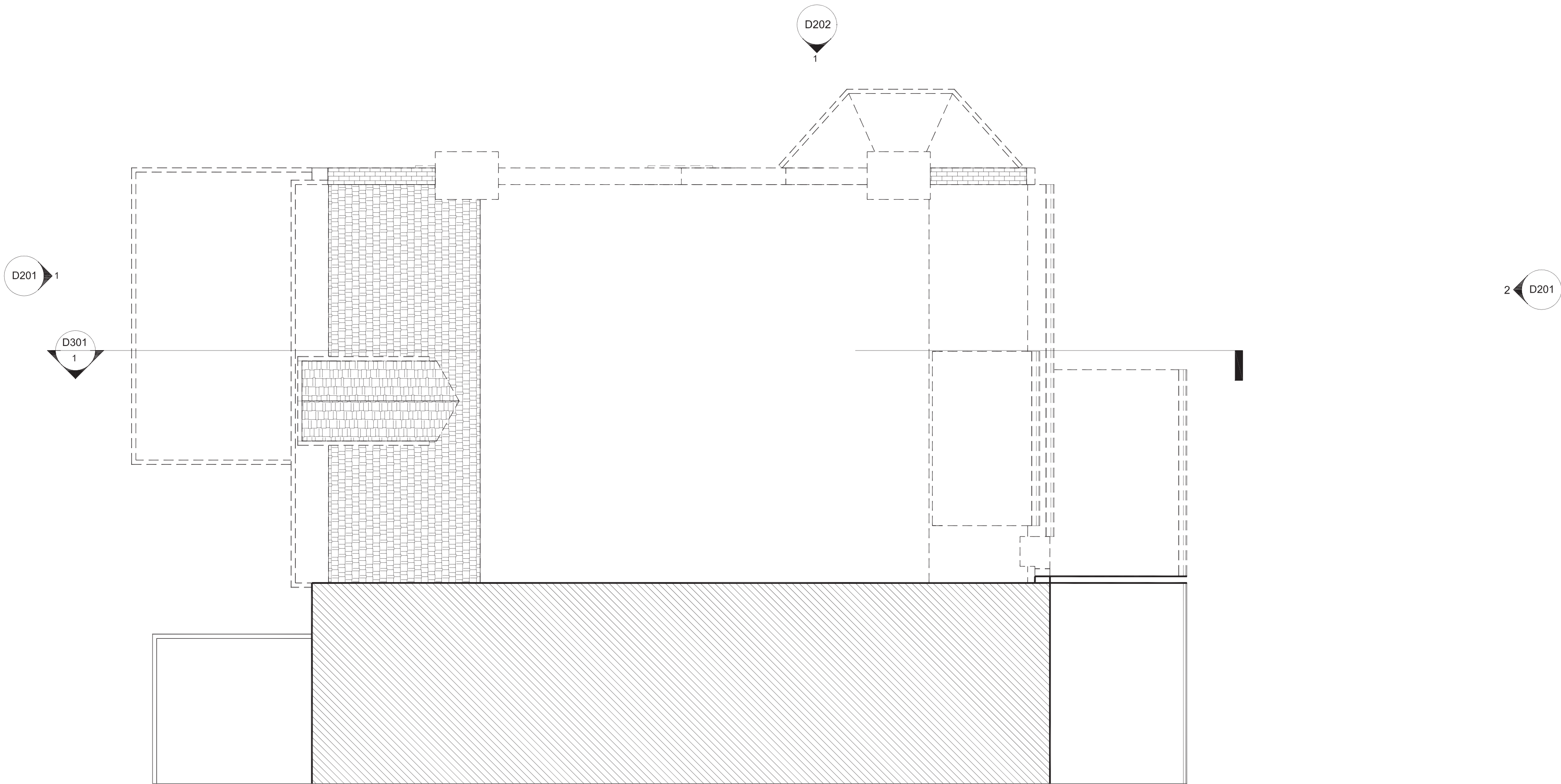


DEMO GENERAL NOTES

- A. COORDINATE ALL DEMOLITION WITH NEW CONSTRUCTION
- B. CONTRACTOR TO PROVIDE CONSTRUCTION WASTE MANAGEMENT PLAN FOR SALVAGE/RECYCLING OF DEMOLITION AND CONSTRUCTION WASTE.
- C. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING OF TEMPORARY WALL, FLOOR AND ROOF SUPPORTS THROUGHOUT THE DURATION OF THE PROJECT, IF NECESSARY.
- D. COMPLY WITH APPLICABLE LOCAL AND FEDERAL REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY, AND ENVIRONMENTAL PROTECTION.
- E. ERECT AND MAINTAIN DUSTPROOF PARTITIONS TO PREVENT THE SPEAD OF DUST, FUMES, ETC.
- F. PROTECT ALL EXISTING INTERIOR SURFACES TO REMAIN. IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE AFFECTED AREAS AT NO COST TO OWNER.

WALL KEY:

- [- - - -] EXISTING WALLS TO BE DEMOLISHED
- [Solid Black] EXISTING WALLS TO REMAIN
- [Solid White] NEW WALL
- [- . - . - .] 1 HR FIRE SEPARATION WALL



1 EXISTING ROOF PLAN
1/4" = 1'-0"



DESIGN – BUILD
LAND DEVELOPMENT
MAINTENANCE

TELEPHONE: 202 487-3085

REVISIONS		QUANTITY
DATE	NO.	REVISION TYPE
	1	
	2	
	3	
	4	
	5	
DATE:		

PROPOSED ROOF PLAN

PROJECT NO: 06-10

DRAWN BY: M. D. BARNES

APPROVED BY:

PROJECT TITLE:
438 PARK ROAD NW

PROJECT ADDRESS:
438 PARK ROAD NW
WASHINGTON, DC

D103

SHEET:

A. COORDINATE ALL DEMOLITION WITH NEW CONSTRUCTION CONTRACTOR TO PROVIDE CONSTRUCTION WASTE MANAGEMENT PLAN FOR SALVAGE/RECYCLING OF DEMOLITION AND CONSTRUCTION WASTE.

