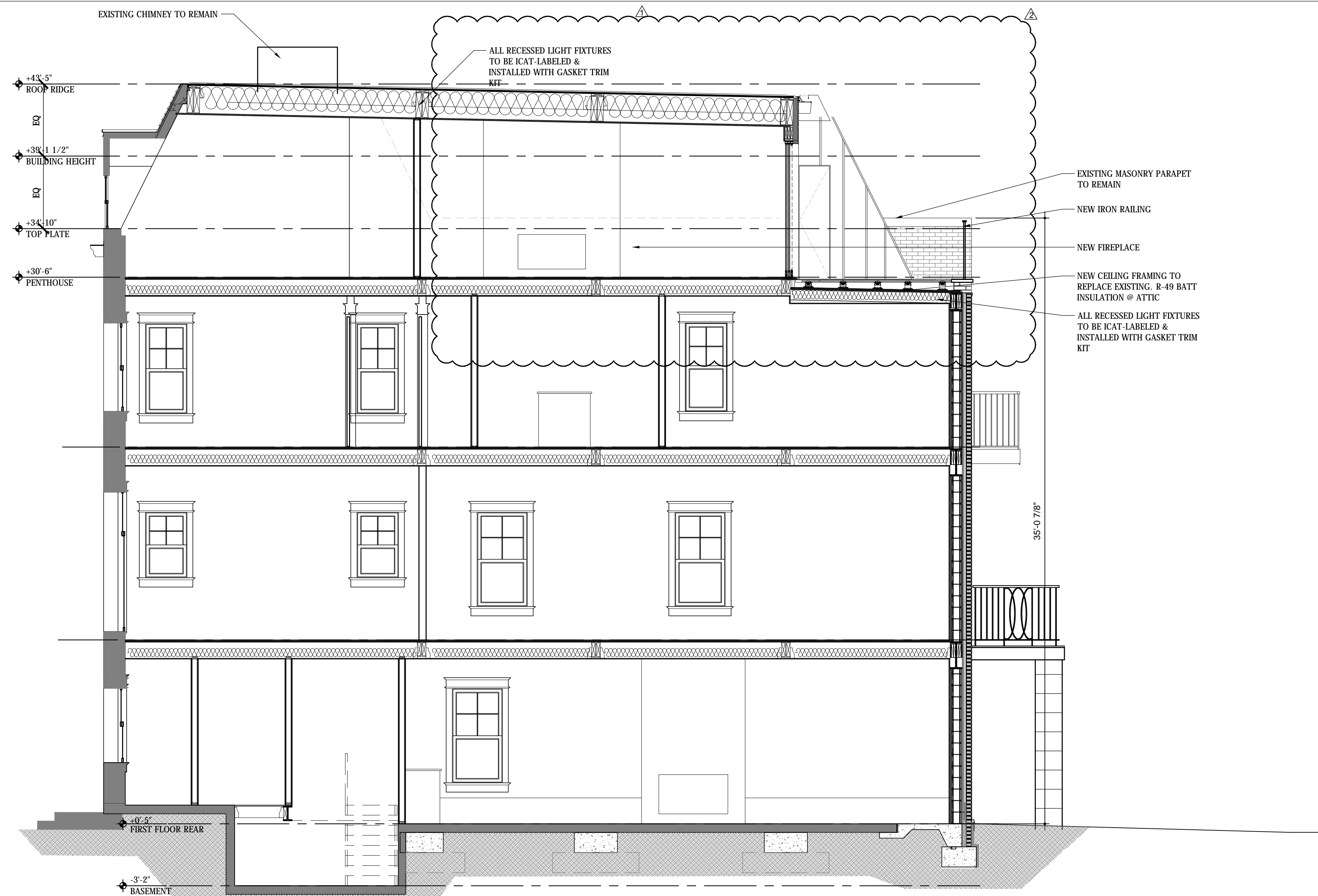
PROPOSED BUILDING SECTIONS

sheet no.

A8.03

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SECTION FACING EAST

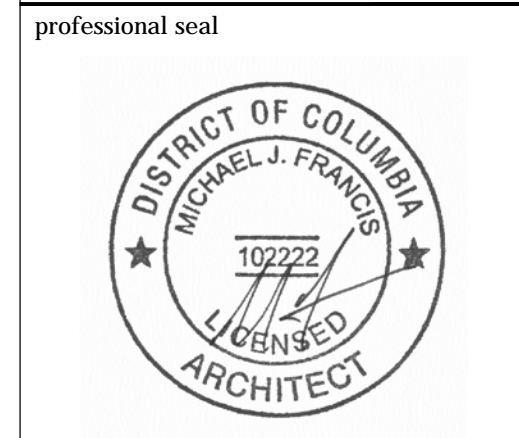


SCALE
1/4"=1'-0" 11

SCALE
1/4"=1'-0" 01



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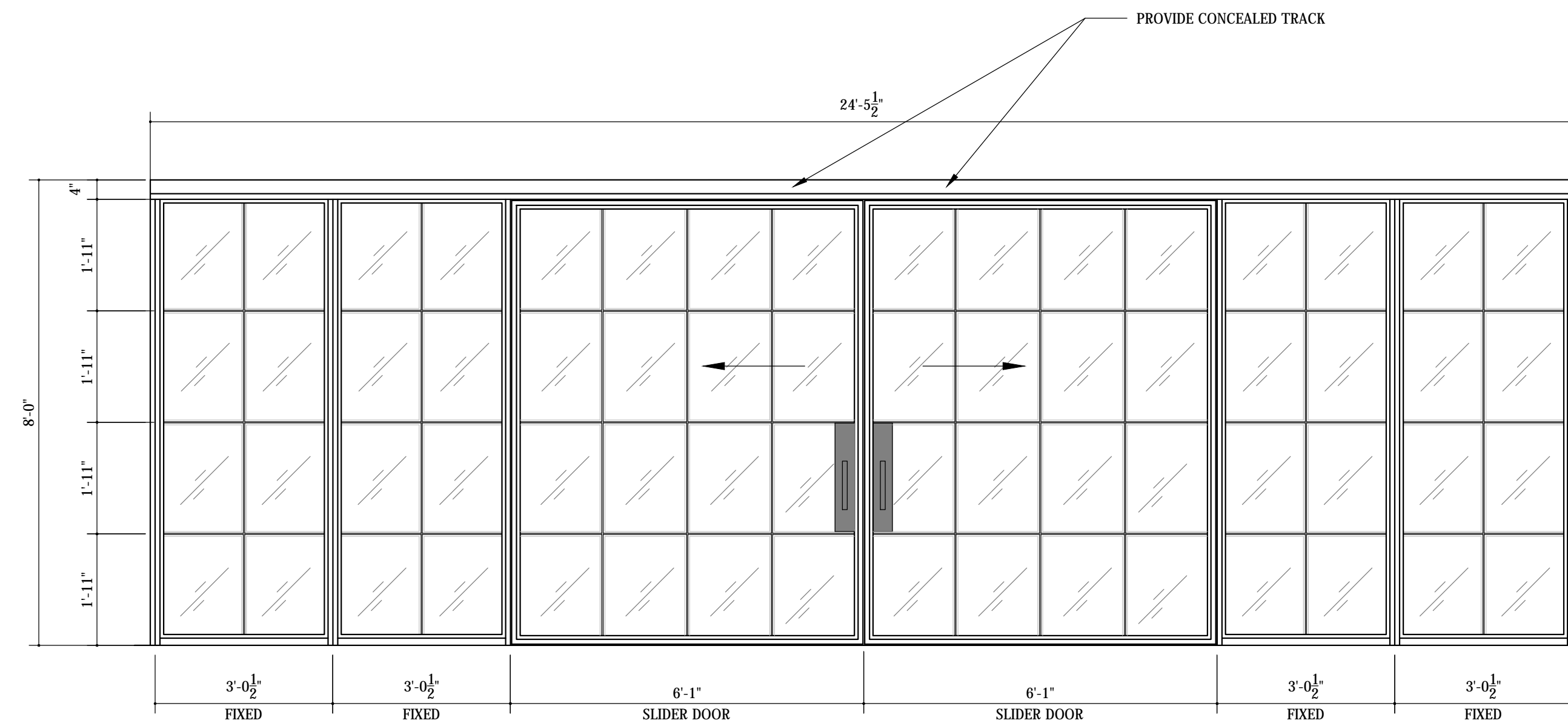
project name
**HILTON
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PHASE 2**
2318 california street, NW
Washington, DC 20008
project no: 1605
issue / description:
Phase 2: HP Review 06.13.17
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For Permit 10.02.17
Permit Revision 01.09.17
HP-BZA Revision 04.18.18

