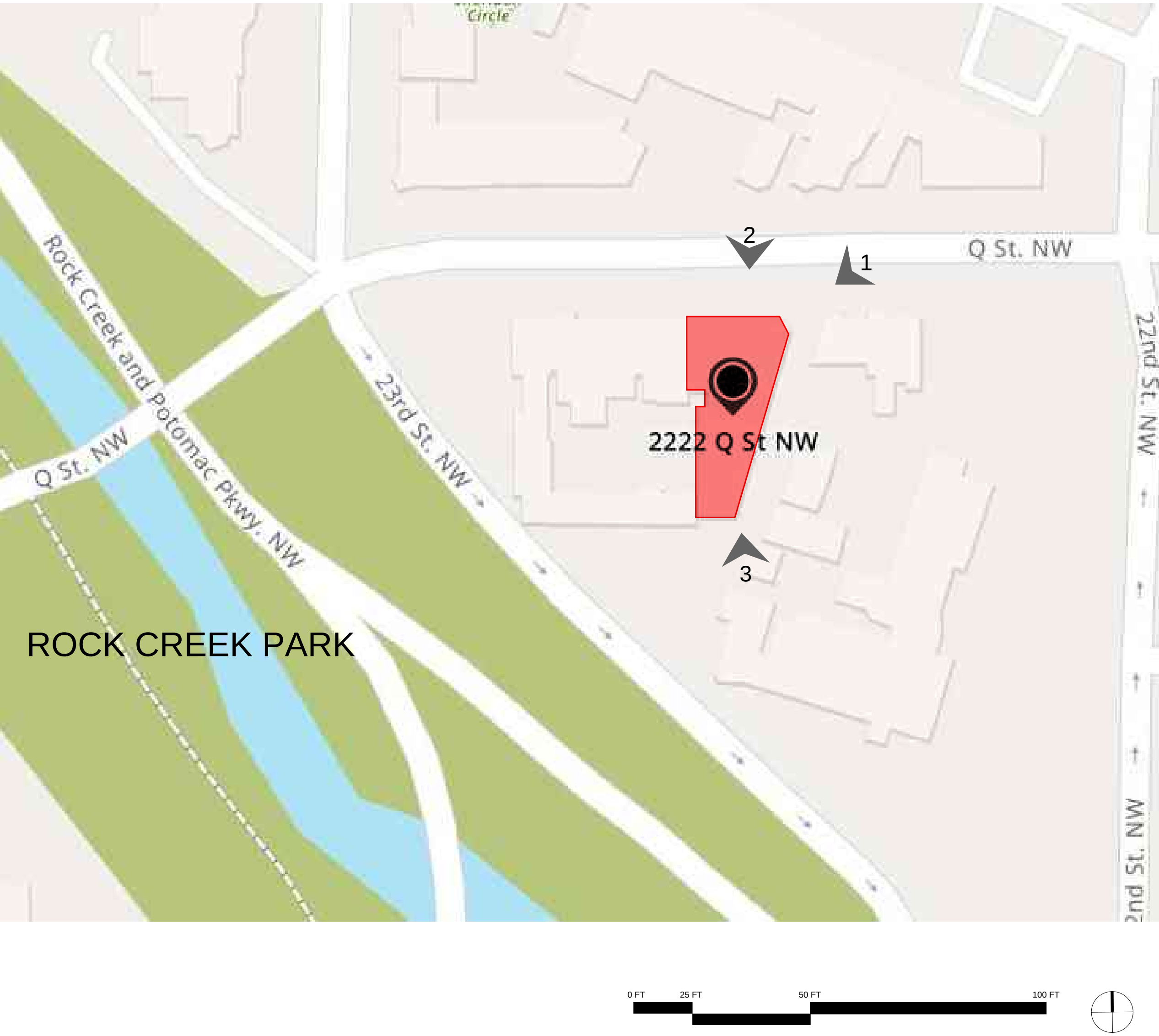
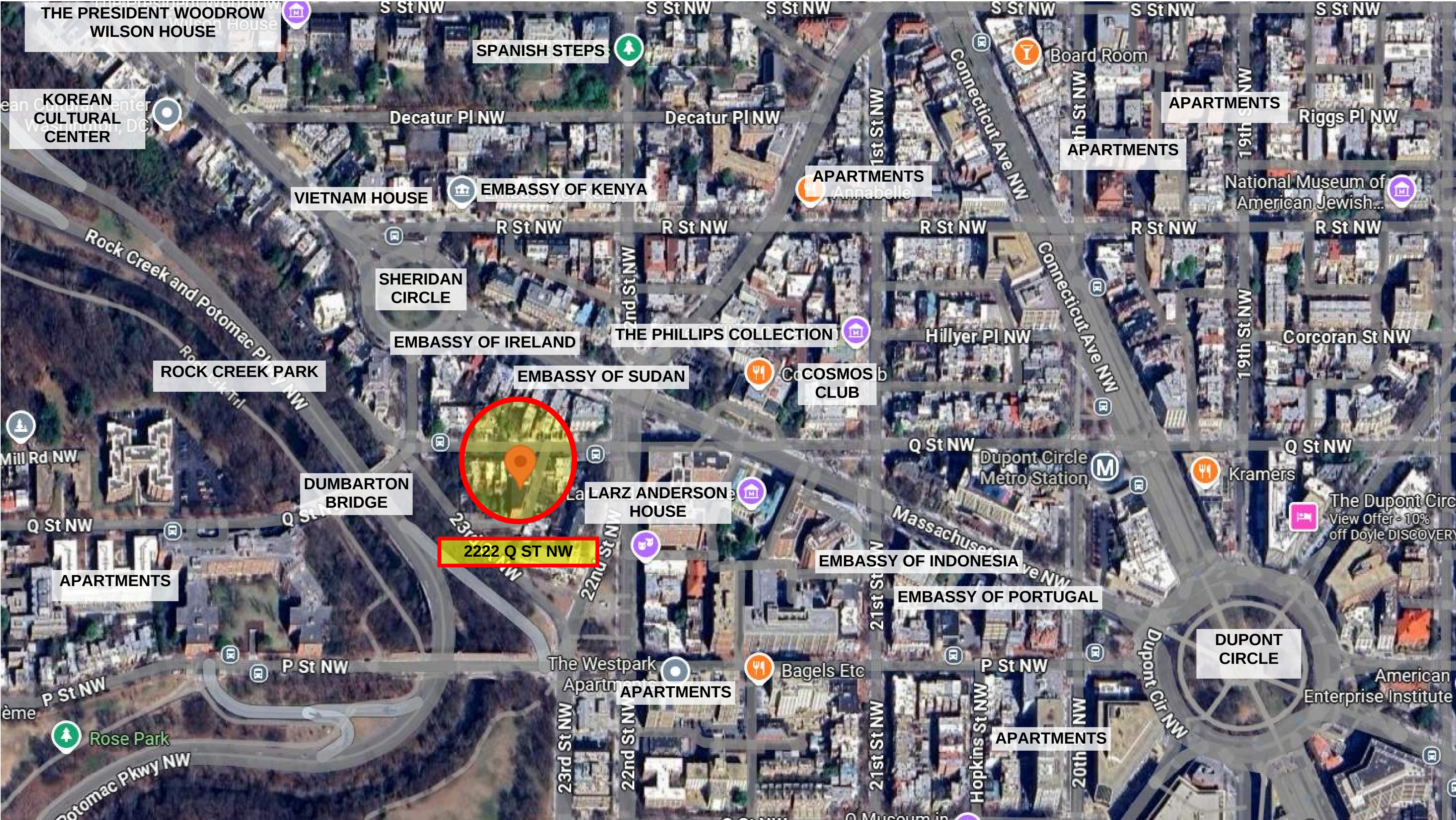




1. VIEW WEST



2222 Q STREET OWNER, LLC

FEBRUARY 17, 2026

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2. VIEW OF Q ST. FACADE (NORTH)



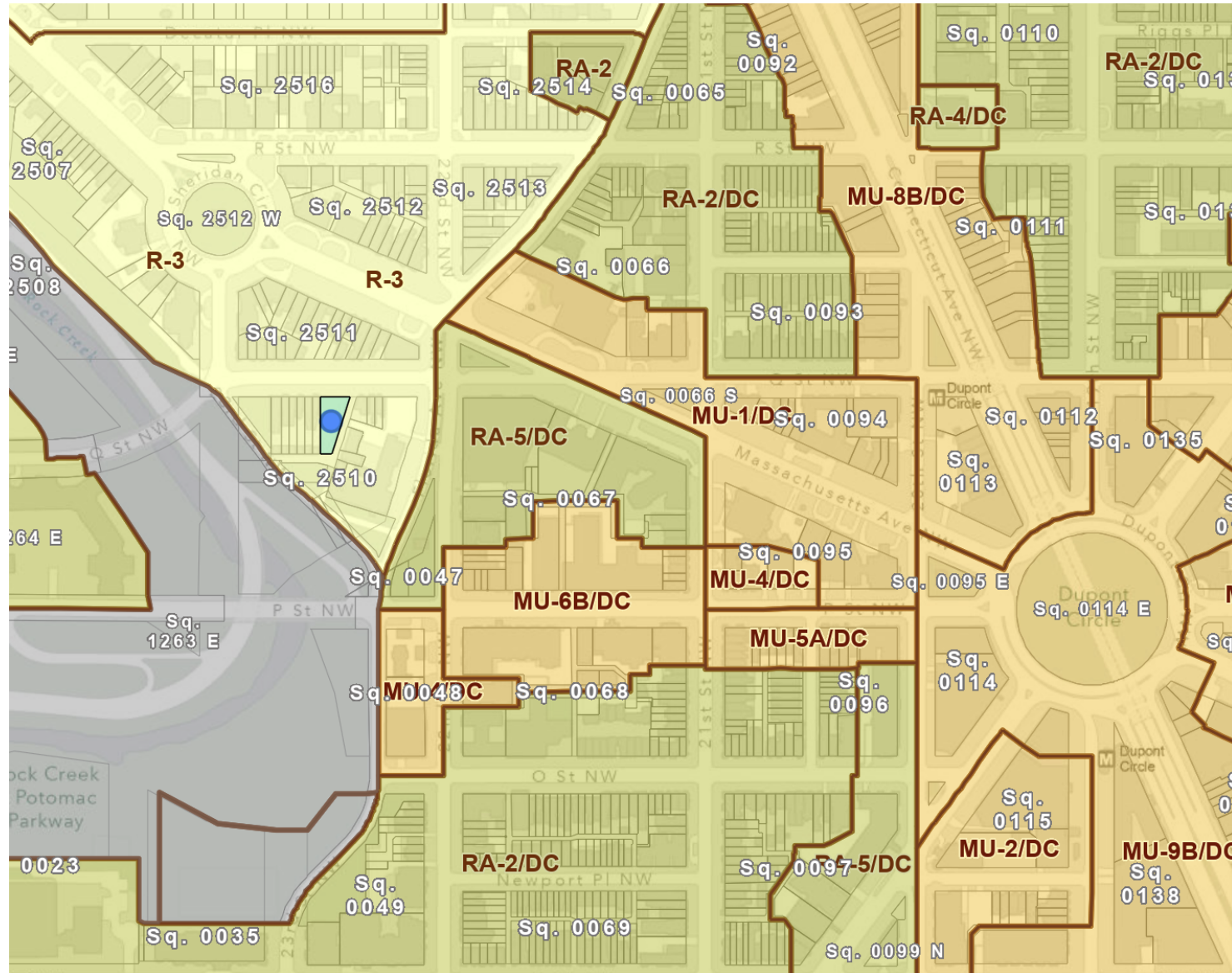
3. REAR VIEW

LOCATION MAP

NTS

2222 Q STREET, NW

Zoning Map and Surrounding Area





1. PROPOSED NEW ROOFING AND WATERPROOFING, ADDRESS WATER PONDING ISSUE



2. LIMESTONE CLEANING AND REPAIR HISTORIC FACADE



3. REPAIR & REPLACE DAMAGED FINISHES THROUGHOUT



4. WATERSENSE LOW-FLOW FIXTURES THROUGHOUT



5. REPLACE DAMAGED & NON-COMPLIANT USPS MAIL & PACKAGE WITH NEW PER USPS STANDARDS



6. REMOVE RUSTED SECURITY GRILL FROM WINDOWS, REPAIR CRACKS IN STONE FACADE



7. REPLACE OUTDATED HVAC SYSTEMUPGRADE TO MEET CODE, WINDOW REPLACEMENT WITH ENERGY EFFICIENT WINDOW



8. PROPOSED ENERGY STAR NEW KITCHEN APPLIANCES



9. REPLACE DAMAGED AND FRAMES THROUGHOUT, NON-RATED DOORS & FRAMES AT RATED WALLS WITH NEW CODE-COMPLIANT FIRE-RATED DOORS, FRAMES & CLOSERS, ALL LEVELS.



10. REPAIR VENTILATION SHAFT WALLS AND WATER INTRUSION ISSUE



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EXISTING CONDITION- BUILDING

NTS

2222 Q STREET, NW

DEFFICIENCIES:

- Basement has low ceiling height (7'- 6"), not suitable for amenity spaces
- Roof water ponding and upper floor water intrusion issue
- Interior non-load bearing partitions damaged by water & mold
- No existing trash and recycle system
- Existence of hazardous materials (lead based paint and asbestos)
- Hazardous diesel tank at Basement.



1. REPLACE BROKEN WINDOW AT BASEMENT



2. HAZARDOUS DIESEL TANK AT BASEMENT



3. PRIVATE ALLEY



4. UNFINISHED BASEMENT



5. ABANDONED DUMBWAITER SHAFT



6. LOW CEILING HEIGHT AT BASEMENT



7. UTILITY ROOM AT BASEMENT



8. EQUIPMENT AND DAMAGED WALL AT BASEMENT



9. DAMAGED WALLS, FLOOR AND CEILING AT BASEMENT



10. BASEMENT FLOOR DAMAGE

AREA OF IMPROVEMENTS:

- New roofing and waterproofing, resolve 5th floor water intrusion issue
- Offering habitable finished space in the Basement, fully sprinklered NFPA 13
- Demolish & Remove interior non-load bearing partitions damaged by water & mold
- Enlarge select windows in Basement to allow more natural light.
- HVAC system; full replacement & upgrade to meet code, dedicated fresh air shaft/ louvers.
- Fire Alarm & Extinguishers; full replacement & upgrade to meet Code.
- Building Envelope; repairs to damaged Historic Brick Masonry and Stone Exterior, all sides.
- Windows; full replacement of deteriorating replacement windows (all) with new energy efficient. Replacement windows that are compatible with the overall historic character of the existing building.
- Dedicated Trash and recycle chute system from Basement to 5th floor.
- Proposed amenity- Observation deck at Roof.
- Renovation of the back alley, retaining wall and fence
- Removal of hazardous materials (lead based paint and asbestos)
- Demolition of hazardous diesel tank from Basement.
- New finishes, Watersense plumbing fixtures, LED light fixtures and ENERGY STAR appliances all throughout.



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EXISTING BUILDING CONDITION & SCOPE OF WORK

NTS

2222 Q STREET, NW



Above ground storage tank located in basement – proposed to be removed per Phase 1 Environmental Site Assessment Report



Above ground storage tank located in basement – proposed to be removed per Phase 1 Environmental Site Assessment Report



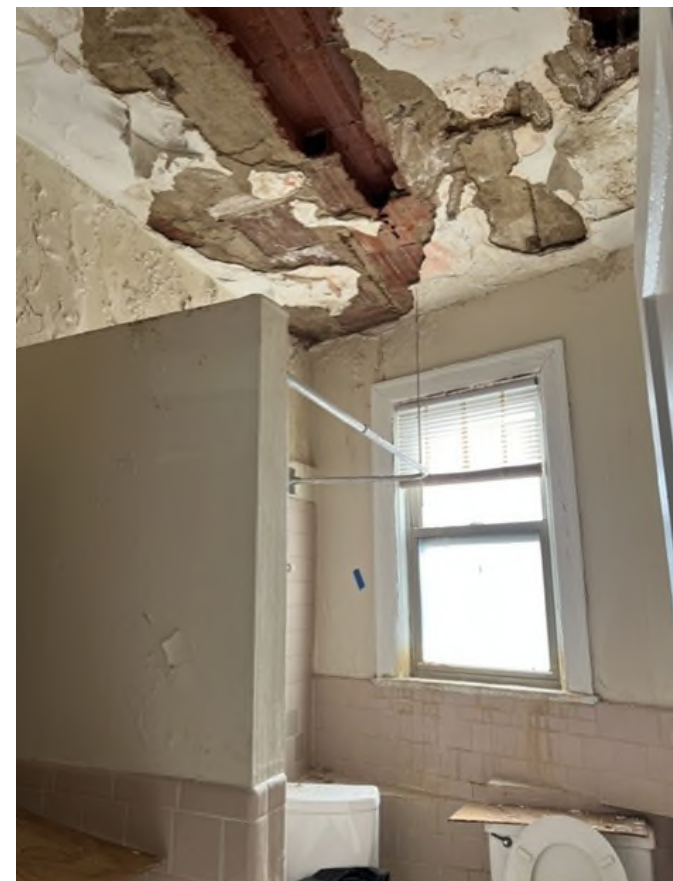
Interior water damage in unit



Interior water damage in unit



Interior water damage in unit



Interior water damage in unit



Deteriorating roof system – proposed complete roof replacement to address current water intrusion into 5th floor



Severely rusted gutters – proposed to be replaced



Deteriorated skylight



Deteriorated skylight



Severely rusted downspouts



Poorly maintained and neglected exterior façade with significant overgrowth



Dated and uninviting entry – proposed updated entry with new awning



Poorly maintained historic façade with significant overgrowth



Poorly maintained historic façade with significant overgrowth



Poorly maintained historic façade with exposed and unsecure cable wires



Rusting resident mailbox



Deteriorated cellar condition



Dated and undersized electric/metering system – proposed full update and replacement with new, efficient and sustainable green electrical system



Dated and undersized electrical breaker panel – proposed full replacement with new, efficient and sustainable green electrical system



Dated gas furnace heating system – proposed replacement with modern, energy efficient HVAC system



Extremely dated elevator system – proposed full system update



Extremely dated elevator system – proposed full system update



Extremely dated elevator system – proposed full system update



Dated building entry



Dated interior corridors



Dated interiors with window unit AC and furnace radiator heat – proposed full replacement with modern, energy efficient HVAC system



Dated unit doors and security features



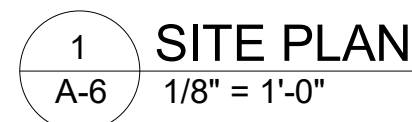
Dilapidated unit conditions with window unit AC and furnace radiator heat – proposed full replacement with modern, energy efficient HVAC system



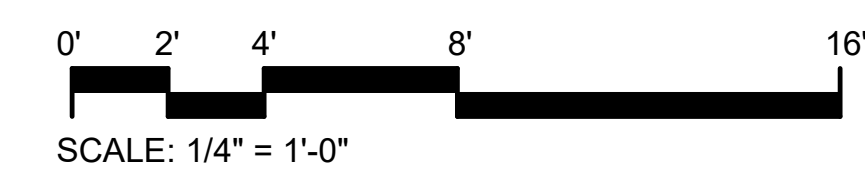
Dated kitchen and finishes with gas range – proposed unit updates with all-new finishes and sustainable green appliances



Dated kitchen and finishes with gas range – proposed unit updates with all-new finishes and sustainable green appliances



1. REPLACE EXISTING FENCE IN KIND.
2. NEW WINDOW WELL.
3. NEW RAMP
4. NEW 6'-0" EXTERIOR DOOR WITH ACCESS CONTROL.
5. REPAIR WALKWAY AND STEPS TO BUILDING ENTRY.
6. NEW METAL CANOPY STRUCTURE.
7. EXISTING LAWN TO BE REPLANTED AND PROTECTED
8. WOODEN FENCE



CD SET	04.30.2025
5% CD-PRICING SET	07.11.2025

DATE: 04/25/25
PROJECT NO: 2024-044
DRAWN BY: SBS
CHECKED BY: JD

2222 Q STREET OWNER, LLC

140 Q ST NE, SUITE 1418
WASHINGTON, DC 20002

FMC & ASSOCIATES

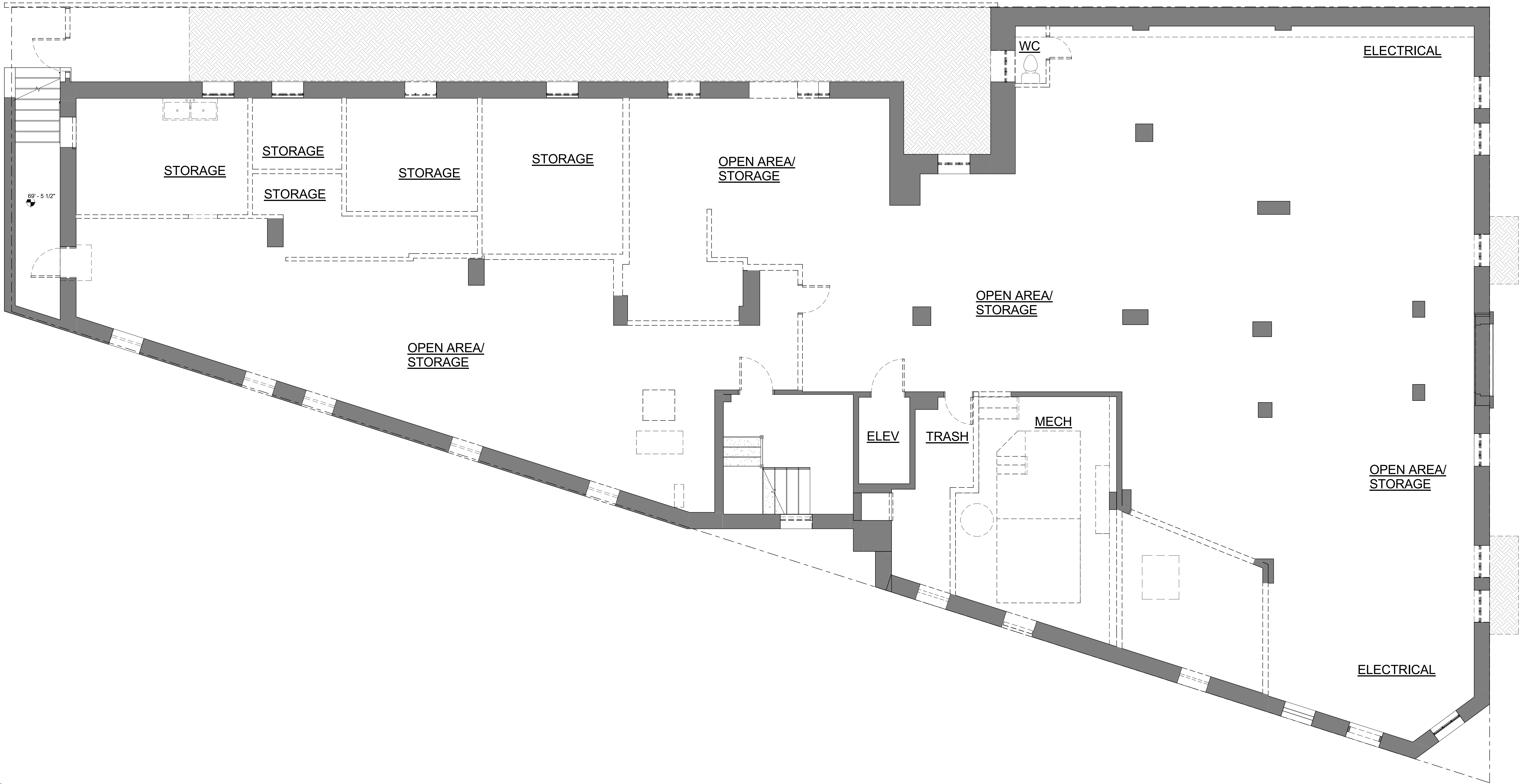
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1
A-7
BASEMENT DEMO PLAN
1/4" = 1'-0"

GENERAL DEMOLITION NOTES

- EXCEPT WHERE NOTED, ALL EXISTING CONSTRUCTION, FINISHES, FIXTURES AND EQUIPMENT ARE TO REMAIN IN PLACE.
- CONTRACTOR SHALL PROTECT EXISTING CONSTRUCTION TO REMAIN IN PLACE FROM HARM DURING DEMOLITION.
- CONFIRM BEARING CONDITIONS PRIOR TO REMOVAL OF EXISTING CONSTRUCTION.
- ILLUSTRATED CONDITIONS ON SHOULD BE FIELD VERIFIED PRIOR TO COMMENCING WORK.
- REMOVE ALL RADIATORS. CAP OR REMOVE ASSOCIATED PIPING AS REQUIRED.
- ALL IN-UNIT WALL BASE TRIM, CASINGS, ELECTRICAL FIXTURES, OUTLET COVERS, PLATES, TO BE REMOVED. INTERIOR TRIM AROUND WINDOW TO REMAIN.
- ALL UNIT INTERIOR DOORS TO BE REMOVED.
- HAZARDOUS MATERIAL ABATEMENT SHALL BE PERFORMED PRIOR TO DEMOLITION ILLUSTRATED IN THE DRAWINGS. CONTRACTOR SHALL ABIDE BY ALL APPLICABLE CODES AND REGULATIONS FOR CONTAINMENT, HANDLING AND DISPOSAL OF HAZARDOUS MATERIALS.
- GC TO CONFIRM BEARING CONDITIONS AND EXISTING CONDITIONS PRIOR TO DEMOLITION.
- DEMOLISH EXISTING PANTRY & OTHER MILLWORK IN THE UNITS.

DEMOLITION NOTES

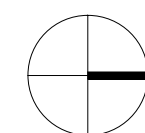
- EXISTING NON-LOAD BEARING PARTITION TO BE REMOVED. CONFIRM BEARING CONDITIONS PRIOR TO REMOVAL. REMOVE CAPSULATED POCKET DOOR INSIDE WALL WHERE APPLICABLE.
- REMOVE EXISTING BATHROOM FIXTURES AND FINISHES.
- EXISTING KITCHEN CABINETRY, APPLIANCES, AND FIXTURES TO BE REMOVED.
- REMOVE EXISTING BOILER AND ASSOCIATED PIPING.
- REMOVE EXISTING VINYL TILE IN UNIT BATHROOM & KITCHEN. SALVAGE EXISTING WOOD FLOOR UNDERNEATH IF APPLICABLE DURING DEMOLITION.
- PROTECT EXISTING GAS SERVICE CONNECTION. TERMINATE SERVICE TO DWELLING UNITS.
- EXISTING WATER HEATER & ASSOC. EQUIP. TO BE REMOVED.
- REMOVE EXISTING UNIT ENTRY DOORS.
- REMOVE EXISTING WASHER/DRYER APPLIANCES AND ASSOCIATED SUPPLY, WASTE AND VENT CONNECTIONS. SEAL ANY ASSOCIATED PENETRATIONS AT EXTERIOR WALL.
- REMOVE EXISTING ELECTRICAL PANELS. SEE DEMO ELECTRICAL DWGS.
- GC TO REMOVE EXISTING WOOD FLOORING.
- PROTECT EXISTING COLUMNS.
- SHAFT WALL TO BE REMOVED AT BASEMENT LEVEL AND MAINTAINED AT FLOORS ABOVE (1-5).
- DEMOLISH DUMB/WATER EQUIPMENTS INSIDE SHAFT.
- EXISTING STEP TO BE REMOVED AND LEVEL FLOOR TO MATCH EXISTING BASEMENT LEVEL.
- TENANT GAS METERS TO BE REMOVED. CAP PIPING AS REQUIRED. COORDINATE WITH WASHINGTON GAS.
- EXISTING DOOR AND TRIM TO BE REMOVED.
- WATER METER TO BE MAINTAINED.
- REMOVE EXISTING LIGHT FIXTURES. PREPARE FOR NEW WORK.
- DECOMMISSIONED ELECTRICAL EQUIPMENT TO BE REMOVED.

- HOUSE METER TO BE RELOCATED TO DIFFERENT LOCATION.
- SAVE AND PROTECT EXISTING ELECTRICAL EQUIPMENT IF APPLICABLE.
- DEMOLISH EXISTING PANTRY & OTHER MILLWORK IN THE UNITS.
- REMOVE EXISTING FLOOR MOUNTED MECHANICAL UNITS.
- REMOVE CONCRETE PATH WAY. EXCAVATE AND PREPARE FOR NEW WORK PLAN.
- BIKE RACK NEEDS TO BE REMOVED AND SALVAGED. COORDINATE NEW LOCATION WITH OWNER.
- REMOVE WALLBOARDS AT LOBBY.
- SEE ELEVATOR SCOPE FOR REPAIR AND REPLACEMENT OF ELEVATOR EQUIPMENT.
- REPAIR EXISTING VENTED SKYLIGHT IN KIND.
- RESTORE / REPAIR STAIR TREADS.
- REPLACE EXTERIOR DOOR. SEE DOOR SCHEDULE. UNUSED HINGES TO BE REMOVED.
- REPLACE EXTERIOR LIGHT FIXTURE ABOVE DOOR.
- REMOVE EXISTING WINDOWS. TYP. ENLARGE EXISTING WINDOW OPENING VERTICALLY WHERE INDICATED IN A0200 SERIES. INTERIOR TRIM AROUND EXISTING WINDOW TO REMAIN.
- REMOVE EXISTING DOORING. COORDINATE WITH NEW WORK.
- GC TO EXCAVATE SOIL AT THIS LOCATION IN PREPARATION FOR WINDOW WELL CONSTRUCTION.
- REPLACE SEALANTS AROUND ALL WINDOWS.
- ENLARGE EXISTING OPENING TO INSTALL NEW DOOR. SEE DOOR SCHEDULE.
- DEMOLISH MASONRY WHERE INDICATED.
- REPLACE ROOFING AND WATERPROOFING.
- REPLACE PARAPET CAP AT ROOF.
- DEMOLISH EXISTING OIL TANK AND ASSOCIATED WALL.
- EXISTING ELEVATOR TO REMAIN. REPAIR AS NEEDED.
- REMOVE EXISTING WOODEN FENCE AND CONCRETE CURB.
- EXISTING GUTTER AND DOWNSPOUT TO BE REPLACED.

DRAWING LEGEND:

- EXISTING CONSTRUCTION
TO REMAIN IN PLACE
- DEMOLITION

0' 2' 4' 8' 16'
SCALE: 1/4" = 1'-0"



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BASEMENT DEMO PLAN

A-7

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VIENNA, VA 22180
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CAS ENGINEERING - DC, LLC

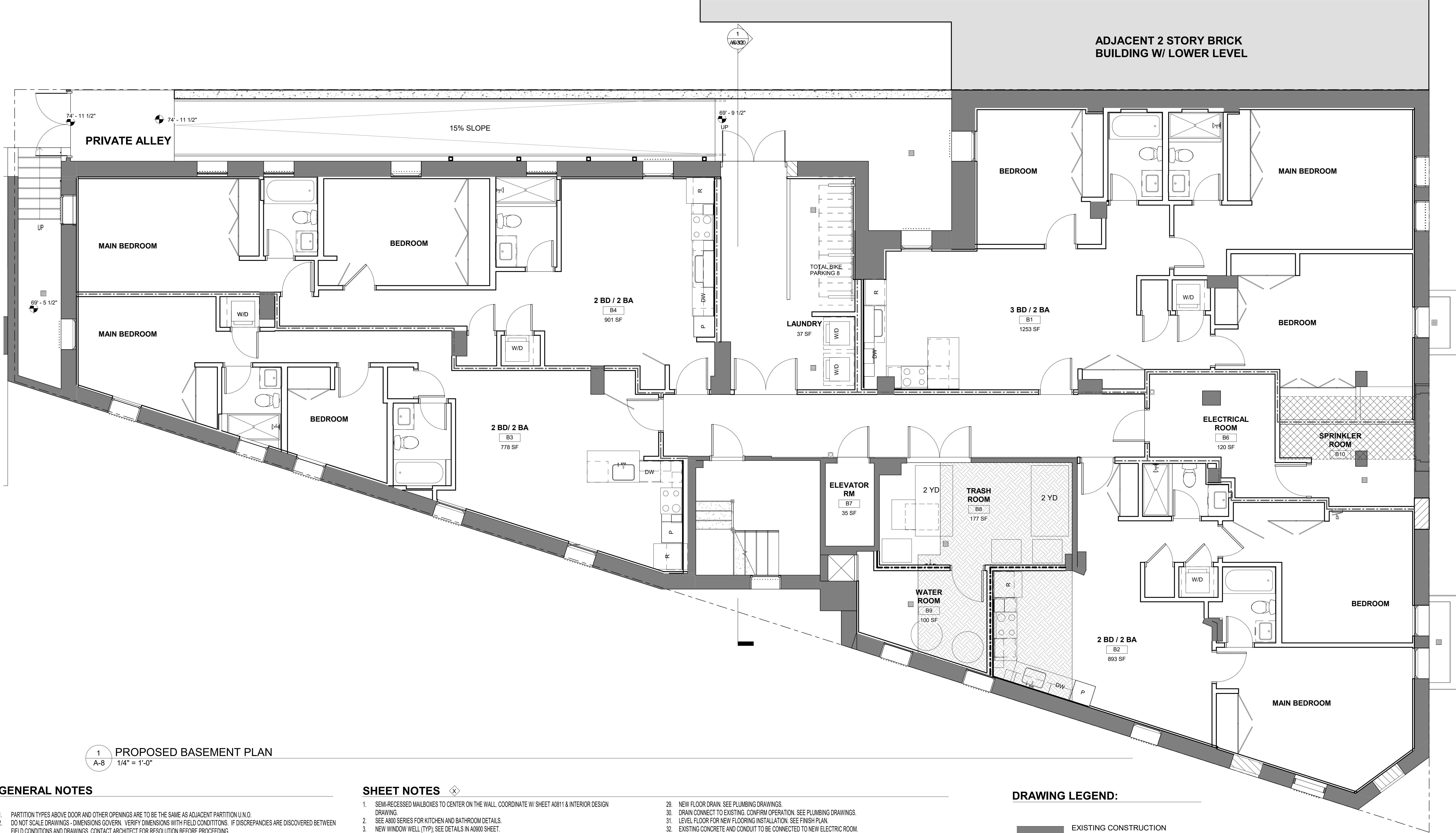
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2222 Q STREET, NW
WASHINGTON, DC, 20009

REVISIONS

1	SD SET	03.07.2025
2	DEMO PERMIT	04.30.2025
3	DD SET	04.30.2025
4	50% PRICING SET	05.28.2025
5	75% CD-PRICING SET	07.11.2025

DATE: 02/13/25
PROJECT NO: 2024-044
DRAWN BY: SBS
CHECKED BY: JD



1
A-8
PROPOSED BASEMENT PLAN
1/4" = 1'-0"

GENERAL NOTES

- PARTITION TYPES ABOVE DOOR AND OTHER OPENINGS ARE TO BE THE SAME AS ADJACENT PARTITION U.N.O.
- DO NOT SCALE DRAWINGS - DIMENSIONS GOVERN. VERIFY DIMENSIONS WITH FIELD CONDITIONS. IF DISCREPANCIES ARE DISCOVERED BETWEEN FIELD CONDITIONS AND DRAWINGS, CONTACT ARCHITECT FOR RESOLUTION BEFORE PROCEEDING.
- ALL DIMENSIONS ARE SHOWN FROM FINISHED FACE OF WALL TO FINISHED FACE OF WALL U.N.O.
- "ALIGN" MEANS SIMILAR COMPONENTS OF CONSTRUCTION SHALL BE IN THE SAME PLANE ACROSS VOIDS.
- DASHED LINE INDICATES SOFFIT OR OTHER CONSTRUCTION ABOVE.
- PROVIDE AND INSTALL FIRE RETARDANT WOOD BLOCKING AS REQUIRED AT ALL WALL-HUNG SHELVING, CABINETS, WOOD PANELS, EQUIPMENT, LIGHT FIXTURES AND OTHER MILLWORK WITHIN GIBS CONSTRUCTION.
- PROVIDE AND INSTALL FIRE RETARDANT WOOD BLOCKING AS REQUIRED FOR FUTURE GRAB BARS AT ALL TOILETS, TUBS AND SHOWERS.
- SEE A0700 SERIES (RCP DRAWINGS) FOR LIGHTING AND CEILING INFORMATION.
- FLOORING TO CONTINUE BENEATH CABINETS, WALLS TO BE FINISHED BEHIND CABINETS
- ALL ROOFING INSTALLATION WILL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ROOFING CONTRACTORS ASSOCIATION (NRCA) AND THE MANUFACTURER'S REQS. AND RECOMMENDATIONS.
- ROOF SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH ASCE 7 WIND UPLIFT REQUIREMENTS.
- GO TO BE SECURING, STABILIZING, SANDING FOR LEVELING EXISTING WOOD FLOOR AS REQUIRED BEFORE APPLYING LVT TILE.
- CLEAN AND REPAIR LIMESTONE AT Q STREET FACADE.

SHEET NOTES

- SEMI-RECESSED MAILBOXES TO CENTER ON THE WALL. COORDINATE W/ SHEET A0811 & INTERIOR DESIGN DRAWING.
- SEE A800 SERIES FOR KITCHEN AND BATHROOM DETAILS.
- NEW WINDOW WELL (TYP). SEE DETAILS IN A800 SHEET.
- REPAIR EXISTING BRICK MASONRY AS REQUIRED.
- INFILL SLAB TO MATCH ELEVATION OF HIGHER EXISTING ADJACENT SLAB. EXTENT OF INFILL RAISED FLOOR. SEE TO MATCH ADJACENT.
- EXISTING STAIR TO REMAIN. INSTALL NEW FLOORING. SEE FINISH SCHEDULE.
- PROVIDE RACKS FOR VERTICALLY-HUNG BICYCLES AT THIS LOCATION, TYP.
- NEW FLOOR MOUNTED MECHANICAL UNIT IN CLOSET.
- NEW WATER HEATER. SEE MEP DRAWING.
- NEW FINISH THROUGHOUT. SEE FINISH SCHEDULE IN SHEET A1004.
- FURRED OUT WALL. SEE DETAIL IN A1000 SHEET.
- NEW ENTRY THRESHOLD.
- NEW ENTRY GLAZING.
- NEW ACCESS CONTROL DOORKING WITH PEDESTAL AT THE ENTRANCE. SEE DETAIL IN A900 SHEET. DOORKING CONDUIT TO BE CONCEALED DURING CONCRETE STEP REPAIR.
- EXISTING STAIRCASE AND HANDRAILS TO BE REPAIRED AND PAINTED.
- INFILL EXISTING DOOR OPENING TO INSTALL NEW VINYL WINDOW. SEE WINDOW SCHEDULE.
- ENLARGE EXISTING WINDOW OPENING FOR INSTALLING NEW WINDOW. SEE ELEVATIONS AND WINDOW SCHEDULE.
- REPAIR PARAPET CAP, FLASHING, AND WATERPROOFING. TYP.
- REPLACE EXISTING FRONT DOOR WITH FULL LIGHT DOUBLE WOOD DOOR WITH NO GRIDS & ACCESS CONTROL. SEE DOOR SCHEDULE.
- REPLACE EXISTING PLANTERS IN KIND.
- REPLACE EXISTING WINDOW WITH W/D CLAD WINDOW IN NORTH AND NORTH EAST FACADE. DIMENSIONS TO BE V.I.F. FRAME FINISH/COLOR PER OWNER APPROVAL.
- REPAIR CONCRETE STEPS AND LANDING.
- MAINTAIN MIN. 2'-0" CLR WIDTH IN ALL LANDQUIST CLOSET U.N.O. SEE A1003 FOR CLOSET DETAILS. TYP.
- EXISTING BALCONY STRUCTURE TO REMAIN.
- NEW ROOF OBSERVATION DECK WITH RAILING. SEE STRUCTURAL DRAWING.
- NEW RESIDENTIAL TRASH & RECYCLE CONTAINERS.
- REPAIR WINDOW SILL.
- NEW EXTERIOR DOOR.
- NEW FLOOR DRAIN. SEE PLUMBING DRAWINGS.
- DRAIN CONNECT TO EXISTING. CONFIRM OPERATION. SEE PLUMBING DRAWINGS.
- LEVEL FLOOR FOR NEW FLOORING INSTALLATION. SEE FINISH PLAN.
- EXISTING CONCRETE AND CONDUIT TO BE CONNECTED TO NEW ELECTRIC ROOM.
- INFILL EXISTING OPENING TO MATCH ADJACENT BRICK.
- EXISTING WINDOW SILL TO BE PATCHED AND REPAIRED.
- SPECIAL SECURITY GRILLE AT NORTH AND EAST SIDE BASEMENT LEVEL WINDOWS.
- NEW CONCRETE RAMP.
- NEW RETAINING WALL. SEE STRUCTURAL DRAWING.
- EXISTING ROOF HATCH AND LADDER TO REMAIN IN PLACE.
- EXISTING ROOF VENT TO REMAIN IN PLACE.
- NEW TRASH CHUTE. TRASH CHUTE VENT EXTENDS 38" MIN. ABOVE ROOF SURFACE PER NFPA 82.
- NEW ELECTRIC PANEL. SEE ELEC. DRAWINGS.
- NEW EXHAUST SHAFT. SEE MEP DRAWINGS.
- REPLACE EXISTING WINDOW. DIMENSIONS TO BE V.I.F. FRAME FINISH/COLOR PER OWNER APPROVAL.
- NEW CANOPY.
- NEW FRESH AIR SHAFT. SEE MECHANICAL DRAWINGS.
- EXISTING SKYLIGHT, VENT AND ADJACENT WALLS TO BE REPAIRED AND CLEANED.
- NEW 6'-0" GATE WITH ACCESS CONTROL.
- COVER MECHANICAL VENT.
- EXISTING ELEVATOR EQUIPMENT AND FINISH TO BE REPLACED. COORDINATE WITH OWNER.
- NEW REFRIGERANT LINESET IN 2-HR RATED SHAFT.
- INFILL EXISTING WINDOW OPENING TO MATCH ADJACENT MASONRY WORK. SEE INFILL DETAIL 3/A1000.
- 4" CONCRETE CURB ON SLAB.
- NEW STEEL COLUMN AND BEAM. SEE STRUCTURAL DRAWINGS.
- EXISTING FIRE ESCAPE TO REMAIN.
- PORTABLE FIRE EXTINGUISHER CLOSET AT 45° A.F.F.
- EXISTING GUTTER TO BE REPLACED.
- EXISTING DOWNSPOUT TO BE REPLACED AND CONNECT TO MAIN STORM LINE. SEE PLUMBING DRAWINGS.
- NEW WOODED FENCE ON TOP OF RETAINING WALL TO MATCH EXISTING HEIGHT.
- PROVIDE INTERNAL SECURITY GRILL INSIDE WINDOW.

DRAWING LEGEND:

- EXISTING CONSTRUCTION TO REMAIN IN PLACE
- NEW WALL
- FIRE RATED WALL (1 HR)
- FIRE RATED WALL (2 HR)
- INFILL FLOOR
- LOW CEILING AREA



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PROPOSED BASEMENT
PLAN

CLIENT	2222 Q STREET OWNER, LLC
	140 Q ST NE, SUITE 140B WASHINGTON, DC 20002
FMC & ASSOCIATES	3807 GEORGIA AVENUE, NE UNIT C1 WASHINGTON, DC 20011 P. 202.863.0911
	SAH DESIGN GROUP
MECHANICAL	232 DOMINION RD, NE VIENNA, VA 22180 P. 571.276.9733
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2222 Q STREET, NW
2222 Q STREET, NW,
WASHINGTON, DC, 20009

REVISIONS		
1	SD SET	03.07.2025
2	50% PRICING SET	05.28.2025
3	75% CD-PRICING SET	07.11.2025

DATE:	01/28/25
PROJECT NO:	2024-044
DRAWN BY:	SBS
CHECKED BY:	JD

Scope of Building Rehabilitation

- Comprehensive upgrades to electrical and plumbing systems and light fixtures throughout the building with current, more environmentally sustainable systems.
- Removal of outdated gas burning furnace and hazardous diesel storage tank located in the basement referenced in Phase I Environmental Site Assessment Report.
- Removal of lead-based paint and asbestos throughout the building referenced in environmental reports.
- Full roof replacement and waterproofing to address water intrusion into the 5th floor.
- Demolition and removal of interior partition walls with severe water damage and mold.
- Updates to extremely dated, century-old elevator system.
- Installation of a modern, energy-efficient HVAC system throughout the building to replace current window units and outdated gas burning furnace system.
- Full replacement of deteriorated windows throughout the building with new, energy-efficient windows. New windows must meet historic preservation and CFA design and material specifications.
- All-new trash and recycling chute system throughout building; will help address ongoing rodent issues in the public alley.
- Repair, restoration, and updates to deteriorated, damaged, and dated finishes throughout building.
- Restoration, repair, and cleaning of historic limestone façade.
- Repairs to existing ventilation shaft that has significant water damage.
- Installation of a new building sprinkler system.
- Installation of new security features throughout building, including access controls, smart unit locks, and security cameras.
- Updates to current dated building entrance, including installation of an awning.
- Installation of a new roof observation deck to serve as an amenity and outdoor access for building residents

Use Variance Standard

Exceptional Condition

- Several factors together affect the property to result in an exceptional condition.
- Only R-zoned large multifamily building in the area (within the Square and several surrounding Squares).
- Pre-dates 1958 Zoning Regulations and was constructed when apartment houses were permitted in the area.
- Must compete with nearby multifamily buildings that are zoned MU and RA, where additional units may be added.
- Building is in a severe state of disrepair with significant rehabilitation and restoration, including addressing environmental conditions, required to meet modern living standards and life/safety requirements.
- Building is a contributing structure in the Sheridan-Kalorama Historic District and subject to CFA review under the Shipstead-Luce Act.

Undue Hardship

- Cellar space cannot be put to a conforming use with a fair and reasonable return given the significant investment needed to rehabilitate the building, resulting in significant economic impact to the Applicant absent a variance.
- Work needed to restore the building, address disrepair, dated critical building systems, and environmental conditions is a tremendous undertaking that far exceeds the scope of a typical building renovation and requires a significant financial investment.
- Building must compete with other nearby residential buildings that are zoned to permit a “value-add” in the form of additional units to support improvements and maintenance needs.
- Applicant faces the current extremely challenging financing environment but has nonetheless been able to secure a loan for the project. However, the project financing is structured such that the loan will be reduced by **over 27%** if the 4 new cellar units are not permitted.
- With reduced financing, the Applicant would be forced to eliminate a large portion of the proposed repairs, improvements and restoration work. Applicant’s internal rate of return would be reduced by an estimated **37%** absent a variance, representing a significant, immediate economic impact.
- There is no alternative use for the cellar space that would provide a reasonable and fair return to support the necessary improvements proposed by the Applicant. The space does not have an adequate clear height to serve as common amenity space, and other uses, such as storage, would not provide a comparable return.

Use Variance Standard

No Substantial Detriment to the Public Good or Impairment of the Zone Plan

- Requested relief will allow the creation of 4 new units of housing, including 3 two-bedroom units and 1 three-bedroom unit, where there is a very high demand for new housing.
- The additional 4 units will support highly beneficial updates and rehabilitation work to restore the building to modern living standards and life/safety requirements, remove environmentally hazardous conditions, and replace dated critical building systems with modern, more environmentally sustainable, energy-efficient systems.
- The Project will reinforce the stated goals of the R Zones to “[r]ecognize and reinforce the importance of neighborhood character, walkable neighborhoods, housing affordability . . . preservation of housing stock, [and] improvements to the overall environment.” 11-D DCMR Section 101.2(b).
- Proposed 4 additional units will not change the size, massing or appearance of the historic structure and will not have any impact on light, air or privacy to neighboring properties.
- The project will preserve and add new units located less than ½ mile from the Dupont Circle Metro Station.

ANC and District Agency Support

- ANC 2D – Voted unanimously in support (Ex. 19)
- Office of Planning – Recommends approval (Ex. 25)
- DDOT – No objection (noted in OP Report)



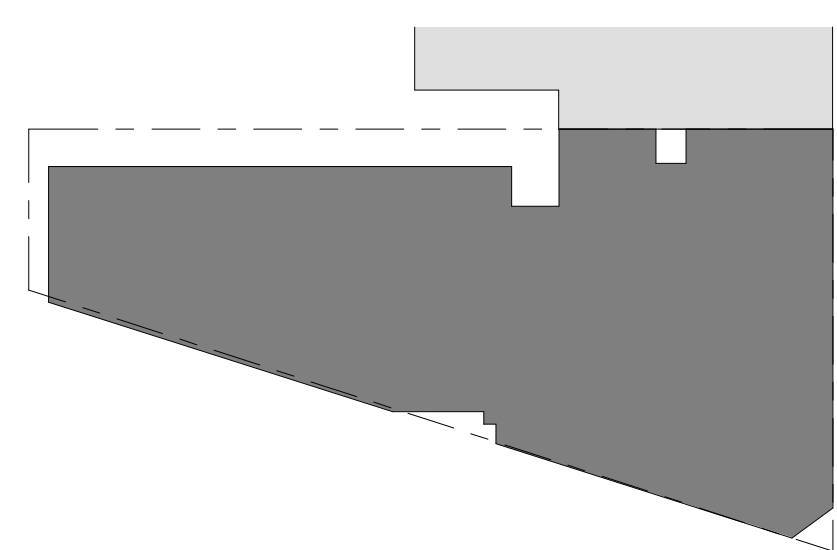
1 NORTH ELEVATION
A-9 1/4" = 1'-0"

GENERAL NOTES

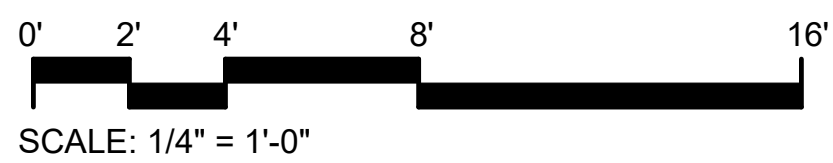
- DO NOT SCALE DRAWINGS - DIMENSIONS GOVERN. VERIFY DIMENSIONS WITH FIELD CONDITIONS. IF DISCREPANCIES ARE DISCOVERED BETWEEN FIELD CONDITIONS AND DRAWINGS, CONTACT ARCHITECT FOR RESOLUTION BEFORE PROCEEDING.
- ALL DIMENSIONS ARE SHOWN FROM FINISHED FACE OF WALL TO FINISHED FACE OF WALL U.N.O.
- "ALIGN" MEANS SIMILAR COMPONENTS OF CONSTRUCTION SHALL BE IN THE SAME PLANE ACROSS VOIDS.
- DASHED LINE INDICATES SOFFIT OR OTHER CONSTRUCTION ABOVE.
- ALL ROOFING INSTALLATION WILL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ROOFING CONTRACTORS ASSOCIATION (NRCA) AND THE MANUFACTURER'S RECS. AND RECOMMENDATIONS.
- ROOF SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH ASCE 7 WIND UPLIFT REQUIREMENTS.

SHEET NOTES

- REPAIR PARAPET CAP, FLASHING, AND WATERPROOFING.
- REPAIR PENETRATIONS, GAPS AND HOLES IN THE CORNICE SYSTEM.
- REPAIR RUSTING AND DETERIORATING COLUMN AT COLUMN BASE.
- FILL IN PARTIAL HEIGHT BRICK WALL AND CONSTRUCT NEW WINDOW SILL TO MATCH EXISTING ADJACENT.
- INSTALL INSULATION IN ATTIC SPACE.
- INFILL EXISTING OPENING AND PAINT TO MATCH ADJACENT BRICK.
- POWER WASH ENTIRE FACADE.
- REPAIR ENTRY STAIR AND WALKWAY TO THE BUILDING.
- INSTALL STANCHION AND DOORING WITH ACCESS CONTROL. SEE DOORING DETAIL @ SHEET A0900.
- COORDINATE W/ OWNER FOR SPECIFICATION, CONDUIT TO DOORING TO BE CONCEALED IN CONCRETE STEPS.
- INSTALL BUILDING SIGNAGE.
- CLEAN & REPAIR STUCCO WHERE NEEDED. REPAIR STUCCO CRACKING AT CHIMNEY.
- NEW FULL LIGHT DOUBLE ALUM DOOR WITH ACCESS CONTROL. SEE DOOR SCHEDULE.
- CLEAN AND REPAIR EXISTING RAILING.
- REPLACE EXISTING WINDOWS WITH ALUMINUM WINDOWS IN ALL FACADES. WINDOW OPENING CONTROL DEVICES COMPLYING WITH ASTM F 2089 SHALL BE INSTALLED.
- REPAIR BRICK BOTTOM EDGE IN NORTH ELEVATION.
- PROVIDE NEW SECURITY GRILL IN BASEMENT NORTH, SOUTH AND WEST SIDE WINDOWS, TYP.
- NEW SERVICE RAMP.
- INFILL AND PAINT TO MATCH EXISTING ADJACENT BRICK.
- SAND AND PAINT TRIM AROUND DOOR.
- NEW MECHANICAL VENT. REFER TO MECHANICAL DRAWINGS FOR SIZE AND ADDITIONAL INFO.
- EXISTING FIRE ESCAPE TO REMAIN IN PLACE.
- EXISTING GUTTER TO BE REPLACED.
- NEW CANOPY STRUCTURE.
- NEW ENLARGED WINDOW.
- EXISTING SKYLIGHT TO BE REPLACED.
- PROPOSED WINDOW WELLS.
- PROPOSED RETAINING WALL BEYOND, SEE STRUCTURAL DRAWING.
- NEW ALUM. WINDOW BEYOND.
- INFILL WITH MASONRY TO MATCH ADJACENT. SEE INFILL DETAIL 3/A1000.
- FIXED WINDOW. SEE WINDOW SCHEDULE.
- MECHANICAL LOUVER. SEE MEP DRAWING. CONFIRM MINIMUM 3'-0" DISTANCE FROM OPERABLE WINDOW, TYP.
- NEW ALUM. EXTERIOR DOUBLE DOOR. SEE DOOR SCHEDULE.
- NEW STEEL COLUMN AND BEAMS. SEE STRUCTURAL DRAWINGS.
- NEW ROOF OBSERVATION DECK.



KEY PLAN



SCALE: 1/4" = 1'-0"

BUILDING ELEVATION-NORTH

2222 Q STREET OWNER, LLC

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2222 Q STREET, NW
2222 Q STREET, NW
WASHINGTON, DC 20009

REVISIONS

1	DD SET	04.30.2025
2	50% PRICING SET	05.28.2025
3	75% CD-PRICING SET	07.11.2025

DATE: 04/25/25
PROJECT NO: 2024-044
DRAWN BY: SBS
CHECKED BY: JD

FEBRUARY 17, 2026

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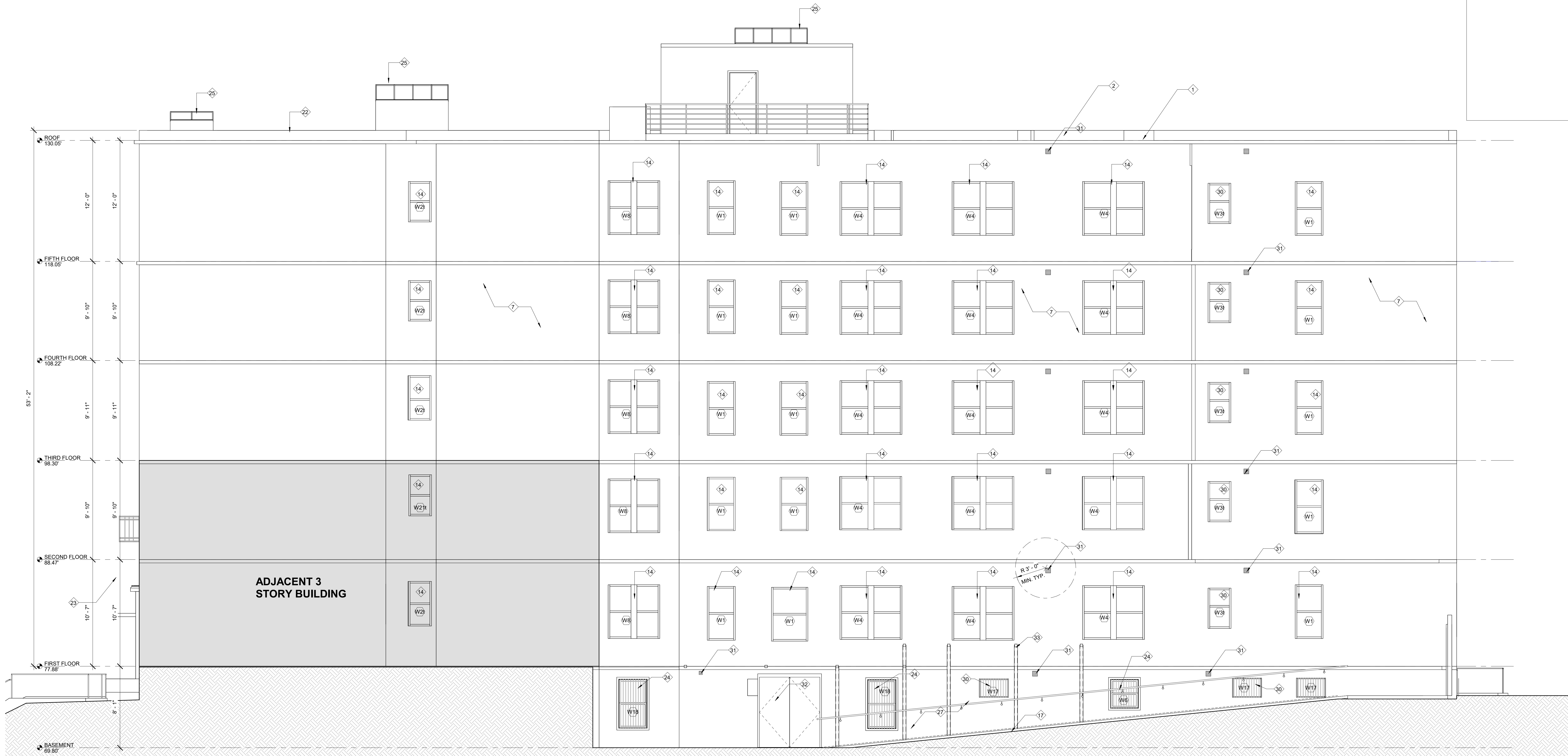
BUILDING ELEVATION

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A-9



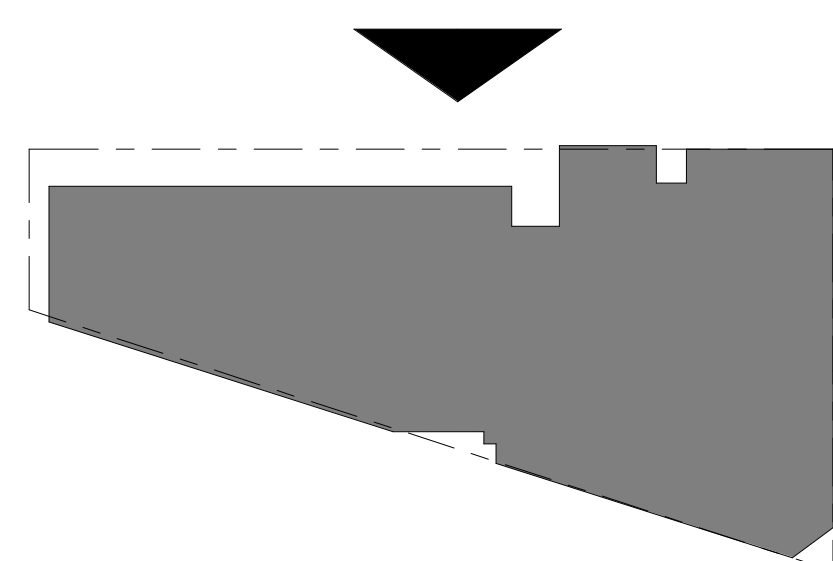
1 WEST ELEVATION
A-10 1/4" = 1'-0"

GENERAL NOTES

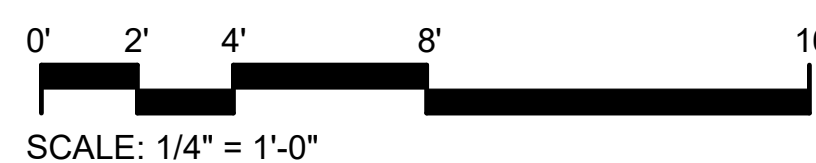
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SHEET NOTES

- REPAIR PARAPET CAP, FLASHING, AND WATERPROOFING.
- REPAIR PENETRATIONS, GAPS AND HOLES IN THE CORNICE SYSTEM.
- REPAIR RUSTING AND DETERIORATING COLUMN AT COLUMN BASE.
- FILL IN PARTIAL HEIGHT BRICK WALL AND CONSTRUCT NEW WINDOW SILL TO MATCH EXISTING ADJACENT.
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- REPAIR ENTRY STAIR AND WALKWAY TO THE BUILDING.
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- COORDINATE W/ OWNER FOR SPECIFICATION. CONDUIT TO DOORING TO BE CONCEALED IN CONCRETE STEPS.
- INSTALL BUILDING SIGNAGE.
- CLEAN & REPAIR STUCCO WHERE NEEDED. REPAIR STUCCO CRACKING AT CHIMNEY.
- NEW FULL LIGHT DOUBLE ALUM DOOR WITH ACCESS CONTROL. SEE DOOR SCHEDULE.
- CLEAN AND REPAIR EXISTING RAILING.
- REPLACE EXISTING WINDOWS WITH ALUMINUM WINDOWS IN ALL FACADES. WINDOW OPENING CONTROL DEVICES COMPLYING WITH ASTM F 2090 SHALL BE INSTALLED.
- REPAIR BRICK BOTTOM EDGE IN NORTH ELEVATION.
- PROVIDE NEW SECURITY GRILL IN BASEMENT NORTH, SOUTH AND WEST SIDE WINDOWS, TYP.
- NEW SERVICE RAMP.
- INFILL AND PAINT TO MATCH EXISTING ADJACENT BRICK.
- SAND AND PAINT TRIM AROUND DOOR.
- NEW MECHANICAL VENT. REFER TO MECHANICAL DRAWINGS FOR SIZE AND ADDITIONAL INFO.
- EXISTING FIRE ESCAPE TO REMAIN IN PLACE.
- EXISTING GUTTER TO BE REPLACED.
- NEW CANOPY STRUCTURE.
- NEW ENLARGED WINDOW.
- EXISTING SKYLIGHT TO BE REPLACED.
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- PROPOSED RETAINING WALL BEYOND. SEE STRUCTURAL DRAWING.
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- EXISTING SKYLIGHT TO BE REPLACED.
- MECHANICAL LOUVER. SEE MEP DRAWING. CONFIRM MINIMUM 3'-0" DISTANCE FROM OPERABLE WINDOW, TYP.
- NEW ALUM. EXTERIOR DOUBLE DOOR. SEE DOOR SCHEDULE.
- NEW STEEL COLUMN AND BEAMS. SEE STRUCTURAL DRAWINGS.
- NEW ROOF OBSERVATION DECK.



KEY PLAN



SCALE: 1/4" = 1'-0"

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2222 Q STREET, NW,
WASHINGTON, DC, 20009

REVISIONS

1	SD SET	03.07.2025
2	DD SET	04.30.2025
3	50% PRICING SET	05.28.2025
4	75% CD-PRICING SET	07.11.2025

DATE: 01/04/16
PROJECT NO: 2024-044
DRAWN BY: SBS
CHECKED BY: JD

FEBRUARY 17, 2026

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BUILDING ELEVATION- WEST

BUILDING ELEVATION

A-10



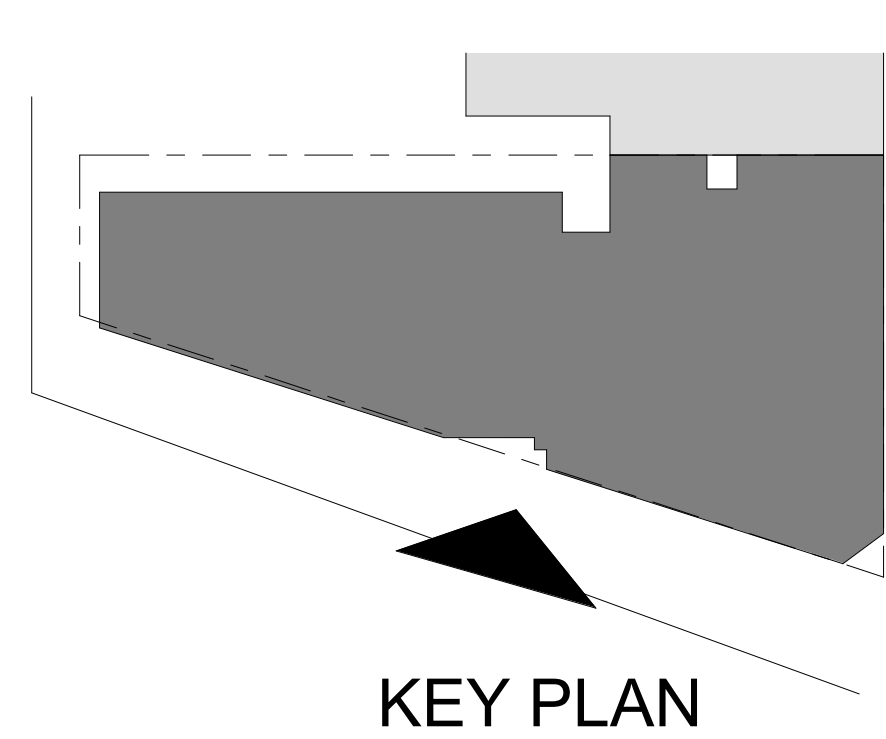
1 EAST ELEVATION
A-11 1/4" = 1'-0"

GENERAL NOTES

- DO NOT SCALE DRAWINGS - DIMENSIONS GOVERN. VERIFY DIMENSIONS WITH FIELD CONDITIONS. IF DISCREPANCIES ARE DISCOVERED BETWEEN FIELD CONDITIONS AND DRAWINGS, CONTACT ARCHITECT FOR RESOLUTION BEFORE CONSTRUCTION.
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SHEET NOTES

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- REPAIR PENETRATIONS, GAPS AND HOLES IN THE CORNICE SYSTEM.
- REPAIR RUSTING AND DETERIORATING COLUMN AT COLUMN BASE.
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- INFILL EXISTING OPENING AND PAINT TO MATCH ADJACENT BRICK.
- POWER WASH ENTIRE FACADE.
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- INSTALL STANCHION AND DOORKING WITH ACCESS CONTROL. SEE DOORKING DETAIL @ SHEET A0800. COORDINATE W/ OWNER FOR SPECIFICATION. CONDUIT TO DOORKING TO BE CONCEALED IN CONCRETE STEPS.
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- NEW ALUM. EXTERIOR DOUBLE DOOR. SEE DOOR SCHEDULE.
- NEW STEEL COLUMN AND BEAMS. SEE STRUCTURAL DRAWINGS.
- NEW ROOF OBSERVATION DECK.



0' 2' 4' 8' 16'
SCALE: 1/4" = 1'-0"

BUILDING ELEVATION- EAST

FEBRUARY 17, 2026
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WASHINGTON, DC, 20009

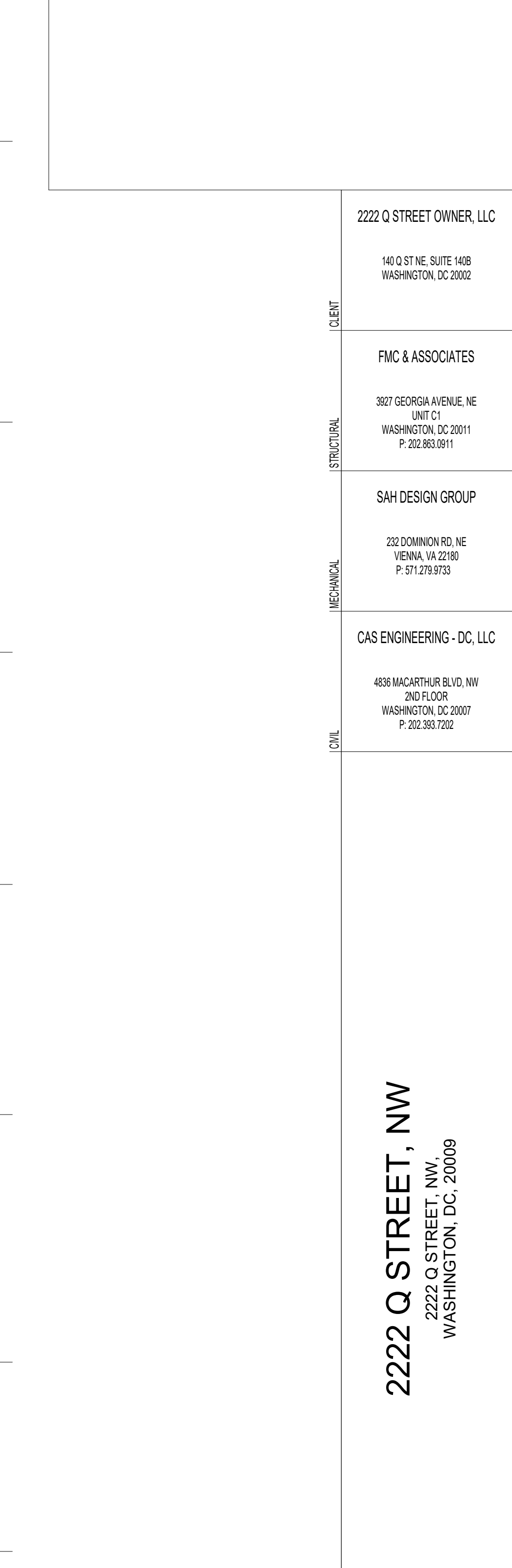
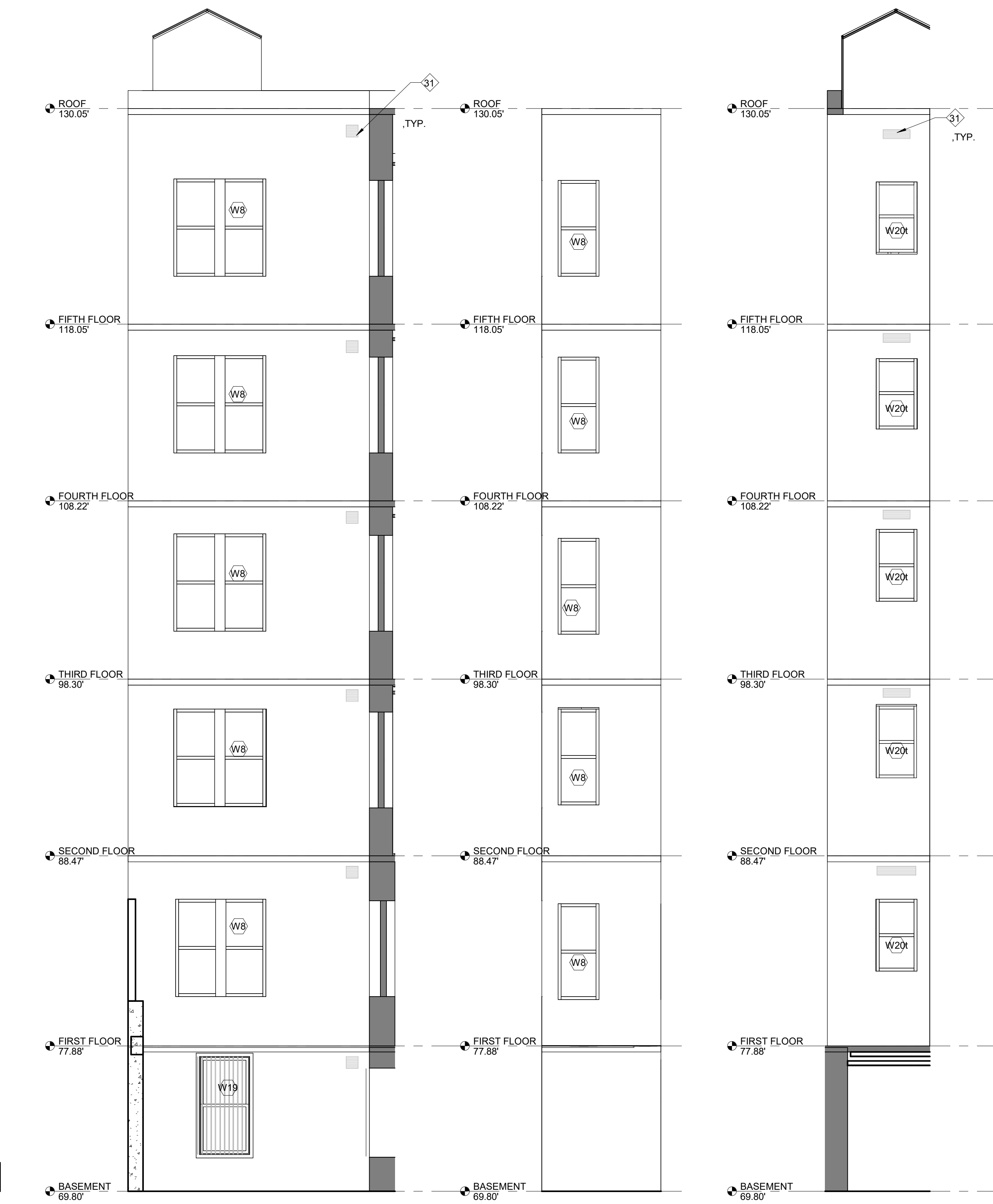
REVISIONS

1	SD SET	03.07.2025
2	DD SET	04.30.2025
3	50% PRICING SET	05.28.2025
4	75% CD-PRICING SET	07.11.2025

DATE: 01/04/16
PROJECT NO.: 2024-044
DRAWN BY: SBS
CHECKED BY: JD

BUILDING ELEVATION

A-11



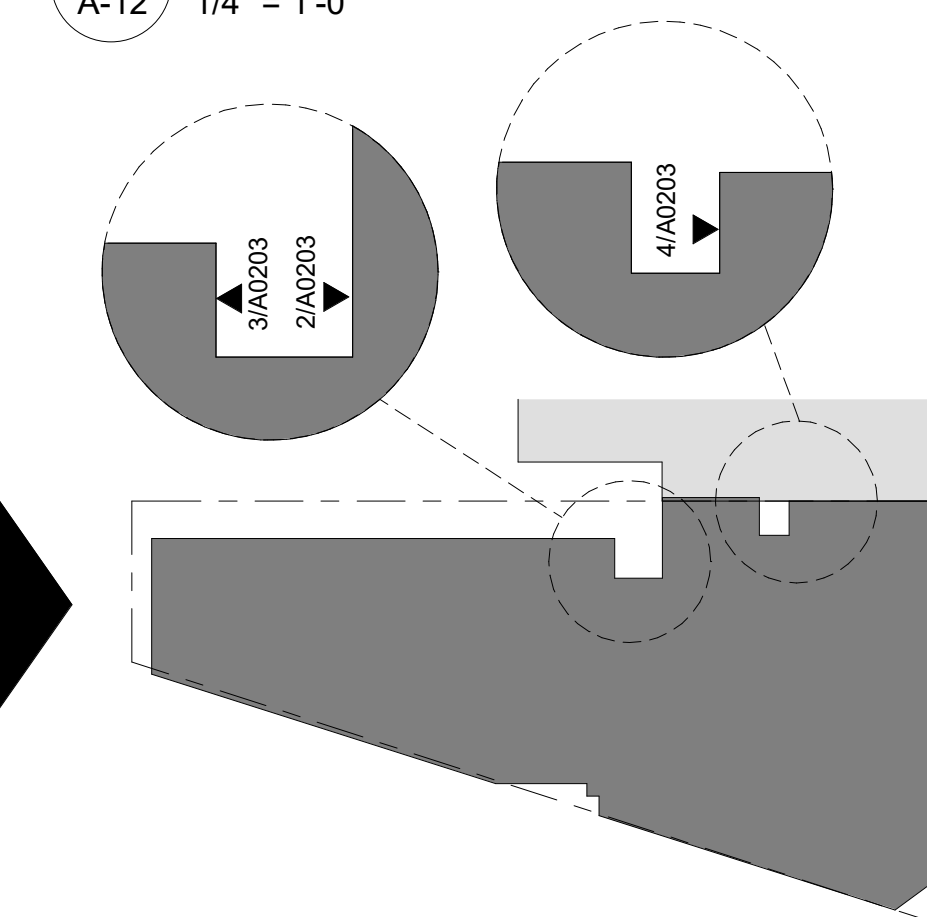
GENERAL NOTES

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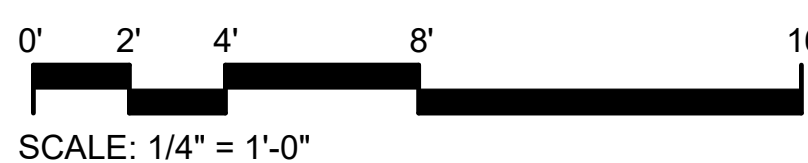
SHEET NOTES

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- REPAIR FLUTING AND DETERIORATING COLUMN AT COLUMN BASE.
- FILL IN PARTIAL HEIGHT BRICK WALL AND CONSTRUCT NEW WINDOW SILL TO MATCH EXISTING ADJACENT.
- INSTALL INSULATION IN ATTIC SPACE.
- INFILL EXISTING OPENING AND PAINT TO MATCH ADJACENT BRICK.
- POWER WASH ENTIRE FACADE.
- REPAIR ENTRY STAIR AND WALKWAY TO THE BUILDING.
- INSTALL STANCHION AND DOORWORK WITH ACCESS CONTROL. SEE DOORWORK DETAIL @ SHEET A1000.
- COORDINATE WITH OWNER FOR SPECIFICATION. CONDUIT TO DOORWORK TO BE CONCEALED IN CONCRETE STEPS.
- INSTALL BUILDING SIGNAGE.
- CLEAN & REPAIR STUCCO WHERE NEEDED. REPAIR STUCCO CRACKING AT CHIMNEY.
- NEW FULL LIGHT DOUBLE ALUM. DOOR WITH ACCESS CONTROL. SEE DOOR SCHEDULE.
- CLEAN AND REPAIR EXISTING RAILING.
- REPLACE EXISTING WINDOWS WITH ALUMINUM WINDOWS IN ALL FACADES. WINDOW OPENING CONTROL DEVICES COMPLYING WITH ASTM F 2000 SHALL BE INSTALLED.
- REPAIR BRICK BOTTOM EDGE IN NORTH ELEVATION.
- PROVIDE NEW SECURITY GRILL IN BASEMENT NORTH, SOUTH AND WEST SIDE WINDOWS, TYP.
- NEW SERVICE RAMP.
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- NEW STEEL COLUMN AND BEAMS. SEE STRUCTURAL DRAWINGS.
- NEW ROOF OBSERVATION DECK.

1/A0203



KEY PLAN



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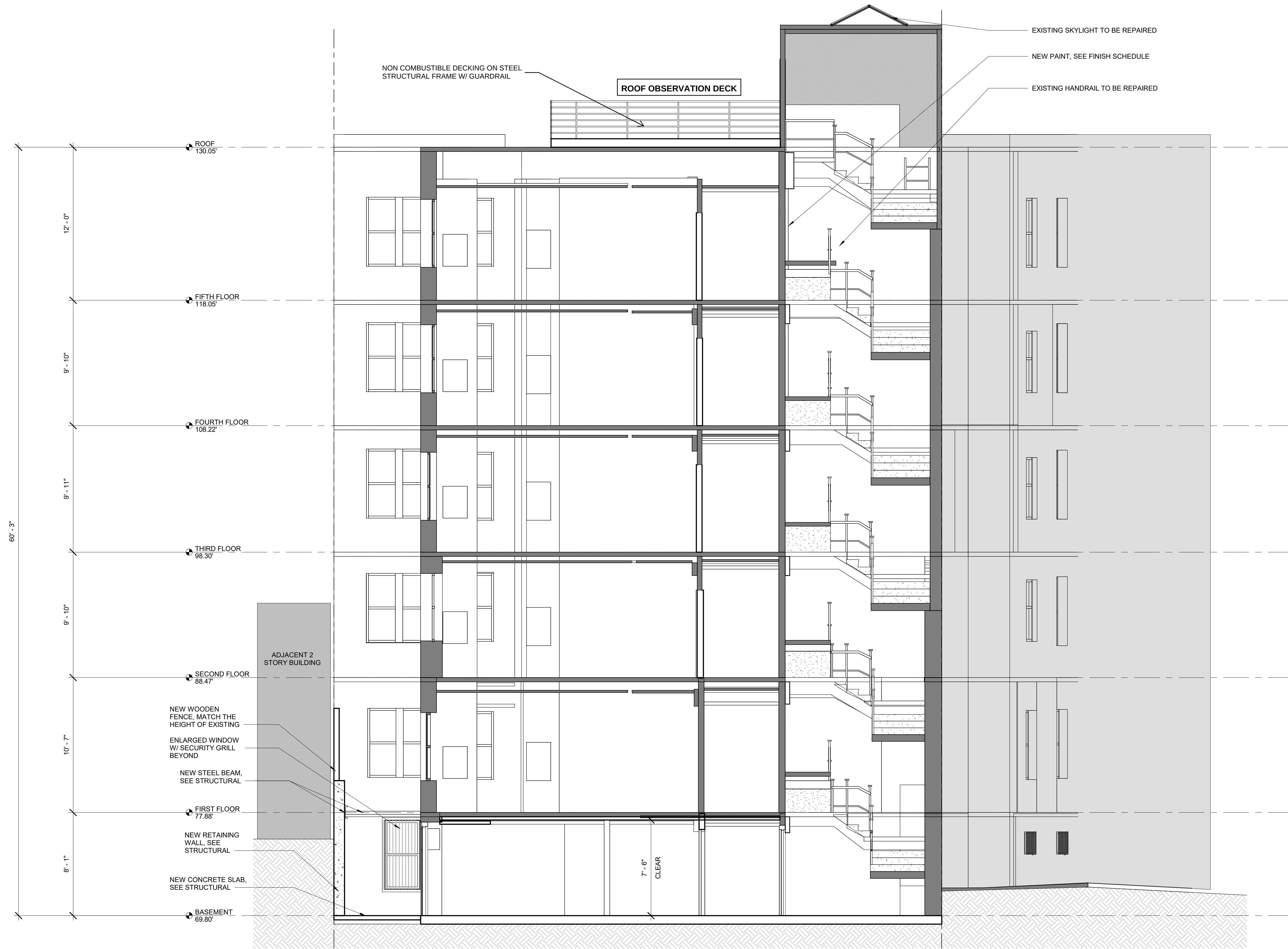
A-12

CLIENT	2222 Q STREET OWNER, LLC
	140 Q ST NE, SUITE 1408 WASHINGTON, DC 20002
FMC & ASSOCIATES	3807 GEORGIA AVENUE, NE UNIT C1 WASHINGTON, DC 20011 P. 202.863.0911
	SAH DESIGN GROUP
232 DOMINION RD, NE VIENNA, VA 22180 P. 571.276.9733	
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4836 MACARTHUR BLVD. NW WASHINGTON, DC 20007 P. 202.383.7202	

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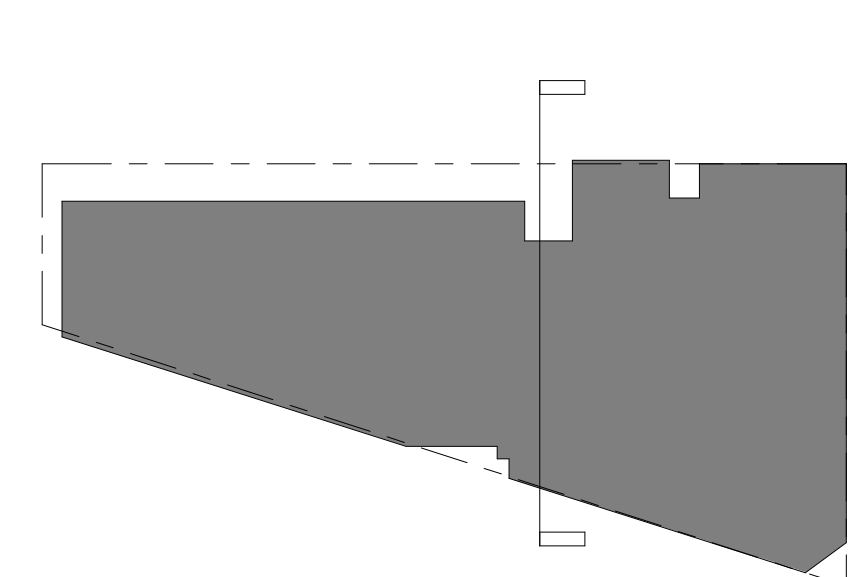
REVISIONS		
1	SD SET	03.07.2025
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PROJECT NO:	2024-044
DRAWN BY:	SBS
CHECKED BY:	JD

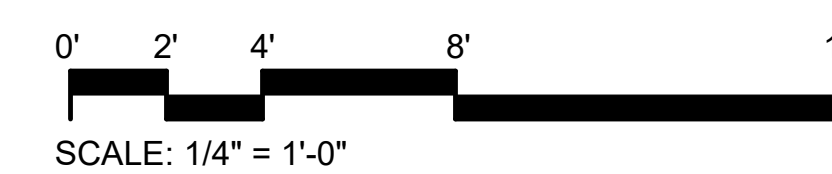


1 SECTION A-A
A-13 1/4" = 1'-0"

BUILDING SECTION



KEY PLAN



SCALE: 1/4" = 1'-0"

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BUILDING SECTION

A-13