B. CONTRACTOR RESPONSIBLE FOR PROVIDING TEMPORARY WALL, FLOOR AND ROOF SUPPORTS THROUGHOUT THE DURATION OF THE PROJECT, IF NECESSARY.

C. COMPLY WITH APPLICABLE LOCAL AND FEDERAL REGULATIONS PERTAINING TO SAFETY OF WORKERS, PROTECT EXISTING STRUCTURES AND ENVIRONMENT.

D. ERECT AND MAINTAIN DUSTPROOF PARTITIONS TO PREVENT THE SPREAD OF DUST, FUMES, ETC.

F. PROTECT ALL EXISTING INTERIOR SURFACES TO REMAIN. IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE AFFECTED AREAS AT NO COST TO OWNER.

 EXISTING WALLS TO BE DEMOLISHED
 EXISTING WALLS TO REMAIN
 NEW WALL
 1 HR FIRE SEPARATION WALL



TELEPHONE: 202 487-3085

DATE	NO.	REVISION TYPE	QUANTITY
	△		
	△		
	△		
	△		

DATE:

PROPOSED BUILDING ELEVATIONS

PROJECT NO: 06-10

430 FANK ROAD NW

PROJECT ADDRESS:
438 PARK ROAD NW
WASHINGTON, DC

D201

SHEET:

DEMO GENERAL NOTES

- A. COORDINATE ALL DEMOLITION WITH NEW CONSTRUCTION
- B. CONTRACTOR TO PROVIDE CONSTRUCTION WASTE MANAGEMENT PLAN FOR SALVAGE/RECYCLING OF DEMOLITION AND CONSTRUCTION WASTE.
- C. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING OF TEMPORARY WALL, FLOOR AND ROOF SUPPORTS THROUGHOUT THE DURATION OF THE PROJECT, IF NECESSARY.
- D. COMPLY WITH APPLICABLE LOCAL AND FEDERAL REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY, AND ENVIRONMENTAL PROTECTION.
- E. ERECT AND MAINTAIN DUSTPROOF PARTITIONS TO PREVENT THE SPEAD OF DUST, FUMES, ETC.
- F. PROTECT ALL EXISTING INTERIOR SURFACES TO REMAIN. IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE AFFECTED AREAS AT NO COST TO OWNER.

WALL KEY:

- [- - - -] EXISTING WALLS TO BE DEMOLISHED
- [Solid Grey] EXISTING WALLS TO REMAIN
- [Solid White] NEW WALL
- [- . - . - .] 1 HR FIRE SEPARATION WALL



1 EXISTING WEST ELEVATION
1/4" = 1'-0"



DESIGN – BUILD
LAND DEVELOPMENT
MAINTENANCE

TELEPHONE: 202 487-3085

NO.	DATE	REVISION TYPE	QUANTITY
1			
2			
3			
4			
5			

PROPOSED BUILDING ELEVATIONS

DRAWN BY: M. D. BARNES
APPROVED BY:

