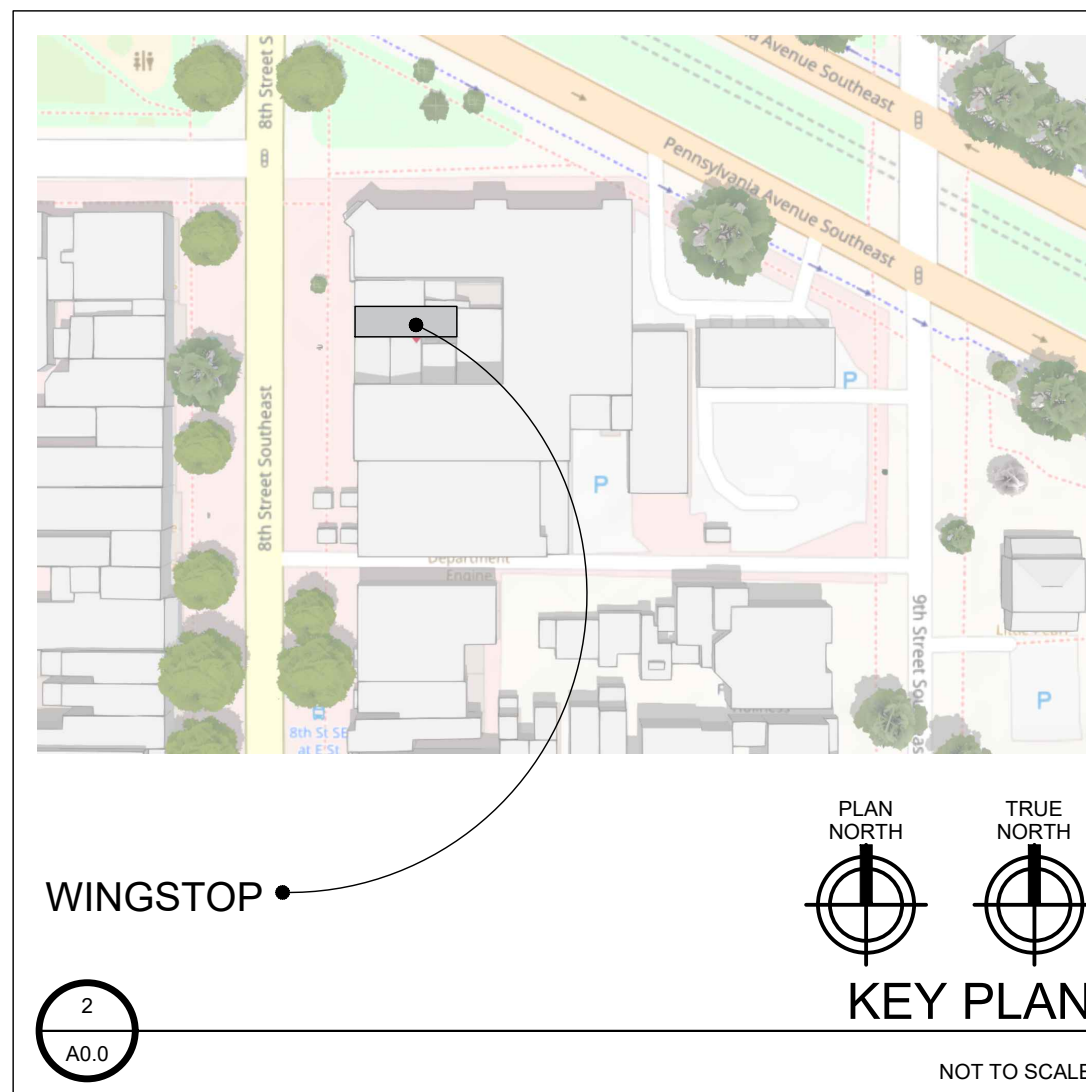
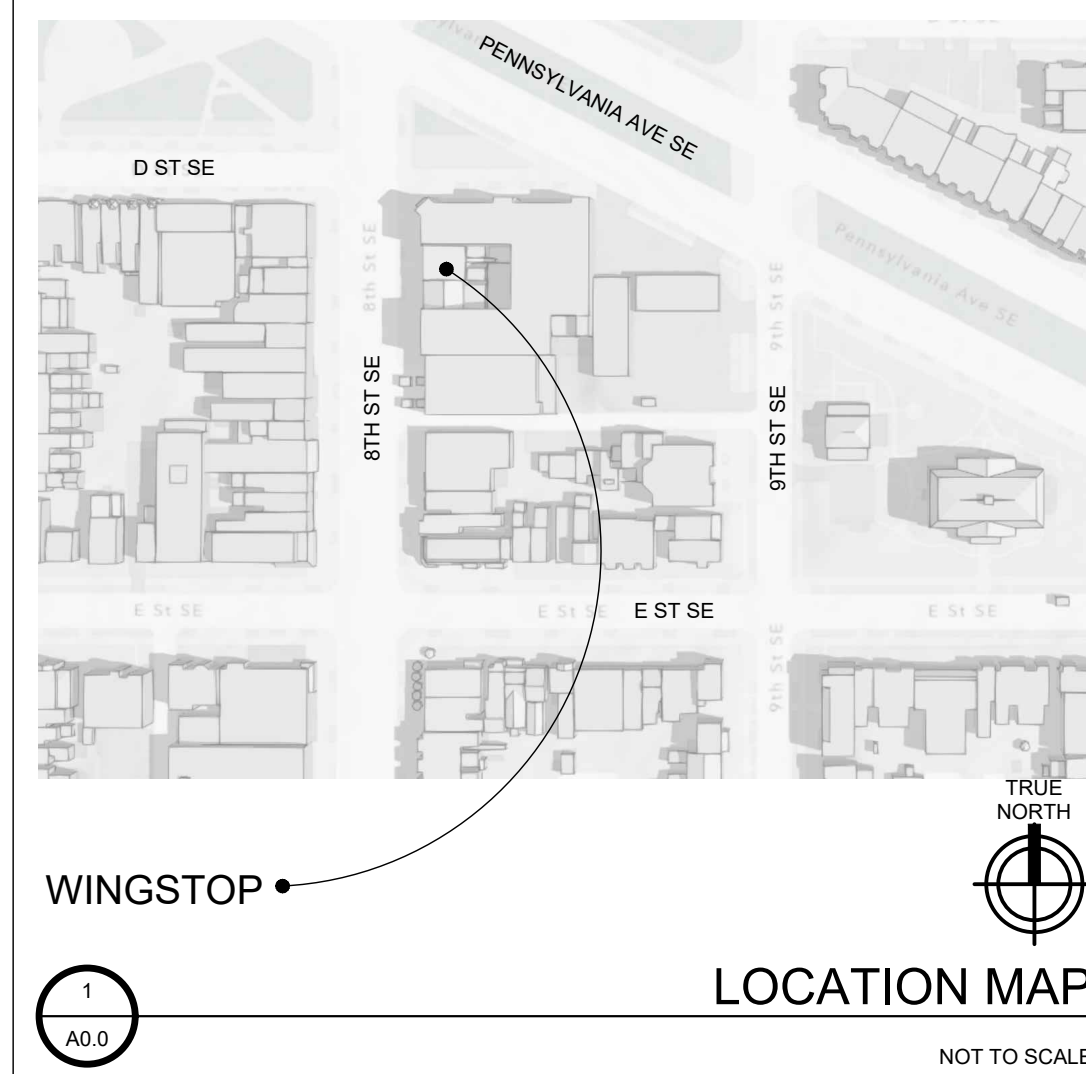


