

710 TAYLOR ST NW
WASHINGTON DC
20011

LOT: 0053 SQUARE: 3134

RESIDENTIAL ROW
BUILDING

PROJECT CODE -

OWNER

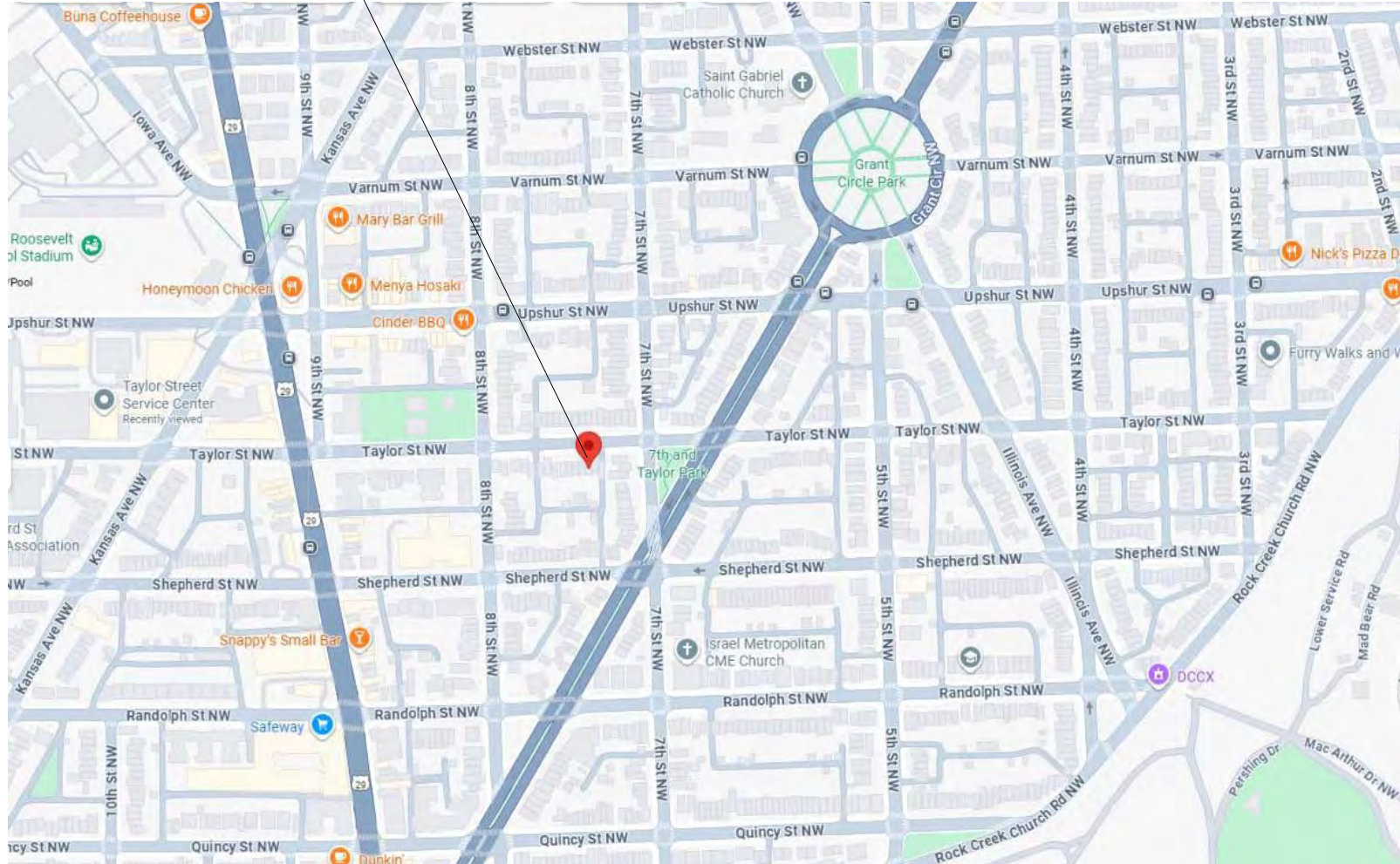
OWNER ADDRESS
41649 WHITE YARROW CT
ASHBURN VA 20148

PROPERTY ADDRESS
710 TAYLOR ST NW
WASHINGTON DC 20011

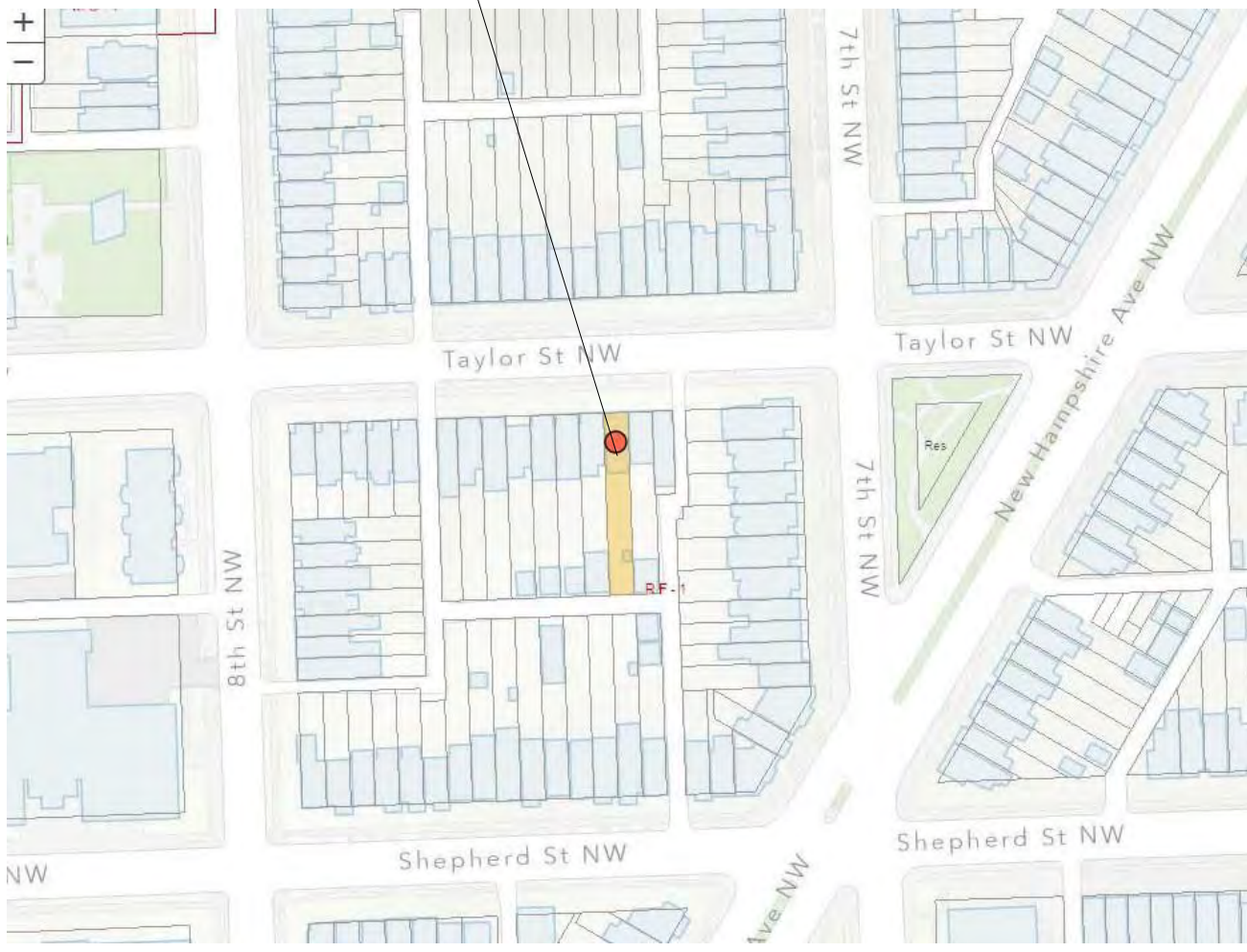
Square, Suffix, Lot
3134 0053

PROJECT DESIGN TEAM
ONE DESIGN SERVICES

LOCATION



VICINITY MAP

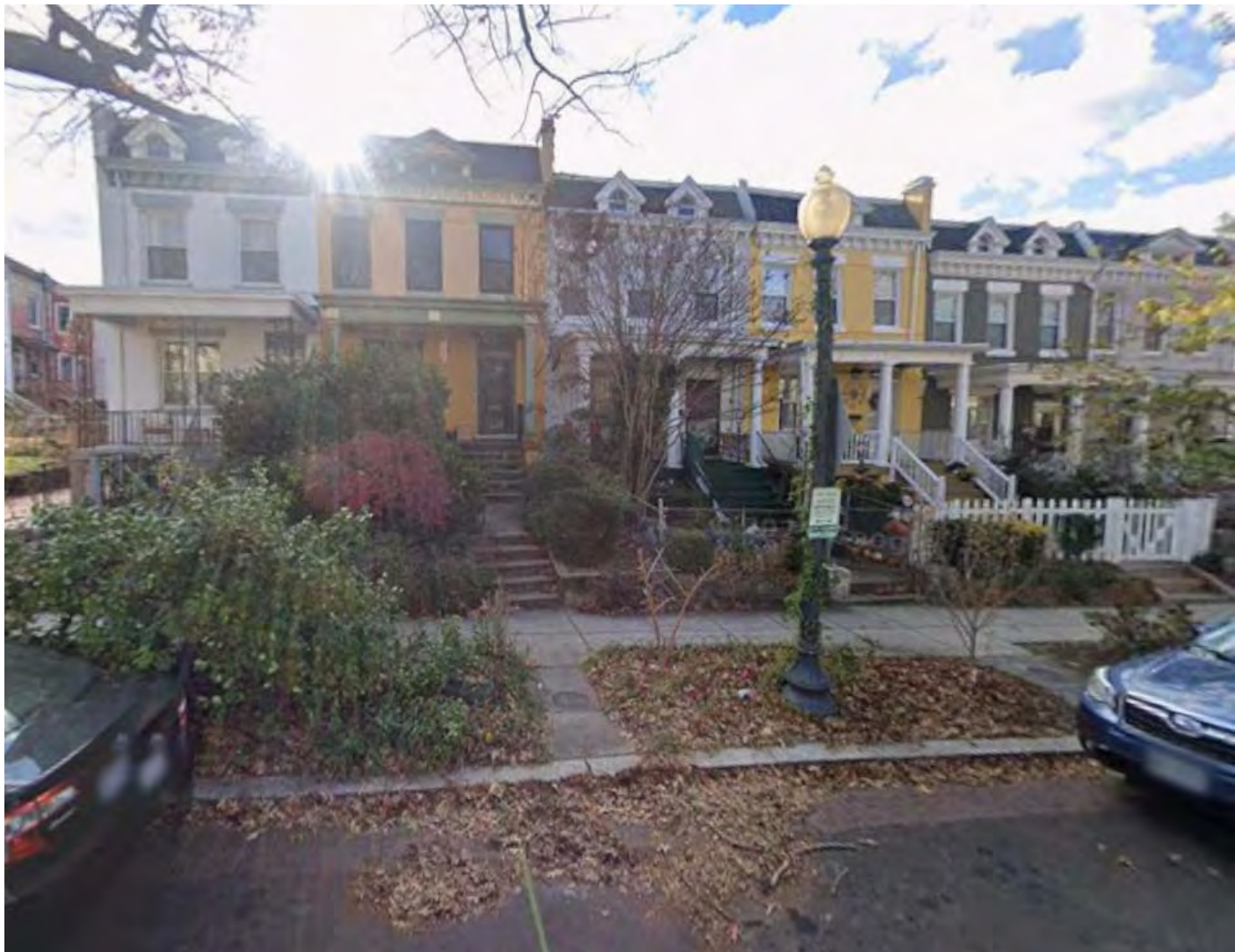


SYMBOLS

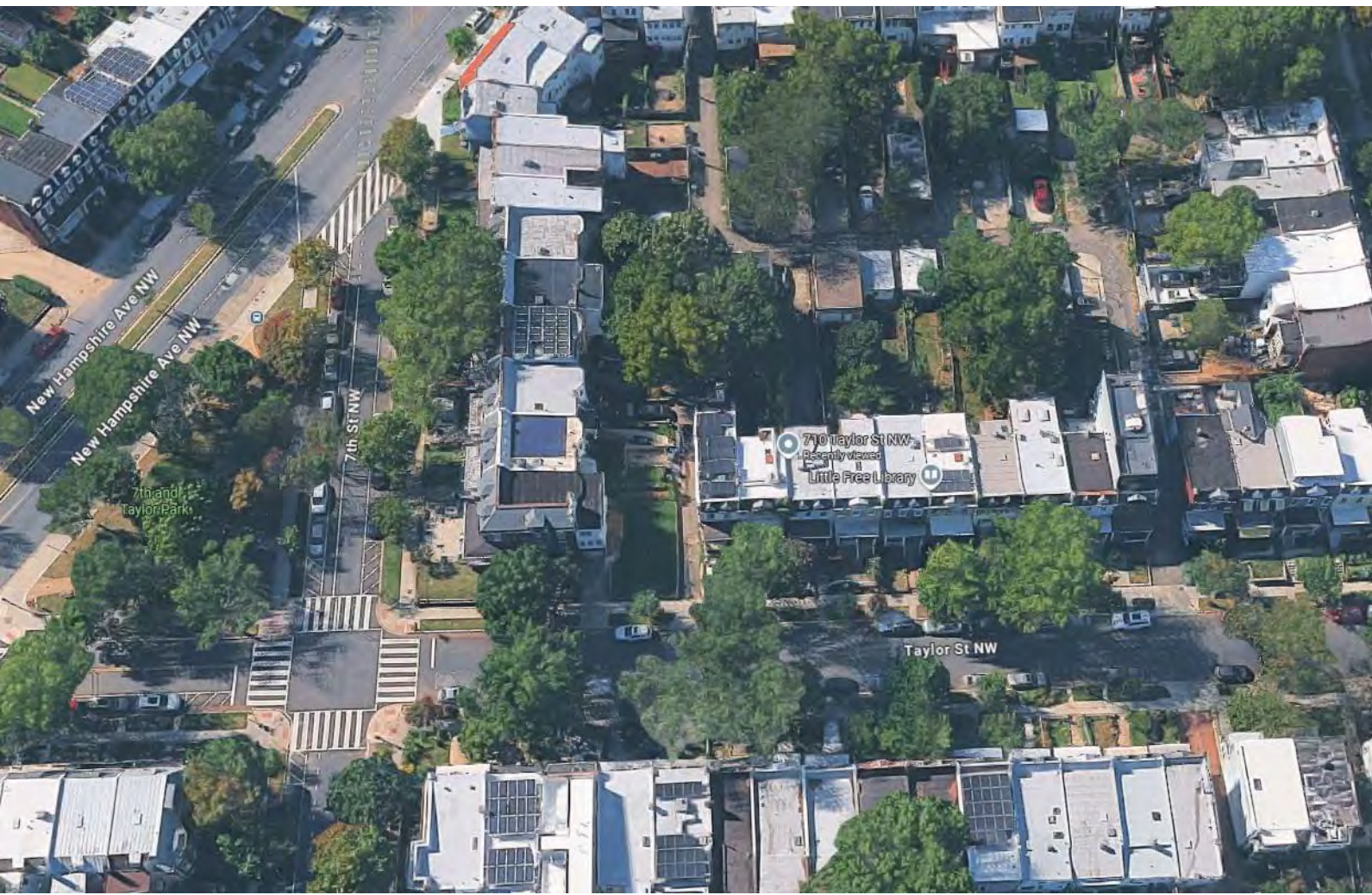
ABBREVIATIONS

PLAN DETAIL REFERENCE xx x DETAIL REFERENCE SHEET NUMBER ELEVATION REFERENCE xx x DETAIL REFERENCE SHEET NUMBER SECTION REFERENCE xx x DETAIL REFERENCE SHEET NUMBER EXISTING WALL TO BE REMOVED EXISTING WALL TO REMAIN NEW BRICK WALL NEW CMU WALL NEW STUD WALL	DOOR DESIGNATION WINDOW DESIGNATION PARTITION TYPE KEY NOTE ROOM NUMBER FIXTURE TYPE ELEVATION MARKER INTERIOR ELEVATION DESIGNATION ROOF SLOPE DIRECTION	AFF ABOVE FINISH FLOOR AA ALL AROUND ACOUS ACOUSTICAL ACT ACOUSTICAL CEILING TILE ADJ ADJUSTABLE ALUM ALUMINUM ANOD ANODIZED BD BOARD BLKG BLOCKING BS BOTH SIDES CL CENTER LINE CLG CEILING CMU CONCRETE MASONRY UNIT CONT CONTINUOUS DIA DIAMETER DIM DIMENSION DN DOWN DOUG DOUGLAS DR DOOR DTL DETAIL DWG DRAWING ELEC ELECTRICAL ELEV ELEVATION EQ EQUAL EQUIP EQUIPMENT EXST. EXISTING FF FINISH FLOOR FIXT FIXTURE FLR FLOOR FLUOR FLUORESCENT GFI GROUND FAULT INTERRUPTER GC GENERAL CONTRACTOR GL GLAZING GYP GYPSUM GWB GYPSUM WALL BOARD HDWR HARDWARE HM HOLLOW METAL MAT MATERIAL MAX MAXIMUM MC MILLWORK CONTRACTOR MDF MEDIUM DENSITY FIBERBOARD MDO MEDIUM DENSITY OVERLAY MECH MECHANICAL MIN MINIMUM MISC MISCELLANEOUS MOLD MOLDING MO MASONRY OPENING MTD MOUNTED MTL METAL OC ON CENTER OPP OPPOSITE PLYWD PLYWOOD PL PLATE POL POLISHED PTD PAINTED RCP REFLECTED CEILING PLAN RND ROUND RO ROUGH OPENING SC SOLID CORE SIM SIMILAR SHT SHEET STND STAINED STL STEEL STOR STORAGE TEL TELEPHONE TYP TYPICAL TME TO MATCH EXISTING UON UNLESS OTHERWISE NOTED VOT VINYL COMPOSITION TILE VERT VERTICAL VEN VENEER VIF VERIFY IN FIELD VWC VINYL WALL COVERING W WITH
---	--	--

FRONT PHOTO



ARIAL PHOTO



SCOPE OF WORKS

ADDITION, ALTERATION AND REPAIR
ON A RESIDENTIAL ROW BUILDING. TO
CONVERT UNIT TO 3 UNITS
RESIDENTIAL.

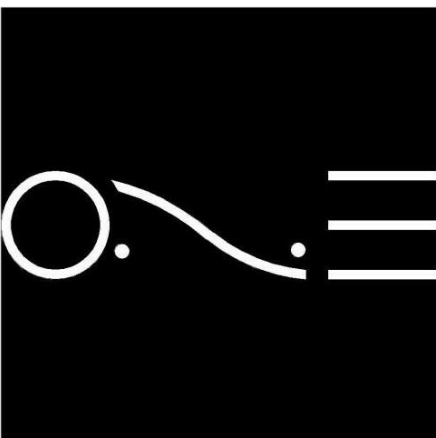
- TO CONSTRUCT REAR ADDITION
- TO CONSTRUCT REAR DECK AND STAIR.
- TO CONSTRUCT THIRD FLOOR ADDITION AND ROOF DECK.
- TO UNDERPIN EXISTING CELLAR.
- TO INSTALL MEP ENTIRELY.
- TO CONSTRUCT PARKING PAD IN THE REAR YARD.
- TO REPLACE EXISTING FLOOR JOISTS IN PLACE.

DRAWING INDEX

Sheet List	
Sheet Number	Sheet Name
01	COVER
02	SITE PLANS AND ZONING CALCS
03	EXISTING SITUATION
04	EXISTING DEMO LAYOUTS
05	PROPOSED LAYOUTS
06	PROPOSED LAYOUTS
07	ELEVATIONS
08	SIDE ELEVATIONS
09	SECTION
10	AREA PLAN
11	LANDSCAPE SITE PLAN
12	SHADOW STUDY
13	SHADOW STUDY
14	RENDERINGS

710 TAYLOR ST NW

DISTRICT OF COLUMBIA
20011



ONE DESIGN SERVICES

onedesignservices.net
Tel. 571.225.7211

REVISION #	
SCALE	AS INDICATED
ISSUE DATE	MAY 2025

COVER

01

Board of Zoning Adjustment
District of Columbia
CASE NO. 21430
EXHIBIT NO. 30A

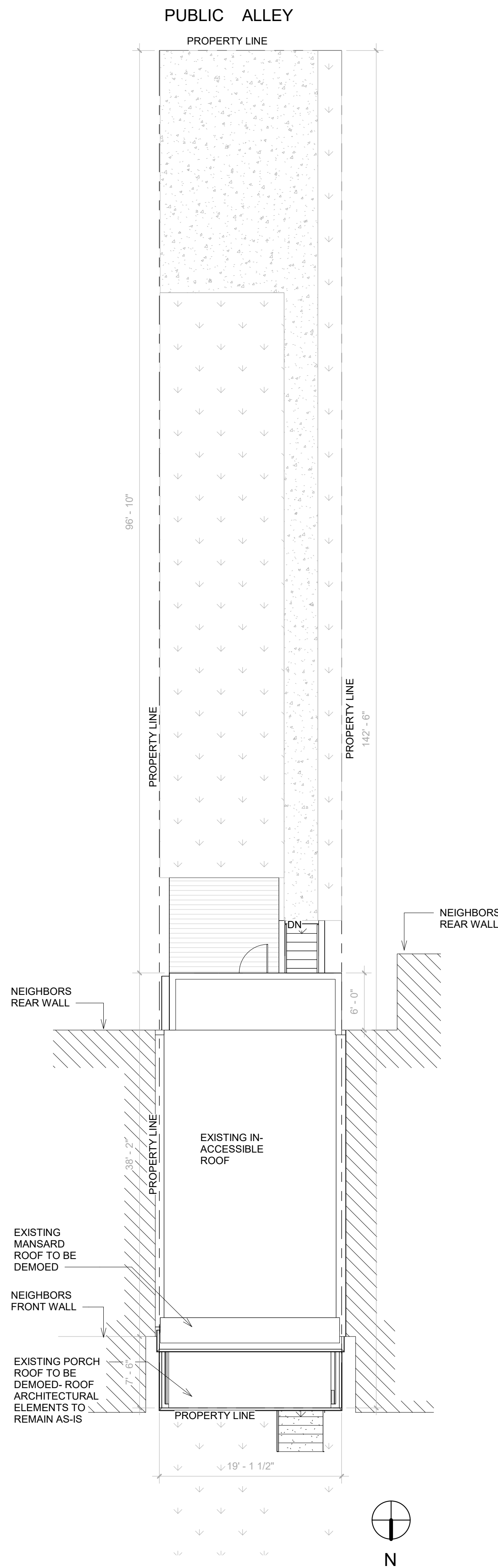
PROJECT DESIGN TEAM

-IKECHEKWU AGBIM
iagbim@gmail.com
202-276-7796

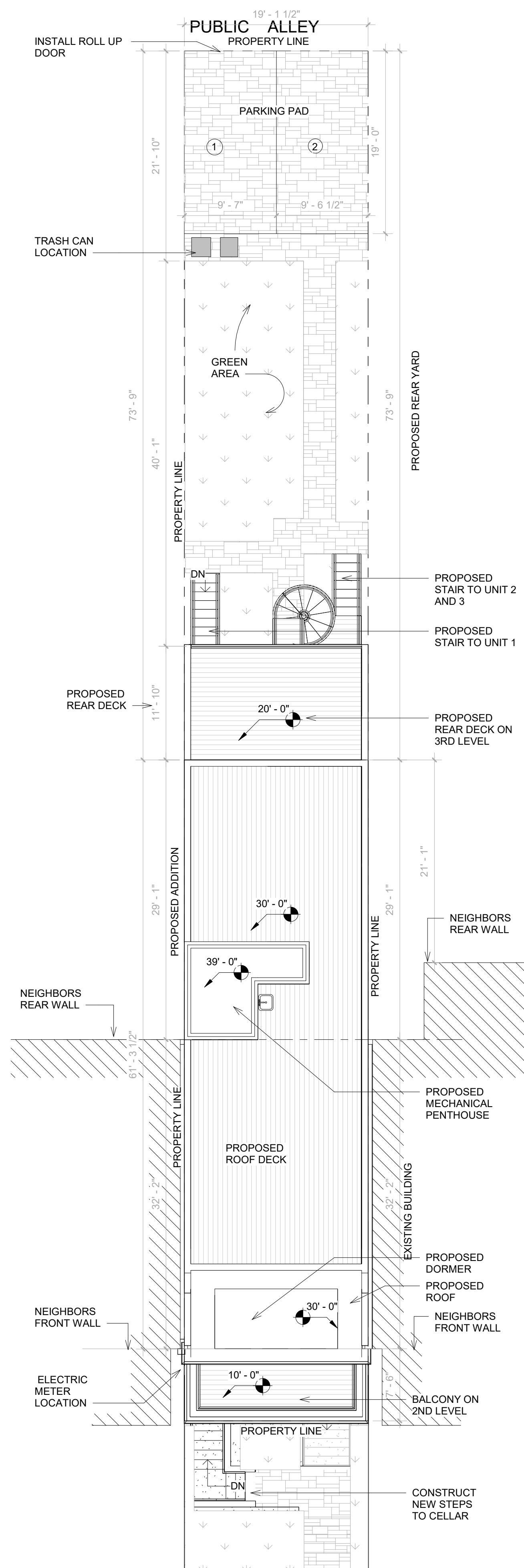
-KHALID LAMAAFI
allatmep@gmail.com
512-621-2406

-DAGMAWI GEBREKIDAN
dagi.abebe@gmail.com
571-225-7211

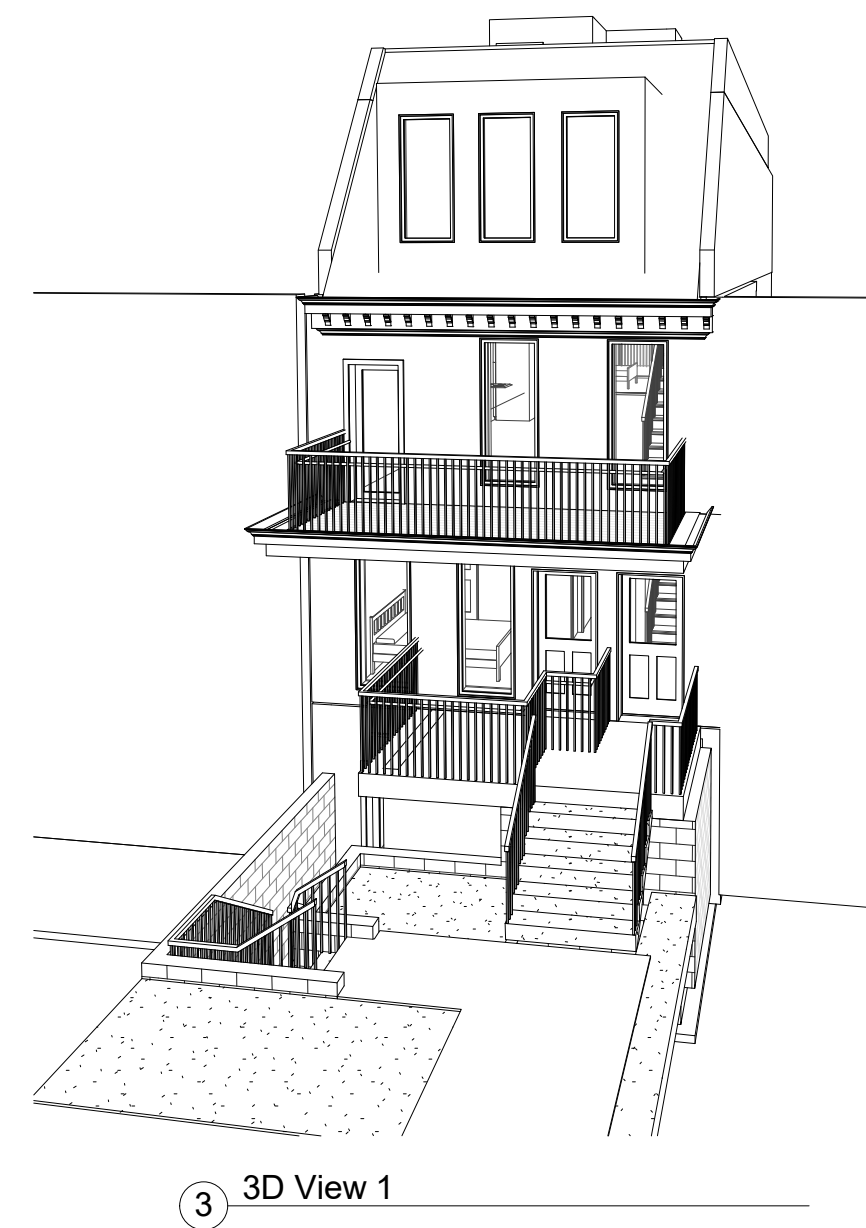
-NASIR SIRAJ
nas@makazoengineering.com
202-853-2110



1 SITE PLAN EXISTING
1/8" = 1'-0"



2 SITE PLAN
1/8" = 1'-0"



GENERAL NOTES

GENERAL INFORMATION	EXISTING LOT	PROPOSED BUILDING
USE GROUP	R3	R3
TYPE OF CONSTRUCTION	VB	VB
FULLY SUPPRESSED (SPRINKLED)	NO	NO
LOT AREA	2725	2725
BUILDING FOOTPRINT	875	1585

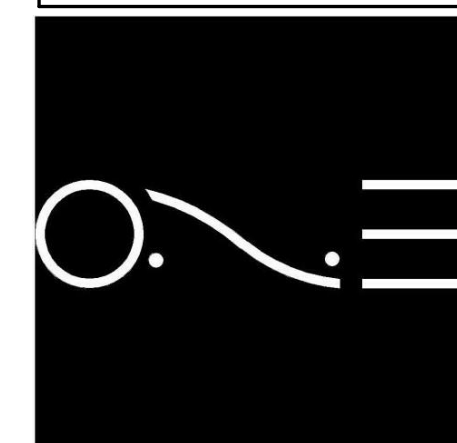
ABOVE GRADE:	1ST - 730 SF 2ND - 730 SF	1ST - 1170 SF 2ND - 1170 SF 3RD - 1150 SF PH - 100 SF
	TOTAL = 1460 SF CELLAR - 615 SF GFA = 2075 SF	TOTAL = 3590 SF CELLAR - 1275 SF GFA = 4865 SF
IMPERMEABLE AREA	1540 SF	1585 SF
GREEN AREA	1185 SF	624 SF
PERMEABLE PAVEMENT	NA	516 SF
TOTAL PERVIOUS	1185 SF (43%)	1140 SF (42%)

BUILDING HEIGHT	2 story	34' - 0" / 3 STORIES
NUMBER OF EXITS	3	3
SOUND TRANSMISSION	-	STC 52
SMOKE DETECTORS	YES	YES
CO DETECTORS	YES	YES
SPRINKLER	NO	YES
INSULATION		YES; EXTERIOR WALLS @ R19; ROOF @ R-49

GENERAL NOTES / ZONING CODE ANALYSIS		710 TAYLOR ST NW WASHINGTON DC 20011 TOTAL LOT AREA 2725_SF TOTAL LOT WIDTH 142.5'-DEPTH & 19.12' WIDTH	
ZONING DISTRICT	RF-1		
USE GROUP	R-2		
LOT	0053		
SQUARE	3134		
REQUIREMENT	EXISTING	ALLOWABLE / REQUIRED	PROPOSED
LOT OCCUPANCY	875 SF (32%)	1635 SF (60%)	1585 SF (58%)
HEIGHT	24 FT	35 FT (3 STORIES)	34 FT
SIDEYARD WIDTH	N/A	5 FT	N/A
REAR YARD SETBACK	96'-10"	20 FT MIN	40'-1"
PARKING	1	1	2
FRONT YARD	0 FT	WITHIN RANGE OF EX.	0 FT
DWELLING UNITS	1	2	3

710 TAYLOR ST NW

DISTRICT OF COLUMBIA
20011



ONE DESIGN SERVICES

onedesignservices.net
Tel. 571.225.7211

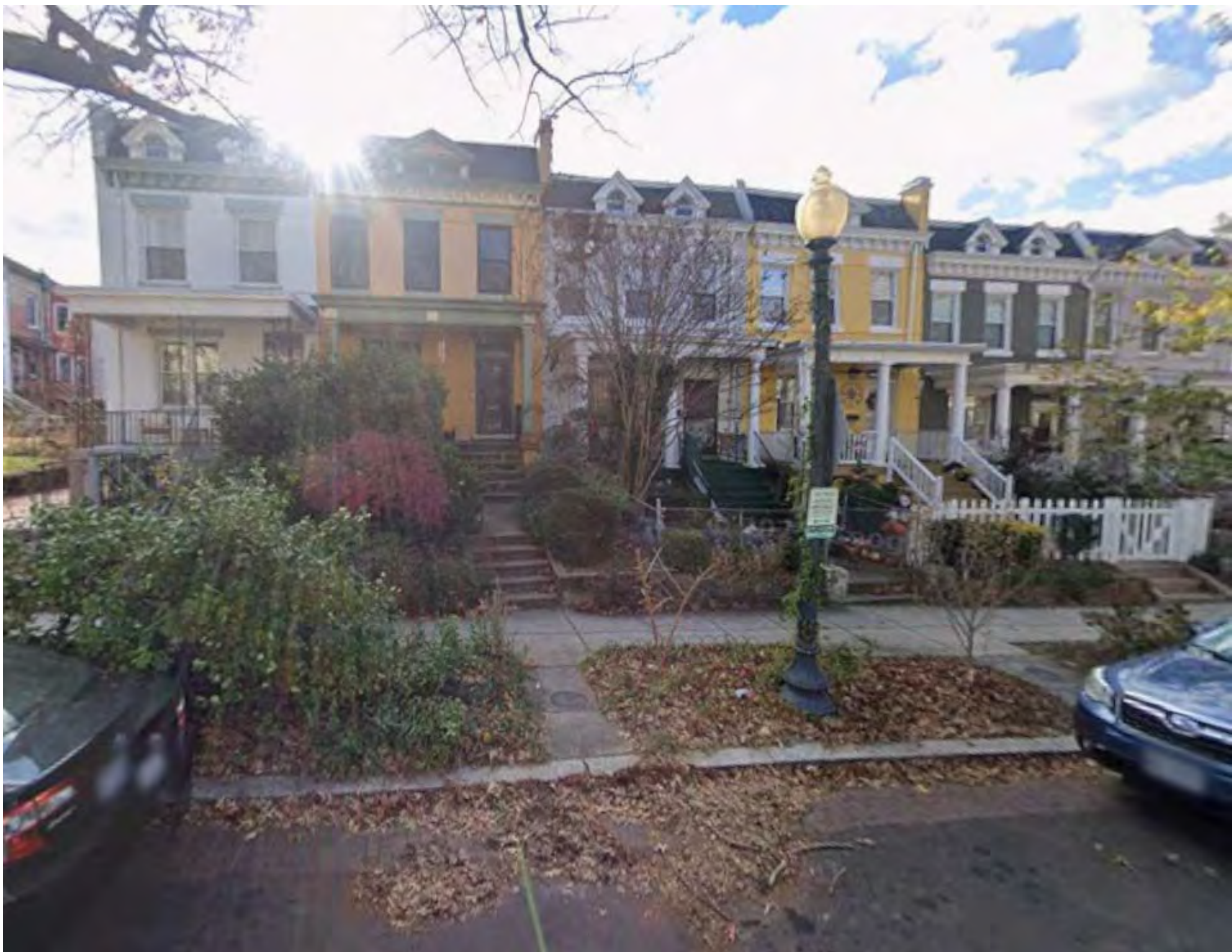
REVISION #
SCALE
ISSUE DATE

AS INDICATED

MAY 2025

SITE PLANS
AND ZONING
CALCS

02



FRONT VIEW



FRONT STEPS



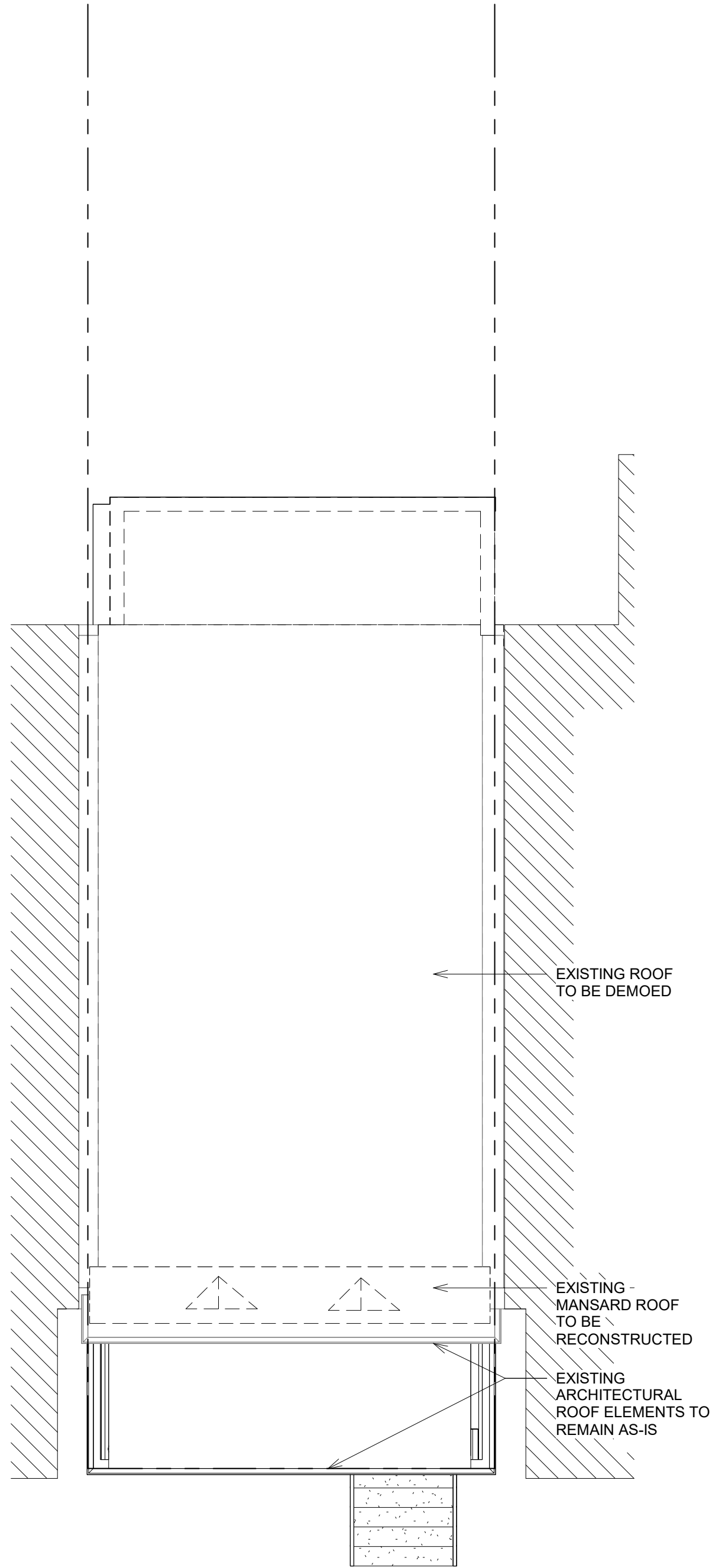
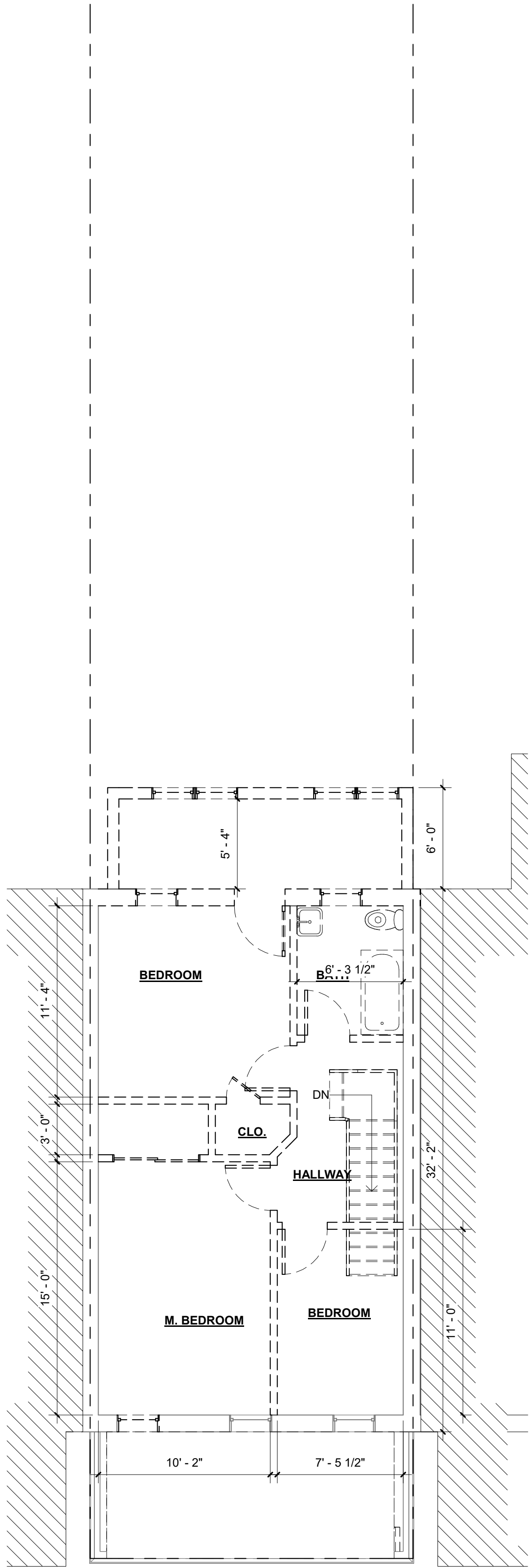
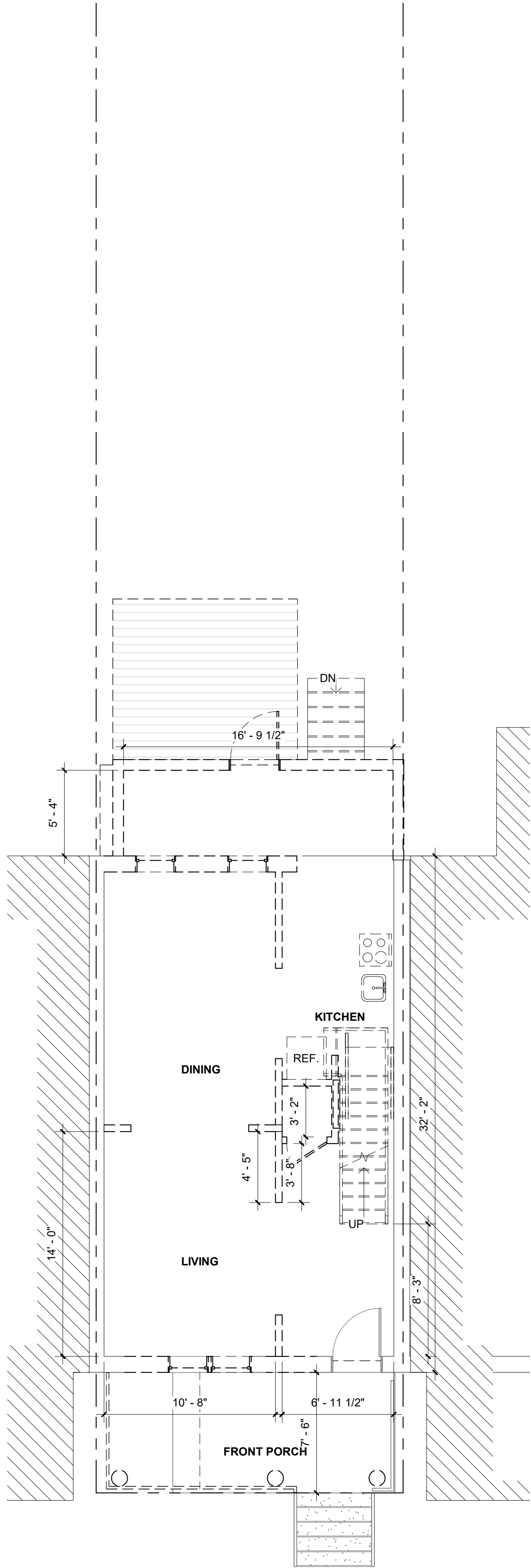
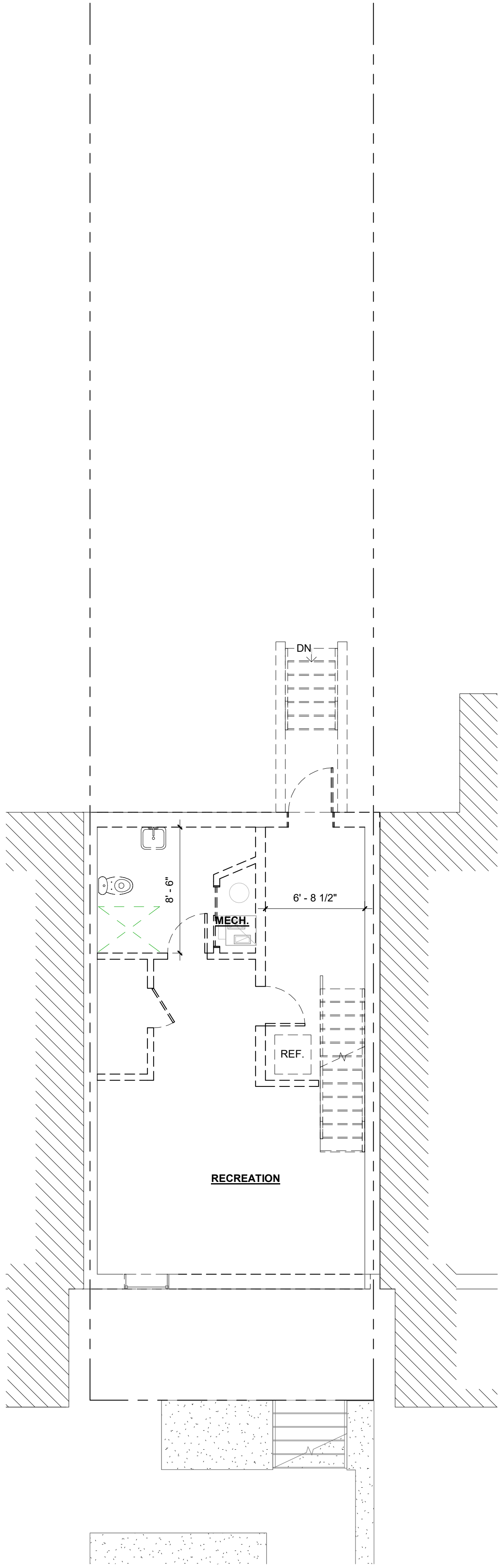
EXISTING REAR WALL



VIEW TOWARDS REAR ALLEY



VIEW FROM REAR ALLEY



	DEMO WALL
	NEW WALL
	EXISTING WALL
	EXISTING BRICK WALL
	EXISTING DOOR
	PROPOSED DOOR
	EXISTING WINDOW
	PROPOSED WINDOW

710 TAYLOR ST NW
DISTRICT OF COLUMBIA
20011

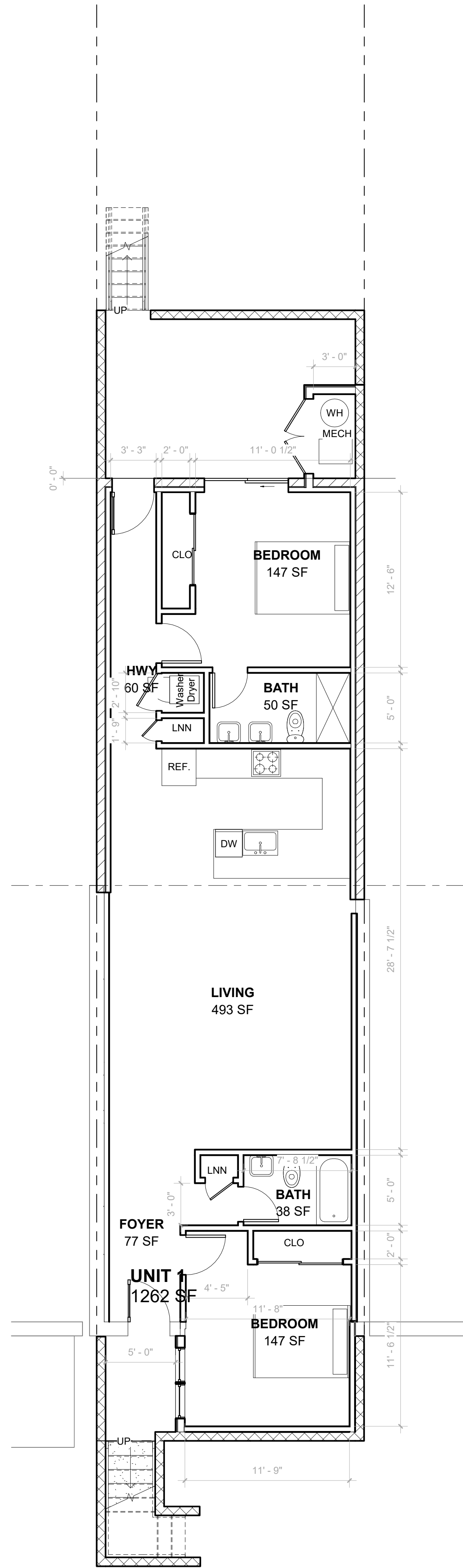
ONE DESIGN SERVICES
onedesignservices.net
Tel. 571.225.7211

REVISION #
SCALE
ISSUE DATE

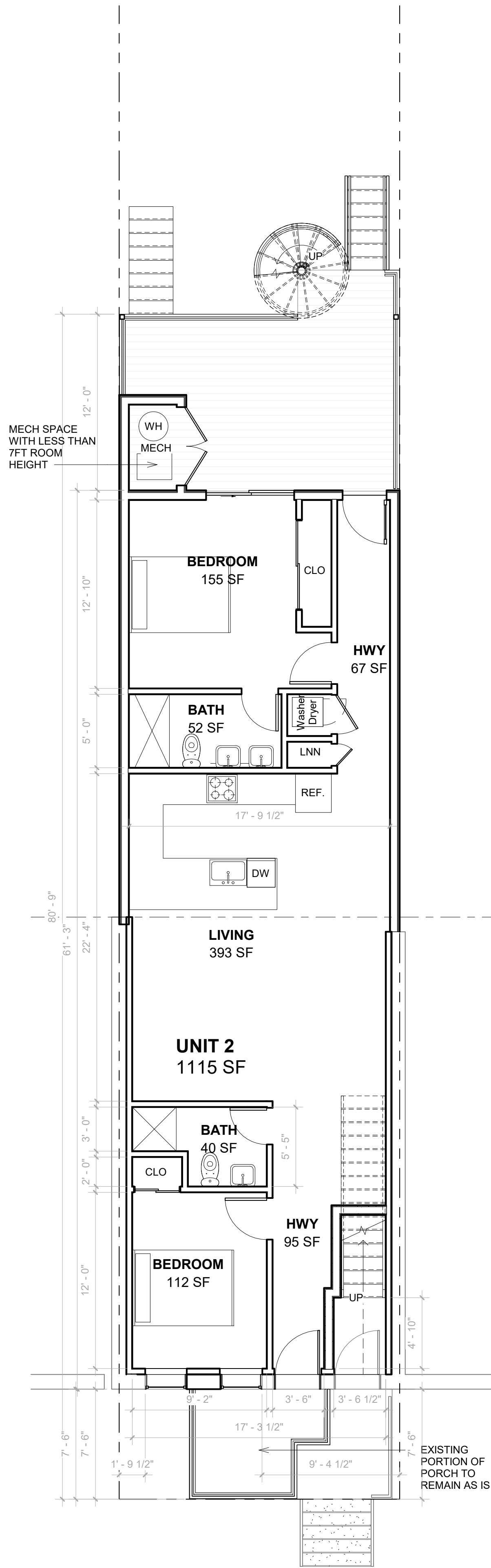
AS INDICATED
MAY 2025

EXISTING DEMO LAYOUTS

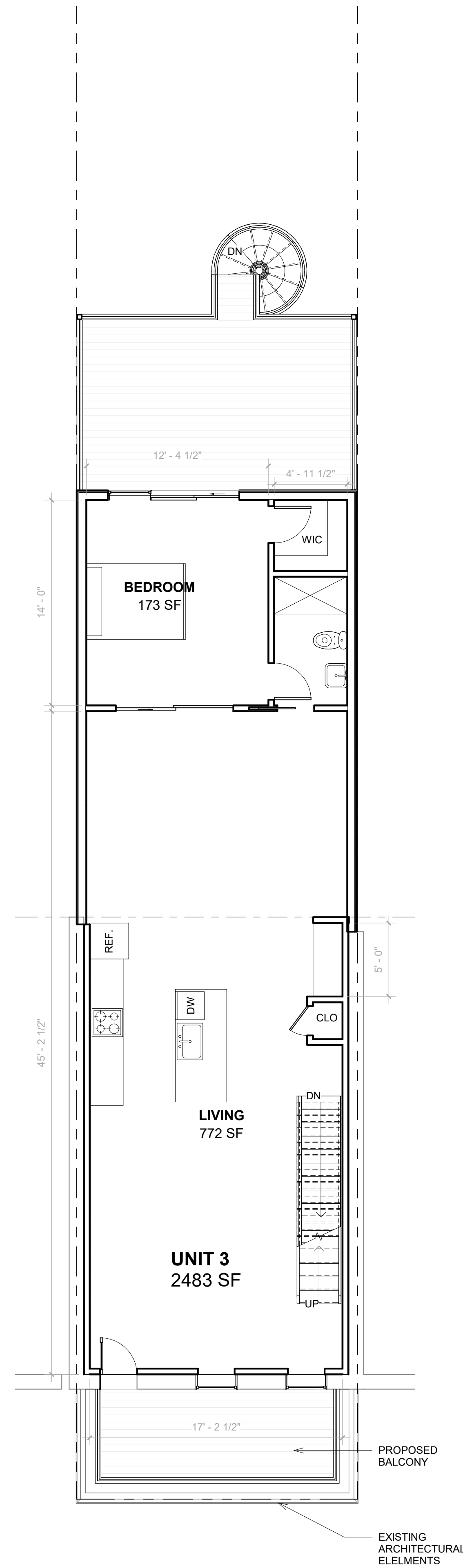
04



① PROPOSED CELLAR
3/16" = 1'-0"



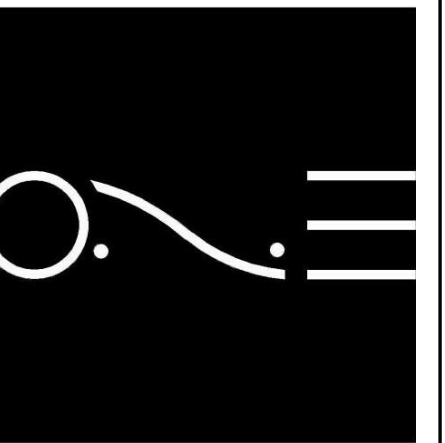
② 1ST FLOOR PLAN
3/16" = 1'-0"



③ PROPOSED SECOND FLOOR
3/16" = 1'-0"

710 TAYLOR ST NW

DISTRICT OF COLUMBIA
20011



ONE DESIGN SERVICES

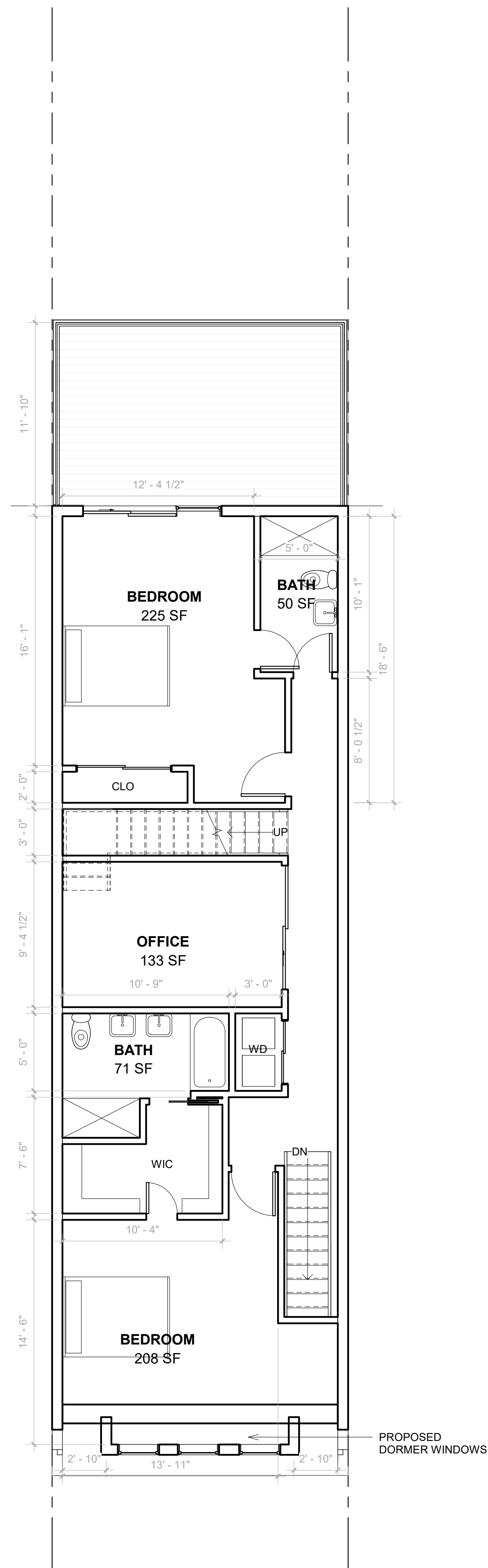
onedesignservices.net
Tel. 571.225.7211

REVISION #
SCALE
ISSUE DATE

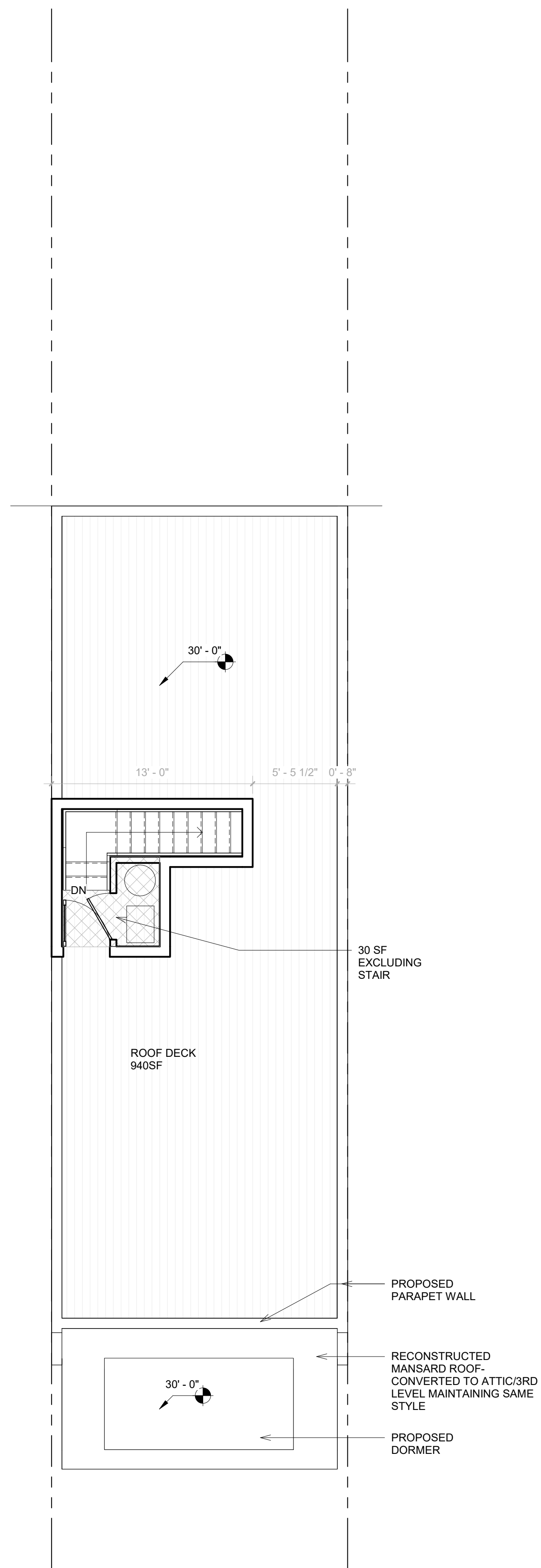
AS INDICATED
MAY 2025

**PROPOSED
LAYOUTS**

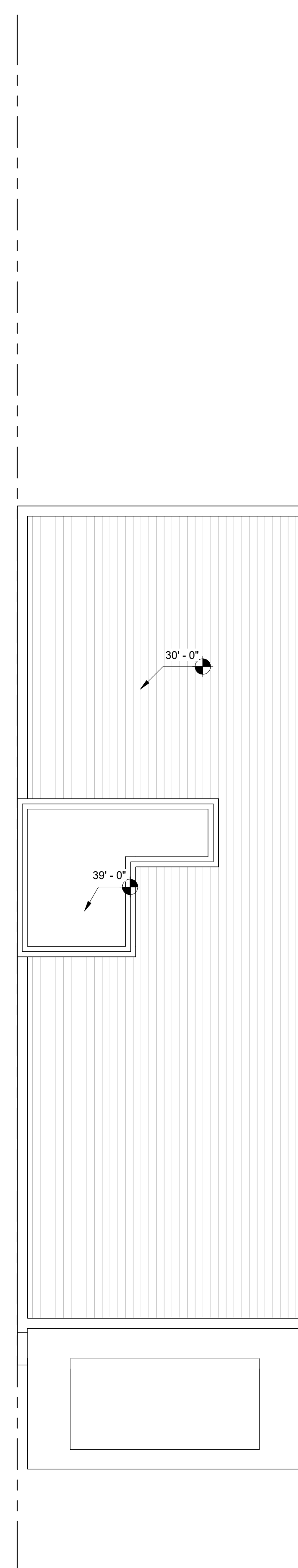
05



① PROPOSED THIRD LEVEL
3/16" = 1'-0"

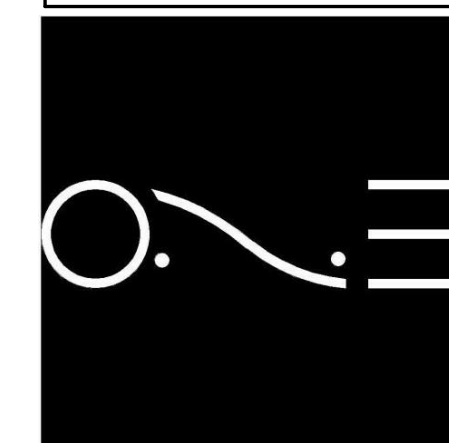


2 PROPOSED MECH PENTHOUS
3/16" = 1'-0"



③ PROPOSED ROOF
3/16" = 1'-0"

710 TAYLOR ST NW

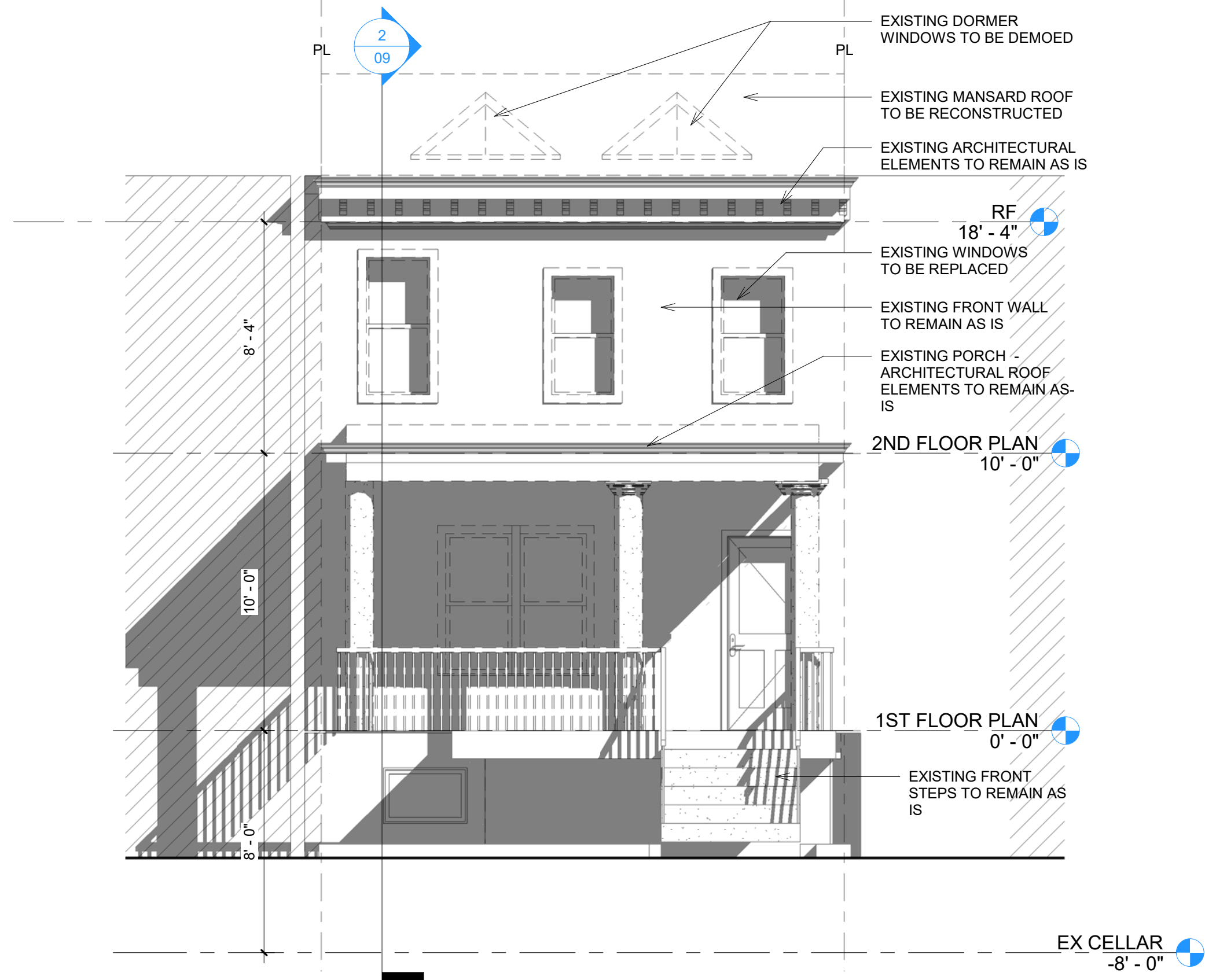
DISTRICT OF COLUMBIA
20011

ONE DESIGN SERVICES
onedesignservices.net
Tel. 571.225.7211

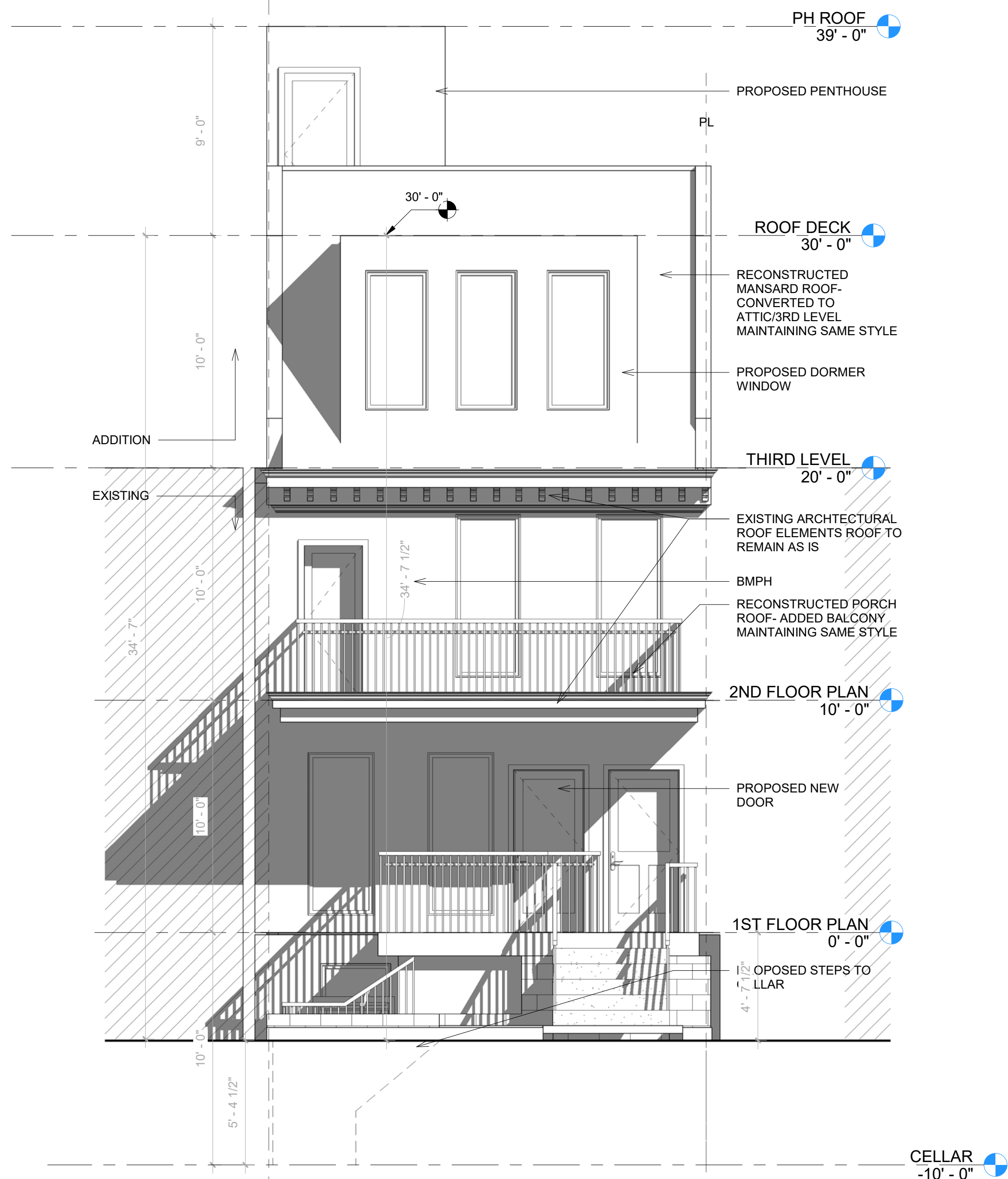
REVISION #	
SCALE	AS INDICATED
ISSUE DATE	MAY 2025

PROPOSED LAYOUTS

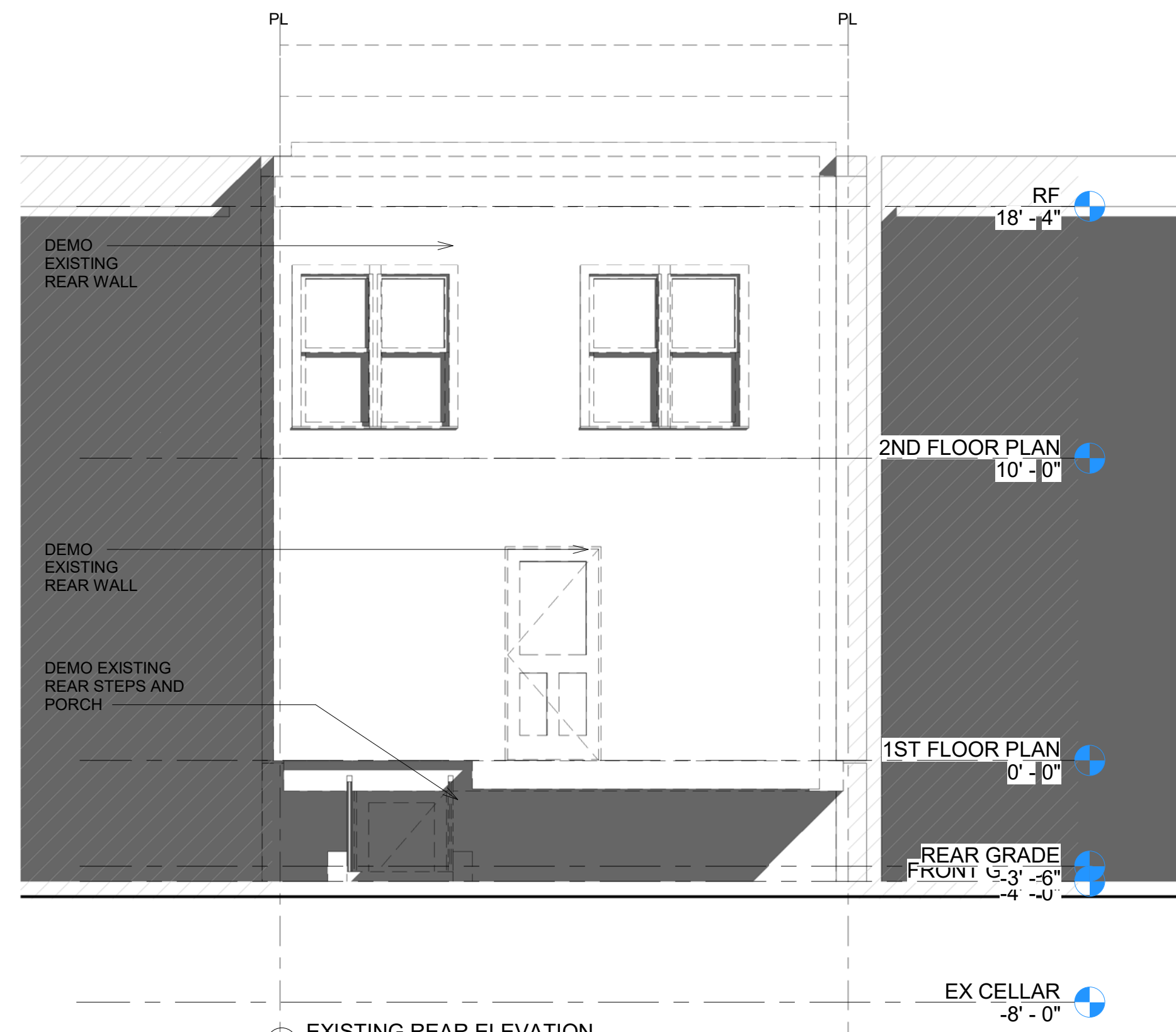
06



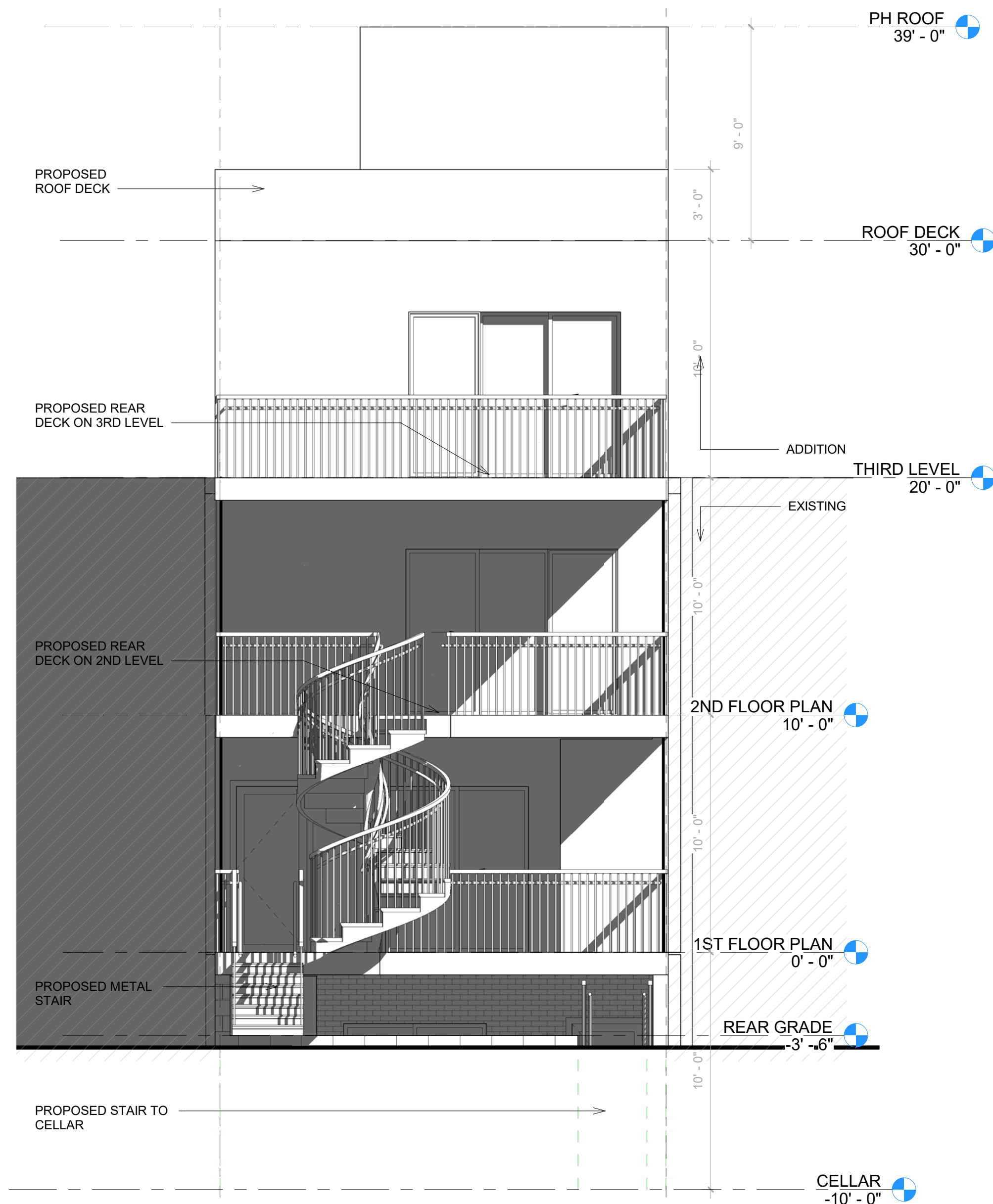
1 EXISTING FRONT ELEVATION
1/4" = 1'-0"



2 PROPOSED FRONT ELEVATION
1/4" = 1'-0"



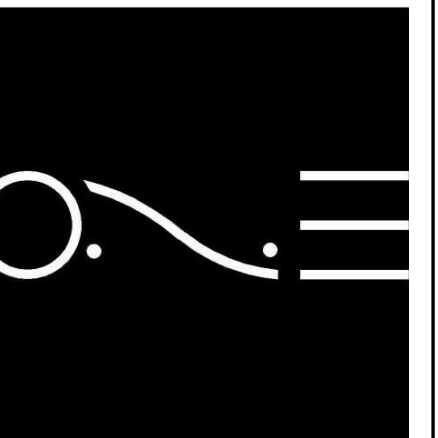
3 EXISTING REAR ELEVATION
1/4" = 1'-0"



4 PROPOSED REAR ELEVATION Copy 1
1/4" = 1'-0"

710 TAYLOR ST NW

DISTRICT OF COLUMBIA
20011



ONE DESIGN SERVICES

onedesignservices.net
Tel. 571.225.7211

REVISION #

SCALE

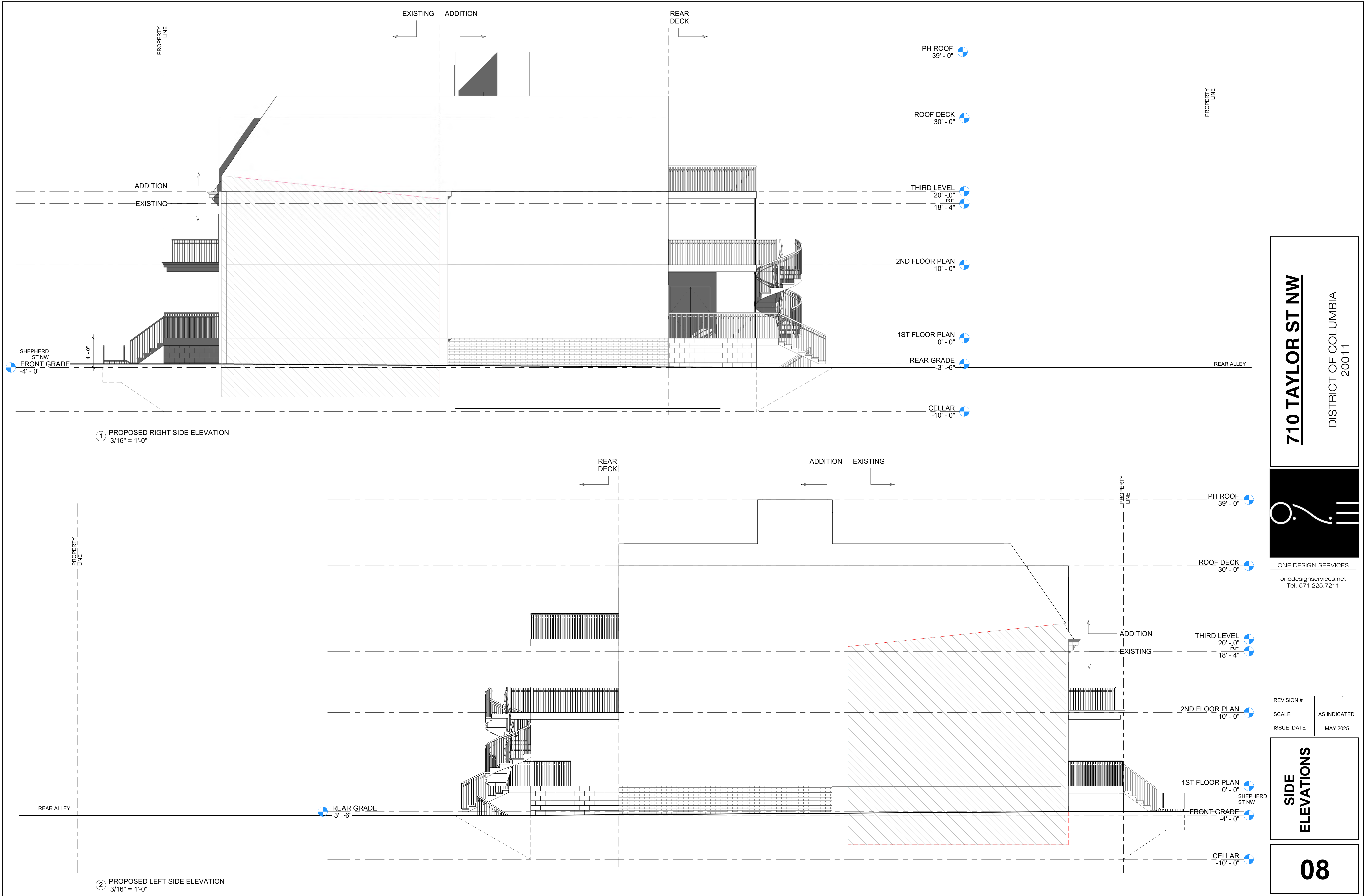
ISSUE DATE

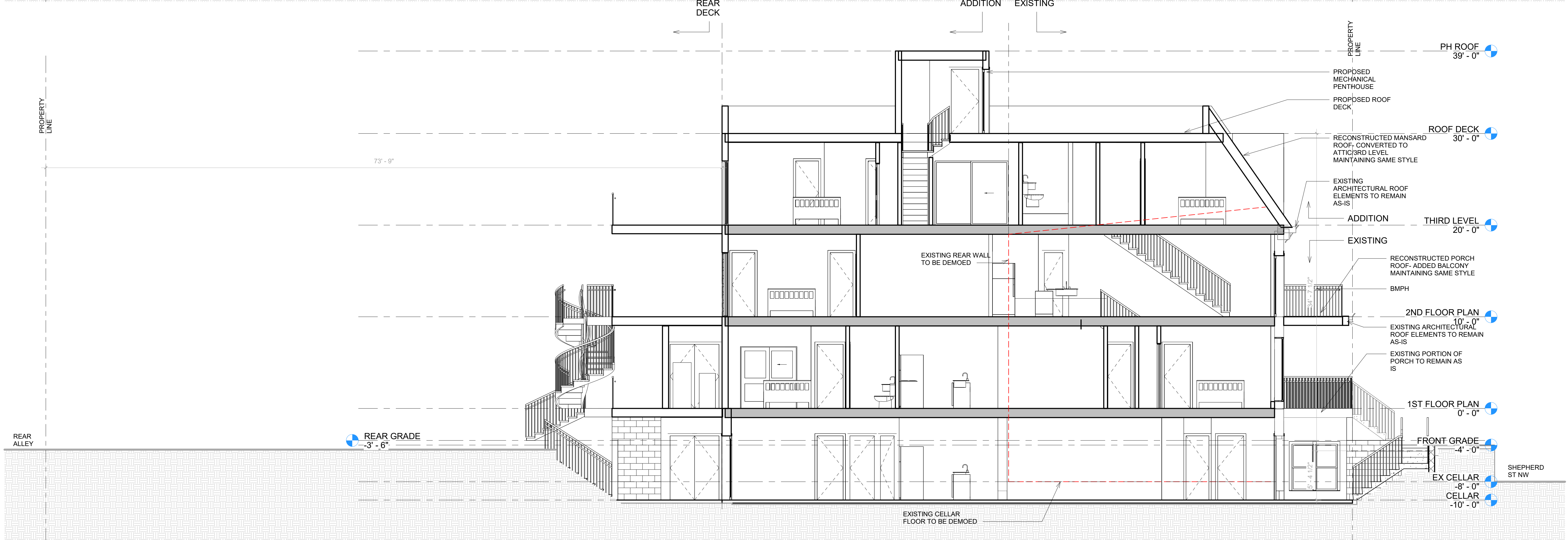
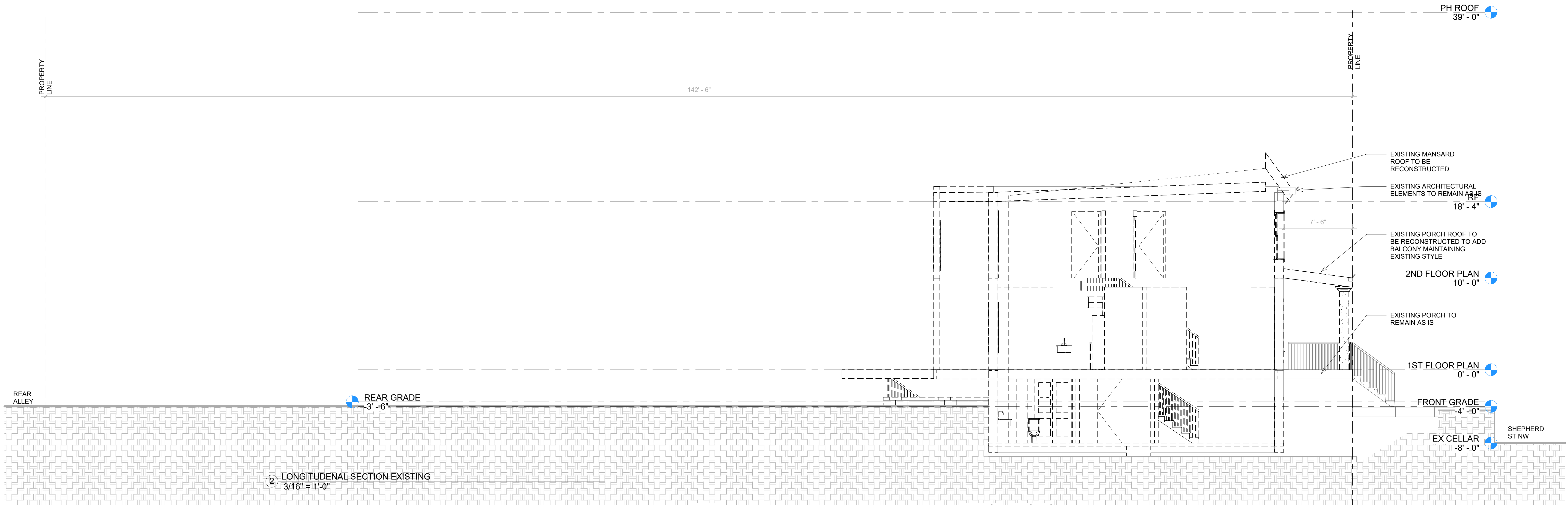
AS INDICATED

MAY 2025

ELEVATIONS

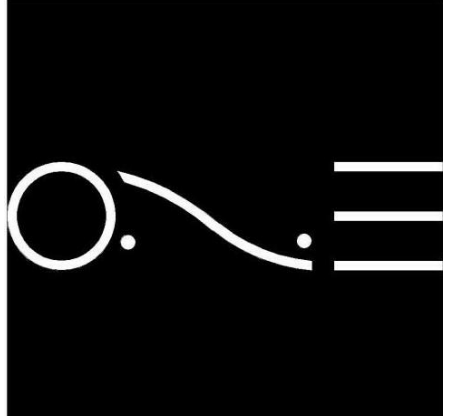
07





710 TAYLOR ST NW

DISTRICT OF COLUMBIA
20011

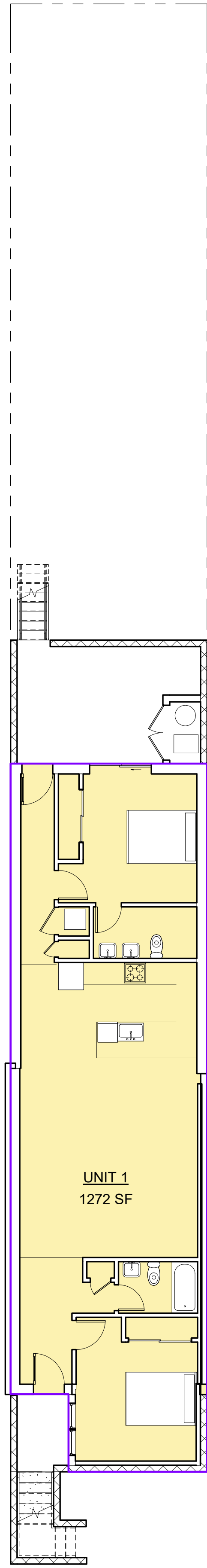


ONE DESIGN SERVICES
onedesignservices.net
Tel. 571.225.7211

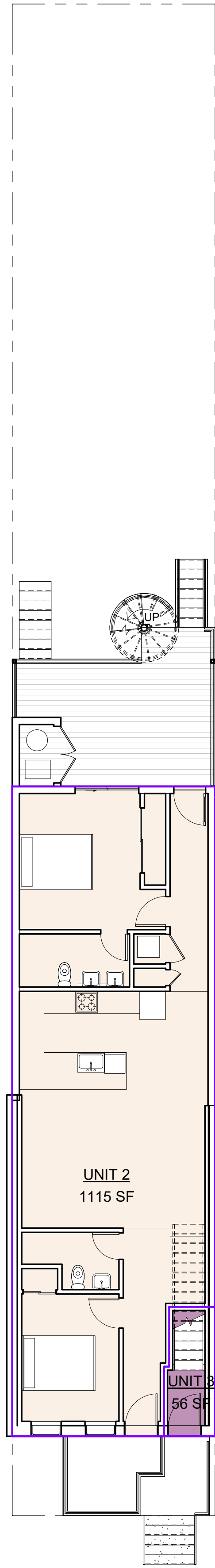
REVISION #	
SCALE	AS INDICATED
ISSUE DATE	MAY 2025

SECTION

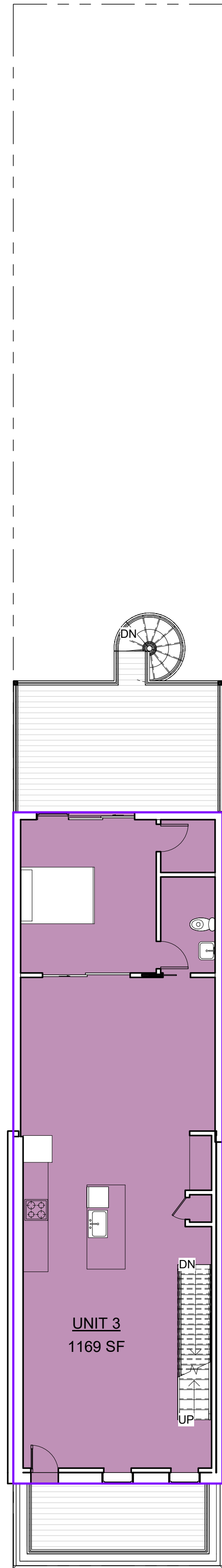
09



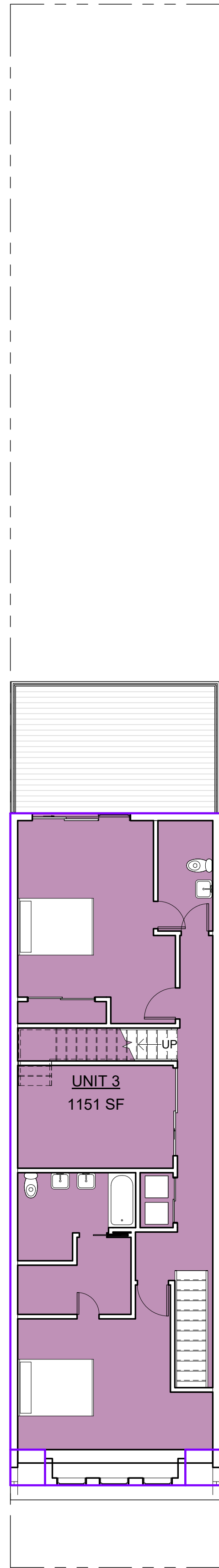
① CELLAR
1/8" = 1'-0"



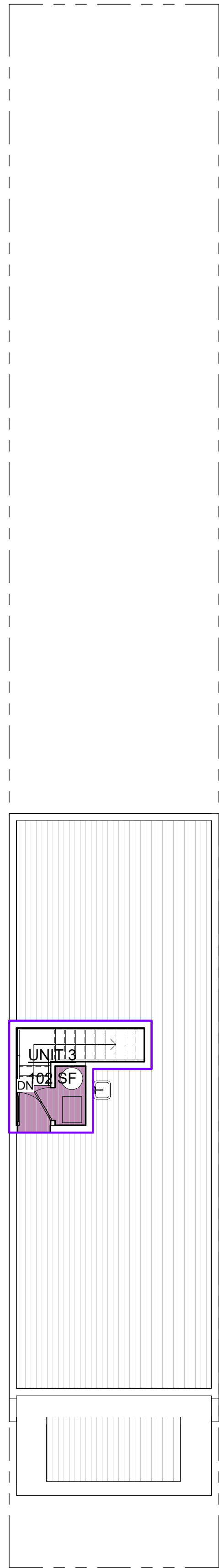
② 1ST FLOOR PLAN
1/8" = 1'-0"



③ 2ND FLOOR PLAN
1/8" = 1'-0"



④ THIRD LEVEL
1/8" = 1'-0"

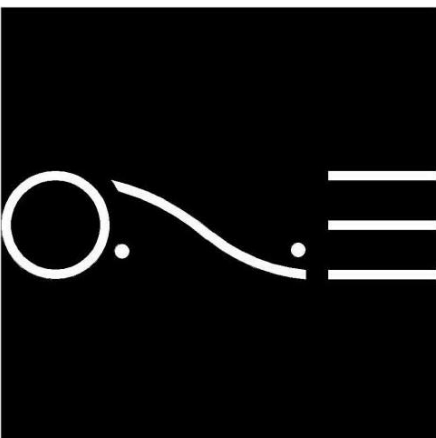


⑤ ROOF DECK
1/8" = 1'-0"

UNITS AREA		
Name	Area	Level
UNIT 1	1272 SF	CELLAR
UNIT 2	1115 SF	1ST FLOOR PLAN
UNIT 3	56 SF	1ST FLOOR PLAN
UNIT 3	1169 SF	2ND FLOOR PLAN
UNIT 3	1151 SF	THIRD LEVEL
UNIT 3	102 SF	ROOF DECK

710 TAYLOR ST NW

DISTRICT OF COLUMBIA
20011



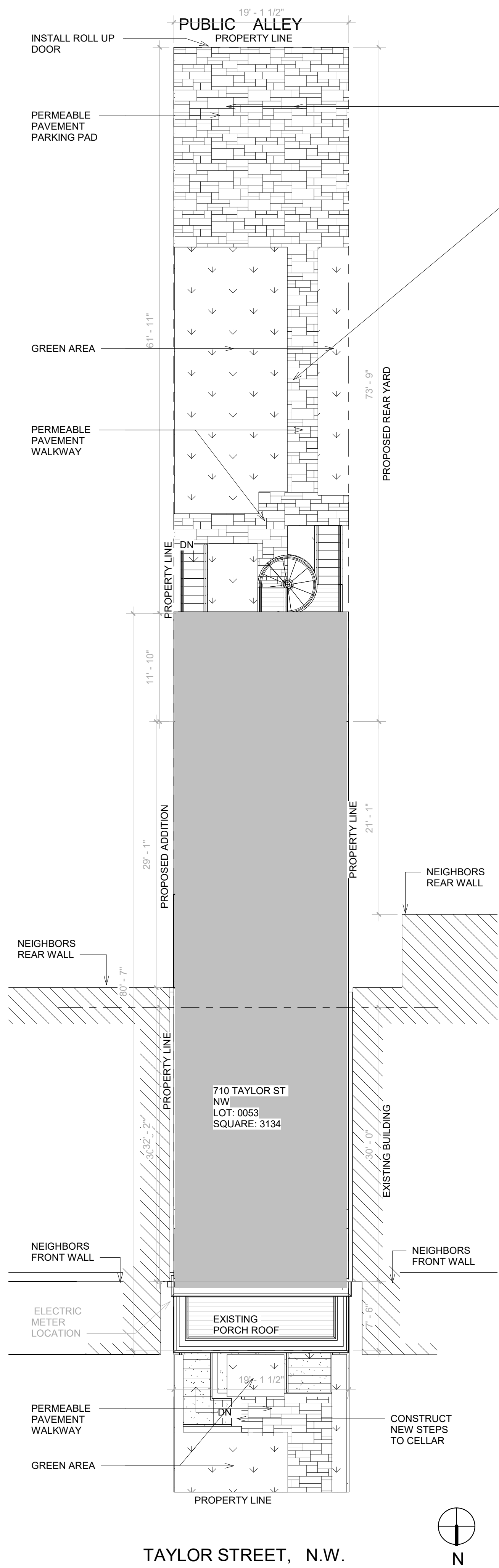
ONE DESIGN SERVICES

onedesignservices.net
Tel. 571.225.7211

REVISION #	
SCALE	AS INDICATED
ISSUE DATE	MAY 2025

AREA PLAN

10



PERMEABLE PAVEMENT SPECIFICATION



BLU 80 mm
DESCRIPTION: Paver TEXTURE: Smooth

PALLET OVERVIEW

1	1	1
1	1	1
1	1	1

Specifications per pallet	Imperial	Metric
Cubing	84.96 ft³	7.90 m³
Weight	3,095 lbs	1,404 kg
Number of rows	8	
Coverage per row	10.62 ft²	0.99 m²
Linear coverage per row	9.75 lin. ft	2.97 lin. m

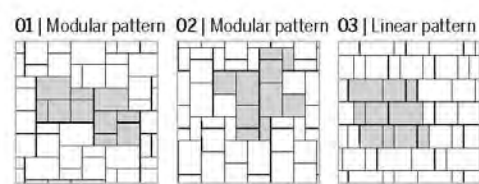
Unit dimensions	in	mm	Units / pallet
Height	3 1/4	80	32 units
Depth	13	330	
Length	6 1/2	165	

NOTES
See page 44 to 47 for more technical information. When used in a permeable pavement application, see page 82 to 89 for more technical information.

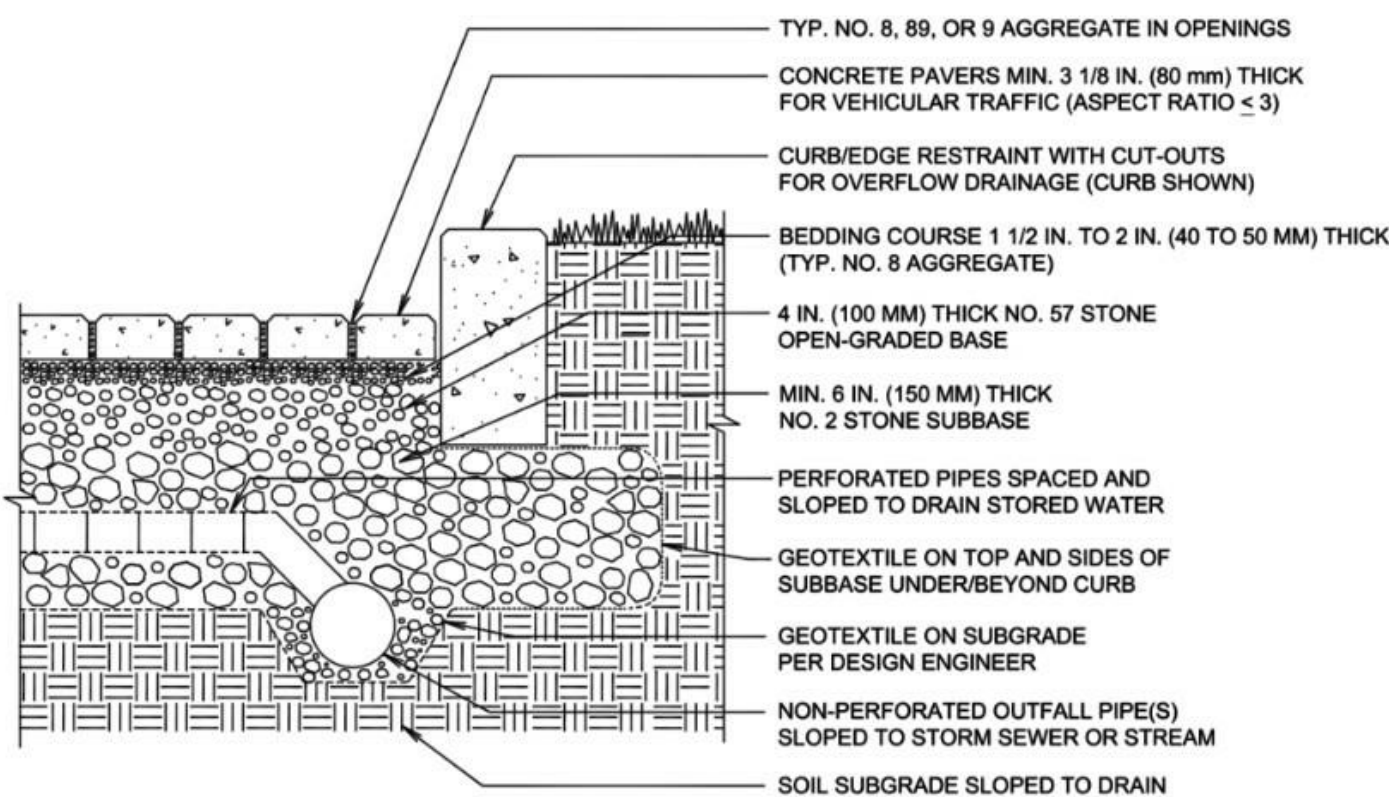
JOINT WIDTH: 9/32" (7 mm)
% OF SURFACE OPENING: 3.0 %

1	Height	3 1/4	80	32 units
	Depth	13	330	
	Length	13	330	

1	Height	3 1/4	80	16 units
	Depth	13	330	
	Length	19 1/2	495	



Patterns are for design inspiration only. The installer is responsible to calculate & purchase the correct amount of material.



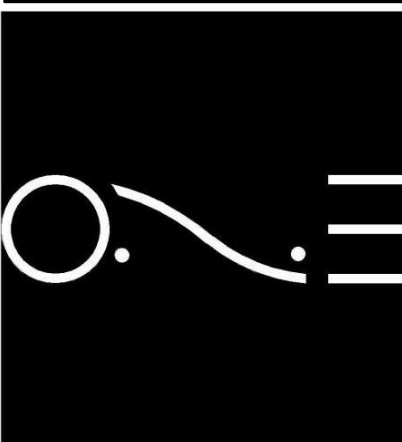
- NOTES:
- 2 3/8 IN. (80 MM) THICK PAVERS MAY BE USED IN PEDESTRIAN AND RESIDENTIAL APPLICATIONS.
 - NO. 2 STONE SUBBASE THICKNESS VARIES WITH DESIGN. CONSULT ICP/ PERMEABLE INTERLOCKING CONCRETE PAVEMENT MANUAL.
 - NO. 2 STONE MAY BE SUBSTITUTED WITH NO.3 OR NO.4 STONE.

PERMEABLE PAVER / CURB DETAIL

SITE PLAN LEGEND

- PROPOSED BUILDING
- PROPOSED PERMEABLE PAVERS
- GREEN AREA
- EXISTING CONCRETE PAD

710 TAYLOR ST NW
DISTRICT OF COLUMBIA
20011



ONE DESIGN SERVICES
onedesignservices.net
Tel. 571.225.7211

REVISION #
SCALE AS INDICATED
ISSUE DATE MAY 2025

LANDSCAPE
SITE PLAN

11

9.00 AM

12.00 PM NOON

3.00 PM

VERNAL EQUINOX
MATTER OF RIGHT

Mar 20, 09:00 AM:



Mar 20, 12:00 PM:



Mar 20, 03:00 PM:

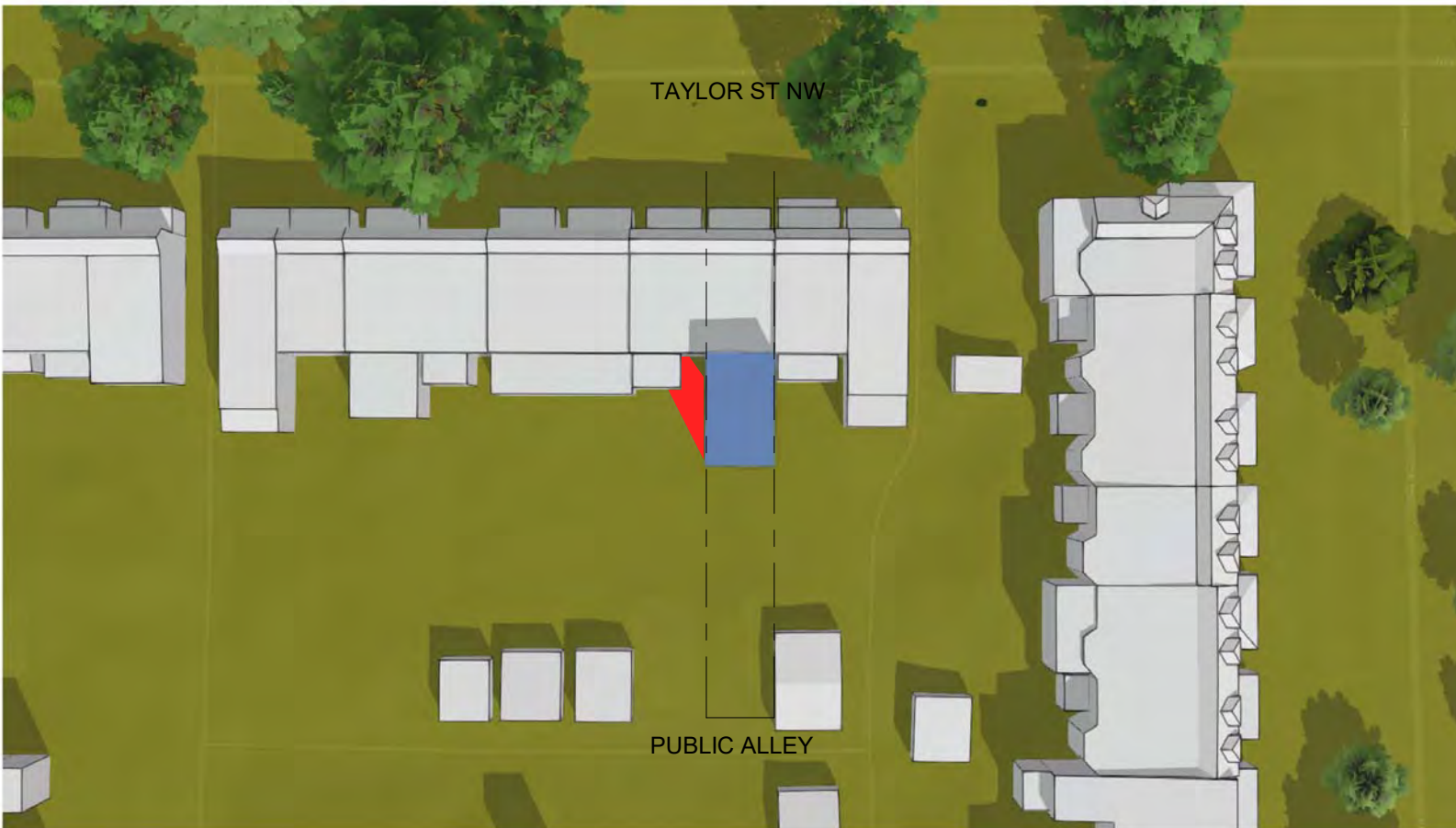


VERNAL EQUINOX
PROPOSED

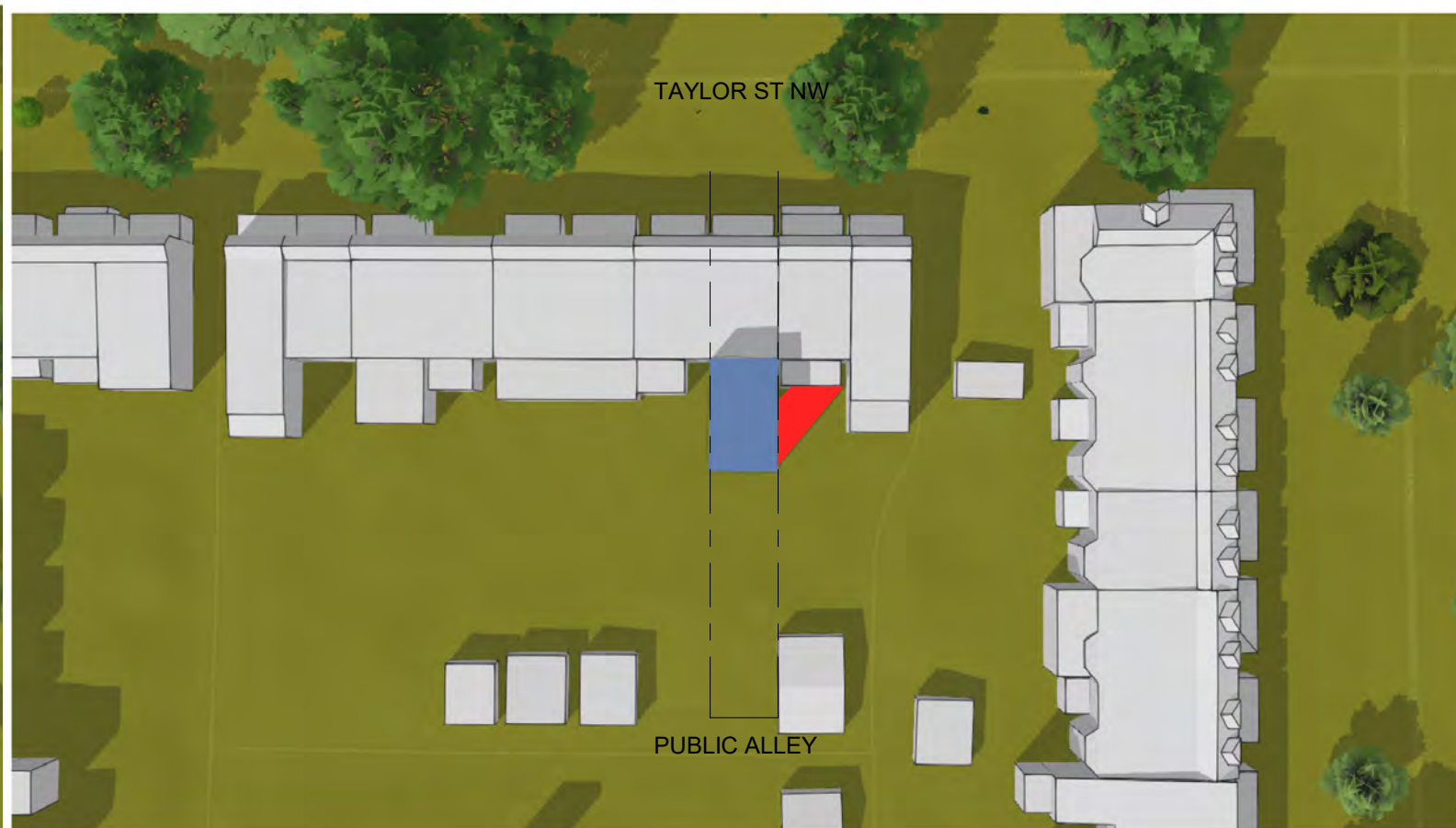
Mar 20, 09:00 AM:



Mar 20, 12:00 PM:



Mar 20, 03:00 PM:



SUMMER SOLSTICE
MATTER OF RIGHT

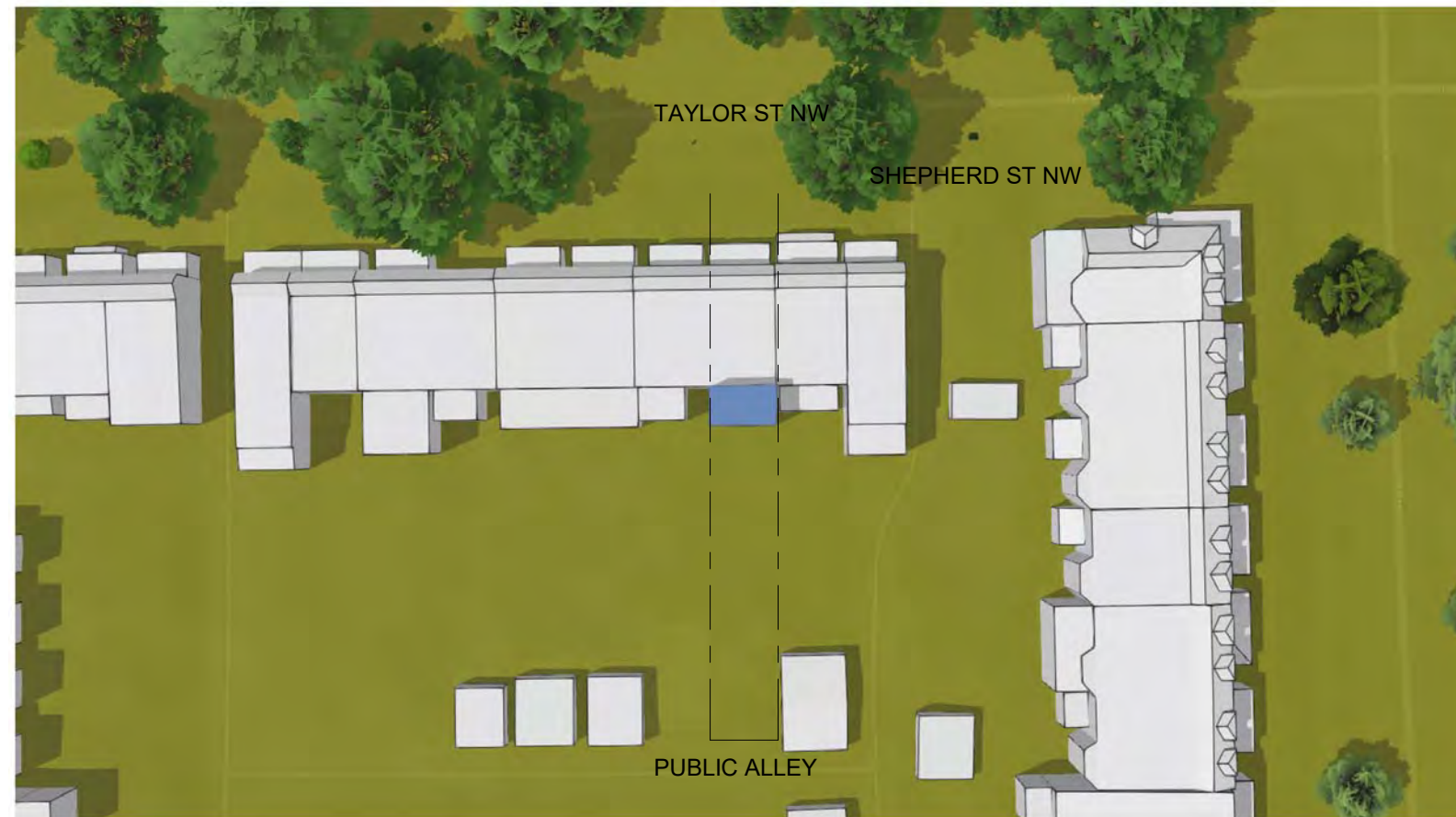
Jun 21, 09:00 AM:



Jun 21, 12:00 PM:



Jun 21, 03:00 PM:

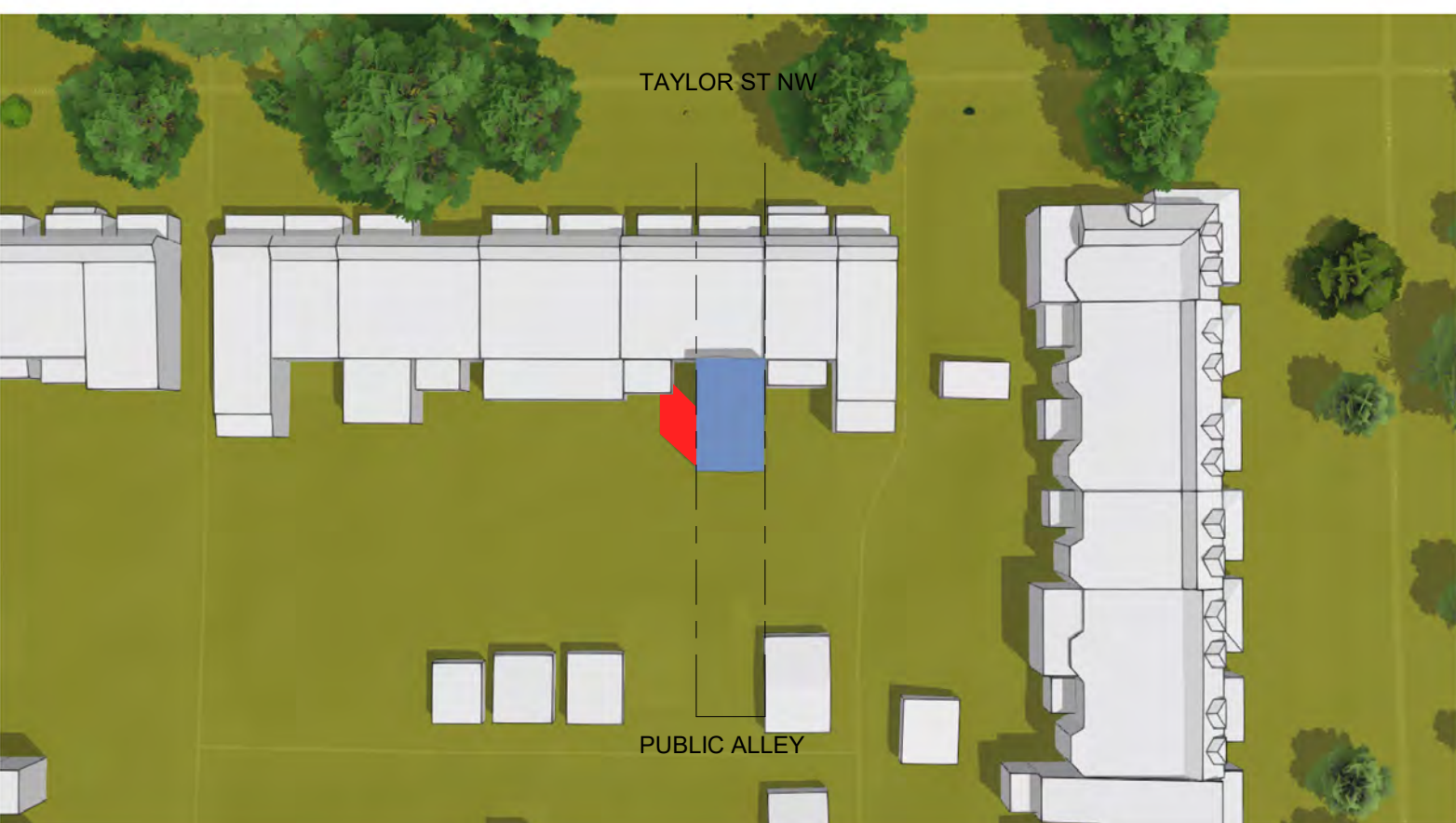


SUMMER SOLSTICE
PROPOSED

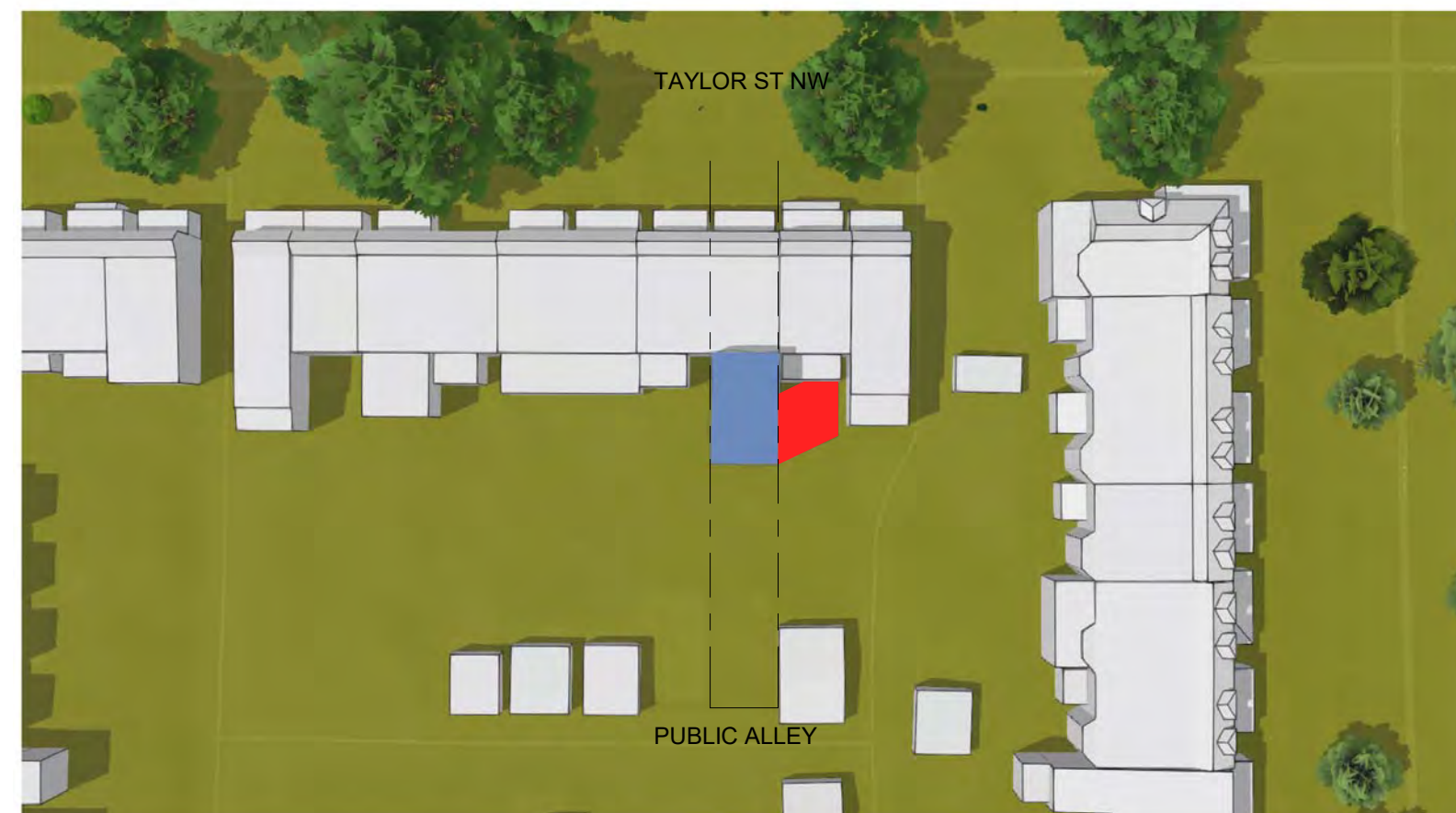
Jun 21, 09:00 AM:



Jun 21, 12:00 PM:

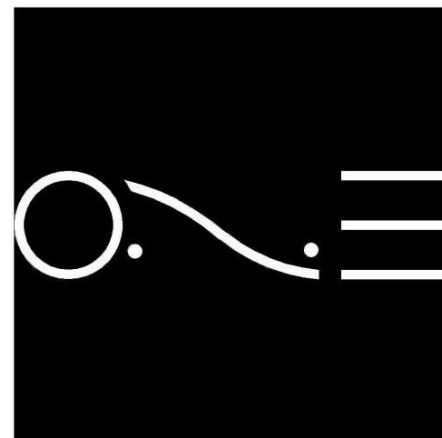


Jun 21, 03:00 PM:



710 TAYLOR ST NW

DISTRICT OF COLUMBIA
20011



ONE DESIGN SERVICES

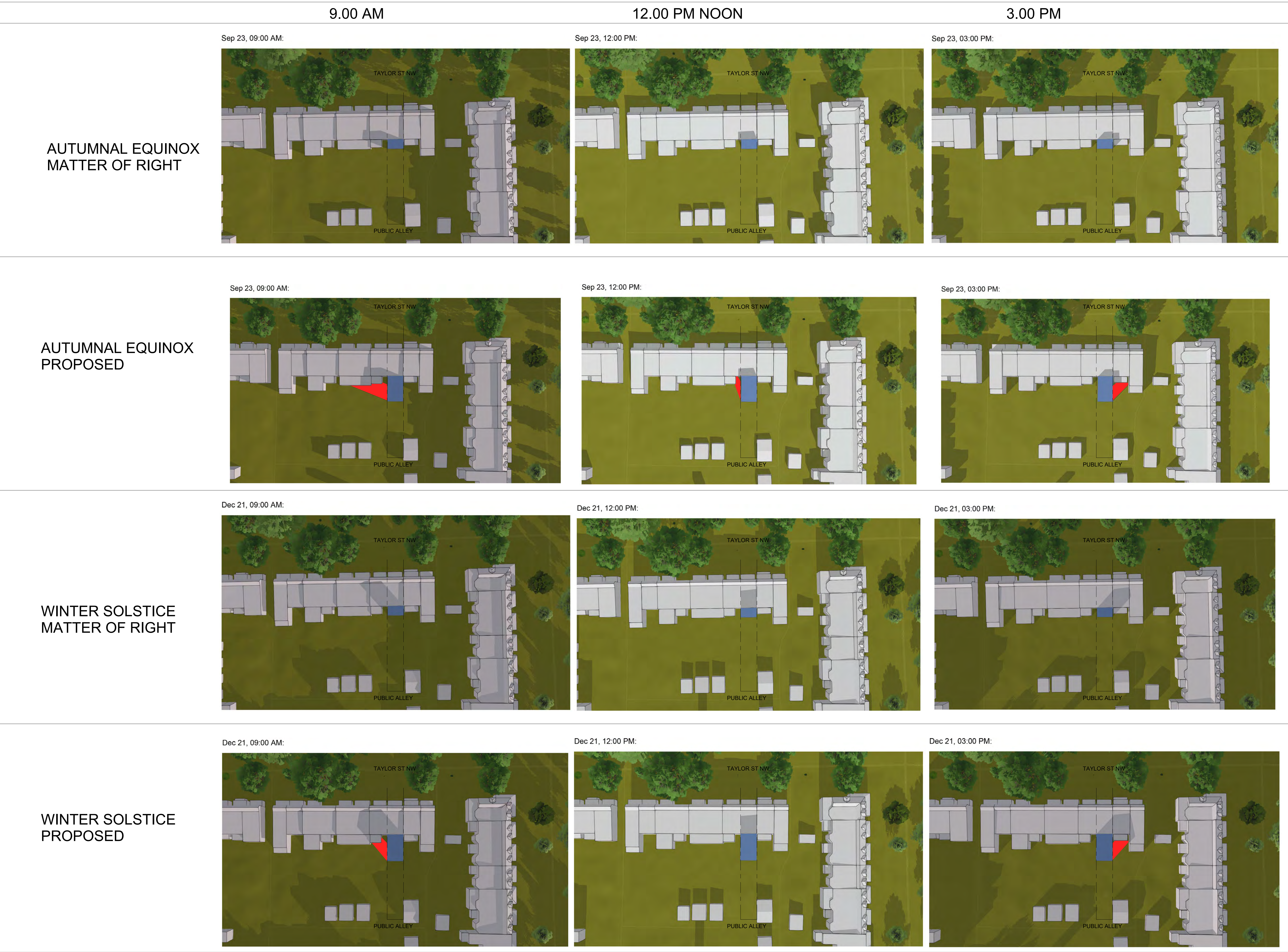
onedesignservices.net
Tel. 571.225.7211

REVISION #
SCALE
ISSUE DATE

AS INDICATED
MAY 2025

SHADOW
STUDY

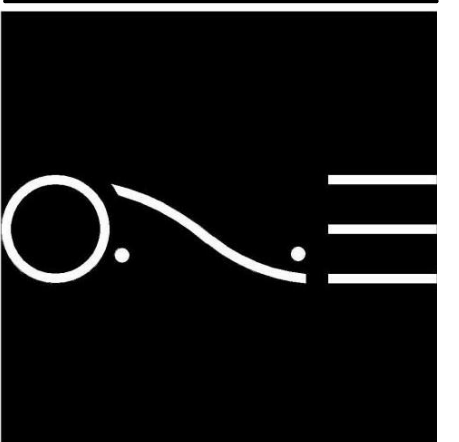
12





710 TAYLOR ST NW

DISTRICT OF COLUMBIA
20011



ONE DESIGN SERVICES

onedesignservices.net
Tel. 571.225.7211

REVISION #

SCALE

ISSUE DATE

AS INDICATED

MAY 2025

RENDERINGS

14