

BZA Case No. 21438 – 406 8th Street, SE

Emerald Wings, LLC

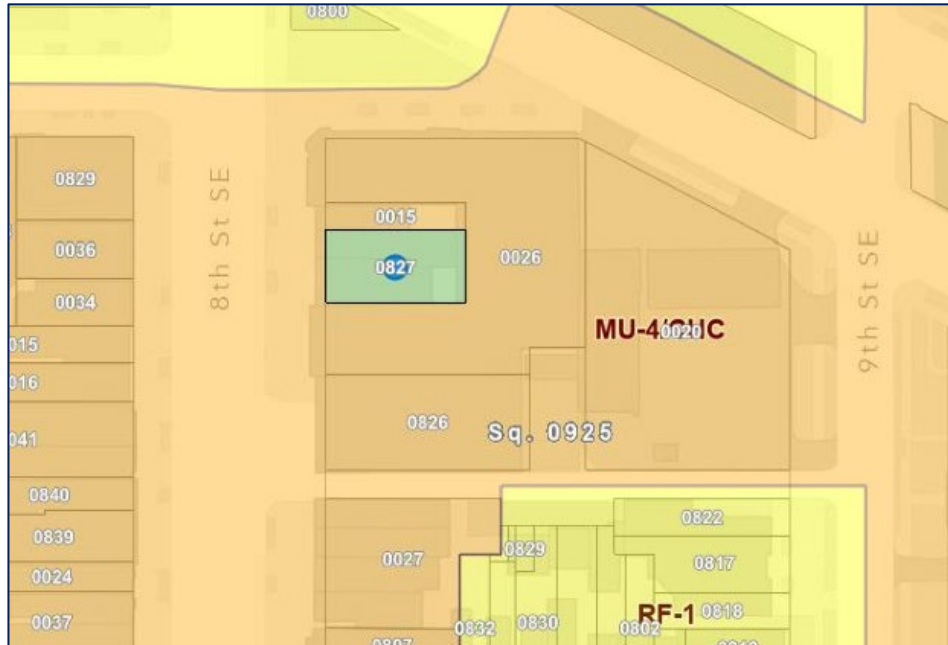
Public Hearing
June 17, 2026

Holland & Knight

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Board of Zoning Adjustment
District of Columbia
CASE NO. 21438
EXHIBIT NO. 39

Property – 406 8th Street, SE



- MU-4/CHC zone
- Land area – 2,888 sq. ft.
- Improved with an attached, three-story brick building that has ground floor retail and office uses above



Application Overview

- Relief Requested
 - Special exception approval for a fast food restaurant use at the property, which is in the MU-4/CHC zone; and
 - Special exception relief from Subtitle U § 513.1(e)(2) relating to the refuse dumpster requirements.
- Project
 - Applicant proposes to reconfigure the existing tenant space on the first floor of the building, which consists of approximately 1,274 square feet of GFA, to accommodate a Wingstop.

Review by District Agencies

- Office of Planning (OP)
 - Recommended approval in report on May 29, 2026 (Exhibit 31)
- District Department of Transportation (DDOT)
 - No objection to approval (Exhibit 30)
- Fire and Emergency Medical Services (FEMS)
 - No objection to request (Exhibit 29)
- ANC 6B voted to support application on June 9, 2026, subject to MOA (Exhibit 32A)

Community Outreach

- 12/8/25 – Meeting with Commissioner Brian Gorman (SMD, 6B04)
- 1/8/26 – ANC 6B P&Z Committee Meeting
- 1/15/26 – Meeting with ANC 6B Commissioners
- 2/5/26 – Meeting with P&Z Committee
- 2/11/26 – Community Meeting at Property
- 3/2/26 – Virtual Meeting with Neighborhood Stakeholders
- 3/4/26 – Meeting with Fire Station
- 3/4/26 – Capitol Hill Restoration Society Zoning Committee
- 3/5/26 – ANC 6B P&Z Committee Meeting
- 3/9/26 – Virtual Meeting with Neighborhood Stakeholders
- 4/13/26 – ANC 6B P&Z Committee Meeting
- 4/30/26 – Meeting with Fire Station, DDOT, and Dept. of For-Hire Vehicles at PM Peak Hour
- 5/4/26 – Meeting at Property with Engineers
- 5/7/26 – ANC 6B P&Z Committee Meeting
- 6/4/26 – ANC 6B P&Z Committee Meeting
- 6/9/26 – ANC 6B Regular Meeting

Summary of Conditions Proposed for Order

From Memorandum of Agreement at Ex. 32A

1. **Term Limit and Applicant's Good Faith Commitment.** Approval limited to 10 years following the issuance of a certificate of occupancy; designation of community liaison to address concerns related to operation of establishment.
2. **Hours of Operation.** Sunday-Thursday: 10:30 a.m.- Midnight; Friday and Saturday: 10:30 a.m.-2 a.m. with last hour limited to mobile and online orders.
3. **Restaurant Trash and Recycling Pick-Ups.** Onsite storage of trash and recycling in enclosed, refrigerated storage area as shown on plan attached to MOA. Trash Pick-Up – 6 days per week. Recycling Pick-Up – 5 days per week.
4. **Grease Collection, Storage & Removal.** Applicant will install a grease interceptor and oil collection system store used cooking grease on site.
5. **Rodent and Pest Control.** Monthly extermination service.

Summary of Conditions Proposed for Order

From Memorandum of Agreement at Ex. 32A

6. **Customer Trash Receptable.** Trash receptacle in customer waiting/pick-up area to reasonably discourage littering in/around property.
7. **No Littering Sign.** Installation of anti-littering sign prior to issuance of certificate of occupancy.
8. **Pollution Control Unit.** Applicant will install PCU in substantial conformance to plans attached to MOA.
9. **Minor Design Flexibility.** Applicant is granted minor design flexibility as may be required by field conditions, permitting requirements and Historic Preservation review/requirements, provided overall intent of Conditions 3 and 8 and exhibits to MOA are maintained, and changes do not materially increase external impacts.
10. **Instructions for Delivery Drivers.** Applicant will use commercially reasonable efforts to guide app-based delivery drivers to adhere to all signage along bus lane and to only park or stand in legal spaces. Instructions shall specifically include a note that parking or standing in front of the fire station driveway is prohibited.

Special Exception Criteria

Subtitle X § 901.2

- 901.2 The Board of Zoning Adjustment is authorized under § 8 of the Zoning Act, D.C. Official Code § 6-641.07(g)(2), to grant special exceptions, as provided in this title, where, in the judgment of the Board of Zoning Adjustment, the special exceptions:
- (a) Will be in harmony with the general purpose and intent of the Zoning Regulations and Zoning Maps;
 - (b) Will not tend to affect adversely, the use of neighboring property in accordance with the Zoning Regulations and Zoning Maps; and
 - (c) Will meet such special conditions as may be specified in this title.

Relief granted through a special exception **is presumed appropriate, reasonable, and compatible** with other uses in the same zoning classification, **provided the application satisfies the specific requirements for the relief requested.** In reviewing an application for special exception relief, “[t]he Board’s discretion . . . is limited to a determination of whether the exception sought meets the requirements of the regulation.” *First Baptist Church of Washington v. District of Columbia Bd. of Zoning Adjustment*, 423 A.2d 695, 706 (D.C. 1981) (quoting *Stewart v. District of Columbia Bd. of Zoning Adjustment*, 305 A.2d 516, 518 (D.C. 1973)).

Special Exception Criteria – Justification

Fast Food Establishment in the MU-4/CHC Zone - Subtitle U § 513.1(e)

- (a) “Will ***be in harmony with the general purpose and intent*** of the Zoning Regulations and Zoning Maps”
- The MU-4/CHC zone encourages the “adaptive use and reuse of existing buildings” and is intended to “concentrate non-residential uses in commercial zones in certain areas of Capitol Hill” to protect the residential character of the area.
 - The proposed use aligns with the purposes of the MU-4/CHC zones and will blend seamlessly with the surrounding area, which includes a variety of types of commercial uses.
- (b) “Will ***not tend to affect adversely affect*** the use of neighboring property”
- The Property is primarily surrounded by commercial uses of similar intensity and character.
 - The Applicant and ANC 6B entered into MOA that includes commitments intended to mitigate potential impacts from proposed use. (Ex. 32A)
- (c) “Will meet such ***special conditions*** as may be specified in this title”

Special Exception Criteria - Justification

Special Conditions of a Fast Food Use in MU-4/CHC Subtitle – U § 513.1(e)

- (1) If the use is a single tenant in a detached building:
- (A) No part of the lot on which the use is located shall be within twenty-five feet (25 ft.) of a R, RF, or RA zone, unless separated therefrom by a street or alley; and
- (B) If any lot line of the lot abuts an alley containing a zone district boundary line for a residential zone, a continuous brick wall at least six feet (6 ft.) high and twelve inches (12 in.) thick shall be constructed and maintained on the lot along the length of that lot line. The brick wall shall not be required in the case of a building that extends for the full width of its lot;

- N/A – the existing building is an attached, three-story building with ground floor retail and office use above.