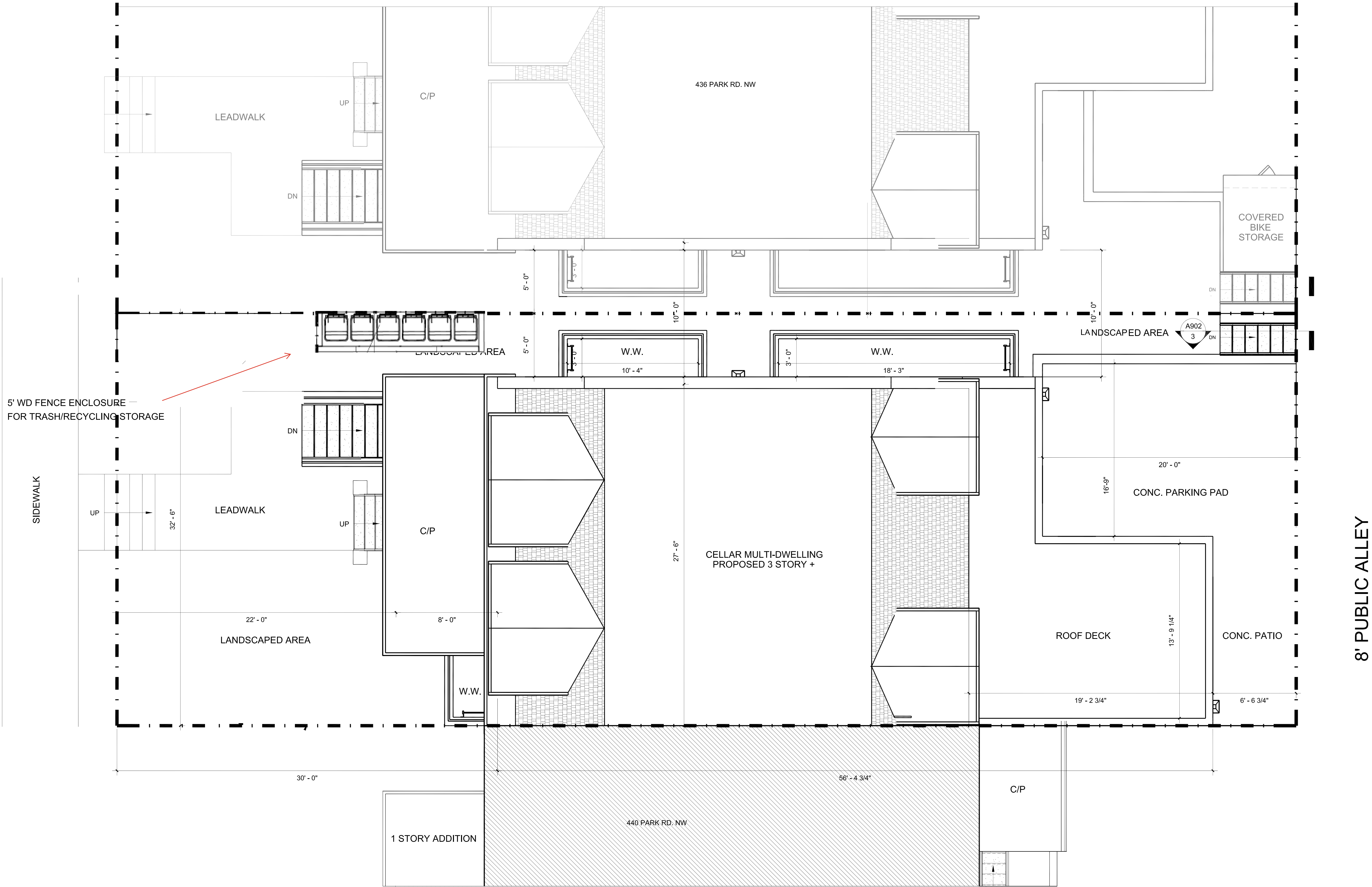
PROJECT NO: 06-10

438 PARK ROAD NW
PROJECT ADDRESS:
438 PARK ROAD NW
WASHINGTON, DC

D202

SHEET:

PARK RD NW



PROPOSED SITEINFORMATION	
PROPOSED PERVIOUS AREA:	888 SF OR 29.5%
PROPOSED TOTAL FOOTPRINT:	1,542 SF OR 51%
PROPOSED HOUSE:	1,378.2 SF
PROPOSED PORCH:	159.4 SF
LOT AREA:	3,011 SF



DESIGN - BUILD
LAND DEVELOPMENT
MAINTENANCE

TELEPHONE: 202 487-3085

REVISIONS		QUANTITY
DATE	NO.	REVISION TYPE
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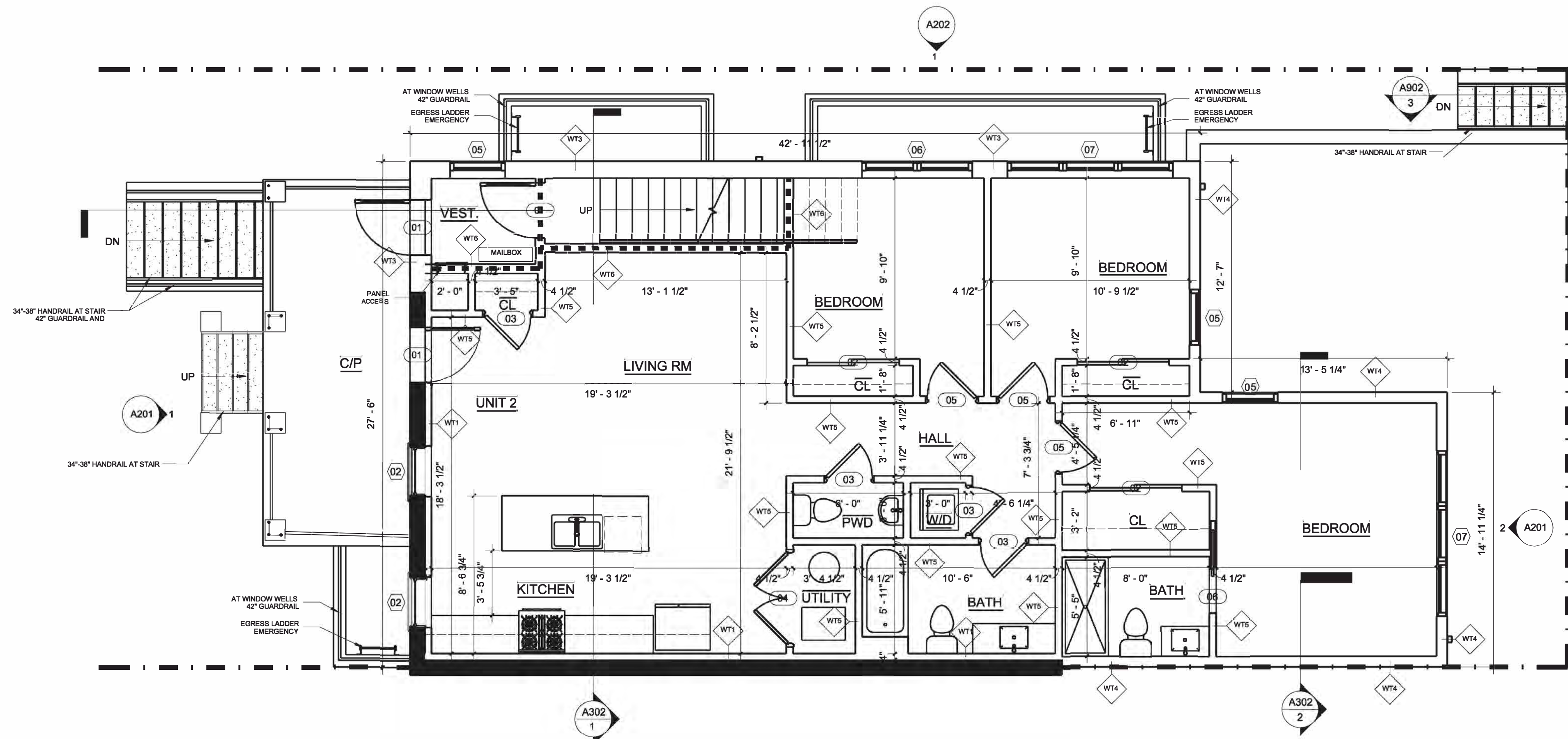
DATE:	
PROJECT NO: 06-10	
PROJECT TITLE: 438 PARK ROAD NW	
PROJECT ADDRESS: 438 PARK ROAD NW WASHINGTON, DC	
DRAWN BY: M. D. BARNES	
APPROVED BY:	

PROJECT NO: 06-10	
PROJECT TITLE: 438 PARK ROAD NW	
PROJECT ADDRESS: 438 PARK ROAD NW WASHINGTON, DC	
DRAWN BY: M. D. BARNES	
APPROVED BY:	