PROJECT GENERAL NOTES

- A. IN ADDITION TO THE GENERAL NOTES LISTED HEREIN, THE LATEST EDITION OF AIA DOCUMENT A201 GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION SHALL APPLY.
- B. WORK SHALL BE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODES, ORDINANCES, LAWS AND REQUIREMENTS.
- C. WORK, WHEN COMPLETED, SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT AND LOCAL ACCESSIBILITY REQUIREMENTS.
- D. THE CONSTRUCTION DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. COORDINATE PORTIONS OF WORK AS DESCRIBED IN THE CONSTRUCTION DOCUMENTS.
- E. THE CONSTRUCTION DOCUMENTS, AS DEFINED BY THE DRAWING ARE NECESSARY TO DEFINE THE TOTAL PROJECT. PARTIAL PLANS SHOULD NOT BE ISSUED BY ANY PARTIES FOR BIDDING OR CONSTRUCTION.
- F. IT IS THE INTENT OF THE CONSTRUCTION DOCUMENTS TO DESCRIBE A COMPLETE AND FINISHED PROJECT, OTHER THAN ITEMS NOTED "NIC" (NOT IN CONTRACT), ERRORS, OMISSIONS AND INCONSISTENCIES THAT MAY OCCUR BETWEEN THE CONSTRUCTION DOCUMENTS AND/OR EXISTING CONDITIONS SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT IN WRITING AND WRITTEN INSTRUCTIONS SHALL BE OBTAINED PRIOR TO PROCEEDING WITH THE WORK. THE GENERAL CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES AND/OR OMISSIONS WHICH THE GENERAL CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK.
- G. GENERAL CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION AND PAY EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF GENERAL CONTRACTOR SHALL PERFORM WORK NECESSARY FOR PRODUCTION OF A COMPLETE, HABITABLE PROJECT AS DEFINED BY THE SCOPE OF WORK.
- H. DO NOT SCALE DRAWINGS. BIDDER (CONTRACTOR) SHALL VERIFY CONDITIONS AND DIMENSIONS AT JOB SITE PRIOR TO START OF CONSTRUCTION. IF DISCREPANCIES ARE FOUND, WHETHER BUILT OR NOT, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION BEFORE COMMENCING WORK.
- I. THE STATED DIMENSIONS SHALL TAKE PRECEDENCE OVER GRAPHIC. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES.
- J. NOTE THAT ERRORS IN THE TRANSMISSION OR REPRODUCTION OF THESE CONSTRUCTION DOCUMENTS COULD RESULT IN ALTERATIONS TO LINE TYPES, THICKNESSES, TONES, COLORS, HATCH PATTERNS AND SCALE. WILKUS ARCHITECTS IS NOT RESPONSIBLE FOR ANY CLAIMS, DAMAGES OR EXPENSES ARISING FROM THE UNAUTHORIZED USE OF THE INFORMATION CONTAINED WITHIN.
- K. IF THE CONSTRUCTION DOCUMENTS APPEAR TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, AND IN THE EVENT THAT THE CONTRACTOR, OR SUBCONTRACTOR, DETERMINES CLARIFICATION OR INTERPRETATION BY THE ARCHITECT IS REQUIRED, THE GENERAL CONTRACTOR SHALL SUBMIT A REQUEST FOR INFORMATION IN WRITING TO THE ARCHITECT PRIOR TO START OF THE WORK.
- a. REQUESTS FOR INFORMATION MAY ONLY BE MADE BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL CLEARLY AND CONCISELY SET FORTH THE ISSUE FOR WHICH CLARIFICATION IS SOUGHT AND WHY A RESPONSE IS NEEDED FROM THE ARCHITECT AND/OR CONSULTANTS. IN THE REQUEST FOR INFORMATION, THE CONTRACTOR SHALL SET FORTH AN UNDERSTANDING OF THE REQUIREMENT, ALONG WITH A REASON WHY SUCH AN UNDERSTANDING WAS REACHED.
- b. THE ARCHITECT WILL REVIEW THE REQUEST FOR INFORMATION TO DETERMINE IF IT IS WITHIN THE MEANINGS OF THIS TERM. IF THE ARCHITECT DETERMINES THAT IT IS NOT A REQUEST FOR INFORMATION, IT WILL BE RETURNED TO THE CONTRACTOR UNREVIEWED AS TO CONTENT OR FOR RE-SUBMIT IN THE PROPER FORM AND MANNER.
- c. RESPONSES TO REQUESTS FOR INFORMATION SHALL BE ISSUED UPON RECEIPT, BUT NO LATER THAN FIVE WORKING DAYS OF RECEIPT, UNLESS IT IS DETERMINED THAT A LONGER PERIOD OF TIME IS NEEDED IN ORDER TO PROVIDE ADEQUATE RESPONSE. IF A LONGER PERIOD OF TIME IS NECESSARY, THE ARCHITECT WILL, WITHIN FIVE WORKING DAYS OF THE RECEIPT OF THE REQUEST FOR INFORMATION, NOTIFY THE GENERAL CONTRACTOR OF THE ANTICIPATED RESPONSE TIME.
- d. IF THE REQUEST FOR INFORMATION IS SUBMITTED WITH FIVE WORKING DAYS OR LESS FLOAT ON THE PROJECT SCHEDULE, THE CONTRACTOR SHALL NOT BE ENTITLED TO ANY TIME EXTENSION DUE TO THE TIME REQUIRED TO REVIEW AND RESPOND, PROVIDED A RESPONSE IS GIVEN WITHIN THE FIVE WORKING DAYS AS SET FORTH ABOVE.
- e. RESPONSES FROM THE ARCHITECT ARE NOT INTENDED TO CHANGE ANY OF THE REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS. IN THE EVENT THAT THE CONTRACTOR BELIEVES A RESPONSE WILL CAUSE A CHANGE TO THE REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL IMMEDIATELY GIVE WRITTEN NOTICE TO THE ARCHITECT AND CLIENT STATING THAT THEY CONSIDER THE RESPONSE TO BE A CHANGE ORDER. FAILURE TO GIVE SUCH WRITTEN NOTICE IMMEDIATELY SHALL WAIVE THE CONTRACTORS RIGHT TO SEEK ADDITIONAL TIME AND/OR COST.
- L. ANY DIMENSIONS, DETAILS, NOTES AND/OR SYMBOLS THAT APPLY TO ONE UNIT, APPLY TO ALL UNITS IN LIKE SITUATIONS, UNLESS NOTED OTHERWISE.
- M. FOR THE PURPOSE OF THESE DOCUMENTS, "INSTALL" SHALL MEAN TO PROVIDE FASTENERS, MISCELLANEOUS HARDWARE, BLOCKING, ELECTRICAL CONNECTIONS, PLUMBING CONNECTIONS AND ANY OTHER ITEMS REQUIRED FOR A COMPLETE AND OPERATIONAL INSTALLATION, UNLESS NOTED OTHERWISE.
- N. FOR THE PURPOSE OF THESE DOCUMENTS, "BY GC" WILL REFER TO ITEMS PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR, THEIR SUBCONTRACTORS AND/OR AGENTS. THE TERM "BY CLIENT" WILL REFER TO ITEMS PROVIDED BY THE CLIENT AND INSTALLED BY THE GENERAL CONTRACTOR.
- O. PRODUCTS THAT HAVE BEEN USED IN PREPARING THESE DOCUMENTS, ARE TO ESTABLISH MINIMUM QUALITIES. PROPOSED SUBSTITUTIONS MUST MEET THESE QUALITIES, OR BE BETTER, TO BE CONSIDERED ACCEPTABLE. THE BURDEN OF PROOF OF EQUALITY RESTS WITH THE GENERAL CONTRACTOR. ADEQUATE SUPPORTING DOCUMENTATION MUST ACCOMPANY SUBSTITUTION REQUEST SUBMITTALS, WHICH MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO BIDDING.