Special Exception Criteria - Justification

Special Conditions of a Fast Food Use in MU-4/CHC Subtitle – U § 513.1(e)

(2) Any refuse dumpster used by the establishment shall be housed in a three (3)-sided enclosure equal in height to the dumpster or six feet (6 ft.) high, whichever is greater. The entrance to the enclosure shall include an opaque gate. The entrance shall not face or be within ten feet (10 ft.) of a R, RF, or RA zone;

- Applicant is seeking relief from this requirement.

(3) The use shall not include a drive-through;

- The proposed fast food use does not include a drive-through component.

Special Exception Criteria - Justification

Special Conditions of a Fast Food Use in MU-4/CHC Subtitle – U § 513.1(e)

(4) The use shall be designed and operated so as not to become objectionable to neighboring properties because of noise, sounds, odors, lights, hours of operation, or other conditions;

- The Applicant and ANC 6B entered into MOA that includes commitments intended to mitigate potential impacts related to the proposed use, including odor, hours of operation, and other conditions. (Ex. 32A)

(5) The use shall provide sufficient off-street parking, but not less than that required by Subtitle C, Chapter 7 to accommodate the needs of patrons and employees;

- The proposed use does not trigger this requirement given that the restaurant will not exceed 3,000 sq. ft. of GFA.

Special Exception Criteria - Justification

Special Conditions of a Fast Food Use in MU-4/CHC Subtitle – U § 513.1(e)

(6) The use shall be located and designed so as to create no dangerous or otherwise objectionable traffic conditions; and

- DDOT is installing a bus lane and changing parking on 8th Street corridor, which will improve traffic conditions. (Ex. 26C)
- Applicant agrees to instruct delivery drivers to adhere to signage and parking restrictions, including in front of fire station. (Ex. 32A)

(7) The Board of Zoning Adjustment may impose conditions pertaining to design, screening, lighting, soundproofing, off-street parking spaces, signs, method and hours of trash collection, or any other matter necessary to protect adjacent or nearby property;

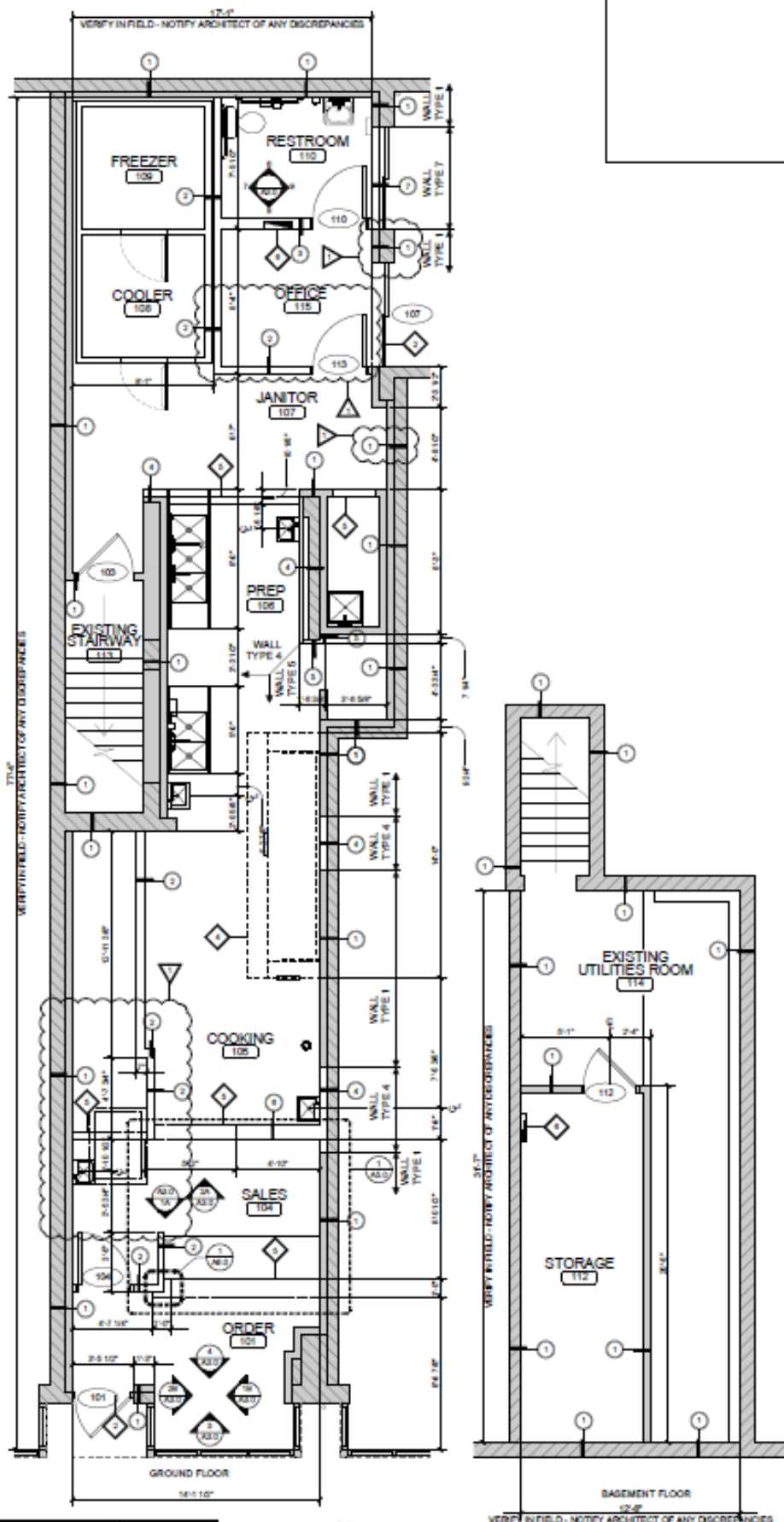
- The Applicant requests that the BZA include Conditions 1-10 of MOA into BZA Order approving the application.

Requested Relief – Special Exception

From the refuse dumpster requirements of Subtitle U § 513.1(e)(2)

(2) Any refuse dumpster used by the establishment shall be housed in a three (3)-sided enclosure equal in height to the dumpster or six feet (6 ft.) high, whichever is greater. The entrance to the enclosure shall include an opaque gate. The entrance shall not face or be within ten feet (10 ft.) of a R, RF, or RA zone;

- Applicant agrees to provide onsite storage of trash and recycling in enclosed refrigerated storage areas. Trash/recycle storage will not be within 10 feet of residential zone.