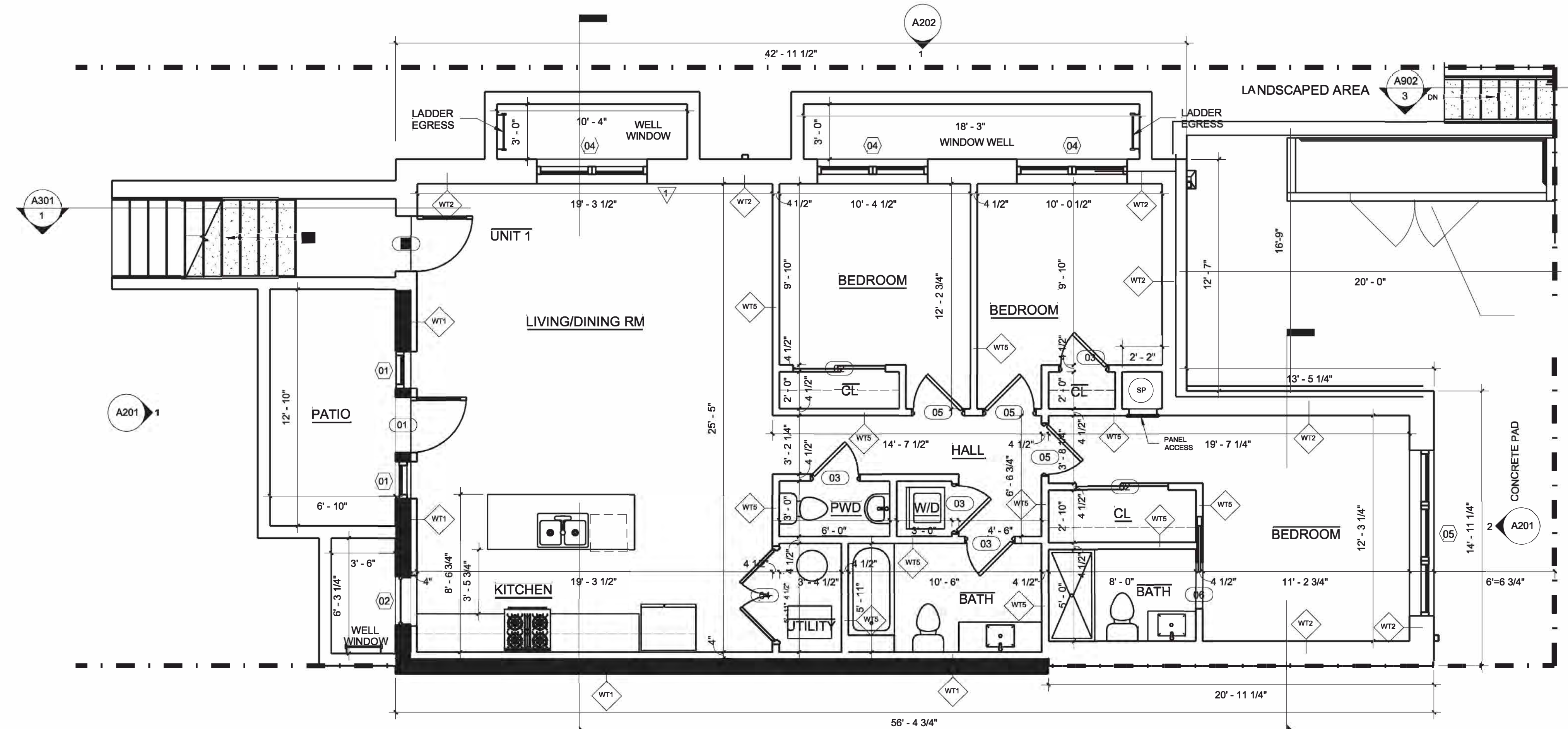
PROJECT NO: 06-10	
PROJECT TITLE: 438 PARK ROAD NW	
PROJECT ADDRESS: 438 PARK ROAD NW WASHINGTON, DC	
DRAWN BY: M. D. BARNES	
APPROVED BY:	

PROJECT NO: 06-10	
PROJECT TITLE: 438 PARK ROAD NW	
PROJECT ADDRESS: 438 PARK ROAD NW WASHINGTON, DC	
DRAWN BY: M. D. BARNES	
APPROVED BY:	

1 PROPOSED SITE PLAN
1/4" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"



1 PROPOSED CELLAR
1/4" = 1'-0"

GENERAL CONSTRUCTION NOTES

1. CONTRACTOR SHALL REVIEW ANY DISCREPANCIES BETWEEN DOCUMENTED AND ACTUAL CONDITIONS WITH THE ARCHITECT PRIOR TO COMMENCING WORK IN AFFECTED AREAS.
2. CONTRACTOR SHALL VERIFY INFORMATION, DIMENSIONS, COORDINATION OF TRADES, SITE CONDITIONS PRIOR TO ORDERING OF MATERIALS TO ENSURE FIT, QUALITY AND RELATIONSHIPS OF MATERIALS ACCORDING TO THE CONSTRUCTION DOCUMENTS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ANY DAMAGE RESULTING FROM PERFORMANCE OF THE WORK.
4. REFER TO PROJECT INFORMATION SHEET FOR SYMBOL ABBREVIATIONS.
5. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, LOCAL, GOVERNING ORDINANCES, CODES, ZONING, LAWS AND REGULATIONS.
6. ANY MODIFICATIONS OF DESIGN OR SPECIFICATIONS TO COMPLY WITH CODES IS TO BE PRESENTED TO, COORDINATED WITH, AND APPROVED BY DESIGNER PRIOR TO COMMENCING THE AFFECTED WORK.
7. WALL TYPES: NEW INTERIOR PARTITIONS TO BE 3 1/2" WD STUDS FROM FLOOR TO UNDERSIDE OF STRUCTURE w/ 1/2" DRYWALL TO BOTH SIDES, UNO.
8. COORDINATE PAINT + FINISH SELECTIONS w/ OWNER PRIOR TO INSTALLATION.
9. ALL SPACES AFFECTED TO RECEIVE NEW FLOORING, UNO.
10. PROVIDE NEW WD BASE @ ALL SPACES w/ NEW FLOORING.
11. PROVIDE THRESHOLD OR REDUCER STRIP WHERE FLOOR FINISHES CHANGE UNO.
12. ALL INSULATION SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
13. WINDOWS: ALL WINDOWS LOCATED WITHIN A BEDROOM SHALL MAINTAIN A MIN SILL HEIGHT OF 44" AFF WITH A MIN OPENING AREA OF 5.7 SF, HAVE A MIN HEIGHT OF 24" AND OPENING WIDTH OF 20". ALL OPERABLE WINDOWS SHALL BE OPERABLE FROM THE INSIDE AND WITHOUT THE USE OF KEYS OR TOOLS.
- 14.