- P. GENERAL CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMISSION OF BID AND BEGINNING OF ANY WORK TO EXAMINE AND COMPARE THE DRAWINGS TO THE EXISTING CONDITIONS AND BE KNOWLEDGEABLE OF WORK TO BE PERFORMED. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- Q. NOTIFY ALL PARTIES IF HAZARDOUS MATERIALS ARE SUSPECTED OR FOUND TO BE PRESENT.
- R. NOTIFY ARCHITECT IMMEDIATELY OF EXISTING CONDITIONS THAT ARE EXPOSED DURING CONSTRUCTION THAT MAY IMPACT ANY PROPOSED NEW WORK.
- S. DO NOT ATTEMPT REMOVAL OF ANY STRUCTURE OR ELEMENT SUSPECTED OF BEING STRUCTURAL IN NATURE. STRUCTURAL MODIFICATIONS TO THE BUILDING OR STRUCTURAL SYSTEMS (OF ANY TYPE) REQUIRE APPROVAL FROM THE BUILDING OWNER AND AN APPROVED STRUCTURAL ENGINEER.
- T. VEHICULAR ACCESS MUST BE PROVIDED AND MAINTAINED SERVICEABLE THROUGHOUT CONSTRUCTION.
- U. THROUGHOUT THE PROJECT, THE GENERAL CONTRACTOR SHALL CLOSELY SUPERVISE THE WORK OF SUBCONTRACTORS AND SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS AND TECHNIQUES, INCLUDING SAFETY PROCEDURES AND FOR COORDINATING/SEQUENCING TRADES.
- V. GENERAL CONTRACTOR SHALL TAKE OUT ANY NECESSARY TRADE-LEVEL PERMITS, INSURANCE, LICENSES, BONDS AND CERTIFICATES AND PAY ALL FEES CONNECTED TO THE WORK DESCRIBED HEREIN.
- W. ALL CONTRACTORS FOR THE WORK ARE REQUIRED TO HAVE INSURANCE OF ALL TYPES AND LIMITS, AS REQUIRED FOR THIS PROJECT.
- X. REFER TO ENGINEERED CONSTRUCTION DOCUMENTS BY OTHERS FOR ADDITIONAL PERTINENT INFORMATION.
- Y. ABBREVIATIONS ARE PER THE UNITED STATES NATIONAL CAD STANDARD - FOUND IN MODULE 5 - TERMS AND ABBREVIATIONS.
- Z. REFER TO INDIVIDUAL DRAWINGS WITHIN THIS SET OF CONSTRUCTION DOCUMENTS FOR ADDITIONAL GENERAL NOTES.
- AA. IF REQUIRED BY LEASE AGREEMENT, THE GENERAL CONTRACTOR SHALL PROVIDE SCHEDULING AND/OR COORDINATION WITH THE LANDLORD'S FIELD REPRESENTATIVE FOR THE FOLLOWING INSTALLATIONS OR PROCEDURES:
- a. INSTALLATIONS OF CONDUIT AND PIPING IN OR BELOW THE FLOOR SLAB.
- b. CONNECTIONS TO DOMESTIC WATER, SANITARY AND GREASE WASTE, SANITARY VENT, AND SMOKE/FIRE ALARMS.
- c. INSTALLATION OF PRIMARY DUCTWORK, VAV BOX AND CONTROLS.
- d. PROGRAMMING OF THE VAV BOX CONTROL AND SENSORS.
- e. ANY WORK REQUIRED AT THE LANDLORD'S SWITCHGEAR.
- f. HARDWARE AND SOFTWARE MODIFICATIONS TO COMPLETE THE INTERFACE WITH LANDLORD'S BASE BUILDING LIFE SAFETY SYSTEM.
- g. UPON SUBSTANTIAL COMPLETION OF BRAND PARTNER'S WORK IN THE PREMISES, BRAND PARTNER AND HIS CONTRACTOR MUST SCHEDULE WITH THE LANDLORD'S FIELD REPRESENTATIVE TO CONDUCT A FINAL INSPECTION AND PREPARE A PUNCHLIST WHICH ENUMERATES ANY AREAS OF CONSTRUCTIONS, FIXTURING, LIGHTING OR LAMPING, MERCHANDISING, ETC., THAT ARE NOT IN ACCORDANCE WITH THE LANDLORD-APPROVED PLANS OR LEASE. THE STOREFRONT BARRICADE MAY NOT BE REMOVED UNTIL THIS INSPECTION AND ANY CORRECTIONS HAVE BEEN COMPLETED.
- h. PROVIDE PROPERTY MANAGER REQUIRED PROOF OF BUILDER RISK INSURANCE AND DAMAGE DEPOSIT PRIOR TO BEGINNING ANY DEMOLITION OR CONSTRUCTION PROCEDURES.
- AB. GENERAL CONTRACTOR TO COORDINATE LOCATION OF TRASH DUMPSTER WITH PROPERTY MANAGER.
- AC. GENERAL CONTRACTOR IS RESPONSIBLE TO CONTACT CLIENT TO VERIFY, COORDINATE AND COMPLY, DURING THE BIDDING PHASE, WITH REQUIREMENTS INCLUDING, BUT NOT LIMITED TO BARRICADES, STAGING, CONSTRUCTION PROCEDURES, USE OF MANDATED SUBCONTRACTORS, DEBRIS REMOVAL, RESTRICTED HOURS OF CONSTRUCTION, SECURITY, UTILITIES, ETC.
- AD. GENERAL CONTRACTOR SHALL FURNISH AND INSTALL ITEMS WHICH ARE OBVIOUS AND NECESSARY TO ENSURE QUALITY WORKMANSHIP AND INSTALLATION, EVEN IF NOT SPECIFICALLY MENTIONED IN THE DRAWINGS, INCLUDING BUT NOT LIMITED TO BLOCKING AND BRACING.
- AE. ANY DEVIATION FROM THESE CONSTRUCTION DOCUMENTS ON THE PART OF THE GENERAL CONTRACTOR, ANY SUBCONTRACTOR, VENDOR AND/OR SUPPLIER, OR USE OF THESE CONSTRUCTION DOCUMENTS FOR USE AT ANY LOCATION OTHER THAN THAT FOR WHICH THEY WERE INTENDED, SHALL RELEASE WILKUS ARCHITECTS AND ITS SUBSIDIARIES, AND THEIR OFFICERS, DIRECTORS, SHAREHOLDERS, AGENTS, EMPLOYEES, REPRESENTATIVES, SUCCESSORS AND ASSIGNEES, FROM ANY AND ALL LIABILITY INCURRED IN LITIGATION OR OTHERWISE WITH RESPECT TO THE CONSTRUCTION OF THIS PROJECT.
- AF. GENERAL CONTRACTOR IS RESPONSIBLE FOR THEIR WORK AND THAT OF THEIR SUBCONTRACTORS FOR THE LOSSES AND DAMAGES TO EQUIPMENT, EXISTING CONSTRUCTION, TOOLS AND MATERIALS USED IN CONJUNCTION WITH THE WORK, FOR THE ACTS OF THEIR EMPLOYEES AND SUBCONTRACT WORKERS.
- AG. GENERAL CONTRACTOR SHALL ADHERE AND COMPLY WITH FEDERAL, STATE AND LOCAL REGULATIONS REGARDING JOB SAFETY.
- AH. GENERAL CONTRACTOR IS RESPONSIBLE TO CARRY WORKER'S COMPENSATION AS REQUIRED BY LAW AND/OR GOVERNING AUTHORITY.
- AI. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION.
- AJ. GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A COMPLETE AS-BUILT SET OF CONSTRUCTION DRAWINGS AT THE JOB SITE AND TURNING THE AS-BUILT DRAWINGS OVER TO THE CLIENT UPON COMPLETION OF THE PROJECT.
- AK. THE APPROVED PLANS (FOR CONSTRUCTION SET) SHALL BE KEPT ON SITE AT ALL TIMES, INCLUDING ALL ADDENDA, SUPPLEMENTAL INSTRUCTIONS, CHANGE ORDERS, COPIES OF APPROVED SUBMITTALS, ETC.
- AL. GENERAL CONTRACTOR TO VERIFY REQUIREMENTS TO MAINTAIN ROOF WARRANTY. ANY ROOF PATCHING SHALL RETURN THE EFFECTIVE AREA TO LIKE NEW CONDITION.
- AM. GENERAL CONTRACTOR ASSUMES COMPLETE RESPONSIBILITY WHEN CLIENT FURNISHED ITEMS ARE ACCEPTED AND RECEIVED BY THE GENERAL CONTRACTOR OR THEIR AGENTS.
- AN. PROVIDE PROTECTION FOR EXISTING OR NEWLY INSTALLED SYSTEMS AND FINISHES FOR THE DURATION OF CONSTRUCTION.