drawn by: GM/DC
checked by: FB/MF

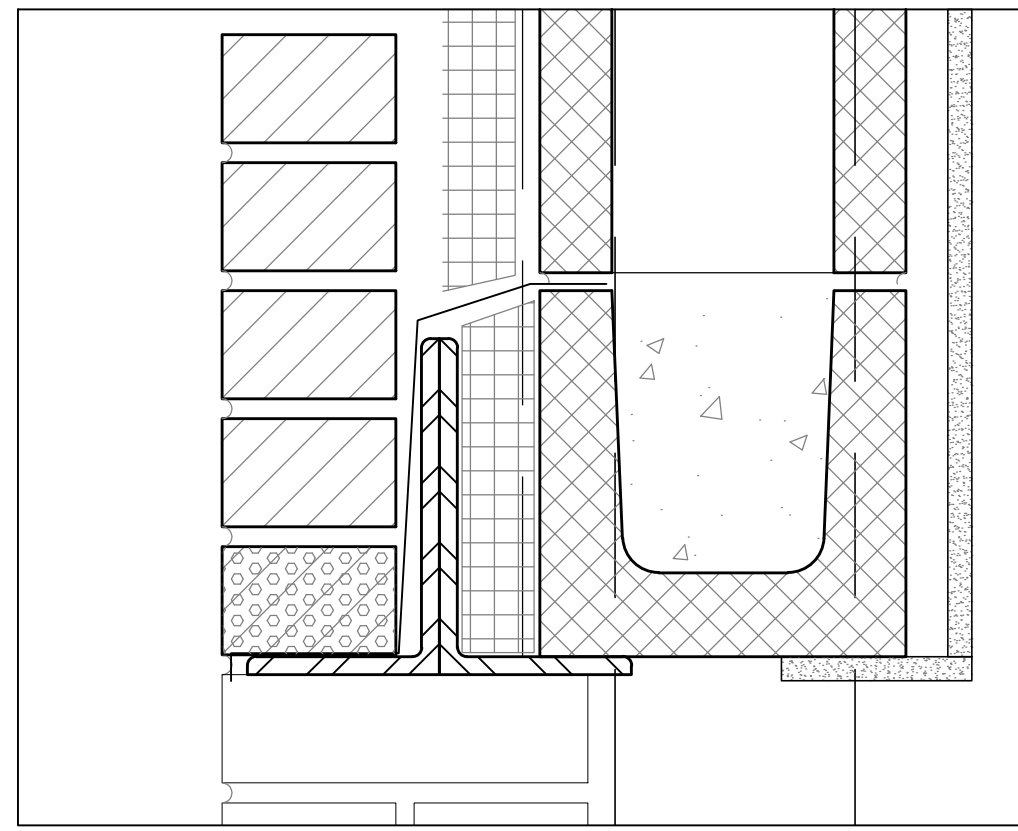
sheet title
PROPOSED BUILDING SECTIONS

sheet no.
A8.04

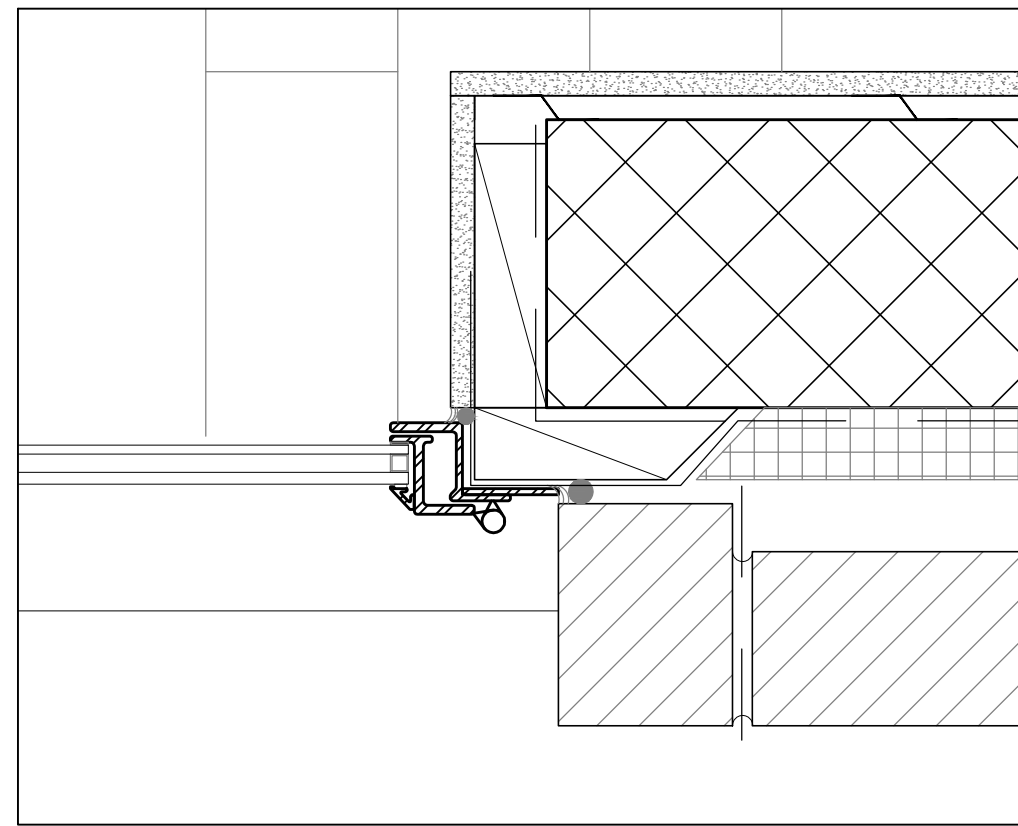
GENERAL NOTES:
 TEMPERED, INSULATED, DOUBLE-PANED GLAZING
 TO BE USED THROUGHOUT.
 FENESTRATION REQUIREMENTS PER 2013 DC
 ENERGY CODE TABLE R402.1.1:
 U-VALUE = .035
 SHGC = 0.40