WALL KEY:

- [- - - -] EXISTING WALLS TO BE DEMOLISHED
- [Solid Line] EXISTING WALLS TO REMAIN
- [Thin Solid Line] NEW WALL
- [Thick Dashed Line] 1 HR FIRE SEPARATION WALL

DIAMOND ENTERPRISE, LLC
DESIGN - BUILD
LAND DEVELOPMENT
MAINTENANCE

TELEPHONE: 202 487-3085

REVISIONS	DATE	NO.	REVISION TYPE	QUANTITY
		1		
		2		
		3		
		4		
		5		

DATE:

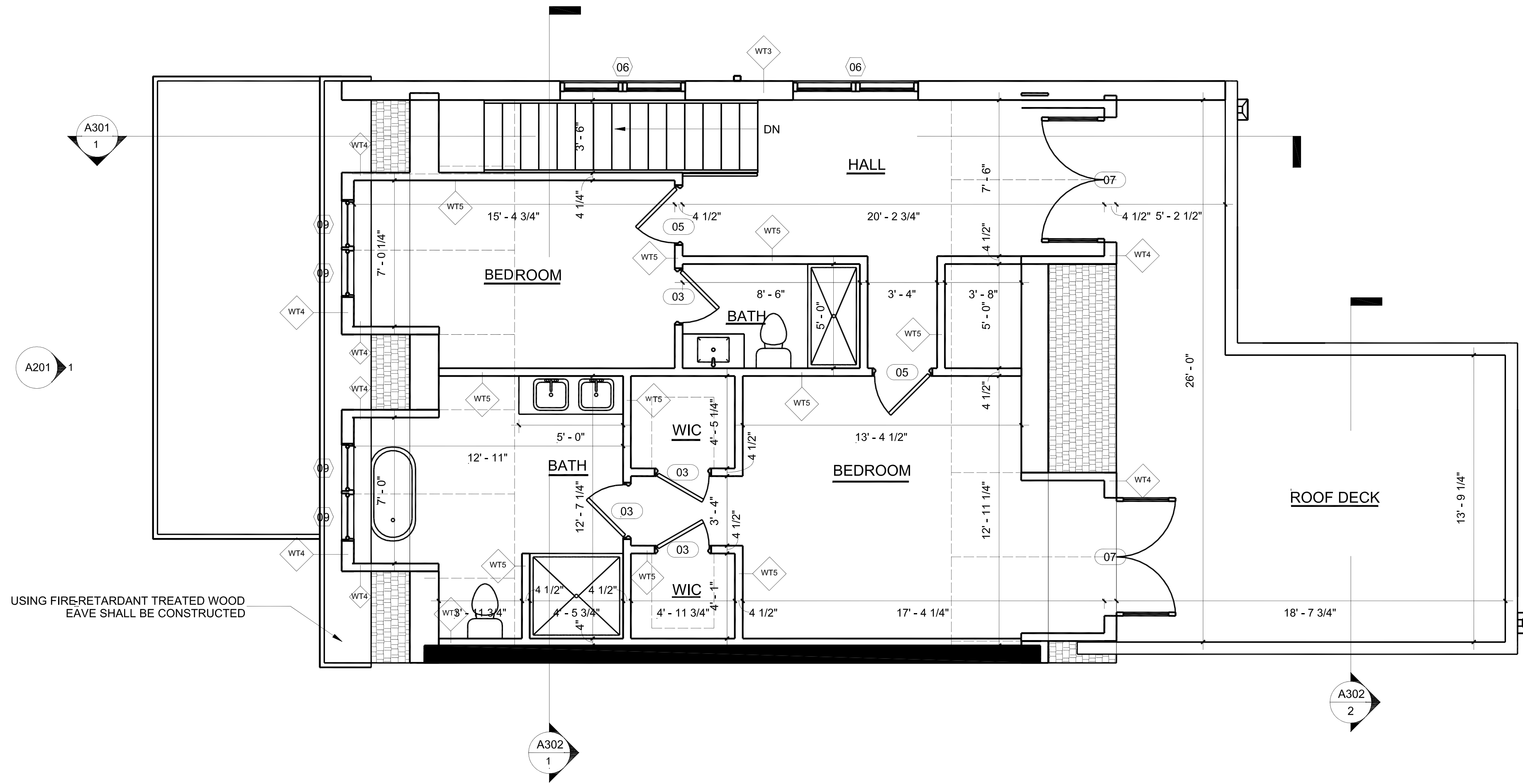
FLOOR PLANS:
PROPOSED CELLAR AN FIRST FLOOR

PROJECT NO: 06-10

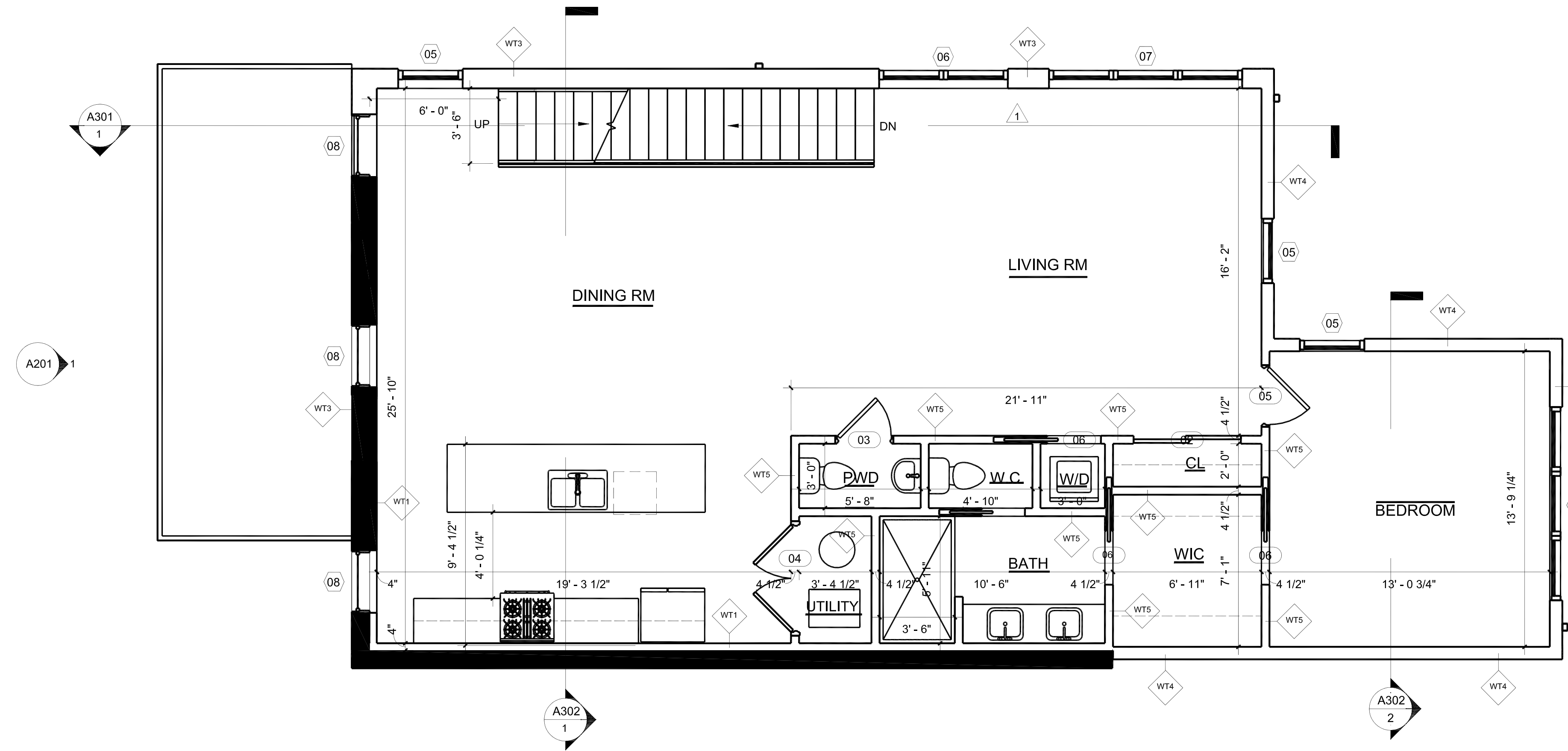
PROJECT TITLE:
438 PARK ROAD NW
PROJECT ADDRESS:
438 PARK ROAD NW
WASHINGTON, DC

A101

SHEET:



2 PROPOSED THIRD FLOOR PLAN
1/4" = 1'-0"



1 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"

GENERAL CONSTRUCTION NOTES

1. CONTRACTOR SHALL REVIEW ANY DISCREPANCIES BETWEEN DOCUMENTED AND ACTU
2. CONDITIONS WITH THE ARCHITECT PRIOR TO COMMENCING WORK IN AFFECTED AREAS
3. COORDINATE ALL DEMOLITION WITH NEW CONSTRUCTION.
4. CONTRACTOR SHALL VERIFY INFORMATION, DIMENSIONS, COORDINATION OF TRADES,
5. SITE CONDITIONS PRIOR TO ORDERING OF MATERIALS TO ENSURE FIT, QUALITY AND
6. RELATIONSHIPS OF MATERIALS ACCORDING TO THE CONSTRUCTION DOCUMENTS.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ANY DA