- AO. GENERAL CONTRACTOR TO INSTALL DUST PROOFING AND/OR RIGID BARRIERS AS APPROPRIATE TO DEFINE VARIOUS SEGMENTS, BARRIERS TO MAINTAIN EXITING, MECHANICAL, AND FIRE/LIFE SAFETY REQUIREMENTS FOR BUILDING OCCUPANTS.
- AP. GENERAL CONTRACTOR TO INSPECT PORTIONS OF WORK ALREADY PERFORMED TO DETERMINE THAT SUCH PORTIONS ARE IN PROPER CONDITION TO RECEIVE SUBSEQUENT WORK.
- AQ. MOLD AND MOISTURE MITIGATION - GENERAL CONTRACTOR TO COORDINATE AND ENSURE THAT ANY MOLD, MILDEW OR OTHER MOISTURE CONDITION DEVELOPED WITHIN THE SCOPE OF WORK OF THIS CONTRACT (DEMOLITION OR NEW CONSTRUCTION) SHALL BE CORRECTED AND/OR MITIGATED BY THE GENERAL CONTRACTOR PRIOR TO ADDITIONAL WORK.
- AR. FOR MILLWORK, PROVIDE PRODUCT DATA FOR EACH TYPE OF PRODUCT AND PROCESS SPECIFIED AND INCORPORATED INTO ITEMS OF ARCHITECTURAL WOODWORK DURING FABRICATION, FINISHING AND INSTALLATION. PROVIDE SHOP DRAWINGS SHOWING LOCATION OF EACH DIMENSIONED PLANS, AND ELEVATIONS, LARGE SCALE DETAILS, ATTACHMENT DEVICES AND OTHER COMPONENTS. PROVIDE SAMPLES FOR EACH SELECTION OF EXPOSED HARDWARE, FINISH, TEXTURE AND PATTERN OF MATERIALS SPECIFIED.
- AS. CONTACT BETWEEN DISSIMILAR METALS SHALL BE LIMITED. WHEN REQUIRED, THE CONTACT SHALL BE PROTECTED AS REQUIRED.
- AT. FURNITURE, OFFICE EQUIPMENT AND OTHER MISCELLANEOUS EQUIPMENT MAY BE PROVIDED BY CLIENT AND NOT INCLUDED IN THIS CONTRACT. GENERAL CONTRACTOR TO VERIFY EQUIPMENT EXTENTS, LOCATION AND COORDINATE AS REQUIRED.
- AU. REMOVE COMBUSTIBLE DEBRIS DURING CONSTRUCTION FROM THE PROJECT LIMITS CONTINUOUSLY AND DISPOSE OF IN A LEGAL MANNER.
- AV. VENDORS ARE RESPONSIBLE FOR DISPOSAL OF SHIPPING/CRATING MATERIALS. VERIFY WITH THE GENERAL CONTRACTOR THE USE OF THE DUMPSTER ON SITE. SUBCONTRACTORS MUST DISPOSE OF THEIR CONSTRUCTION DEBRIS IF NOT COMPLETED, IT WILL BE COMPLETED AND BACK CHARGED FOR CLEANING. COORDINATE DISPOSAL WITH JOB SUPERINTENDENT.
- AW. AT THE TIME OF PROJECT COMPLETION, THE PROJECT LIMITS ARE TO BE THOROUGHLY CLEANED AND TURNED OVER TO CLIENT.
- AX. GENERAL CONTRACTOR SHALL PROVIDE TWO (2) SEPARATE FINAL PROJECT CLEANINGS. THE FIRST CLEAN SHALL INCLUDE A CONSTRUCTION CLEAN, PRIOR TO EACH EQUIPMENT INSTALLATION. THE SECOND CLEANING SHALL INCLUDE A PROFESSIONAL CLEAN AFTER EQUIPMENT INSTALLATION, PRIOR TO OPENING. CLEANING SCHEDULE SHALL BE VERIFIED WITH CLIENT'S REPRESENTATIVE.
- AY. SAW CUTS, WHENEVER POSSIBLE ALL SAW CUTS SHALL BE LOCATED INSIDE THE PROPOSED CLOVEKING AND SERVICE AREAS SCHEDULED FOR FLOOR TILE AND SHALL NOT OCCUR IN PROPOSED SEATING AREAS OR PASSAGEWAYS.
- AZ. THE CONTRACTOR SHALL PROVIDE WOOD CRACKING AS REQUIRED FOR MOUNTING TABLES, SHELVING, CABINETS, AND ANY OTHER EQUIPMENT NOT SPECIFICALLY MENTIONED. ALL WOOD SHALL BE NON-COMBUSTIBLE AS REQUIRED PER LOCAL AUTHORITY HAVING JURISDICTION.
- BA. EXISTING UTILITY SERVICES SHOWN TO REMAIN, REROUTE AS REQUIRED TO CONCEAL THE SERVICE IN WALLS AND ABOVE CEILING.
- BB. GENERAL CONTRACTOR SHALL FURNISH AND INSTALL REQUIRED ROOF OPENING FRAMING FOR SCHEDULED HVAC AND EXHAUST UNITS. FOR STRUCTURAL SUPPORT OF EQUIPMENT AND SUPPORT OF ROOF OPENINGS, REFER TO STRUCTURAL DRAWINGS.
- BC. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION OF PORTIONS OF WORK DOCUMENTATION FOR THE MODIFICATION OF EXISTING ROOF AS APPLICABLE PER THE BRAND PARTNER'S LEASE. THE LANDLORD SHALL BE CONTACTED TO OBTAIN ALL REQUIREMENTS FOR LISTED SUBCONTRACTORS WITH WARRANTY WORK FOR THE SPECIFIED ROOFING SYSTEM.
- BD. ALL WOOD TRIM AS NOTED SHALL BE OF A CLEAR, MODIFY STAIN GRADE PINE.
- BE. CONTRACTOR SHALL CONTACT THE LANDLORD DURING THE BIDDING PHASE OF THE PROJECT FOR ANY REQUIREMENTS FOR THE FIRE ALARM SYSTEMS. THESE SYSTEMS, IF REQUIRED, SHALL BE INCLUDED IN THE BID & CONSTRUCTION FOR THIS PROJECT.
- BF. CONTRACT FORM:
- a. THE CONTRACT FORM SHALL BE A "STANDARD" FORM OF AGREEMENT BETWEEN CONTRACTOR AND BRAND PARTNER OF THE CONSTRUCTION BUILDING'S A.I.A. DOCUMENT FORM A-101 CURRENT EDITION.
- b. MECHANICAL, ELECTRICAL AND PLUMBING: THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXISTING UTILITIES FOR COORDINATION WITH THE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS PRIOR TO THE START OF WORK. THE CONTRACTOR SHALL PROVIDE AN ALTERNATE BID TO REUSE EXISTING AIR HANDLERS AND COMPRESSORS OR ROOF-TOP PACKAGE UNITS. THE TOTAL HVAC LOAD SHALL MATCH THE SPECIFIED TOTAL LOAD ON THE MECHANICAL DRAWINGS. THE CONTRACTOR SHALL CONTACT THE MECHANICAL ENGINEER WITH THE EXISTING LOAD INFORMATION FOR APPROVAL.
- BJ. WINGSTOP STANDARDS: THE WINGSTOP STANDARD DESIGN, INCLUDING BUT NOT LIMITED TO: LIGHTING, SEATING, PAINT SELECTION, KITCHEN EQUIPMENT, FLOORING, WALL FINISHES, COUNTER HEIGHTS, SIGNAGE AND ALL OTHER ELEMENTS AS NOTED AND INCLUDED IN THESE CONTRACT DOCUMENTS ARE AS PER THE WINGSTOP RESTAURANTS, INC. FRANCHISE AGREEMENT. ANY REVISIONS TO THESE DOCUMENTS OR FIELD CHANGES TO THIS DESIGN SHALL ONLY OCCUR UPON WRITTEN APPROVALS OF WINGSTOP RESTAURANTS, INC.
- BK. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING THE EXTERIOR GREASE INTERCEPTOR IN A MANNER THAT DOES NOT INTERFERE WITH ANY EXISTING SETBACKS, EASEMENTS, UNDERGROUND UTILITIES, OR OTHER SITE FEATURES. THE HOOD AND WALK-IN COOLER/FREEZER SUPPLIER SHALL SUBMIT SHOP DRAWINGS TO WINGSTOP RESTAURANTS, INC. FOR REVIEW PRIOR TO FABRICATION.
- BL. THE GENERAL CONTRACTOR SHALL VERIFY FIELD CONDITIONS FOR THE HOOD EXHAUST DUCT AND WALK-IN COOLER/FREEZER AND COORDINATE WITH THE KITCHEN EQUIPMENT SUPPLIER PRIOR TO FABRICATION AND INSTALLATION.
- BM. GENERAL CONTRACTOR SHALL FURNISH AND INSTALL REQUIRED ROOF SPRINKLER SYSTEMS SHALL BE COORDINATED WITH THE LANDLORD AND COMPLY WITH THE AUTHORITY HAVING JURISDICTION'S REQUIREMENTS FOR NOTIFICATION, FIRE WATCH, RE-TESTING, ETC.
- BN.



WASHINGTON DC (GL#AC213)



SCOPE OF WORK

TENANT IMPROVEMENT WORK INCLUDES BUT NOT LIMITED TO, INTERIOR FINISHES, TOILET ROOMS, EXTENSION OF UTILITIES AND MODIFICATION TO ACCOMMODATE A NEW WINGSTOP - RESTAURANT. NO EXTERIOR OR SITE MODIFICATIONS, AND EXISTING PARKING TO REMAIN UNCHANGED.

DEFERRED SUBMITTALS

TENANT EXTERIOR SIGNAGE, SEPARATE PERMIT

FIRE ALARM AND SPRINKLERS
ADJUSTMENTS TO THE FIRE ALARM AND THE FIRE PROTECTION SYSTEMS, IF REQUIRED, ARE TO BE COMPLETED BY A QUALIFIED FIRE ALARM AND/OR FIRE PROTECTION CONTRACTOR, UNDER CONTRACT TO THE STORE OWNER. OWNER SHALL CONTACT LANDLORD REGARDING LANDLORD PREFERENCES OR REQUIREMENTS FOR FA/FP CONTRACTORS AND/OR SYSTEMS. FA/FP DRAWINGS, IF REQUIRED, ARE TO BE PROVIDED BY THE FA/FP CONTRACTOR UNDER A SEPARATE SUBMITTAL AND WORK SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR

PROJECT TEAM

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SYMBOL LEGEND

GRIDLINES	X
WALL TYPE	X
REVISION	△
MATERIAL FINISH	00
DECOR	□
KEY NOTE	◆
DOOR / WINDOW	XXX
EQUIPMENT	00
ROOM DESIGNATOR	ROOM 000

JURISDICTIONAL CONTACTS

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DC DEPARTMENT OF BUILDINGS
1100 4TH STREET, SW
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MECHANICAL	MECHANICAL SYMBOLS & ABBREVIATIONS
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PLUMBING	PLUMBING SCHEDULES
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P2	PLUMBING SCHEDULES
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P4	PLUMBING DETAILS
ELECTRICAL	ELECTRICAL SCHEDULES
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FIRE ALARM	FIRE ALARM
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GRAPHIC LEGEND

	EXISTING CONSTRUCTION AND STRUCTURAL ELEMENTS TO REMAIN
	NEW CONSTRUCTION
	EXISTING DOOR AND FRAME TO REMAIN - PROTECT IN PLACE
	NEW DOOR AND FRAME
	AREA OUTSIDE SCOPE OF WORK / BY OTHERS

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PROJECT INFORMATION:

WINGSTOP
STORE NUMBER: GL#AC213
CAPITOL HILL
406 8TH ST SE
WASHINGTON, DC 20003

SEAL:
**PRELIMINARY
NOT FOR CONSTRUCTION**

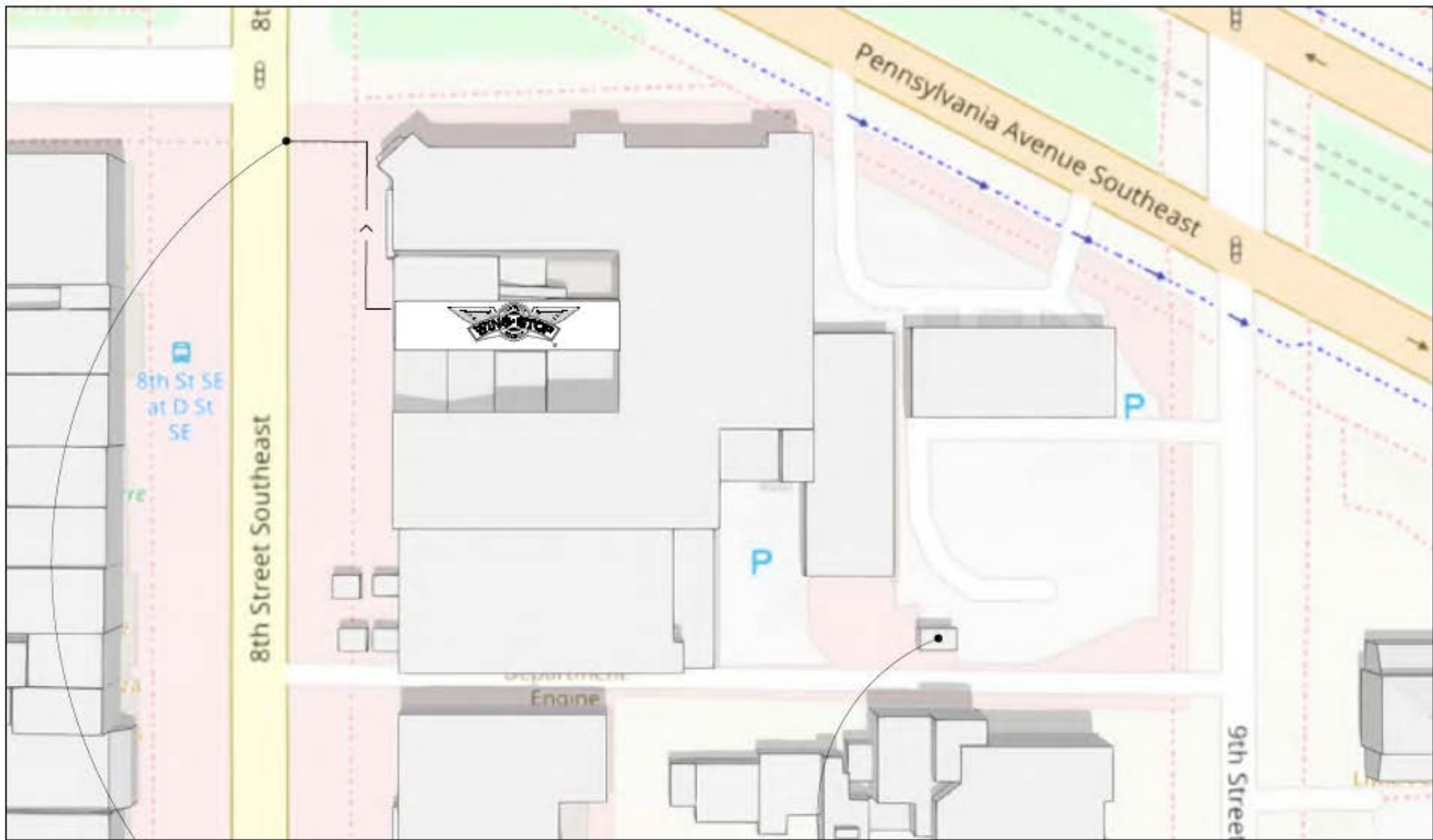
PROJECT NO.: 2024-0507
DRAWN BY: ALM
CHECKED BY: JSS

ISSUE: DATE:
PERMIT & BID SET: 2025-06-04

REVISION: DATE:
△ BLDG COMMENTS: 2025-10-03

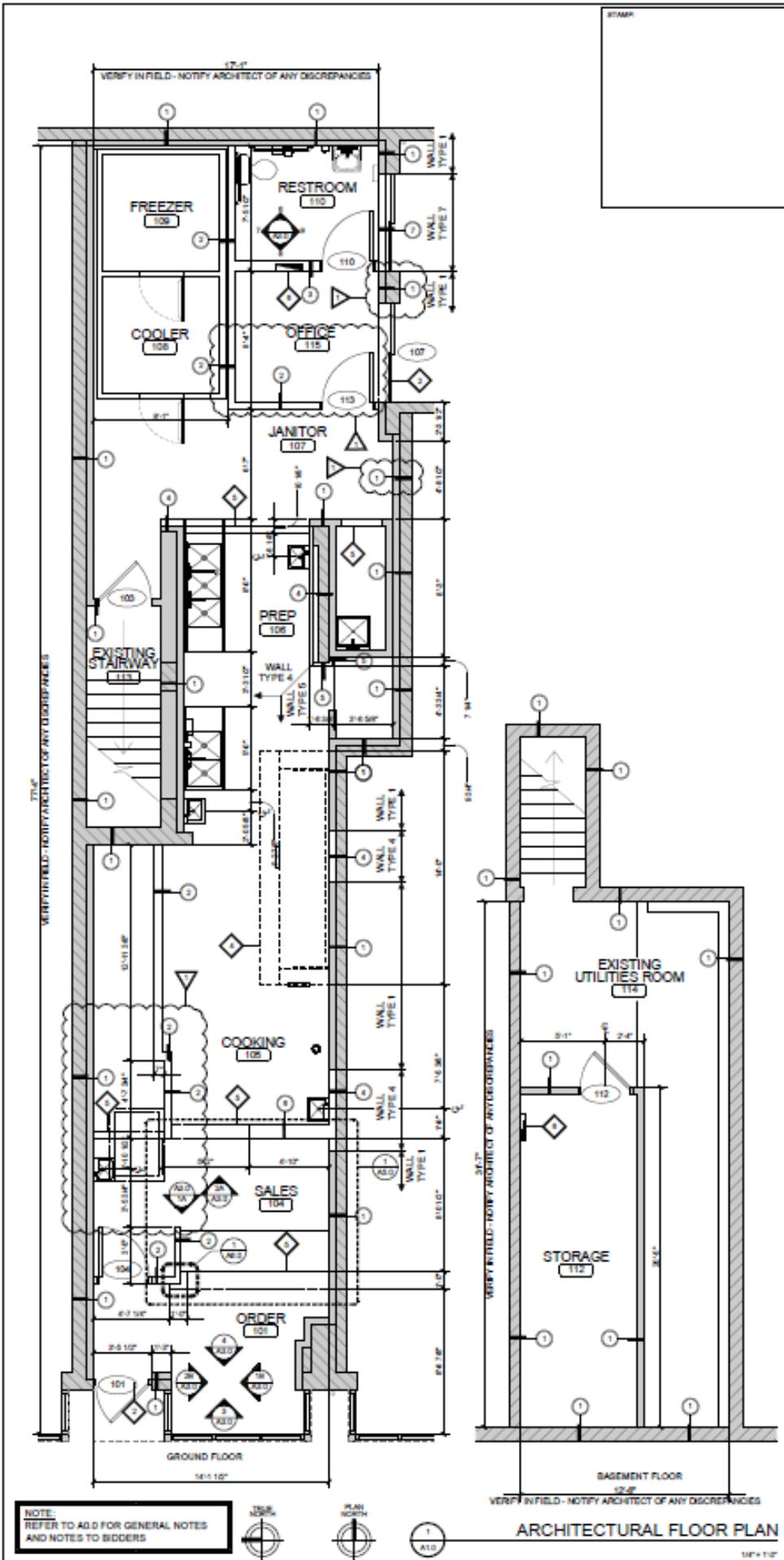
PROJECT LOCATION:
WASHINGTON, DC

SHEET NUMBER / TITLE:
G-000
COVER SHEET

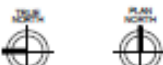


● EXIST. ACCESSIBLE PATH OF TRAVEL FROM PUBLIC WAY

● EXIST. DUMPSTER LOCATION IN ALLEY ADJACENT TO TENANT BUILDING. PROVIDED BY LANDLORD TO REMAIN - PROTECT



NOTE:
REFER TO A0.0 FOR GENERAL NOTES
AND NOTES TO BIDDERS



ARCHITECTURAL FLOOR PLAN

1/8" = 1'-0"