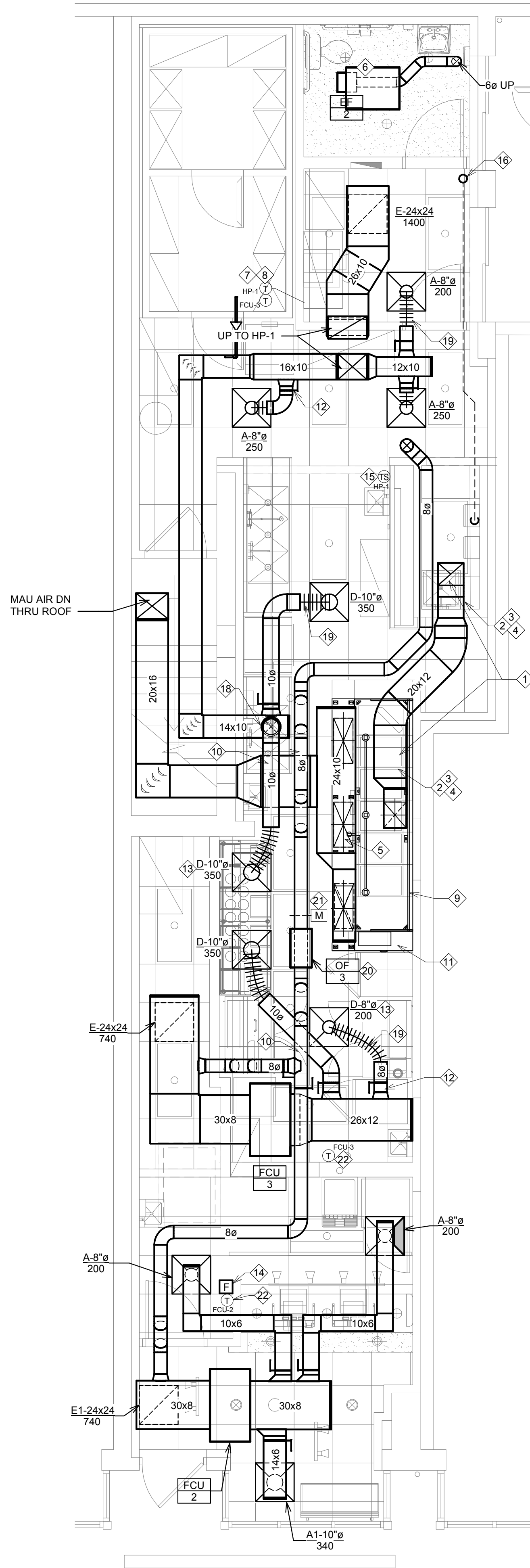
NOTE:
REFER TO A00 FOR GENERAL NOTES
AND NOTES TO BIDDERS



ARCHITECTURAL FLOOR PLAN

10' x 10'

EXHIBIT 1



1 MECHANICAL FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES:

- INSTALL VOLUME DAMPER IN DUCT TAKE-OFF TO EACH DIFFUSER, GRILLE, AND REGISTER.
- ALL DUCT DIMENSIONS ARE CLEAR INSIDE DIMENSIONS. CONTRACTOR MAY, AT THEIR OPTION, REPLACE RECTANGULAR DUCTWORK SHOWN WITH ROUND, SPIRAL DUCT OF EQUIVALENT CAPACITY.
- IN GENERAL, ALL PIPING AND DUCTWORK SHALL BE RUN CONCEALED IN SUSPENDED CEILING SPACES AND IN SHAFTS PROVIDED UNLESS NOTED OR INDICATED OTHERWISE.
- VERIFY ALL DUCT CONNECTION SIZES TO FANS, COILS, AND EXISTING DUCTWORK.
- COOPERATE WITH THE OTHER TRADES TO ELIMINATE ANY CONFLICTS BETWEEN PIPING, DUCTWORK, STRUCTURAL, ELECTRICAL WORK, ETC.
- DIFFUSER, REGISTER, AND SPRINKLER HEAD LOCATIONS SHALL BE COORDINATED WITH LIGHT FIXTURE LOCATIONS AND SHALL BE IN ACCORDANCE WITH CEILING PATTERNS AS SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS.
- ALL SQUARE DIFFUSERS SHALL HAVE THE AIR VOLUME EQUALLY IN FOUR DIRECTIONS UNLESS INDICATED OTHERWISE.
- MECHANICAL CONTRACTOR TO VERIFY RATINGS OF ALL WALLS WITH ARCHITECTURAL DRAWINGS. SEAL PIPE PENETRATIONS TO MATCH THE WALL RATINGS. PROVIDE ALL SUPPLY AND RETURN DUCTS PASSING THROUGH FIRE RATED WALLS WITH APPROVED FIRE DAMPERS.
- RUNOUTS TO DIFFUSERS SHALL BE THE SAME SIZE AS THE DIFFUSERS NECK SIZE.
- TENANT'S CONTRACTORS SHALL VERIFY WITH HVAC PLAN TO COORDINATE THE REQUIREMENT OF PLENUM RATED FIXTURES, PIPING, WIRING, ETC. FAILURE TO DO SO COULD RESULT IN THE REMOVAL AND REPLACEMENT OF THESE ITEMS AT NO ADDITIONAL COST TO THE TENANT - NO PVC PIPING ALLOWED IN PLENUM.
- CONTRACTOR SHALL STENCIL TENANT NAME AND SPACE NUMBER ON UNIT.
- THE TENANT'S MECHANICAL CONTRACTOR SHALL GO TO THE SITE AND VERIFY THE SIZE, DESIGN, SUPPORT AND LOCATION FOR ALL EXISTING AND FUTURE MECHANICAL EQUIPMENT AND UTILITY TAPS PRIOR TO ANY EQUIPMENT ORDERING, WORK, DUCTWORK FABRICATION ETC. NOTIFY THE TENANT'S PROJECT MANAGER OR PROJECT ENGINEER IMMEDIATELY WITH ANY DISCREPANCIES. FAILURE TO DO SO COULD RESULT IN EQUIPMENT AND/OR MATERIALS REPLACEMENT AT NO ADDITIONAL EXPENSE TO THE TENANT.
- ALL EQUIPMENT, INSTALLATIONS, AND MATERIAL SHALL COMPLY WITH ALL APPLICABLE LOCAL CODES AND LANDLORD CRITERIA.
- REMOVE ALL UNUSED PIPING, DUCTWORK, AND ACCESSORIES - DO NOT ABANDON.
- VERIFY LOCATION OF ANY PENETRATION THRU ROOF WITH LANDLORD. ALL ROOF PENETRATIONS, PATCHING, AND FLASHING SHALL BE BY LANDLORD-APPROVED ROOFER AT MECHANICAL CONTRACTOR EXPENSE.
- PRIOR TO OCCUPANCY OF THE PREMISES, GENERAL CONTRACTOR IS REQUIRED TO PROVIDE AN AIR BALANCE REPORT. AN APPROVED, INDEPENDENT, CERTIFIED AIR-BALANCE COMPANY MUST PERFORM THE TEST REPORT.
- LOCATIONS OF MECHANICAL EQUIPMENT SHOWN ON THE MECHANICAL PLANS ARE FOR REFERENCE ONLY. REFER TO STRUCTURAL PLANS FOR EXACT DIMENSIONED LOCATIONS.

GENERAL INSTRUCTION TO BIDDER:

EQUIPMENT SHALL BE TRANE/MITSUBISHI WITH MODELS AND CONFIGURATIONS AS SHOWN. NO SUBSTITUTIONS ALLOWED WITHOUT PRIOR WRITTEN CONSENT FROM OWNER AND ENGINEER. FOR PRICING AND ORDERING PLEASE CONTACT:

CONTACT: WINGSTOP NATIONAL ACCOUNT TEAM
866-986-4822
EMAIL: WINGSTOP@TRANE.COM
ACCOUNT MANAGER: AUSTIN LUPTON

KEY NOTES:

- 16" X 14" DIA. EXHAUST RISER UP FROM HOOD COLLAR. TRANSITION AS SHOWN AND EXTEND DUCT UP THRU ROOF. REFER TO HOOD PLANS FOR MORE INFORMATION.
- PROVIDE 16 GAUGE BLACK IRON GREASE EXHAUST DUCT, WELDED LIQUID TIGHT, FROM HOOD TO FAN ON ROOF. TRANSITION AS REQUIRED FOR CONNECTION TO HOOD AND EXHAUST FAN. REFER TO HOOD MANUFACTURER'S DRAWINGS FOR ADDITIONAL INFORMATION.
- PYROSCAT DUCT WRAP XL (OR EQUAL) PROVIDED BY MECHANICAL CONTRACTOR. INSTALL PER MANUFACTURERS INSTRUCTIONS TO COMPLY WITH ASTM E2336. SEE DETAILS 7/M3 AND 8/M3. COORDINATE QUANTITY OF WRAP WITH SUPPLIER PRIOR TO START OF WORK.
- PROVIDE 16"W X 12"H FIREMASTER F2-HT-XL3 (OR APPROVED EQUAL) ACCESS DOOR WHERE INDICATED AND WHERE OTHERWISE REQUIRED PER LOCAL AUTHORITY HAVING JURISDICTION. DOOR SHALL BE LISTED TO ASTM E2336. COORDINATE WITH GC TO PROVIDE CORRESPONDING CEILING AND WALL ACCESS PANELS AS NECESSARY. SEE DETAIL 7/M3 FOR ADDITIONAL INFORMATION.
- 28"x12" HOOD SUPPLY DUCT RISER UP FROM 28"x12" DUCT COLLAR. EXTEND DUCT UP TO MAIN SUPPLY DUCT. BALANCE AIRFLOW TO 720 CFM EACH.
- EXTEND DUCTS FROM CEILING EXHAUST FAN TO 6" EXHAUST DUCT THROUGH ROOF. TERMINATE ROOF DUCT NO LESS THAN 10'-0" FROM ANY OUTSIDE AIR INTAKE. PROVIDE WEATHERPROOF CAP AND BIRDSCREEN.
- PROVIDE 7-DAY PROGRAMMABLE THERMOSTAT FOR RTU/FCU CONTROL MOUNTED 4'-0" A.F.F. ABOVE MANAGER'S DESK COVERED WITH CLEAR LOCKABLE BOX. THERMOSTAT SHALL HAVE AUTOMATIC NIGHT SET-BACK WITH 5°F DEADBAND, 2-HOUR OCCUPANT OVERRIDE, AND MIN. 10-HOUR BATTERY BACKUP.
- PROVIDE TEST/RESET SWITCH AND PIEZO ALERT SOUNDER AND REMOTE ANNUNCIATOR ALARM LED MOUNTED AS DIRECTED BY LOCAL AHJ. MECHANICAL CONTRACTOR TO PROVIDE ALL REQUIRED INTERLOCK WIRING AND COORDINATE ALL FINAL CONNECTIONS.
- EXHAUST HOOD TO BE FURNISHED BY HOOD VENDOR AND INSTALLED BY MECHANICAL CONTRACTOR. SEE HOOD DRAWINGS FOR ADDITIONAL INFORMATION. SEE ARCHITECTURAL DRAWINGS FOR HOOD MOUNTING LOCATION AND DIMENSIONS.
- INSTALL DUCTWORK AS HIGH AS POSSIBLE, BETWEEN JOISTS. COORDINATE EXACT ROUTING AND HEIGHT OF STRUCTURE IN FIELD.
- FIRE SUPPRESSION SYSTEM FURNISHED BY HOOD VENDOR WITH EXHAUST HOOD. SEE HOOD DRAWINGS FOR DETAILS. MECHANICAL CONTRACTOR SHALL INSTALL OWNER-FURNISHED FIRE SUPPRESSION GAS VALVE AND MAKE ALL ELECTRICAL CONNECTIONS. FIRE SYSTEM HOOKUP IS PROVIDED BY CAPTIVE AIRE.
- VOLUME DAMPER AT DUCT CONNECTION TO MAIN SUPPLY AIR DUCT, TYPICAL.
- PERFORATED SUPPLY AIR GRILLE WITH NO PATTERN CONTROLLER FOR MINIMUM THROW. TYPICAL FOR ALL TYPE D.
- FIRE SUPPRESSION SYSTEM PULL STATION, VERIFY EXACT LOCATION IN FIELD WITH LOCAL CODE OFFICIAL PRIOR TO INSTALLATION.
- PROVIDE COMPATIBLE REMOTE TEMPERATURE SENSOR. CONNECT TO CORRESPONDING THERMOSTAT. MOUNT 60" A.F.F. COORDINATE EXACT LOCATION WITH OWNER ON SITE.
- APPROXIMATE LOCATION OF WATER HEATER COMBUSTION AIR INTAKE AND FLUE. REFER TO SHEET P1 FOR ADDITIONAL INFORMATION. MAINTAIN MINIMUM 10'-0" FROM FRESH AIR INTAKES. COORDINATE TERMINATION LOCATION WITH PLUMBING CONTRACTOR.
- NOT USED.
- DUCT TAKE-OFF ON TOP SIDE OF SUPPLY DUCTWORK. VOLUME DAMPER NOT SHOWN FOR CLARITY.
- FLEX DUCT 5'-0" MAX LENGTH. TYPICAL FOR ALL.
- NEW INLINE OUTDOOR AIR FAN HUNG FROM STRUCTURE ABOVE WITH VIBRATION ISOLATORS. FAN SHALL OPERATE DURING OCCUPIED HOURS. SEE DETAIL 3/M3.
- PROVIDE MOTORIZED OUTDOOR AIR DAMPER, TRANSFORMER, AND LOW VOLTAGE CONTROL WIRING. DAMPER SHALL OPEN TO MINIMUM POSITION DURING OCCUPIED HOURS AND CLOSE DURING UNOCCUPIED HOURS.
- FCU-2 AND FCU-3 TO UTILIZE REMOTE THERMOSTAT PROVIDED WITH UNIT. MOUNT 4'-0" A.F.F.

CONSULTANT:



DUNHAM

50 South Sixth Street / Suite 1100
Minneapolis, Minnesota 55402-1540
PHONE 612.465.7550
FAX 612.465.7551
WEB dunhameng.com

mechanical + electrical
consulting engineering
PROJECT NO.: 0425995-175

CLIENT



2801 N. CENTRAL EXPRESSWAY
SUITE 1600, DALLAS, TX 75204
TELEPHONE: (972) 686-6500
FAX: (972) 656-6502

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PROJECT INFORMATION:

WING-STOP
STORE NUMBER: GL#AC213
406 8TH ST SE
WASHINGTON, DC 20003

SEAL:

**NOT FOR
CONSTRUCTION**

PROJECT NO. 2024-0507
DRAWN BY TSB
CHECKED BY GMS

ISSUE DATE
PERMIT & BID SET 2025-06-04

REVISION DATE
5 REVISION 5 06/23/2026

WRI-TRAD_v103

PROJECT LOCATION:

WASHINGTON, DC

SHEET NUMBER / TITLE:

M1

MECHANICAL FLOOR PLAN

EXHIBIT 2

AIR CLEANER DATA:

CABINET 16 GA STEEL WELDED
VOLTAGE/PH/HZ 240/1/60
POWER RATING 250 WATT

FAN DATA:

BI-16RM 3HP 208/3/60
STATIC PRESSURE 4.0" WG
FOR 2,700 CFM

MISCELLANEOUS DATA:

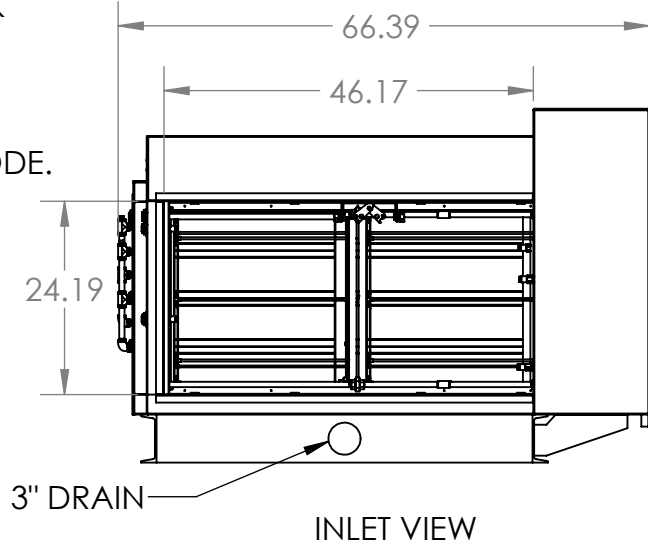
PCU STATIC FOR 2,700 CFM 2" WG
TOTAL WEIGHT approximate: 2,000 LBS
MIN WATER PRESSURE: 25 PSI
RECOMMENDED
WATER PRESSURE: 40 PSI
MAX WATER PRESSURE: 50 PSI
REGULATE IF NECESSARY
RECOMMENDED WASH
WATER TEMPERATURE: 125-160 °F

FILTER & COMPONENTS SCHEDULE:

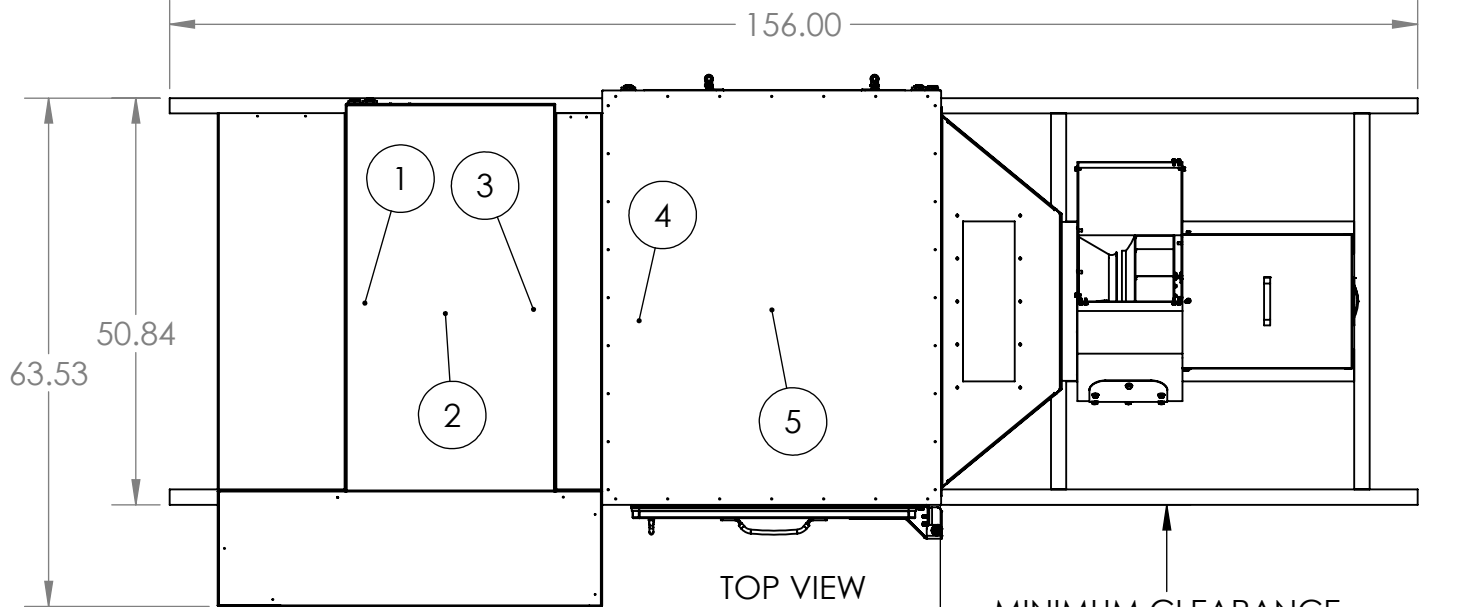
1. ALUMINUM MESH PREFILTER 24"X24"X1" (2)
2. ELECTRONIC CELL 24"X24"X10.75" (2)
3. ALUMINUM MESH POSTFILTER 24"X24"X1" (2)
4. MERV-14 ASHRAE 52.2 PLEATED PREFILTER 24"X24"X4" (2)
5. ODOR NEUTRALIZER: 16 2" TRAYS OF 288 LBS TOTAL

NOTES:

1. ALL DIMENSIONS ARE NOMINAL AND GIVEN IN INCHES
2. FAN, FAN TRANSITION, SKID, AND DETERGENT TANK PROVIDED BY AQE.
3. FAN CONTROL AND RECOMMENED DRIP TRAY PROVIDED BY OTHERS.
4. ANSUL PRE-PIPED BY AIR QUALITY ENGINEERING.
5. POWER CONNECTIONS BY OTHERS PER LOCAL CODE.
6. UL8782 CERTIFICATION APPROVED PER INTERTEK.
7. FAN INSTALLED BY AQE.



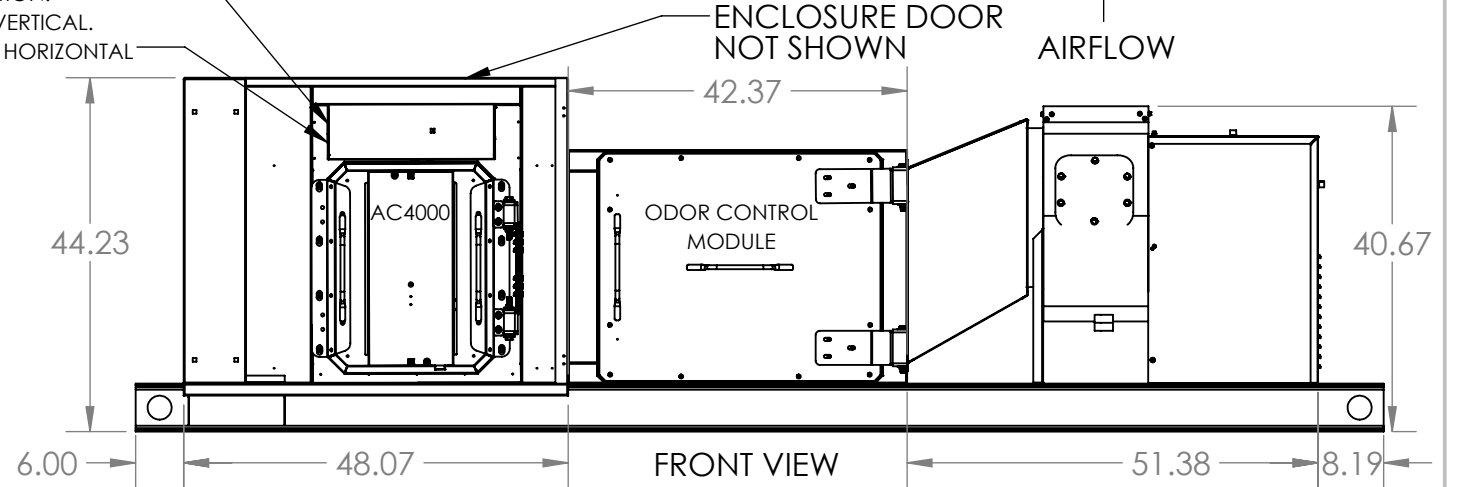
AIRFLOW →



MINIMUM CLEARANCE
NEEDED TO OPEN
ENCLOSURE DOOR: 42.00

MINIMUM CLEARANCE
NEEDED TO OPEN
ODOR CONTROL MODULE
DOOR: 42.00

1/2" WATER
CONNECTION
DETERGENT
CONNECTION:
7FT MAX VERTICAL.
25FT MAX HORIZONTAL



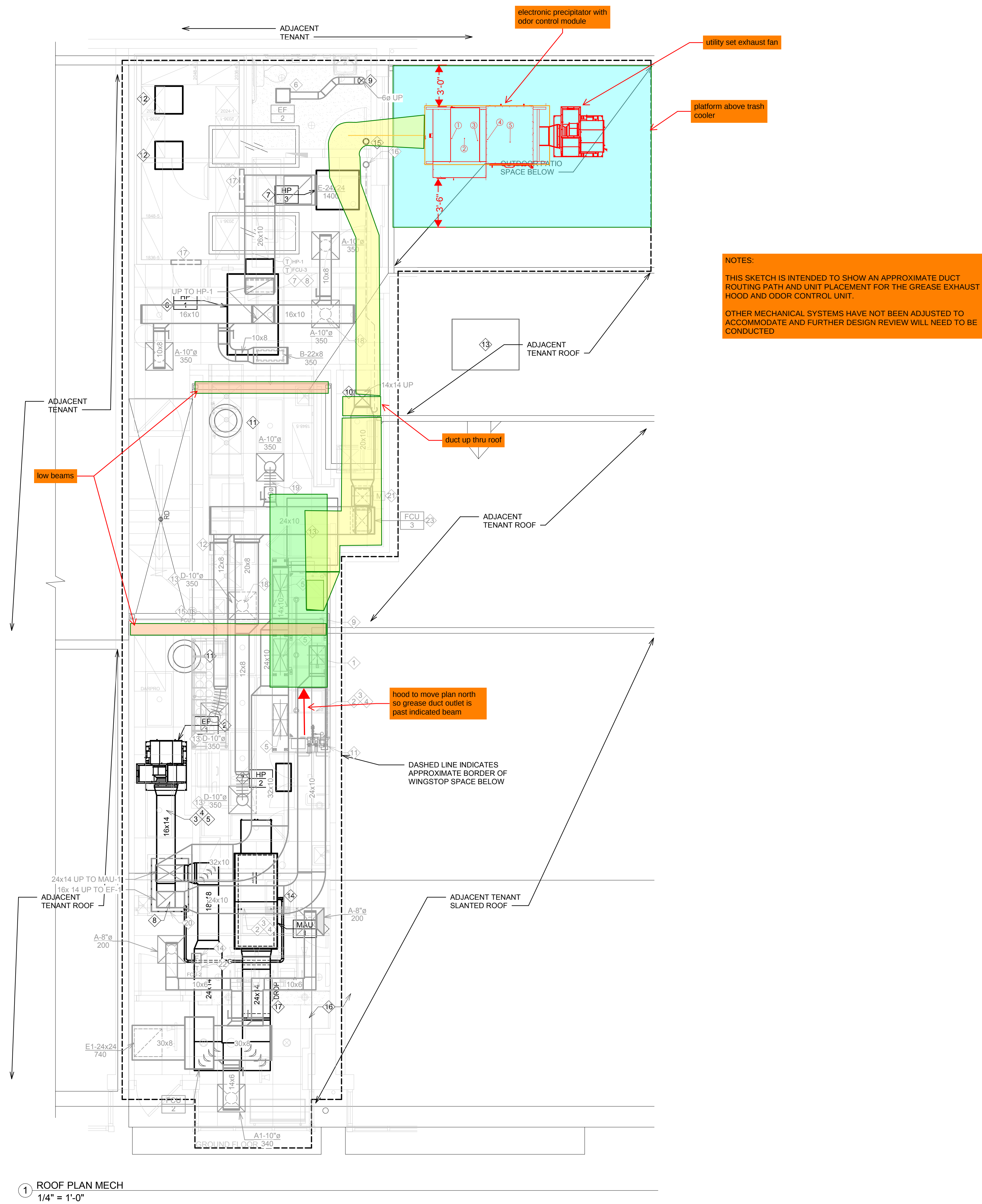
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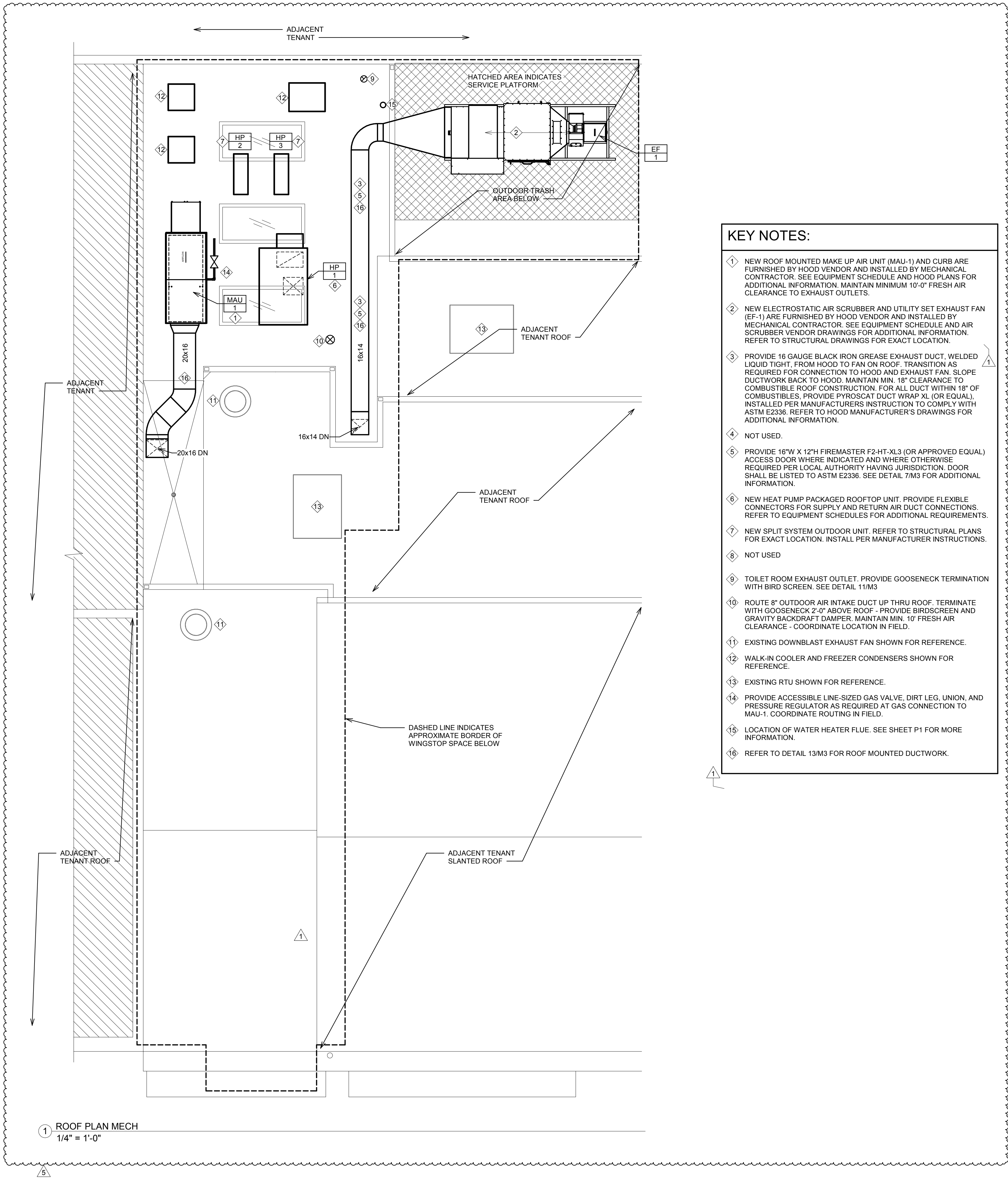
UNLESS OTHERWISE SPECIFIED:		NAME	DATE
DIMENSIONS ARE IN INCHES		DRAWN	IK 4/16/26
TOLERANCES:		ENG APPR.	
.XXX (3 PLC) ±.010"		MFG APPR.	
.XX (2 PLC) ±.02"		MATERIAL: Per BOM	
.X (1 PLC) ±.1"		FINISH:	
ANGLES ±.5 degrees		SURFACE AREA (in2): 118916.00	
COMMENTS:		WEIGHT (lbs): 1179.88	

AIR QUALITY ENGINEERING INC.
7140 Northland Drive N., Brooklyn Park, MN 55428

TITLE:
**AC4000UL with OM, Enclosed,
Skidded, L-R, 240V, BI-16RM**

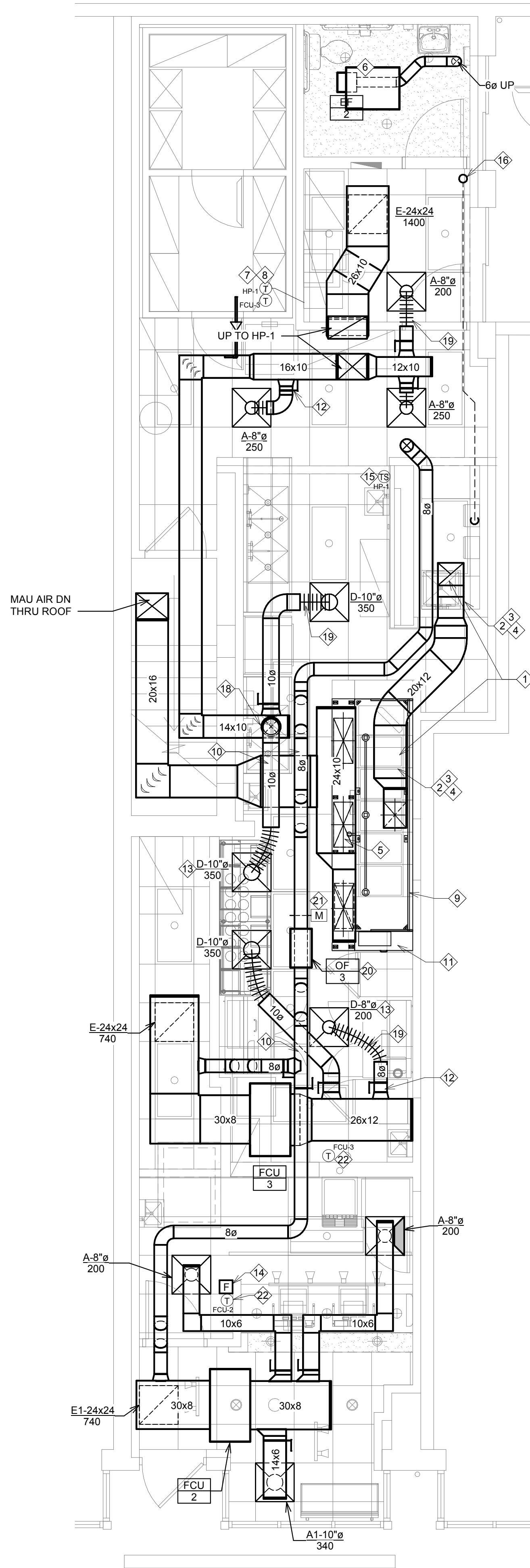
SIZE	DWG. NO.	REV
B	4LU1A1DK15FE2	A
SCALE: 1:24		DO NOT SCALE DRAWING
SHEET		OF 1





KEY NOTES:

- NEW ROOF MOUNTED MAKE UP AIR UNIT (MAU-1) AND CURB ARE FURNISHED BY HOOD VENDOR AND INSTALLED BY MECHANICAL CONTRACTOR. SEE EQUIPMENT SCHEDULE AND HOOD PLANS FOR ADDITIONAL INFORMATION. MAINTAIN MINIMUM 10'-0" FRESH AIR CLEARANCE TO EXHAUST OUTLETS.
- NEW ELECTROSTATIC AIR SCRUBBER AND UTILITY SET EXHAUST FAN (EF-1) ARE FURNISHED BY HOOD VENDOR AND INSTALLED BY MECHANICAL CONTRACTOR. SEE EQUIPMENT SCHEDULE AND AIR SCRUBBER VENDOR DRAWINGS FOR ADDITIONAL INFORMATION. REFER TO STRUCTURAL DRAWINGS FOR EXACT LOCATION.
- PROVIDE 16 GAUGE BLACK IRON GREASE EXHAUST DUCT, WELDED LIQUID TIGHT, FROM HOOD TO FAN ON ROOF. TRANSITION AS REQUIRED FOR CONNECTION TO HOOD AND EXHAUST FAN. SLOPE DUCTWORK BACK TO HOOD. MAINTAIN MIN. 18" CLEARANCE TO COMBUSTIBLE ROOF CONSTRUCTION. FOR ALL DUCT WITHIN 18" OF COMBUSTIBLES, PROVIDE PYROSCAT DUCT WRAP XL (OR EQUAL), INSTALLED PER MANUFACTURERS INSTRUCTION TO COMPLY WITH ASTM E2336. REFER TO HOOD MANUFACTURER'S DRAWINGS FOR ADDITIONAL INFORMATION.
- NOT USED.
- PROVIDE 16"W X 12"H FIREMASTER F2-HT-XL3 (OR APPROVED EQUAL) ACCESS DOOR WHERE INDICATED AND WHERE OTHERWISE REQUIRED PER LOCAL AUTHORITY HAVING JURISDICTION. DOOR SHALL BE LISTED TO ASTM E2336. SEE DETAIL 7/M3 FOR ADDITIONAL INFORMATION.
- NEW HEAT PUMP PACKAGED ROOFTOP UNIT. PROVIDE FLEXIBLE CONNECTORS FOR SUPPLY AND RETURN AIR DUCT CONNECTIONS. REFER TO EQUIPMENT SCHEDULES FOR ADDITIONAL REQUIREMENTS.
- NEW SPLIT SYSTEM OUTDOOR UNIT. REFER TO STRUCTURAL PLANS FOR EXACT LOCATION. INSTALL PER MANUFACTURER INSTRUCTIONS.
- NOT USED
- TOILET ROOM EXHAUST OUTLET. PROVIDE GOOSENECK TERMINATION WITH BIRD SCREEN. SEE DETAIL 11/M3
- ROUTE 8" OUTDOOR AIR INTAKE DUCT UP THRU ROOF. TERMINATE WITH GOOSENECK 2'-0" ABOVE ROOF - PROVIDE BIRDSCREEN AND GRAVITY BACKDRAFT DAMPER. MAINTAIN MIN. 10' FRESH AIR CLEARANCE - COORDINATE LOCATION IN FIELD.
- EXISTING DOWNBLAST EXHAUST FAN SHOWN FOR REFERENCE.
- WALK-IN COOLER AND FREEZER CONDENSERS SHOWN FOR REFERENCE.
- EXISTING RTU SHOWN FOR REFERENCE.
- PROVIDE ACCESSIBLE LINE-SIZED GAS VALVE, DIRT LEG, UNION, AND PRESSURE REGULATOR AS REQUIRED AT GAS CONNECTION TO MAU-1. COORDINATE ROUTING IN FIELD.
- LOCATION OF WATER HEATER FLUE. SEE SHEET P1 FOR MORE INFORMATION.
- REFER TO DETAIL 13/M3 FOR ROOF MOUNTED DUCTWORK.



1 MECHANICAL FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES:

- INSTALL VOLUME DAMPER IN DUCT TAKE-OFF TO EACH DIFFUSER, GRILLE, AND REGISTER.
- ALL DUCT DIMENSIONS ARE CLEAR INSIDE DIMENSIONS. CONTRACTOR MAY, AT THEIR OPTION, REPLACE RECTANGULAR DUCTWORK SHOWN WITH ROUND, SPIRAL DUCT OF EQUIVALENT CAPACITY.
- IN GENERAL, ALL PIPING AND DUCTWORK SHALL BE RUN CONCEALED IN SUSPENDED CEILING SPACES AND IN SHAFTS PROVIDED UNLESS NOTED OR INDICATED OTHERWISE.
- VERIFY ALL DUCT CONNECTION SIZES TO FANS, COILS, AND EXISTING DUCTWORK.
- COOPERATE WITH THE OTHER TRADES TO ELIMINATE ANY CONFLICTS BETWEEN PIPING, DUCTWORK, STRUCTURAL, ELECTRICAL WORK, ETC.
- DIFFUSER, REGISTER, AND SPRINKLER HEAD LOCATIONS SHALL BE COORDINATED WITH LIGHT FIXTURE LOCATIONS AND SHALL BE IN ACCORDANCE WITH CEILING PATTERNS AS SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS.
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866-986-4822
EMAIL: WINGSTOP@TRANE.COM
ACCOUNT MANAGER: AUSTIN LUPTON

KEY NOTES:

- 16" X 14" DIA. EXHAUST RISER UP FROM HOOD COLLAR. TRANSITION AS SHOWN AND EXTEND DUCT UP THRU ROOF. REFER TO HOOD PLANS FOR MORE INFORMATION.
- PROVIDE 16 GAUGE BLACK IRON GREASE EXHAUST DUCT, WELDED LIQUID TIGHT, FROM HOOD TO FAN ON ROOF. TRANSITION AS REQUIRED FOR CONNECTION TO HOOD AND EXHAUST FAN. REFER TO HOOD MANUFACTURER'S DRAWINGS FOR ADDITIONAL INFORMATION.
- PYROSCAT DUCT WRAP XL (OR EQUAL) PROVIDED BY MECHANICAL CONTRACTOR. INSTALL PER MANUFACTURERS INSTRUCTIONS TO COMPLY WITH ASTM E2336. SEE DETAILS 7/M3 AND 8/M3. COORDINATE QUANTITY OF WRAP WITH SUPPLIER PRIOR TO START OF WORK.
- PROVIDE 16"W X 12"H FIREMASTER F2-HT-XL3 (OR APPROVED EQUAL) ACCESS DOOR WHERE INDICATED AND WHERE OTHERWISE REQUIRED PER LOCAL AUTHORITY HAVING JURISDICTION. DOOR SHALL BE LISTED TO ASTM E2336. COORDINATE WITH GC TO PROVIDE CORRESPONDING CEILING AND WALL ACCESS PANELS AS NECESSARY. SEE DETAIL 7/M3 FOR ADDITIONAL INFORMATION.
- 28"x12" HOOD SUPPLY DUCT RISER UP FROM 28"x12" DUCT COLLAR. EXTEND DUCT UP TO MAIN SUPPLY DUCT. BALANCE AIRFLOW TO 720 CFM EACH.
- EXTEND DUCTS FROM CEILING EXHAUST FAN TO 6" EXHAUST DUCT THROUGH ROOF. TERMINATE ROOF DUCT NO LESS THAN 10'-0" FROM ANY OUTSIDE AIR INTAKE. PROVIDE WEATHERPROOF CAP AND BIRDSCREEN.
- PROVIDE 7-DAY PROGRAMMABLE THERMOSTAT FOR RTU/FCU CONTROL MOUNTED 4'-0" A.F.F. ABOVE MANAGER'S DESK COVERED WITH CLEAR LOCKABLE BOX. THERMOSTAT SHALL HAVE AUTOMATIC NIGHT SET-BACK WITH 5°F DEADBAND, 2-HOUR OCCUPANT OVERRIDE, AND MIN. 10-HOUR BATTERY BACKUP.
- PROVIDE TEST/RESET SWITCH AND PIEZO ALERT SOUNDER AND REMOTE ANNUNCIATOR ALARM LED MOUNTED AS DIRECTED BY LOCAL AHJ. MECHANICAL CONTRACTOR TO PROVIDE ALL REQUIRED INTERLOCK WIRING AND COORDINATE ALL FINAL CONNECTIONS.
- EXHAUST HOOD TO BE FURNISHED BY HOOD VENDOR AND INSTALLED BY MECHANICAL CONTRACTOR. SEE HOOD DRAWINGS FOR ADDITIONAL INFORMATION. SEE ARCHITECTURAL DRAWINGS FOR HOOD MOUNTING LOCATION AND DIMENSIONS.
- INSTALL DUCTWORK AS HIGH AS POSSIBLE, BETWEEN JOISTS. COORDINATE EXACT ROUTING AND HEIGHT OF STRUCTURE IN FIELD.
- FIRE SUPPRESSION SYSTEM FURNISHED BY HOOD VENDOR WITH EXHAUST HOOD. SEE HOOD DRAWINGS FOR DETAILS. MECHANICAL CONTRACTOR SHALL INSTALL OWNER-FURNISHED FIRE SUPPRESSION GAS VALVE AND MAKE ALL ELECTRICAL CONNECTIONS. FIRE SYSTEM HOOKUP IS PROVIDED BY CAPTIVE AIRE.
- VOLUME DAMPER AT DUCT CONNECTION TO MAIN SUPPLY AIR DUCT, TYPICAL.
- PERFORATED SUPPLY AIR GRILLE WITH NO PATTERN CONTROLLER FOR MINIMUM THROW. TYPICAL FOR ALL TYPE D.
- FIRE SUPPRESSION SYSTEM PULL STATION, VERIFY EXACT LOCATION IN FIELD WITH LOCAL CODE OFFICIAL PRIOR TO INSTALLATION.
- PROVIDE COMPATIBLE REMOTE TEMPERATURE SENSOR. CONNECT TO CORRESPONDING THERMOSTAT. MOUNT 60" A.F.F. COORDINATE EXACT LOCATION WITH OWNER ON SITE.
- APPROXIMATE LOCATION OF WATER HEATER COMBUSTION AIR INTAKE AND FLUE. REFER TO SHEET P1 FOR ADDITIONAL INFORMATION. MAINTAIN MINIMUM 10'-0" FROM FRESH AIR INTAKES. COORDINATE TERMINATION LOCATION WITH PLUMBING CONTRACTOR.
- NOT USED.
- DUCT TAKE-OFF ON TOP SIDE OF SUPPLY DUCTWORK. VOLUME DAMPER NOT SHOWN FOR CLARITY.
- FLEX DUCT 5'-0" MAX LENGTH. TYPICAL FOR ALL.
- NEW INLINE OUTDOOR AIR FAN HUNG FROM STRUCTURE ABOVE WITH VIBRATION ISOLATORS. FAN SHALL OPERATE DURING OCCUPIED HOURS. SEE DETAIL 3/M3.
- PROVIDE MOTORIZED OUTDOOR AIR DAMPER, TRANSFORMER, AND LOW VOLTAGE CONTROL WIRING. DAMPER SHALL OPEN TO MINIMUM POSITION DURING OCCUPIED HOURS AND CLOSE DURING UNOCCUPIED HOURS.
- FCU-2 AND FCU-3 TO UTILIZE REMOTE THERMOSTAT PROVIDED WITH UNIT. MOUNT 4'-0" A.F.F.

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PROJECT INFORMATION:

WING-STOP

STORE NUMBER: GL#AC213
406 8TH ST SE
WASHINGTON, DC 20003

SEAL:

**NOT FOR
CONSTRUCTION**

PROJECT NO. 2024-0507
DRAWN BY TSB
CHECKED BY GMS

ISSUE DATE
PERMIT & BID SET 2025-06-04

REVISION DATE
5 REVISION 5 06/23/2026

WRI-TRAD_v103

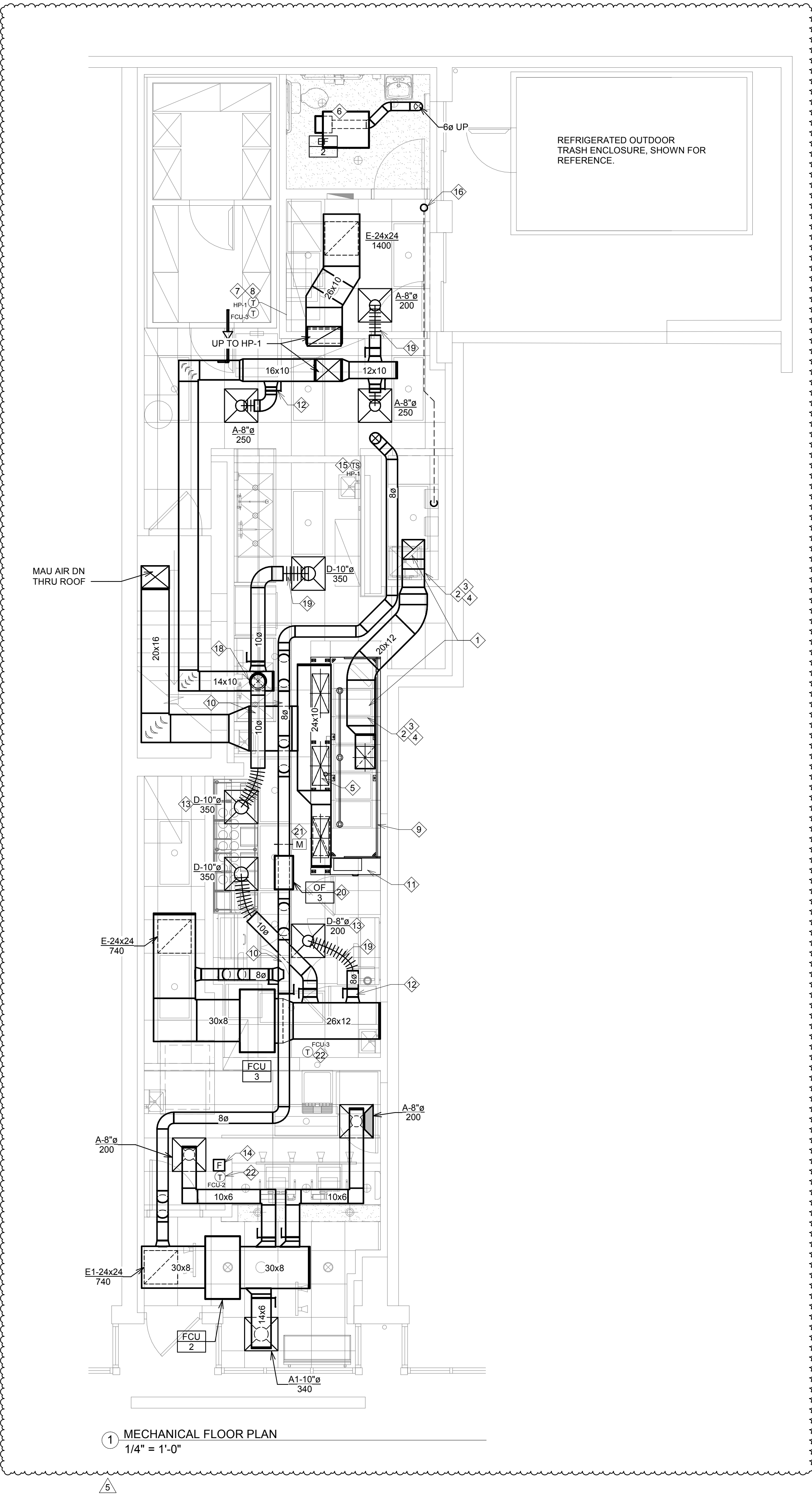
PROJECT LOCATION:

WASHINGTON, DC

SHEET NUMBER / TITLE:

M1

MECHANICAL FLOOR PLAN



GENERAL NOTES:

- A. INSTALL VOLUME DAMPER IN DUCT TAKE-OFF TO EACH DIFFUSER, GRILLE, AND REGISTER.
- B. ALL DUCT DIMENSIONS ARE CLEAR INSIDE DIMENSIONS. CONTRACTOR MAY, AT THEIR OPTION, REPLACE RECTANGULAR DUCTWORK SHOWN WITH ROUND, SPIRAL DUCT OF EQUIVALENT CAPACITY.
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- D. VERIFY ALL DUCT CONNECTION SIZES TO FANS, COILS, AND EXISTING DUCTWORK.
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WRI-TRAD_v103

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MECHANICAL FLOOR PLAN

BZA Case No. 21438 – 406 8th Street, SE

Emerald Wings, LLC

BZA Public Hearing
June 17, 2026

Holland & Knight