8. RESULTING FROM PERFORMANCE OF THE WORK.
9. REFER TO PROJECT INFORMATION SHEET FOR SYMBOL ABBREVIATIONS.
10. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE,
11. LOCAL GOERNING ORDINANCES, CODES, ZONING, LAWS AND REGULATIONS.
12. ANY MODIFICATIONS OF DESIGN OR SPECIFICATIONS TO COMPLY WITH CODES IS TO BE
13. PRESENTED TO, COORDINATED WITH, AND APPROVED BY DESIGNER PRIOR TO
14. COMMENCING THE AFFECTED WORK.
15. WALL TYPES-NEW INTERIOR PARTITIONS TO BE 3 1/2" WD STUDS FROM FLOOR TO
16. UNDERSIDE OF STRUCTURE w/ 1/2" DRYWALL TO BOTH SIDES, UNO
17. COORDINATE PAINT + FINISH SELECTIONS w/ OWNER PRIOR TO INSTALLATION.
18. ALL SPACES AFFECTED TO RECEIVE NEW FLOORING, UNO.
19. PROVIDE NEW WD BASE @ ALL SPACES w/ NEW FLOORING.
20. PROVIDE THRESHOLD OR REDUCER STRIP WHERE FLOOR FINISHES CHANGE UNO.
21. ALL INSULATION SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS
22. WINDOWS: ALL WINDOWS LOCATED WITHIN A BEDROOM SHALL MAINTAIN A MIN SILL HEIGHT
23. OF 44" AFF WITH A MIN OPENING AREA OF 5.7 SF, HAVE A MIN HEIGHT OF 24" AND OPENING
24. WIDTH OF 20". ALL OPERABLE WINDOWS SHALL BE OPERABLE FROM THE INSIDE AND
25. WITHOUT THE USE OF KEYS OR TOOLS.