**DRAWING IS
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 ONLY.**

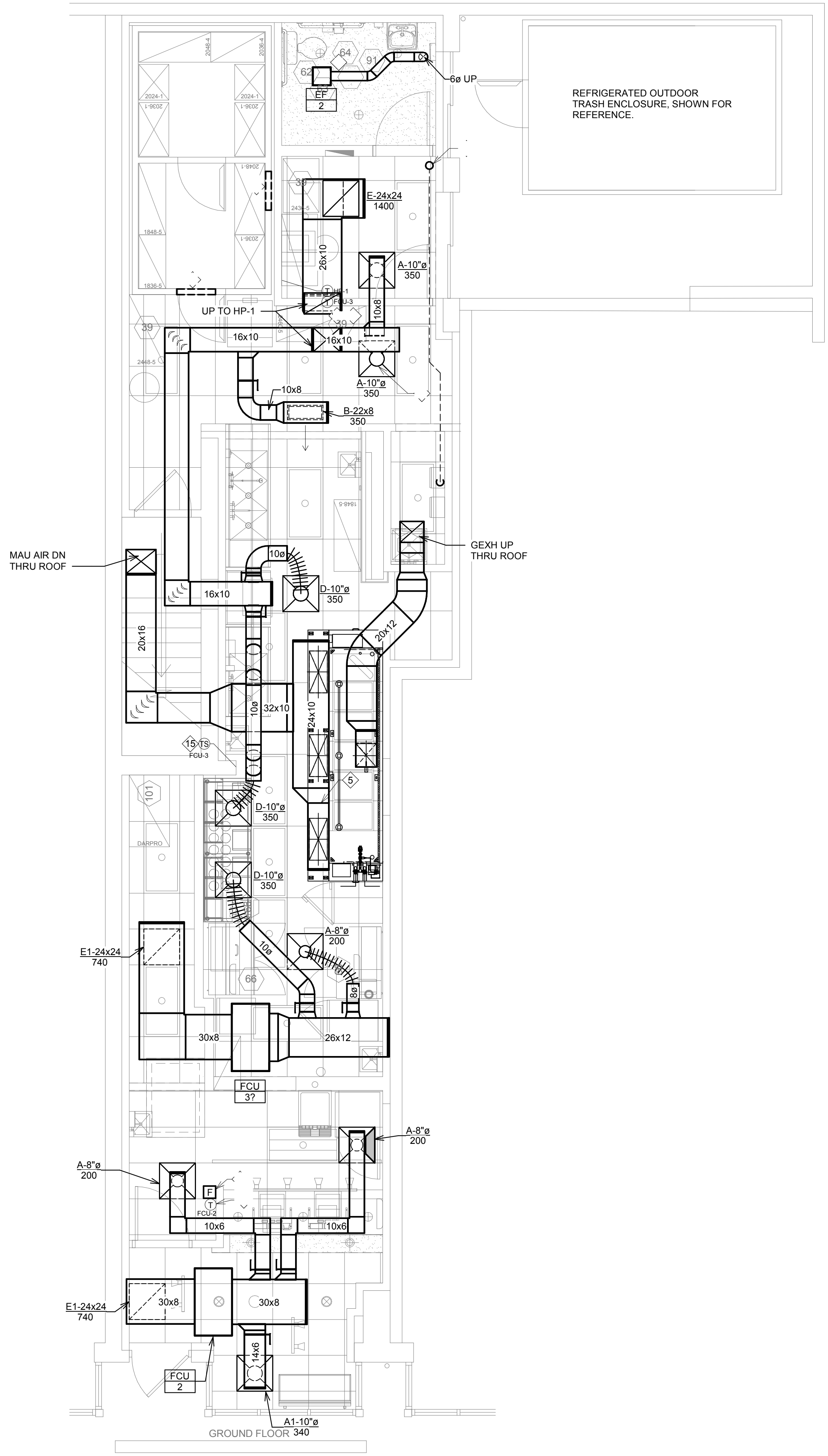
**NOT FOR
 CONSTRUCTION.**

PROJECT NO.	2024-0507
DRAWN BY	TSB
CHECKED BY	GMS
ISSUE	DATE
PERMIT & BID SET	2025-06-04

REVISION	DATE

WRI-TRAD_v103
 PROJECT LOCATION:
WASHINGTON, DC

SHEET NUMBER / TITLE:
M1
 MECHANICAL FLOOR PLAN



1 MECHANICAL FLOOR PLAN
 1/4" = 1'-0"

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

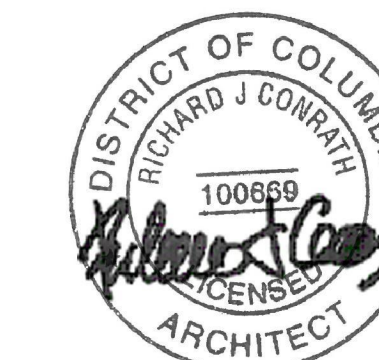
HRB Review - Gabriela Gutowski - 06-01-2017
 Mechanical Review - Chrys Edet - 06-01-2017
 Plumbing Review - Chrys Edet - 06-01-2017
 Electrical Review - Alina Mahmood - 06-01-2017
 Fire Review - Luchi Lu - 06-01-2017
 Structural Review - Semere Hadera - 06-01-2017
 Energy Review - Kristian Hoffland - 06-01-2017

G T M ARCHITECTS

7735 OLD GEORGETOWN ROAD
 SUITE 700
 BETHESDA, MD 20814
 (240)333-2000
 (240)333-2001 FAX
 WWW.GTMARCHITECTS.COM



Seal



Consultant

Project
406/408 8TH STREET SE
 406 8TH STREET, SE WASHINGTON, DC
 Owner
DOUGLAS DEVELOPMENT

Developer

Issue Description	Date
PERMIT REVISIONS	05/03/2017
PERMIT SET	03/24/2017
DEMOLITION PLANS	11/28/2016

GTM Project No. 16.0216
 Checked By RC/CP
 Drawn By LP/RG/CP
 Scale AS NOTED

Sheet Title
EXTERIOR ELEVATIONS

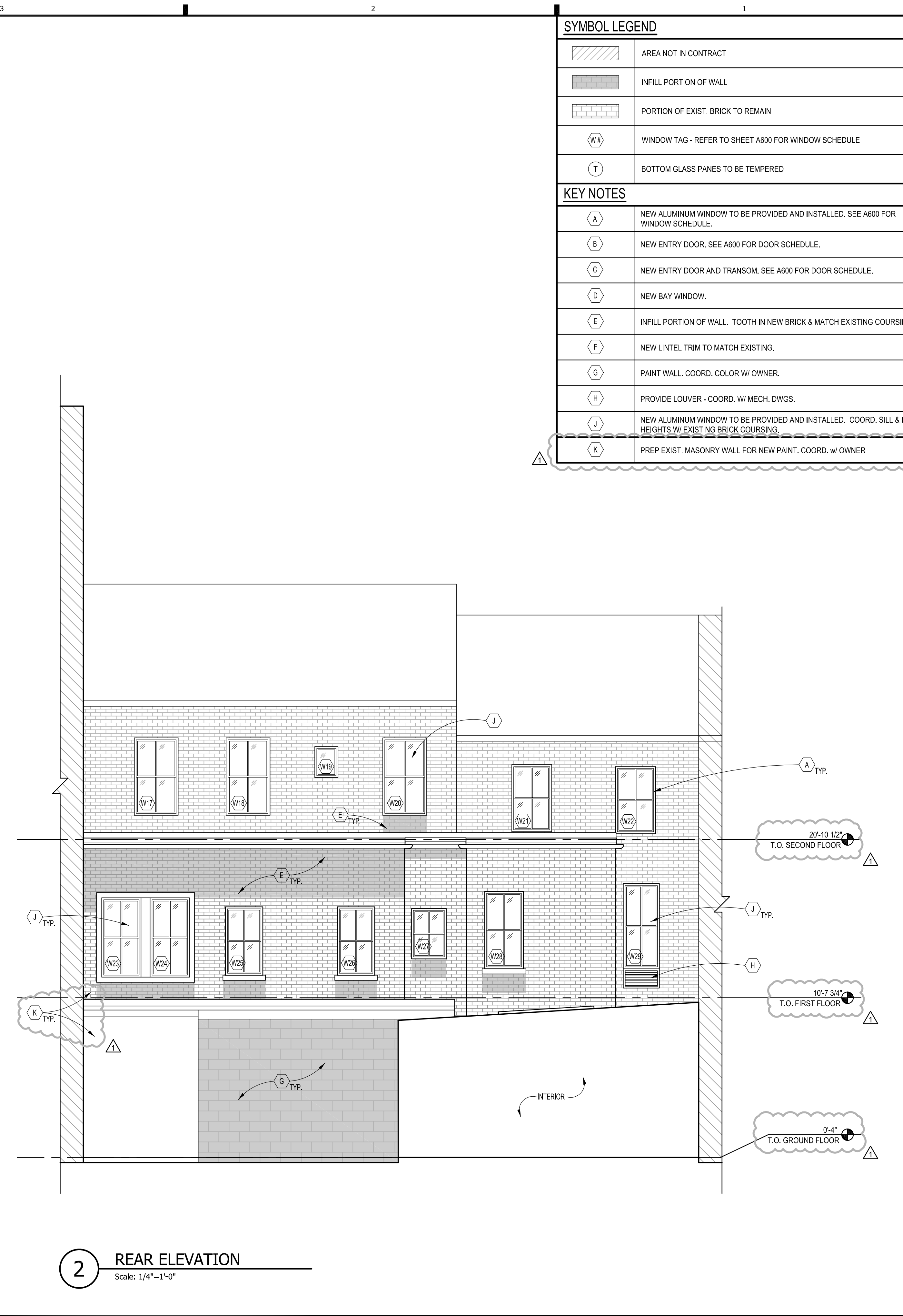
Sheet No.
A200

SYMBOL LEGEND	
	AREA NOT IN CONTRACT
	INFILL PORTION OF WALL
	PORTION OF EXIST. BRICK TO REMAIN
	WINDOW TAG - REFER TO SHEET A600 FOR WINDOW SCHEDULE
	BOTTOM GLASS PANES TO BE TEMPERED

KEY NOTES	
	NEW ALUMINUM WINDOW TO BE PROVIDED AND INSTALLED. SEE A600 FOR WINDOW SCHEDULE.
	NEW ENTRY DOOR. SEE A600 FOR DOOR SCHEDULE.
	NEW ENTRY DOOR AND TRANSOM. SEE A600 FOR DOOR SCHEDULE.
	NEW BAY WINDOW.
	INFILL PORTION OF WALL. TOOTH IN NEW BRICK & MATCH EXISTING COURSING.
	NEW LINTEL TRIM TO MATCH EXISTING.
	PAINT WALL. COORD. COLOR W/ OWNER.
	PROVIDE LOUVER - COORD. W/ MECH. DWGS.
	NEW ALUMINUM WINDOW TO BE PROVIDED AND INSTALLED. COORD. SILL & HEAD HEIGHTS W/ EXISTING BRICK COURSING.
	PREP EXIST. MASONRY WALL FOR NEW PAINT. COORD. W/ OWNER



1 FRONT ELEVATION
 Scale: 1/4"=1'-0"



2 REAR ELEVATION
 Scale: 1/4"=1'-0"

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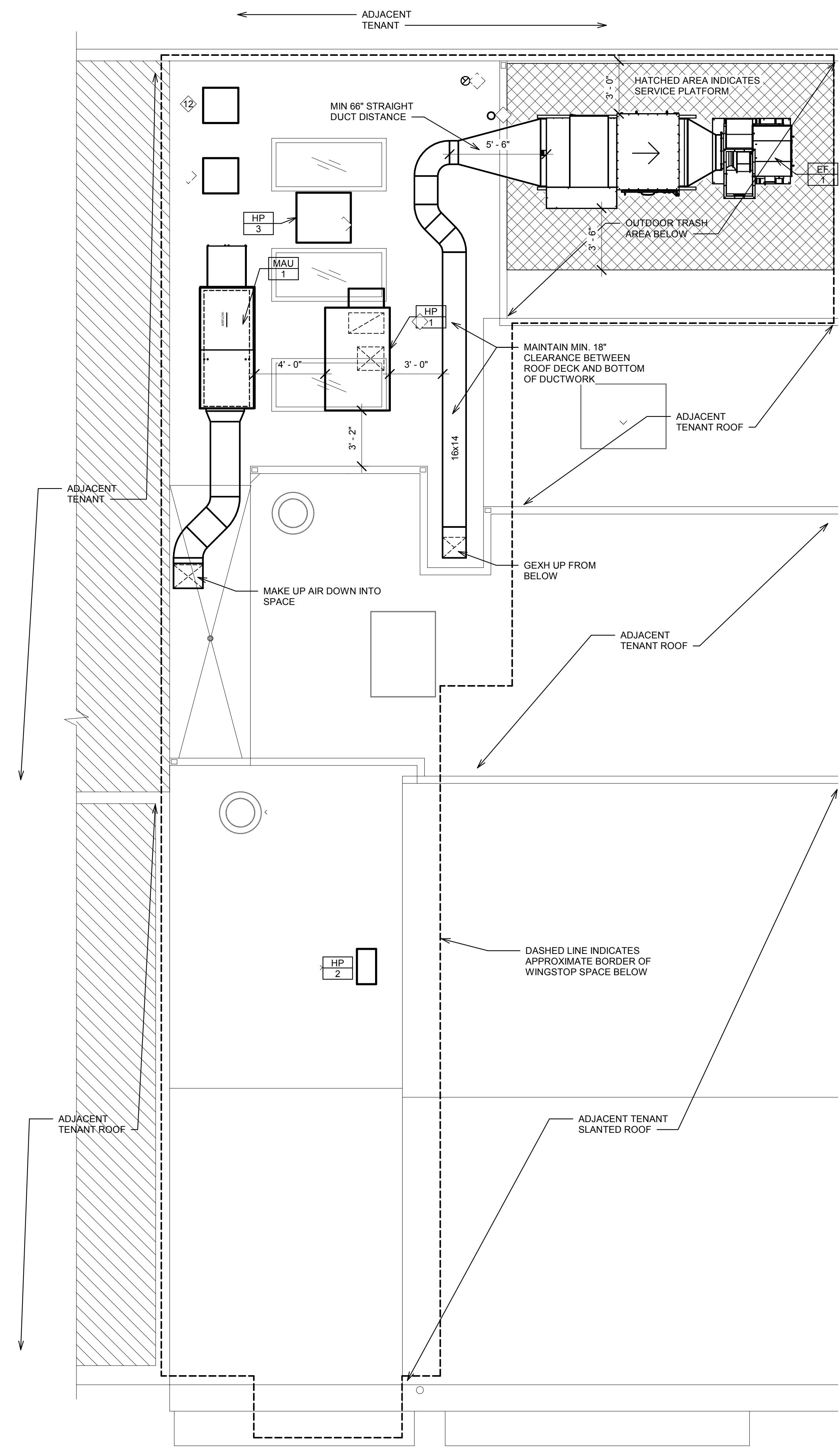
PROJECT NO. 2024-0507
 DRAWN BY TSB
 CHECKED BY GMS

ISSUE	DATE
PERMIT & BID SET	2025-06-04

REVISION	DATE
1 BLDG COMMENTS	10/03/2025

WRI-TRAD_v103
 PROJECT LOCATION:
WASHINGTON, DC

SHEET NUMBER / TITLE:
M1.2
 MECHANICAL ROOF PLAN



1 ROOF PLAN MECH
 1/4" = 1'-0"