WINDOW TYPE "F" SCALE 1/2"=1'-0" 08

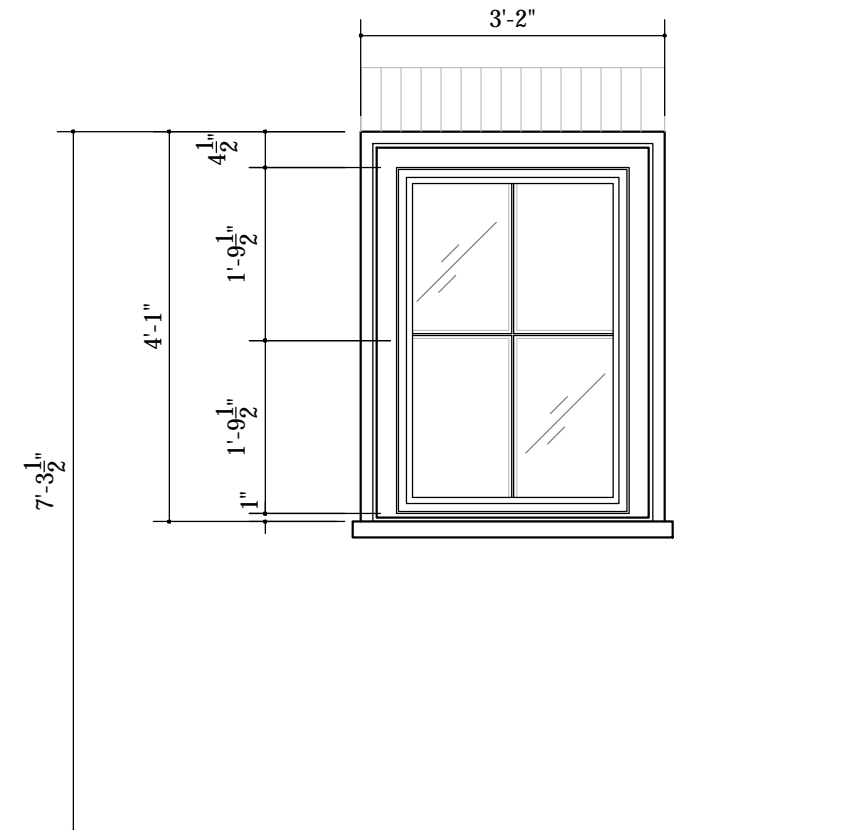


WINDOW TYPE "F" SCALE 1/2"=1'-0" 08



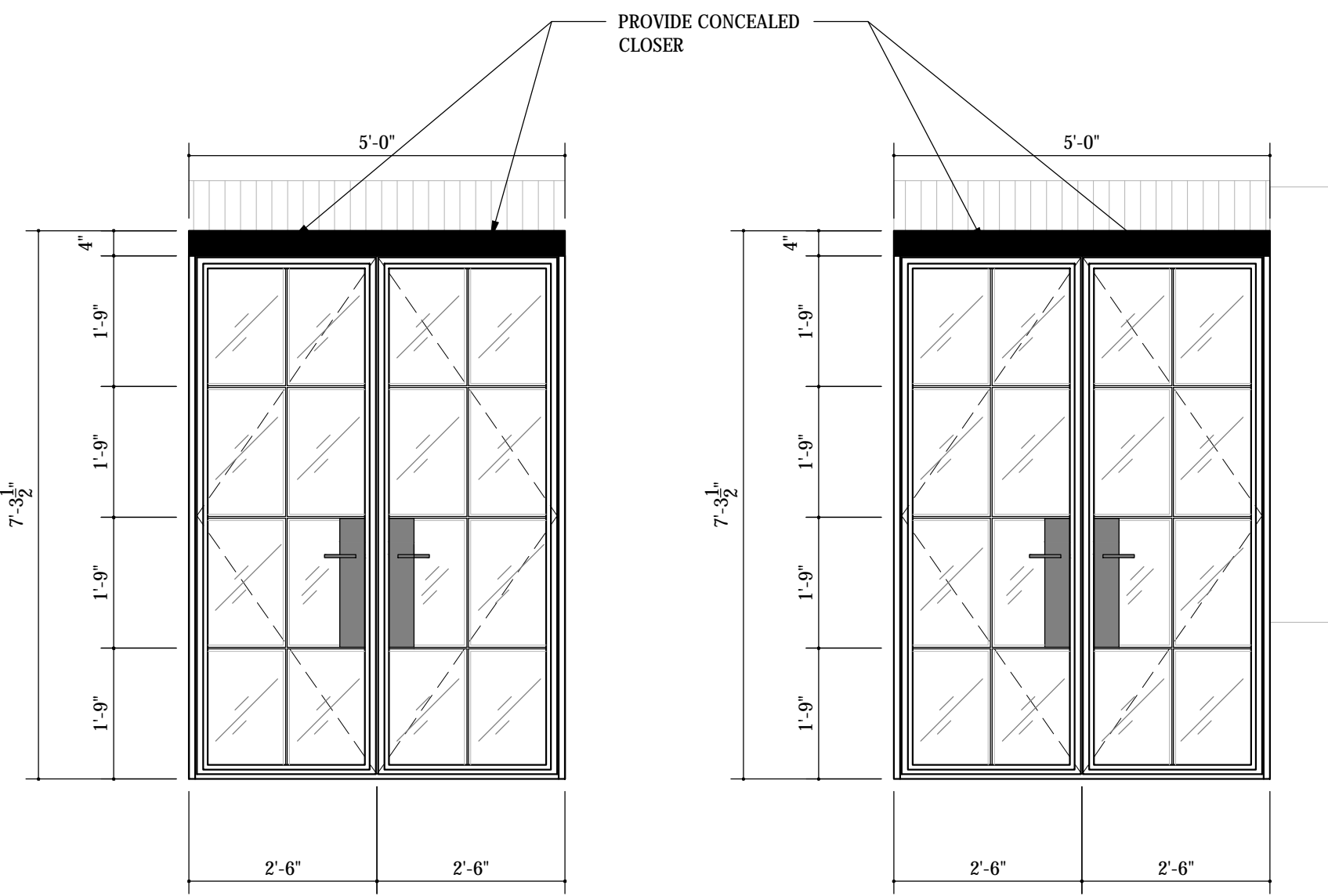
WINDOW TYPE "F" SCALE 1/2"=1'-0" 08

GENERAL NOTES SCALE NTS 13



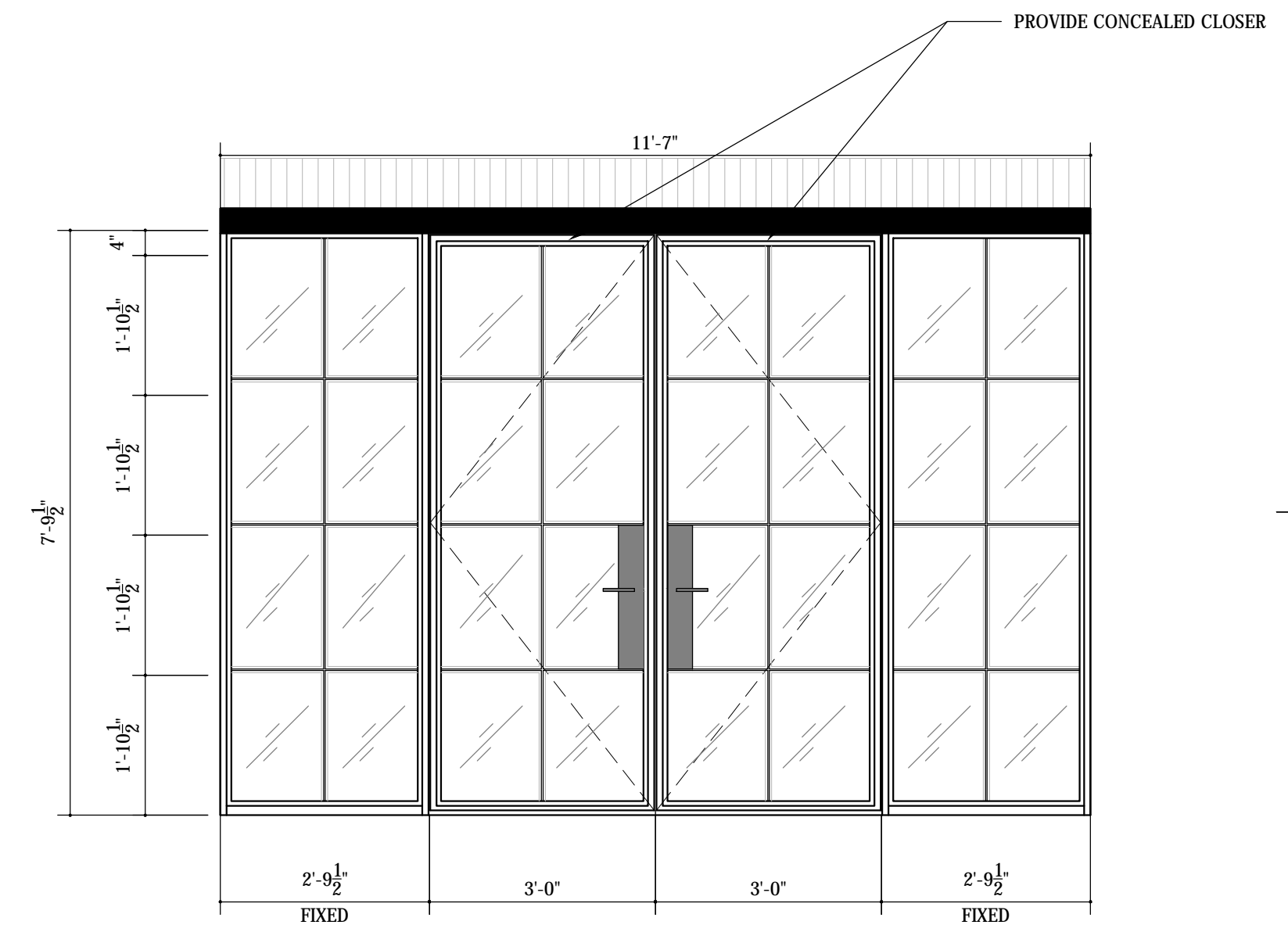
WINDOW TYPE "F" SCALE 1/2"=1'-0" 08

EXT. DOOR/WINDOW SYSTEM TYPE "E" SCALE 1/2"=1'-0" 11



EXT. DOOR/WINDOW SYSTEM TYPE "D" SCALE 1/2"=1'-0" 07

EXT. DOOR/WINDOW SYSTEM TYPE "C" SCALE 1/2"=1'-0" 06



EXT. DOOR/WINDOW SYSTEM TYPE "C" SCALE 1/2"=1'-0" 06

WINDOW TYPE "F" SCALE 1/2"=1'-0" 08

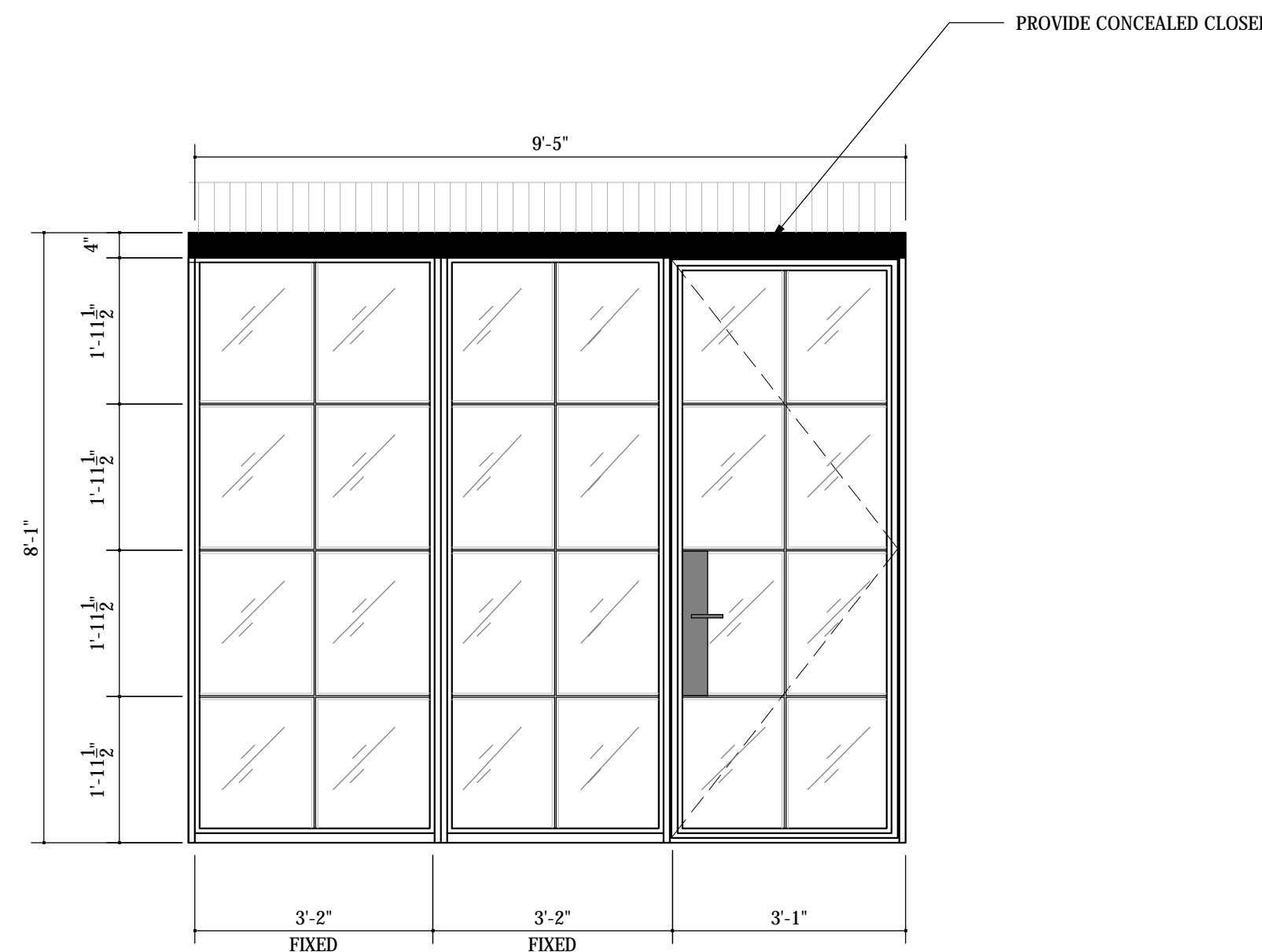
EXT. DOOR/WINDOW SYSTEM TYPE "D" SCALE 1/2"=1'-0" 07

EXT. DOOR/WINDOW SYSTEM TYPE "C" SCALE 1/2"=1'-0" 06

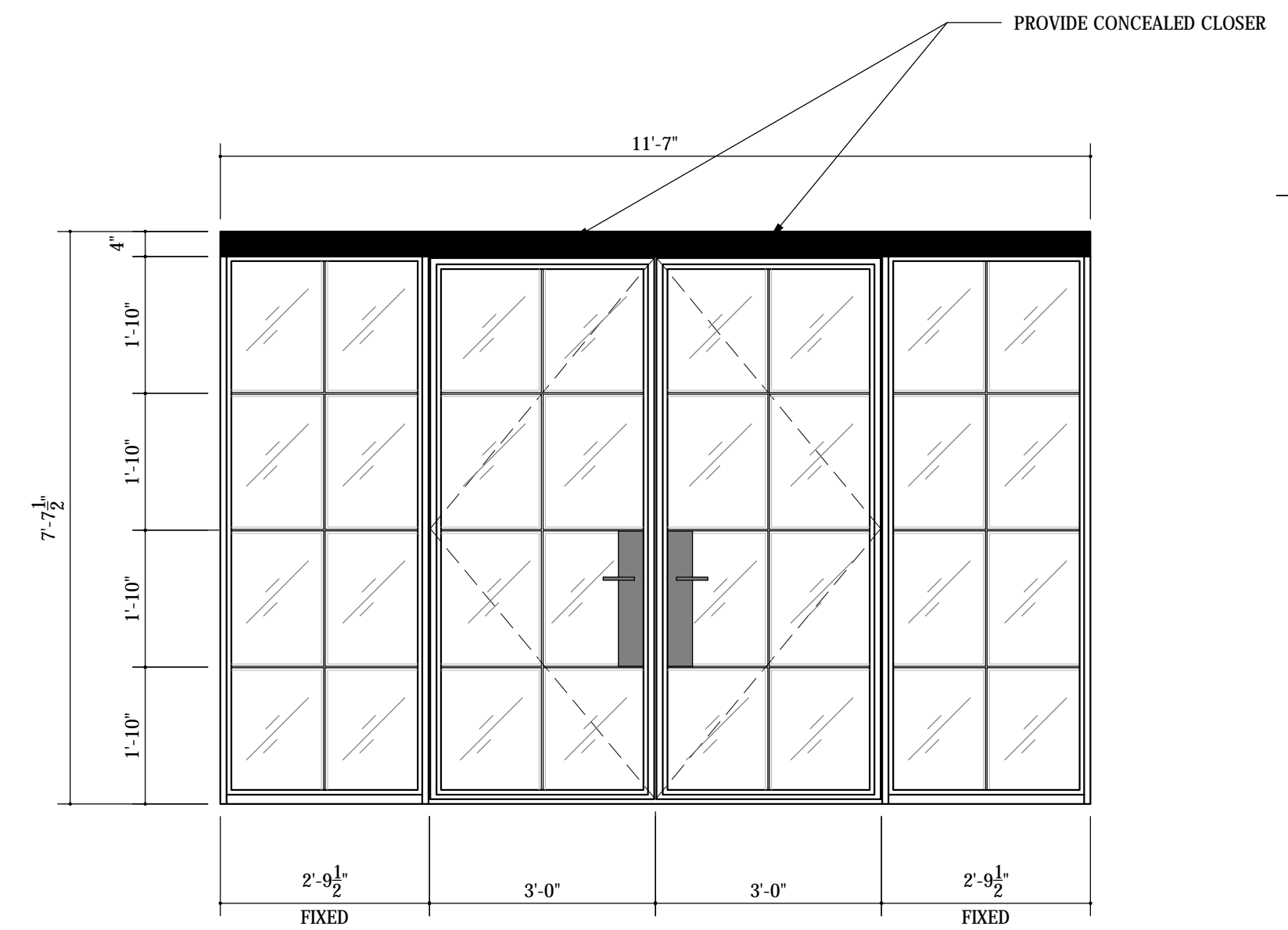
DTL. DOOR HEAD SCALE 1/2"=1'-0" 02

DTL. DOOR HEAD SCALE 1/2"=1'-0" 02

EXT. DOOR/WINDOW SYSTEM TYPE "B" SCALE 1/2"=1'-0" 02



EXT. DOOR/WINDOW SYSTEM TYPE "A" SCALE 1/2"=1'-0" 01

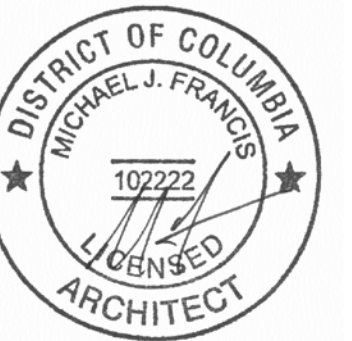


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project name
**HILTON
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 2318 california street, NW
 Washington, DC 20008

project no: 1605
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 Phase 2: HP Review 06.13.17
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 For Permit 10.02.17

HP-BZA Revision 04.18.18

drawn by: GM/DC
 checked by: FB/MF

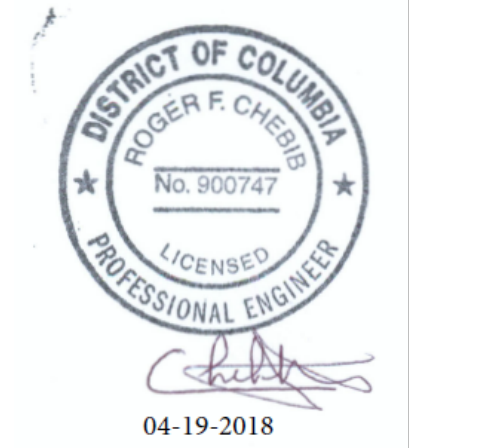
sheet title

EXTERIOR WINDOW
 AND DOOR DETAILS

sheet no.

A9.02

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IN SECTION 106.1.4.1
OF THE D.C.
CONSTRUCTION CODE"
[DCMR 106.1.4.1]

project name
**HILTON
RESIDENCE**

2318 california street, NW
Washington, DC 20009

project no: 1605
issue / description:

for permit	04.03.17
▲ permit revision 1	06.14.17
▲ permit revision 2	04.19.18

▲	
▲	
▲	
▲	

drawn by: R.C
checked by: R.C

sheet title

**BASEMENT & PARTIAL
FOUNDATIONS PLAN
FIRST FLOOR & PARTIAL
FOUNDATIONS PLAN**

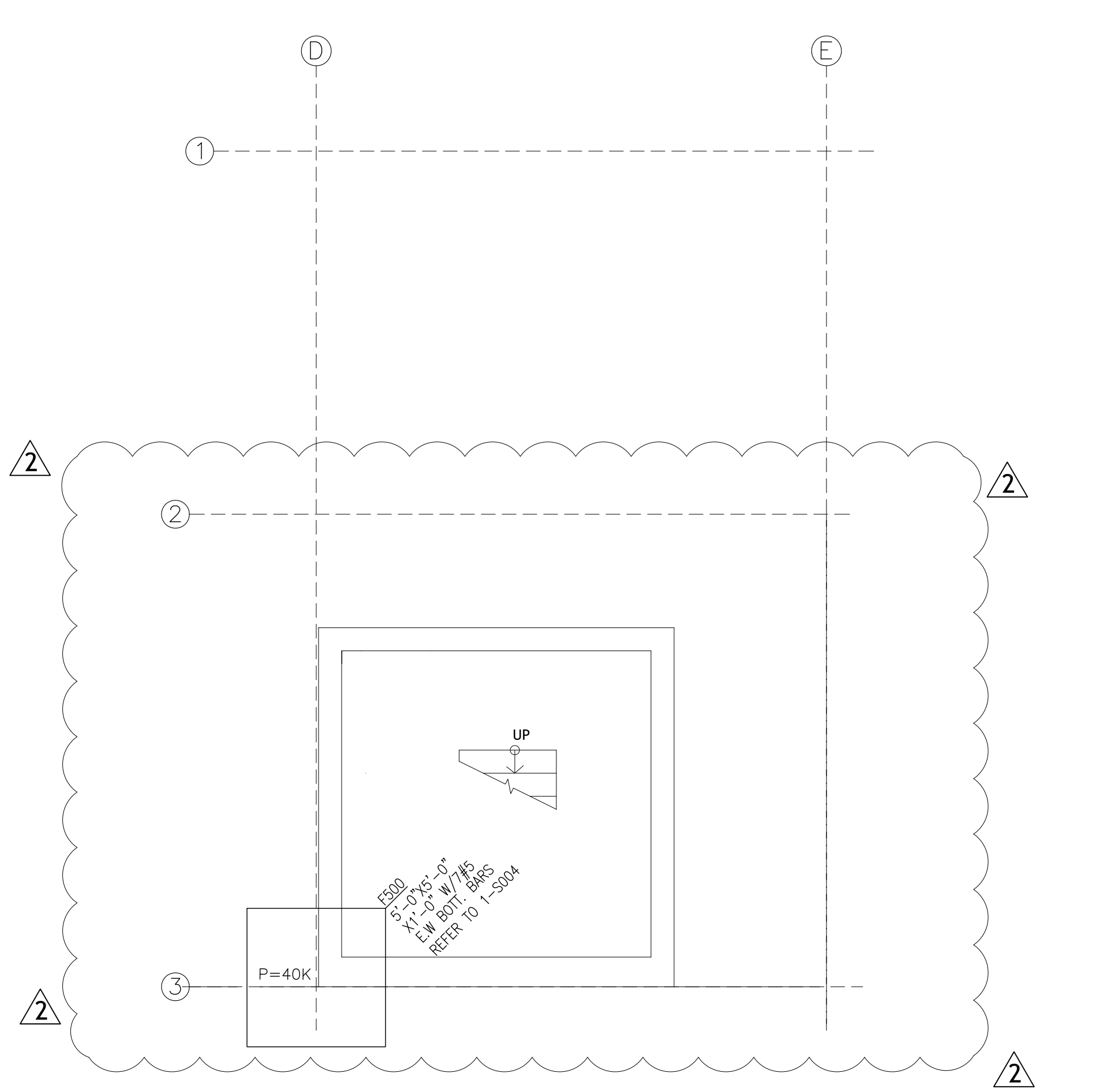
sheet no.
S001

SCALE
N/A
19

SCALE
N/A
18

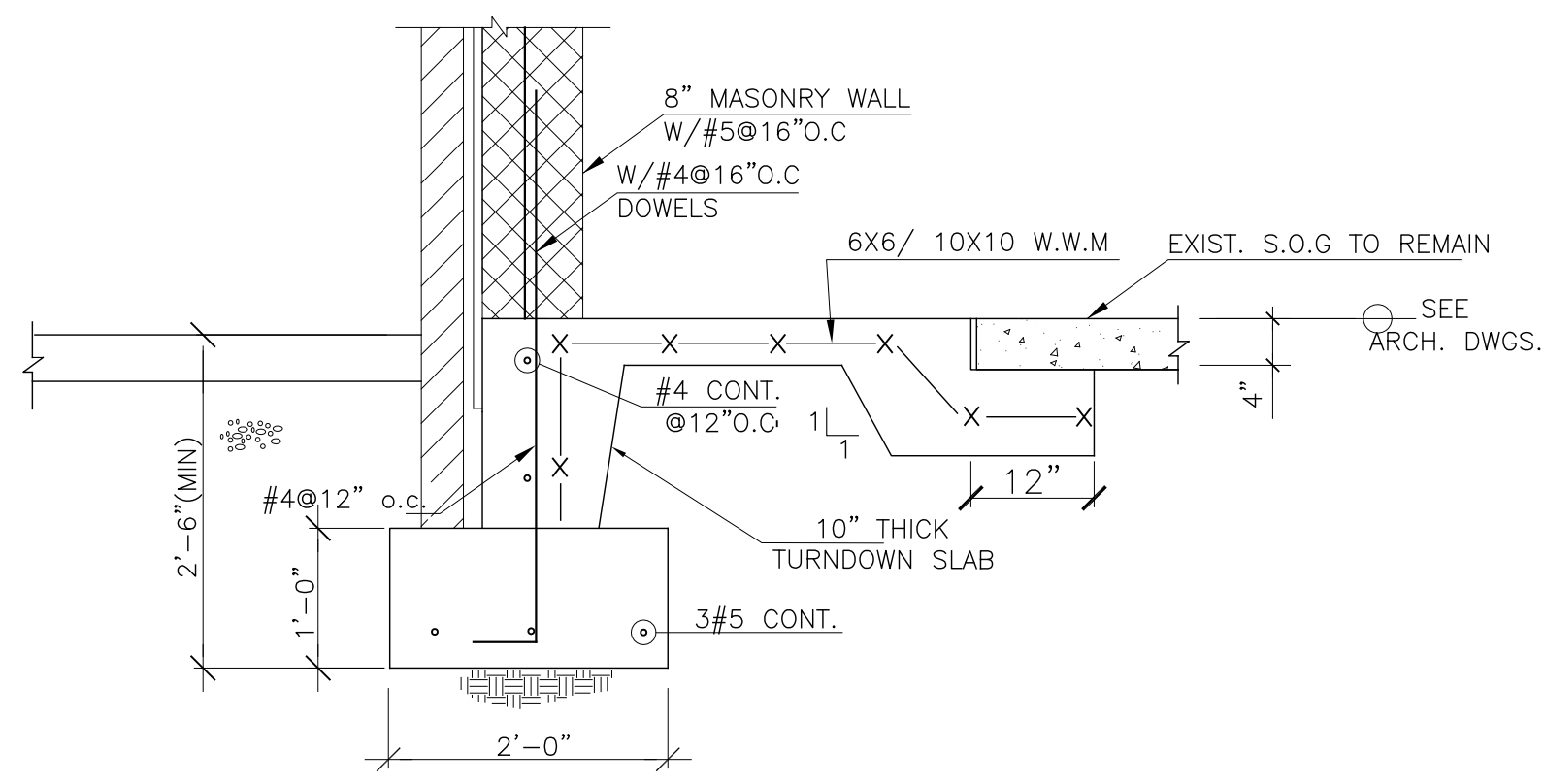
SCALE
N/A
17 APPROVALS

SCALE
N/A
16



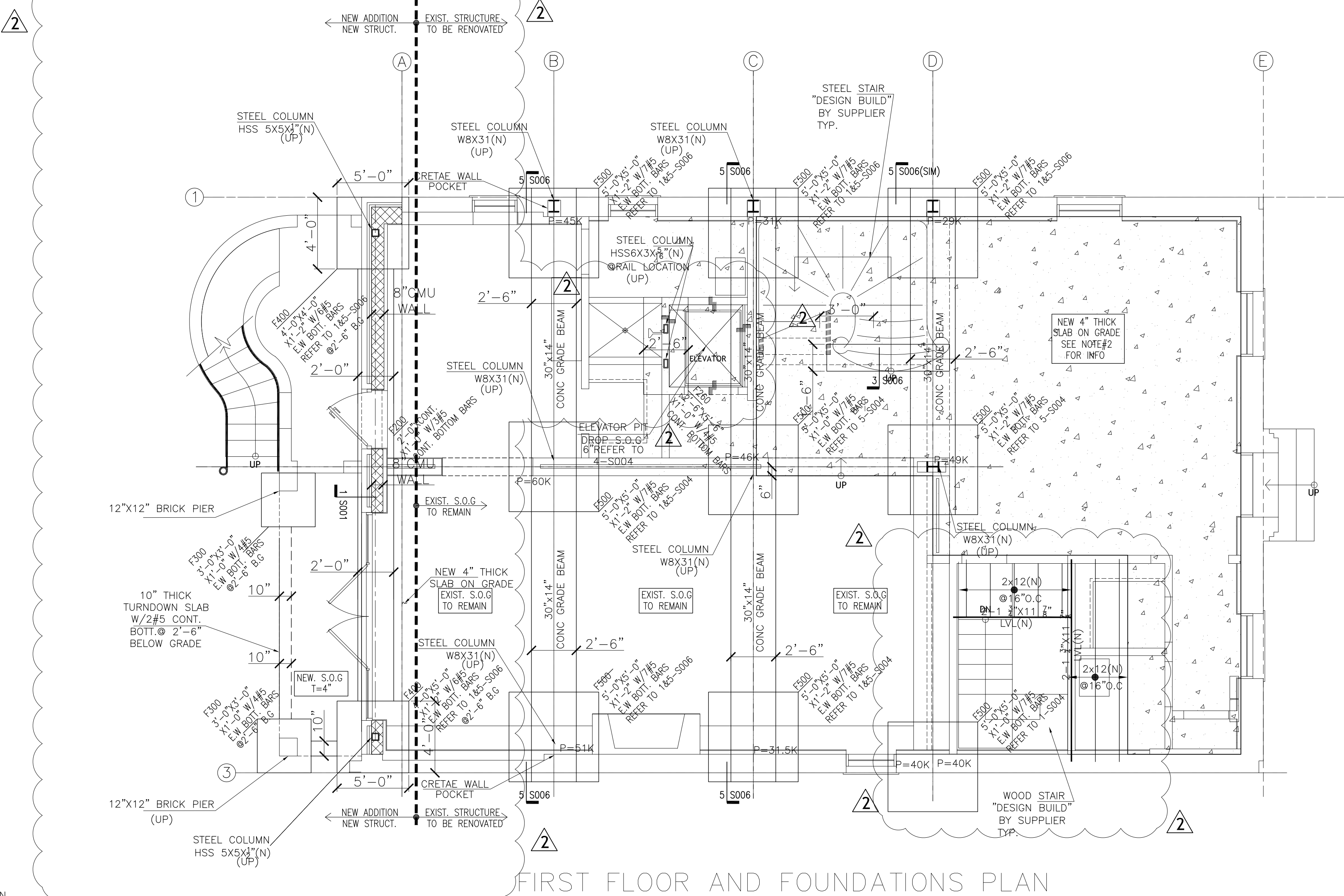
BASEMENT FLOOR AND PARTIAL FOUNDATIONS PLAN

1/4"=1'-0"



SECTION 1-S001

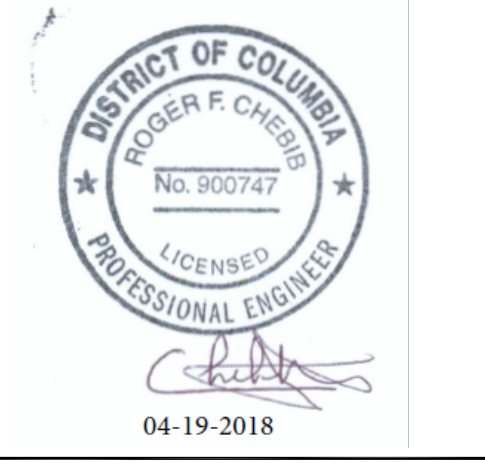
3/4" = 1'-0"



FIRST FLOOR AND FOUNDATIONS PLAN

1/4"=1'-0"

- NOTES:
- DROP FOOTINGS TO ACCOMMODATE PLUMBING PIPES.
 - SLAB ON GRADE TO BE 4" THICK CONC. OVER 4" OF WASHED GRAVEL. REINF. W/ 6x6-10x10 W.W.M. SLAB ON GRADE & SHALL BE LAID ON 6 MIL. POLYETHYLENE.
 - BOTTOM ELEVATIONS OF EXTERIOR FOOTINGS OR FOOTING IN UNHEATED AREAS, SHALL BE AT LEAST 2'-6" BELOW FINISH GRADE
 - TEMPORARY SHORING - G.C SHALL SUBMIT SHOP DRAWINGS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE PROJECT JURISDICTION FOR REVIEW AND COMMENTS. SHOP DRAWINGS AND CALCULATIONS SHALL SHOW INSTALLATION DETAILS AND SEQUENCE OF OPERATION REQUIRED FOR THIS PROJECT (AS REQUIRED). ANY RECOMMENDATION ADOPTED BY THE GENERAL CONTRACTOR ARE AT THE CONTRACTOR'S SOLE COST, RISK & EXPENSED.
 - COMPRESSIVE STRENGTH OF ALL CONCRETE FOUNDATION SHALL BE $f'_c=4000$ psi
 - FOR ALL ELEVATIONS AND DIMENSIONS; SEE ARCH. DRWG.
 - FOUNDATIONS ARE DESIGNED TO ACCOMMODATE 3500 PSF MAX. SOIL BEARING CAPACITY. SEE ATTACHED COIL REPORT.
 - USE DRYPACK THAT CAN REACH 75% OF OF SPECIFIED DESIGN (5000 PSI) IN 72 HOURS MINIMUM.



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project name
**HILTON
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2318 california street, NW
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project no: 1605
issue / description:

for permit	04.03.17
▲ permit revision 1	06.14.17
▲ permit revision 2	04.19.18

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▲	
▲	
▲	

drawn by: R.C
checked by: R.C

sheet title

SECOND FLOOR
FRAMING PLAN
THIRD FLOOR
FRAMING PLAN

sheet no.
S002

SCALE
N/A 19

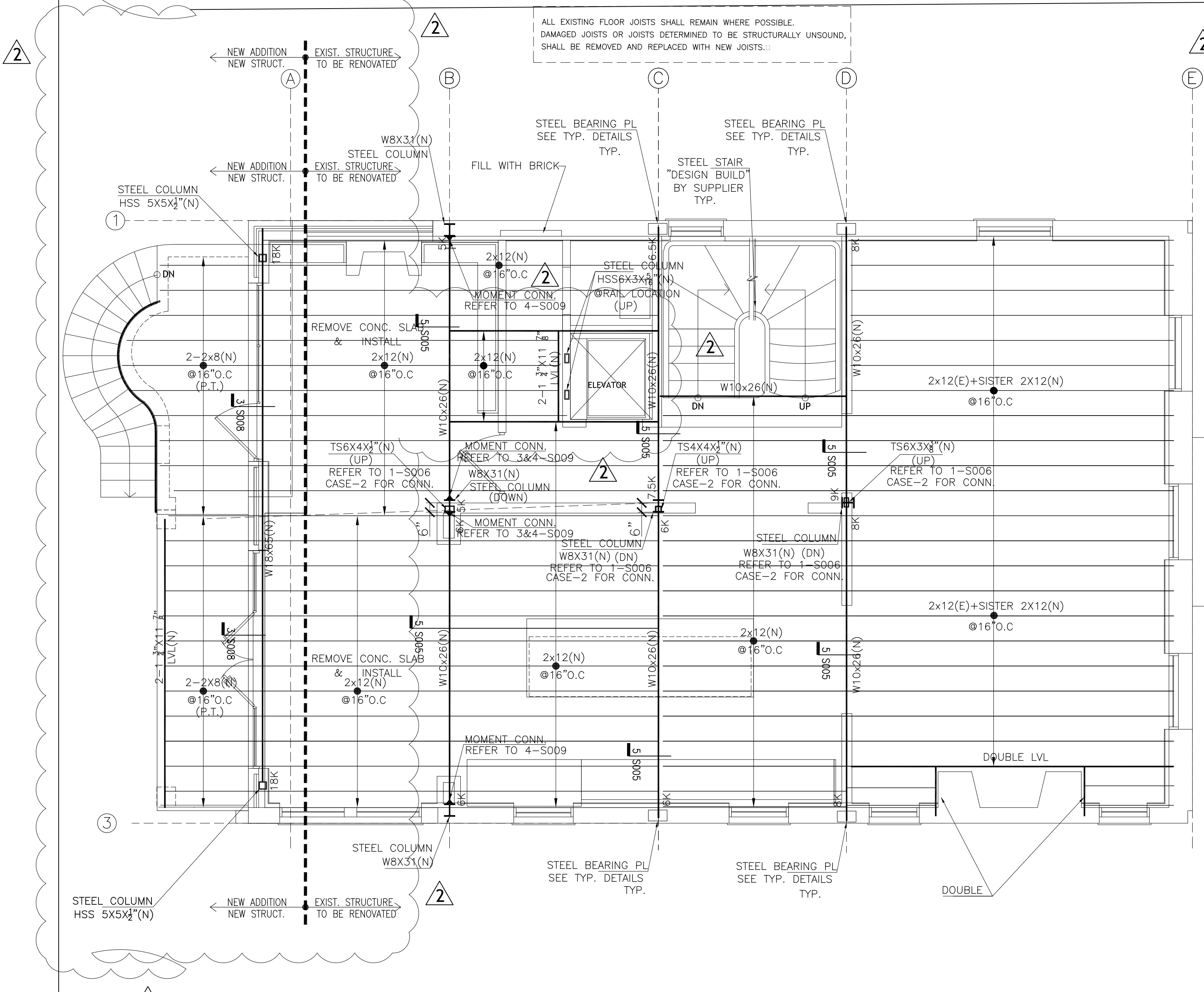
SCALE
N/A 18

SCALE
N/A 17 APPROVALS

SCALE
N/A 16

ALL EXISTING FLOOR JOISTS SHALL REMAIN WHERE POSSIBLE.
DAMAGED JOISTS OR JOISTS DETERMINED TO BE STRUCTURALLY UNSOUND,
SHALL BE REMOVED AND REPLACED WITH NEW JOISTS.

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SHALL BE REMOVED AND REPLACED WITH NEW JOISTS.

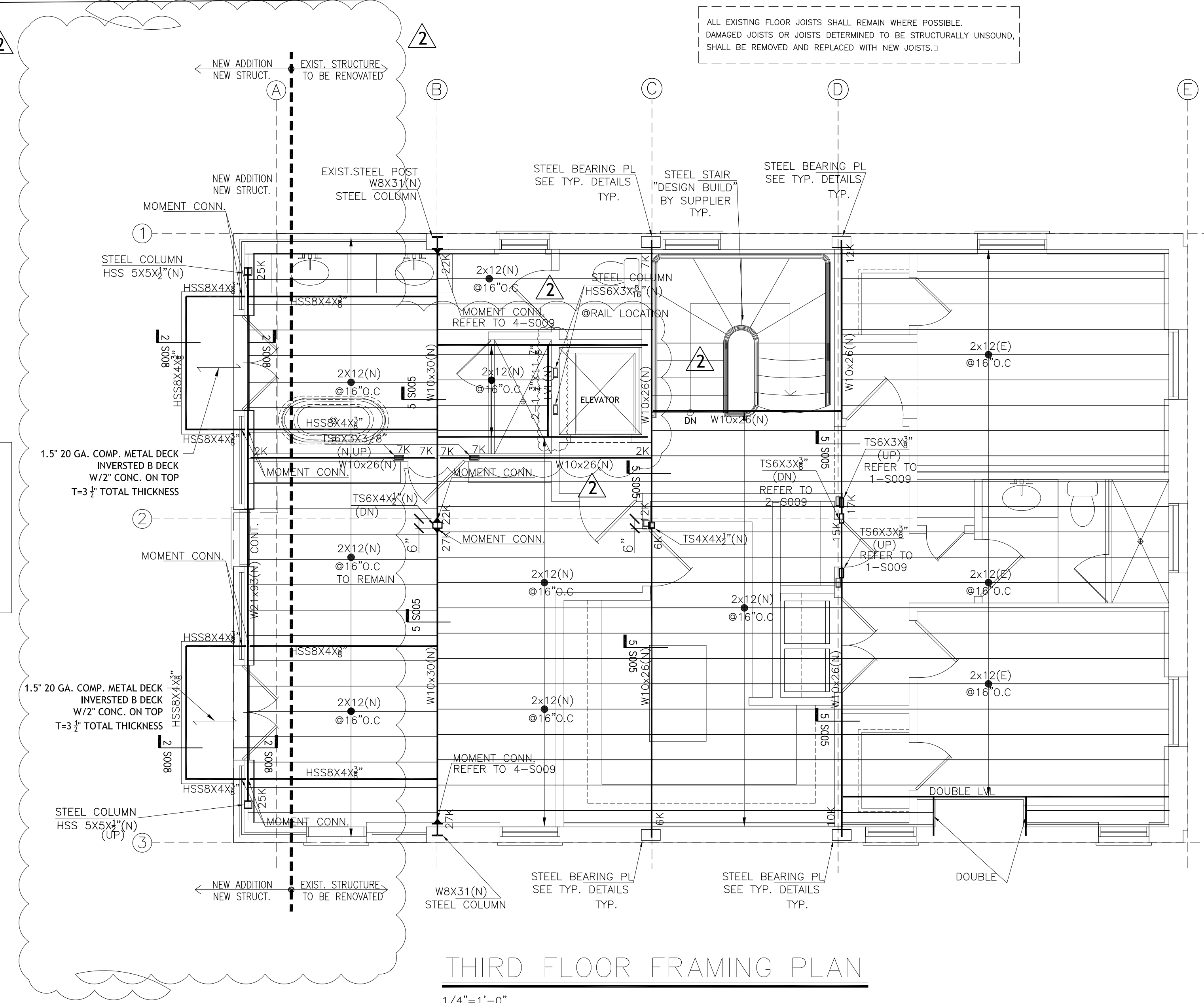


SECOND FLOOR FRAMING PLAN

1/4"=1'-0"

NOTES:

- G.C. TO VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND NOTIFY ENGINEER OF ANY DISCREPANCY BEFORE BEGINNING WORK.
- TEMPORARY SHORING - G.C SHALL SUBMIT SIGNED AND SEALED SHOP DRAWINGS (SEE STRUCT. NOTES).
- FOR STAIR INFO SEE ARCHITECTURAL DRAWINGS.
- FOR ALL DIMENSIONS AND ELEVATIONS SEE ARCH. DRWG.



THIRD FLOOR FRAMING PLAN

1/4"=1'-0"

NOTES:

- G.C. TO VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND NOTIFY ENGINEER OF ANY DISCREPANCY BEFORE BEGINNING WORK. TEMPORARY SHORING - G.C SHALL SUBMIT SHOP DRAWINGS
- FOR STAIR INFO SEE ARCHITECTURAL DRAWINGS.
- FOR ALL DIMENSIONS AND ELEVATIONS SEE ARCH. DRWG.



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▲ permit revision 1	06.14.17
▲ permit revision 2	04.19.18

▲	
▲	
▲	
▲	

drawn by: R.C
checked by: R.C

sheet title

**THIRD FLOOR CEILING
FRAMING PLAN
ROOF FRAMING
PLAN**

sheet no.

S003

SCALE
N/A 19

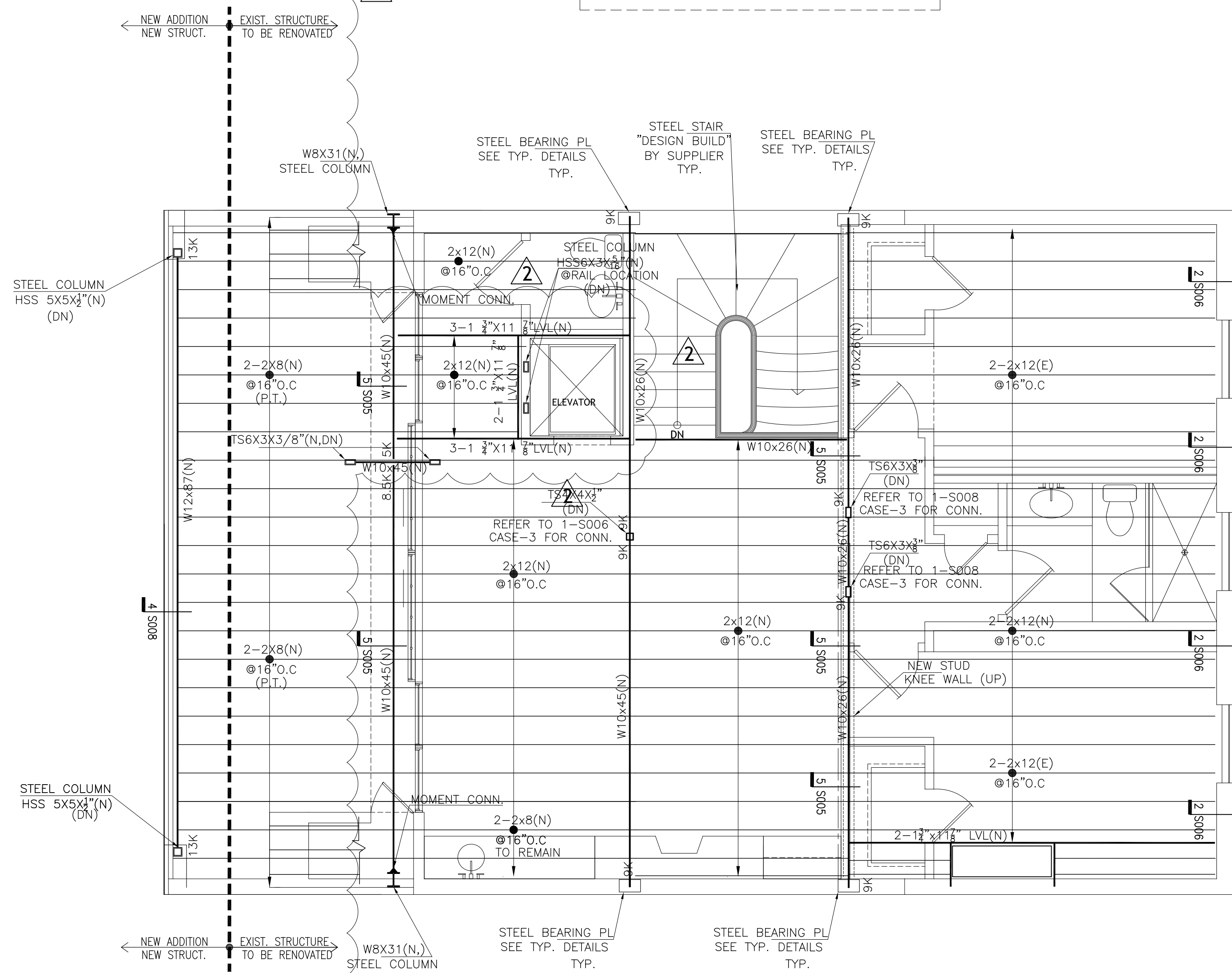
SCALE
N/A 18

SCALE
N/A 17

APPROVALS

SCALE
N/A 16

ALL EXISTING FLOOR JOISTS SHALL REMAIN WHERE POSSIBLE.
DAMAGED JOISTS OR JOISTS DETERMINED TO BE STRUCTURALLY UNSOUND,
SHALL BE REMOVED AND REPLACED WITH NEW JOISTS.

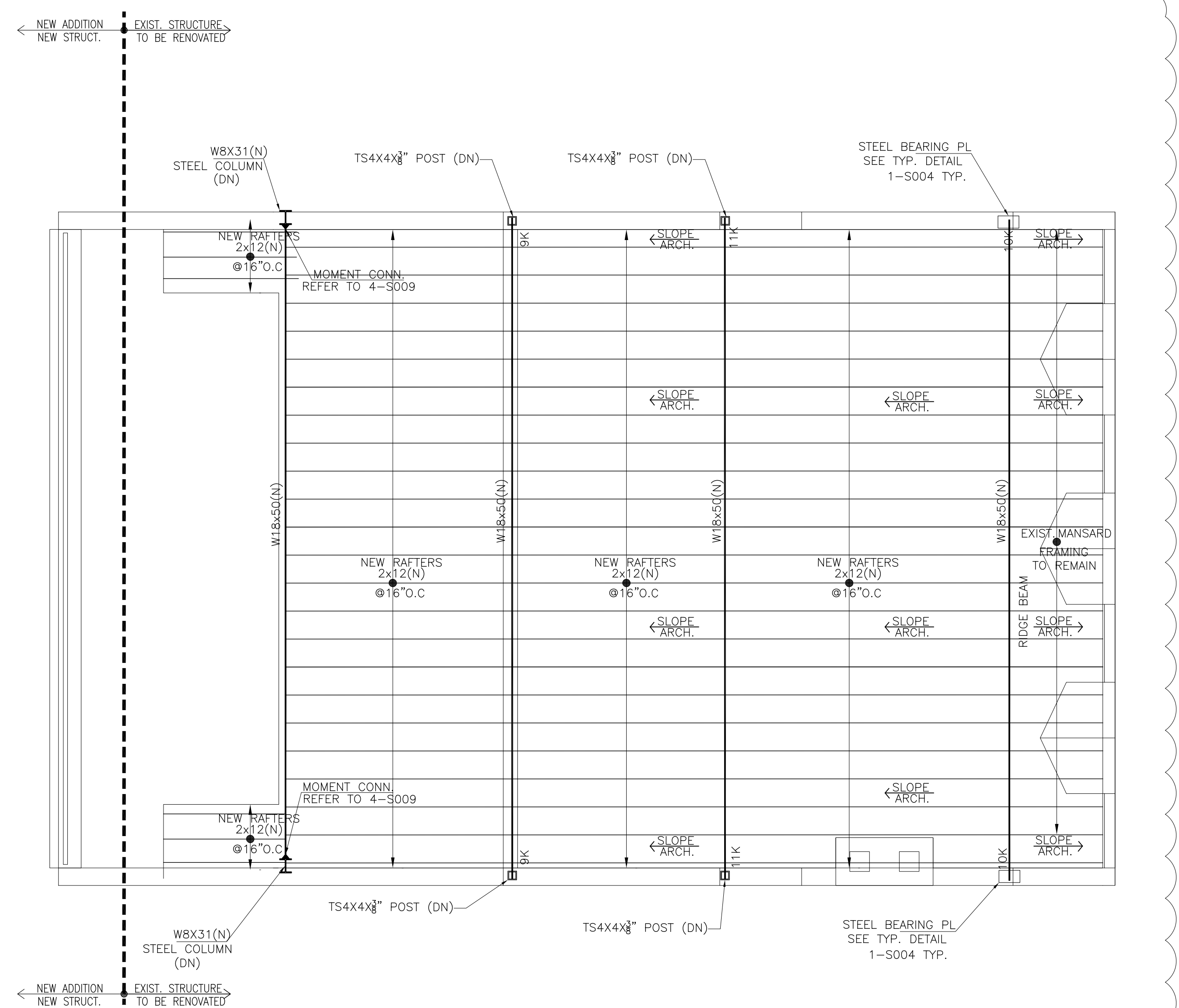


FOURTH FLOOR FRAMING PLAN

1/4"=1'-0"

NOTES:

- G.C. TO VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND NOTIFY ENGINEER OF ANY DISCREPANCY BEFORE BEGINNING WORK.
TEMPORARY SHORING - G.C SHALL SUBMIT SHOP DRAWINGS
- FOR STAIR INFO SEE ARCHITECTURAL DRAWINGS.
- FOR ALL DIMENSIONS AND ELEVATIONS SEE ARCH. DRWG.
- DL=15 PSF LL=40 PSF +10 PSF PARTITION



ROOF FRAMING PLAN

1/4"=1'-0"

- PROVIDE TEMPORARY SHORING AS REQUIRED PRIOR TO ANY DEMOLITION WORKS.
REFER TO STRUCTURAL NOTES FOR REQUIREMENTS.