WALL KEY:

- [- - -] EXISTING WALLS TO BE DEMOLISHED
- [] EXISTING WALLS TO REMAIN
- [] NEW WALL
- [- - -] 1 HR FIRE SEPARATION WALL



DESIGN - BUILD
LAND DEVELOPMENT
MAINTENANCE

TELEPHONE: 202 487-3085

REVISONS	DATE	NO.	REVISION TYPE	QUANTITY
		1		
		2		
		3		
		4		
		5		

FLOOR PLANS:
PROPOSED SECOND AND THIRD FLOOR PLANS

DATE:

DRAWN BY: M. D. BARNES

APPROVED BY:

PROJECT NO: 06-10

PROJECT TITLE:
438 PARK ROAD NW

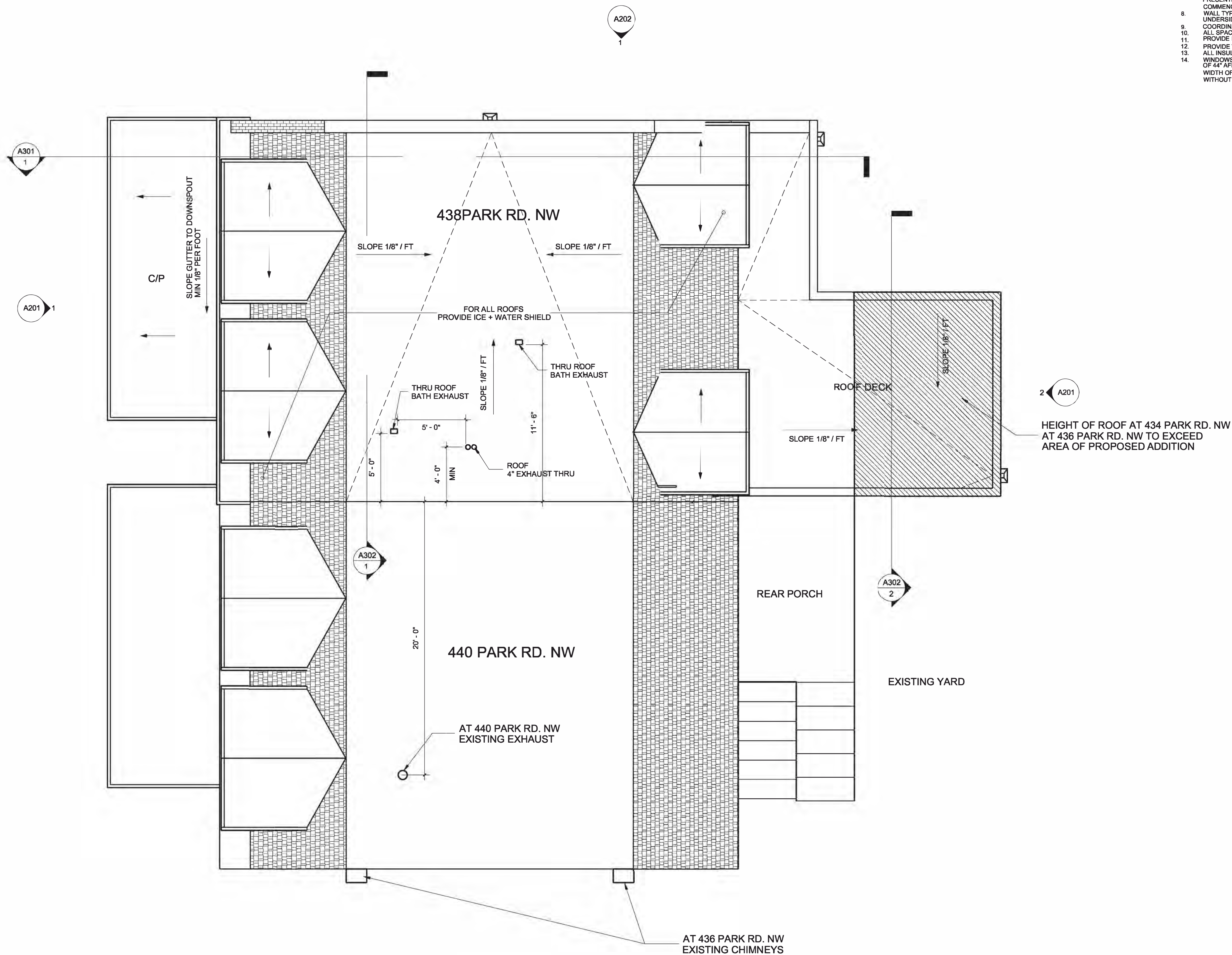
PROJECT ADDRESS:
438 PARK ROAD NW
WASHINGTON, DC

A102

SHEET:

GENERAL CONSTRUCTION NOTES

1. CONTRACTOR SHALL REVIEW ANY DISCREPANCIES BETWEEN DOCUMENTED AND ACTU CONDITIONS WITH THE ARCHITECT PRIOR TO COMMENCING WORK IN AFFECTED AREAS
2. COORDINATE ALL DEMOLITION WITH NEW CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY INFORMATION, DIMENSIONS, COORDINATION OF TRADES, SITE CONDITIONS PRIOR TO ORDERING OF MATERIALS TO ENSURE FIT, QUALITY AND RELATIONSHIPS OF MATERIALS ACCORDING TO THE CONSTRUCTION DOCUMENTS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ANY DA RESULTING FROM PERFORMANCE OF THE WORK.
5. REFER TO PROJECT INFORMATION SHEET FOR SYMBOL ABBREVIATIONS.
6. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, LOCAL, GOVERNING ORDINANCES, CODES, ZONING, LAWS AND REGULATIONS.
7. ANY MODIFICATIONS OF DESIGN OR SPECIFICATIONS TO COMPLY WITH CODES IS TO BE PRESENTED TO, COORDINATED WITH, AND APPROVED BY DESIGNER PRIOR TO COMMENCING THE AFFECTED WORK.
8. WALL TYPES- NEW INTERIOR PARTITIONS TO BE 3 1/2" WD STUDS FROM FLOOR TO UNDERSIDE OF STRUCTURE w 1/2" DRYWALL TO BOTH SIDES, UNO.
9. COORDINATE PAINT + FINISH SELECTIONS w OWNER PRIOR TO INSTALLATION.
10. ALL SPACES AFFECTED TO RECEIVE NEW FLOORING, UNO.
11. PROVIDE NEW WD BASE @ ALL SPACES w NEW FLOORING.
12. PROVIDE THRESHOLD OR REDUCER STRIP WHERE FLOOR FINISHES CHANGE UNO.
13. ALL INSULATION SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS
14. WINDOWS: ALL WINDOWS LOCATED WITHIN A BEDROOM SHALL MAINTAIN A MIN SILL HEIGHT OF 44" AFF WITH A MIN OPENING AREA OF 5.7 SF, HAVE A MIN HEIGHT OF 24" AND OPENING WIDTH OF 20". ALL OPERABLE WINDOWS SHALL BE OPERABLE FROM THE INSIDE AND WITHOUT THE USE OF KEYS OR TOOLS.



1 PROPOSED ROOF PLAN
1/4" = 1'-0"



DESIGN – BUILD
LAND DEVELOPMENT
MAINTENANCE

TELEPHONE: 202 487-3085

REVIEWS	DATE	NO.	IN.	REVISION	TYPE	QUANTITY

PROPOSED ROOF PLAN

PROJECT NO: 06-10

DRAWN BY: M. D. BARNES
APPROVED BY:

PROJECT TITLE:
438 PARK ROAD NW

PROJECT ADDRESS:
438 PARK ROAD NW
WASHINGTON, DC

A103

SHEET:



PROPOSED BUILDING ELEVATIONS

DRAWN BY: M. D. BARNES APPROVED BY:

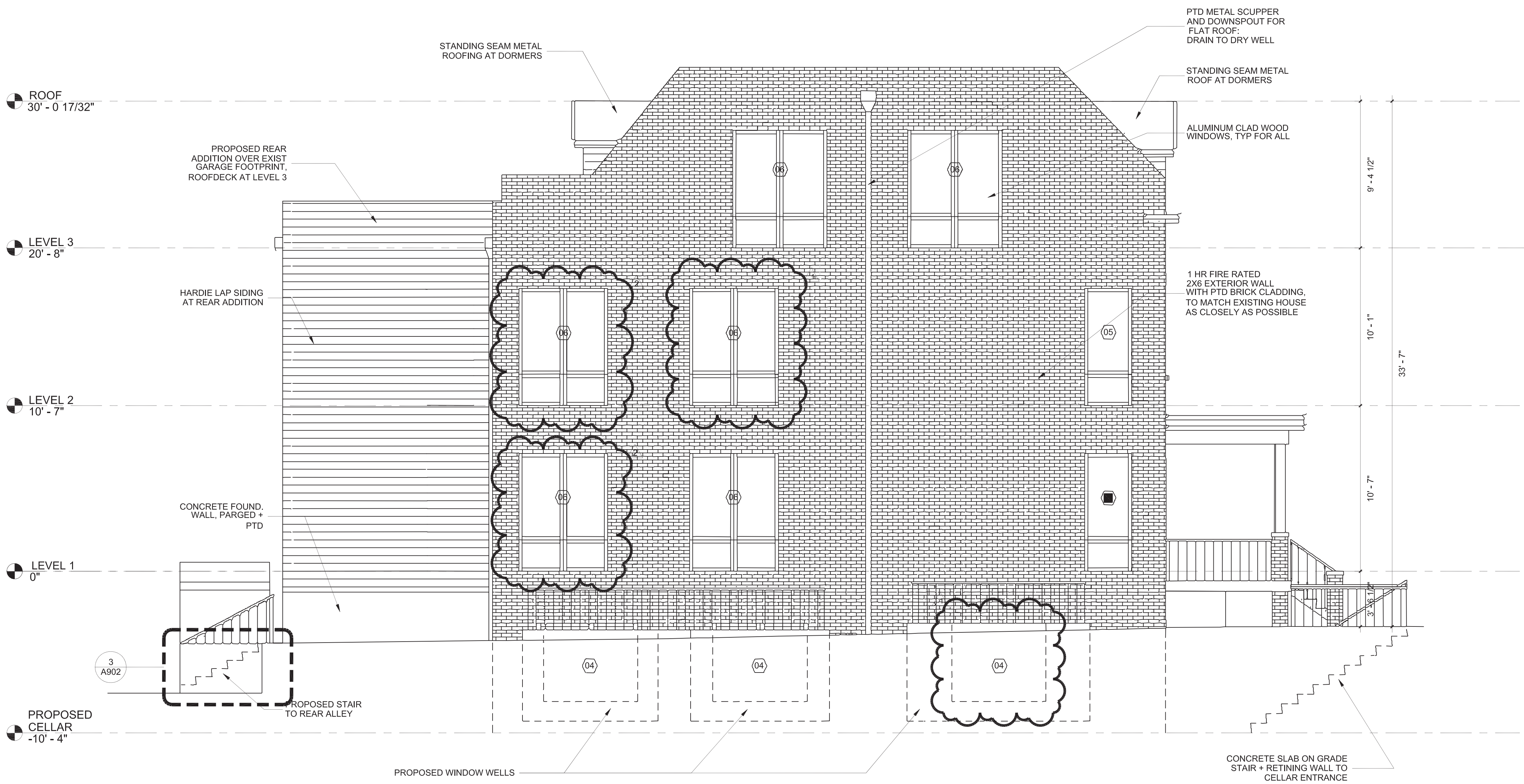
PROJECT NO: 06-10

PROJECT TITLE:
438 PARK ROAD NW

PROJECT ADDRESS:
438 PARK ROAD NW
WASHINGTON, DC

SHEET:





1 PROPOSED EAST ELEVATION
1/4" = 1'-0"

DIAMOND ENTERPRISE, LLC

DESIGN - BUILD
LAND DEVELOPMENT
MAINTENANCE

TELEPHONE: 202 487-3085

REVISE	NO.	DATE	REVISION TYPE	QUANTITY
	1			
	2			
	3			
	4			
	5			

PROPOSED BUILDING ELEVATIONS

PROJECT NO: 06-10

DRAWN BY: M. D. BARNES
APPROVED BY:

PROJECT TITLE:
438 PARK ROAD NW

PROJECT ADDRESS:
438 PARK ROAD NW
WASHINGTON, DC

A202

SHEET: