

RENOVATION AND ALTERATION S TO:

438 PARK ROAD NW

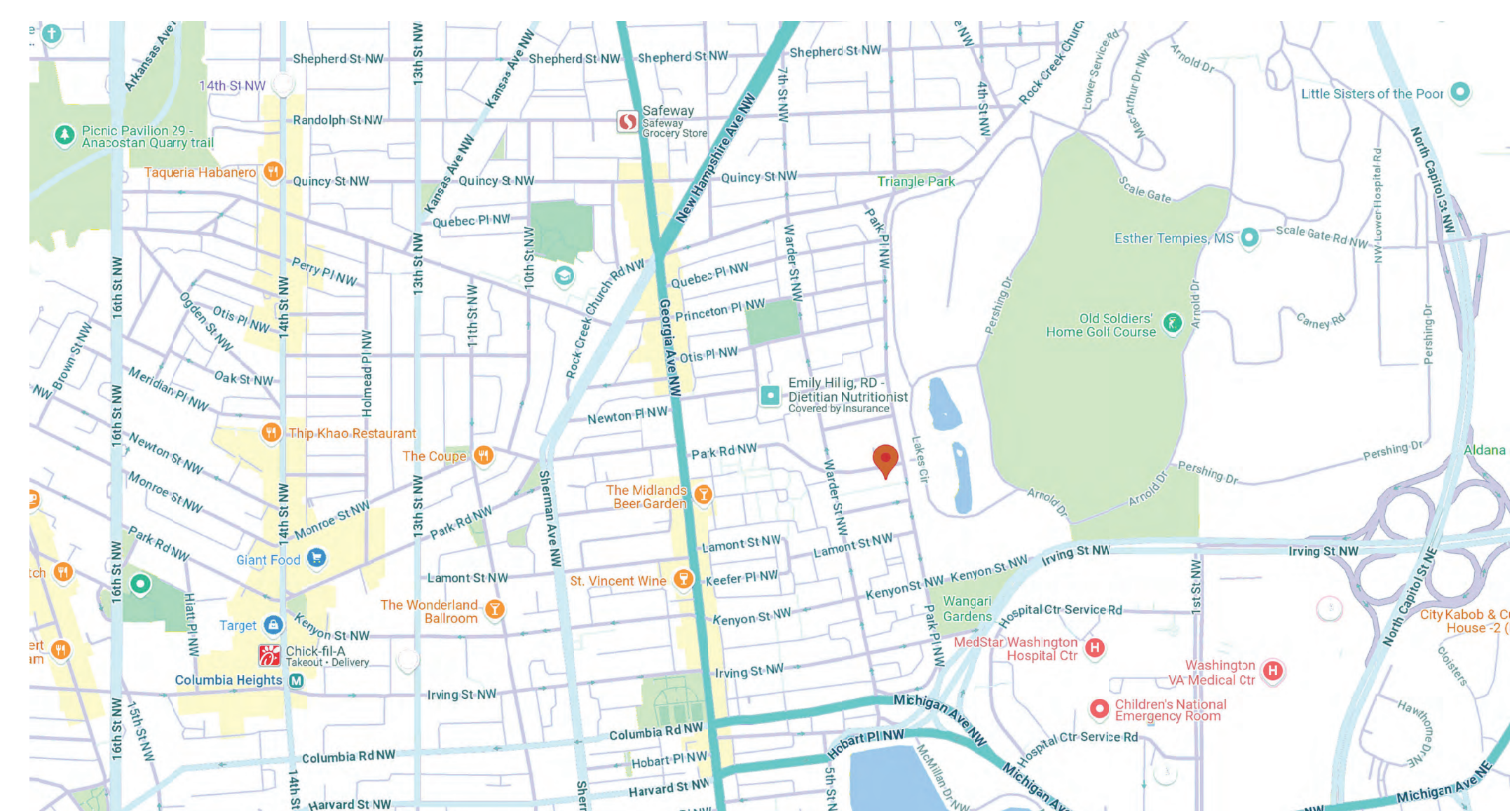
WASHINGTON, DC



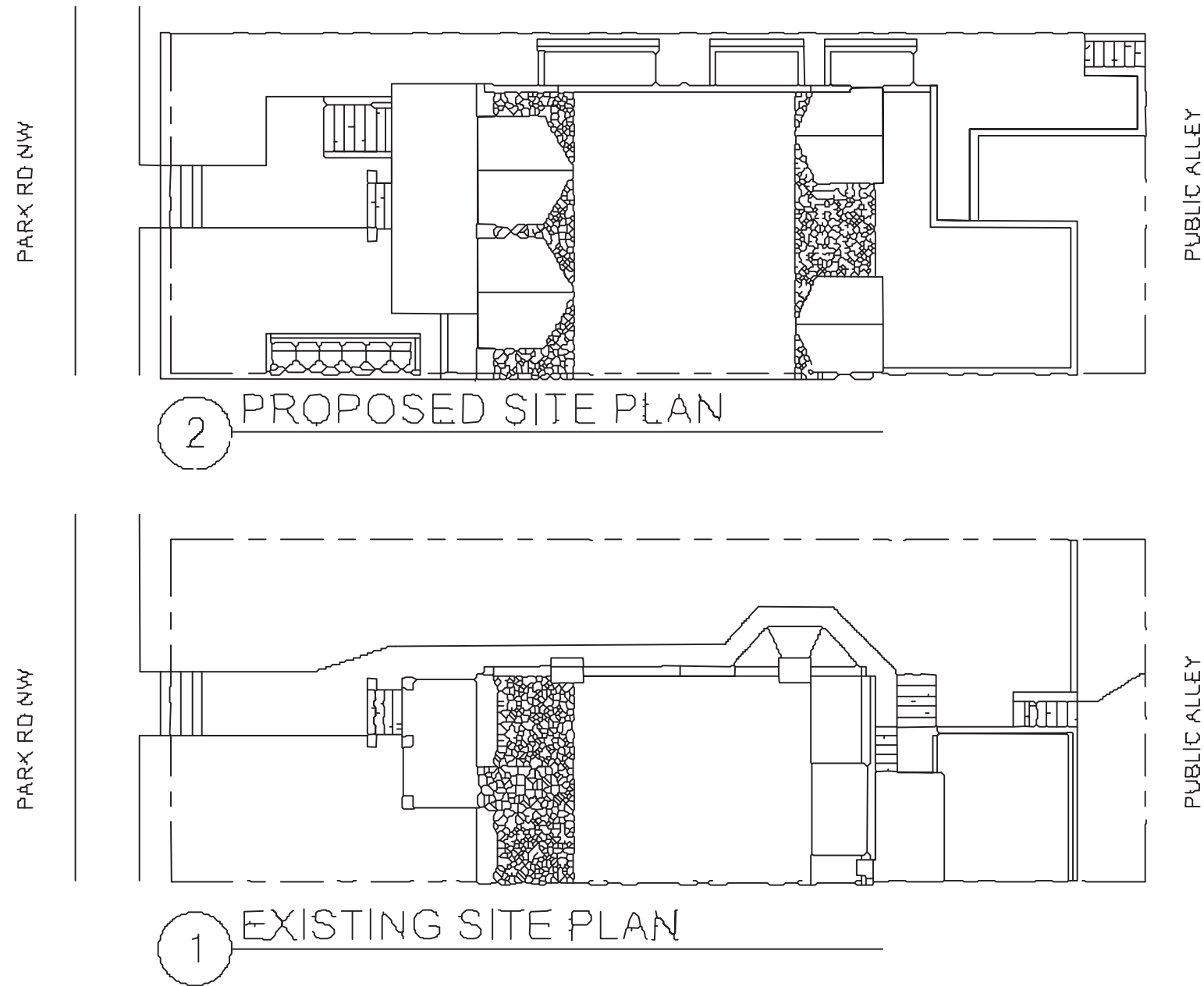
DESIGN – BUILD
LAND DEVELOPMENT
MAINTENANCE

TELEPHONE: 202 487-3085

PROJECT LOCATION MAP



SITE PLAN:



DISCLAIMER

THE OWNER SHALL ASSUME RESPONSIBILITY FOR ALL PROJECT THAT MAY BE REQUIRED AT THE OWNER'S OPTION INCLUDING ASBESTOS, RADON, LEAD, AND OTHER TOXIC

CONTRACTOR SHALL VISIT PROJECT AND FIELD VERIFY ALL DIMENSIONS INCLUDING MASONRY, AND ALL EXISTING OPENINGS, ALL DIMENSIONS SHOWN

CODE USED:

- 2017 DISTRICT OF COLUMBIA RESIDENTIAL CODE
- 2017 DISTRICT OF COLUMBIA MECHANICAL CODE
- 2017 DISTRICT OF COLUMBIA PLUMBING CODE
- 2011 NATIONAL ELECTRICAL BUILDING CODE
- 2017 DISTRICT OF COLUMBIA FIRE CODE
- 2012 ICC FUEL GAS CODE

DRAWING INDEX

- A000** COVER SHEET
- A001** PROJECT INFO
- A002** EXISTING PHOTOGRAPHS
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- D101** EXISTING CELLAR PLAN
- D102** EXISTING SECOND FLOOR PLAN
- D103** EXISTING THIRD FLOOR PLAN
- D104** EXISTING ROOF PLAN
- D201** EXISTING NORTH/SOUTH ELEVATION
- D202** EXISTING EAST ELEVATION
- D301** EXISTING BUILDING SECTION
- A100** PROPOSED SITE PLAN
- A101** PROPOSED CELLAR PLAN
- A102** PROPOSED FIRST FLOOR PLAN
- A103** PROPOSED SECOND FLOOR PLAN
- A104** PROPOSED THIRD FLOOR PLAN
- A105** PROPOSED ROOF PLAN
- A201** PROPOSED NORTH/SOUTH ELEVATION
- A202** PROPOSED WEST ELEVATION
- A301** PROPOSED BUILDING SECTION

PROJECT DIRECTORY

OWNER:
JOHN AZET
438 PARK ROAD NW
WASHINGTON, DC 20010

DESIGNER:
M. D. BARNES
606 KINGS LANE
FT. WASHINGTON, MD 20744

CONTACT: JOHN AZET
(703) 944-5653
JOHN@JAZCOMP.COM

DESIGNER:
(202) 487-3085
DIAMONDENTERPRISE@COMCAST.NET

ADDRESS: **438 PARK ROAD NW**
WASHINGTON, DC 20010

LOT: **3044**
SQUARE: **0053**
HISTORIC: **NO**
SPRINKLER: **YES**

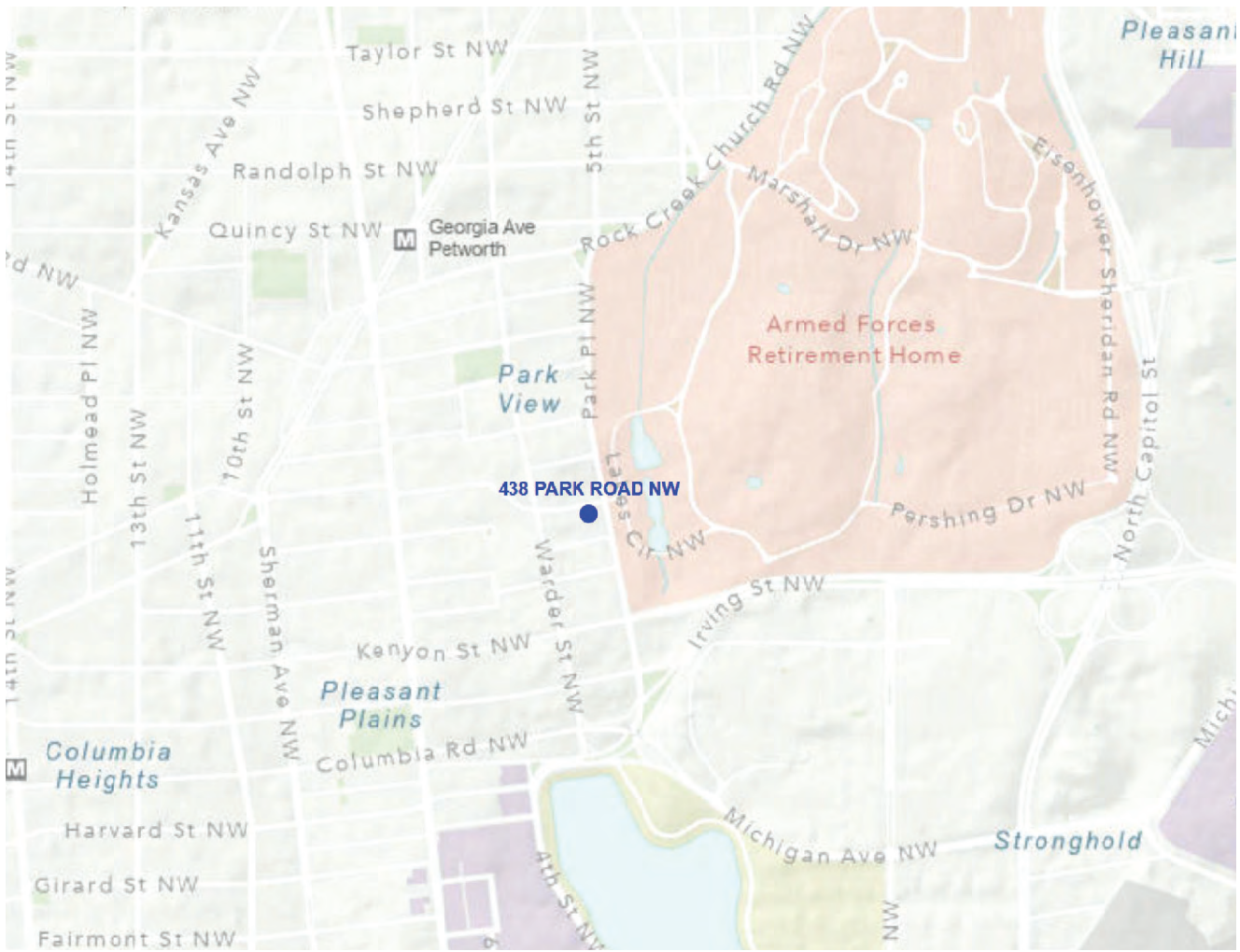
BASE BUILDING: **3 STORIES WITH A CELLAR**

LOT SIZE: **3,032 SF (PER DOB)**

PROJECT INFORMATION:
DESCRIPTION: STRUCTURE IS AN EXISTING 3 STORY PLUS CELLAR SFD. IMPROVEMENTS TO INCLUDES NEW REAR AND SIDE ADDITION, AND UNDERPINNING UNDERPINNING OF EXISTING FOUNDATION TO LOWER CELLAR SLAB. PROPOSED USE IS A 3-FAMILY MULTI DWELLING UNIT.

ZONING - TITLE 11 DCMR
ZONING: RF-1
USE: RESIDENTIAL

FRONT YARD:	ALLOWED:	EXISTING:	PROPOSED:
SIDE YARD(R):	SIM. TO ADJ.	SIM. TO ADJ.	NO CHANGE
SIDE YARD(L):	0'-0"	0'-0"	NO CHANGE
REAR YARD:	5'-0"	12'-0"	5'-0"
HEIGHT:	20'-0"	20'-0"	6'-7"
LOT OCCUPANCY:	35' MAX	35' MAX	33'-7"
	60% MAX.	38%	51%



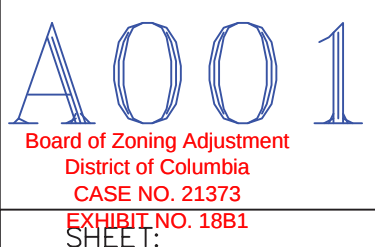
REVISONS	DATE	REVISION		QUANTITY
		NO.	TYPE	
		1		
		2		
		3		
		4		
		5		

DATE: 02/06/11

COVERSHEET		APPROVED BY:

PROJECT NO: 02-11

PROJECT TITLE: ALTERATION AND ALTERATION TO: 438 PARK ROAD NW	PROJECT ADDRESS: 438 PARK ROAD NW WASHINGTON, DC



Board of Zoning Adjustment
District of Columbia
CASE NO. 21373
EXHIBIT NO. 1881
SHEET



438 PARK ROAD NW - EXISTING HOUSE



436 PARK ROAD NW



A CROSS THE STREET FROM 438 PARK ROAD NW



WEST VIEW FROM YARD 438 PARK ROAD NW

DIAMOND
ENTERPRISE,
LLC

DESIGN – BUILD
LAND DEVELOPMENT
MAINTENANCE

TELEPHONE: 202 487-3085

REVISIONS		QUANTITY
DATE	NO.	REVISION TYPE
	1	
	2	
	3	
	4	
	5	

DATE: 04/03/2025

EXISTING HOUSE

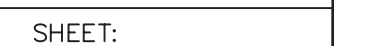
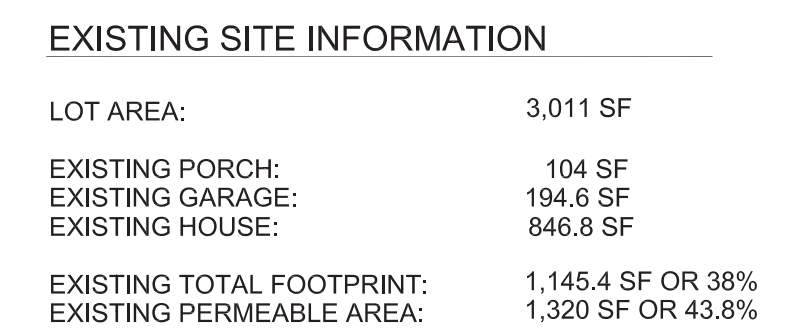
PROJECT NO: 06-10

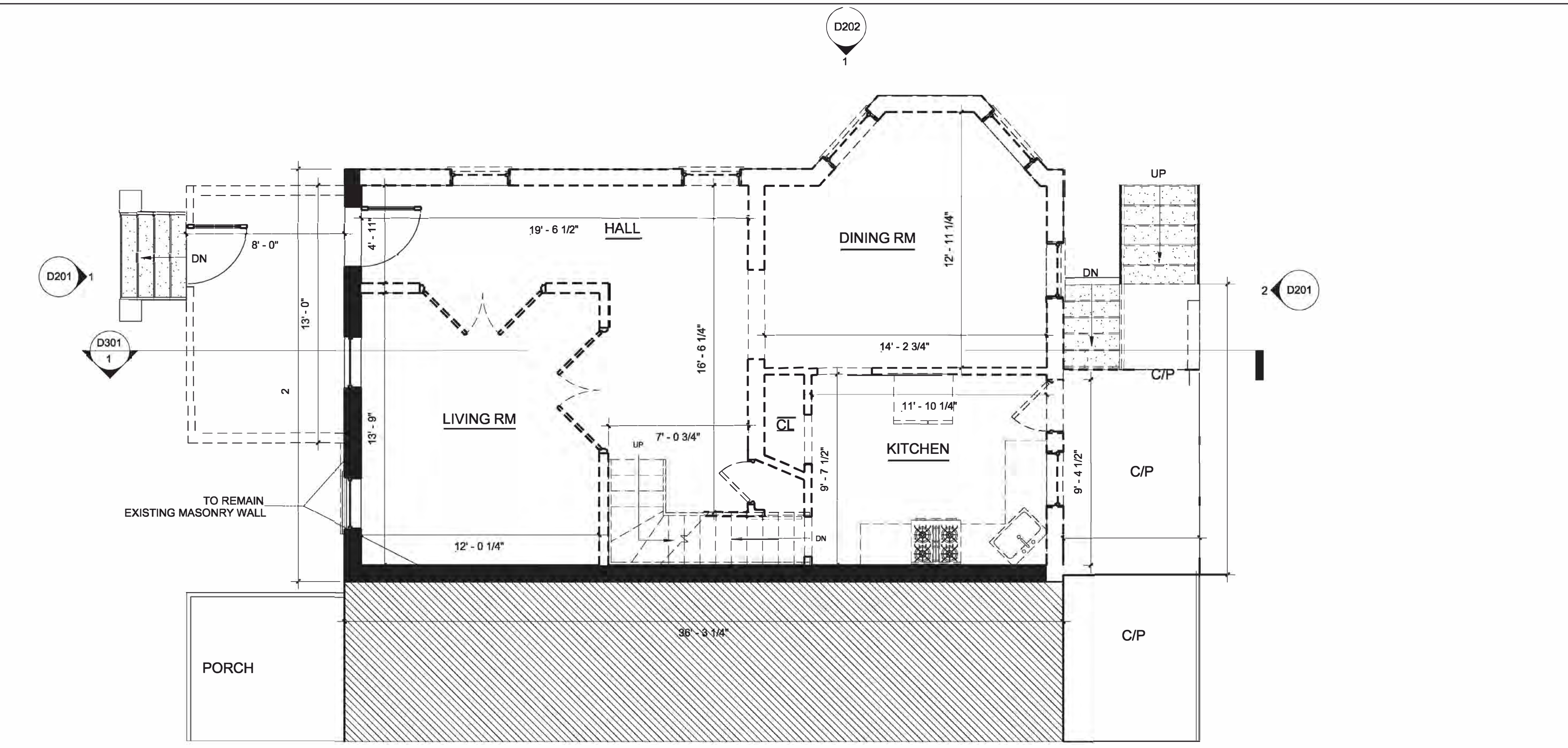
PROJECT TITLE:
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PROJECT ADDRESS:
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WASHINGTON DC 20010

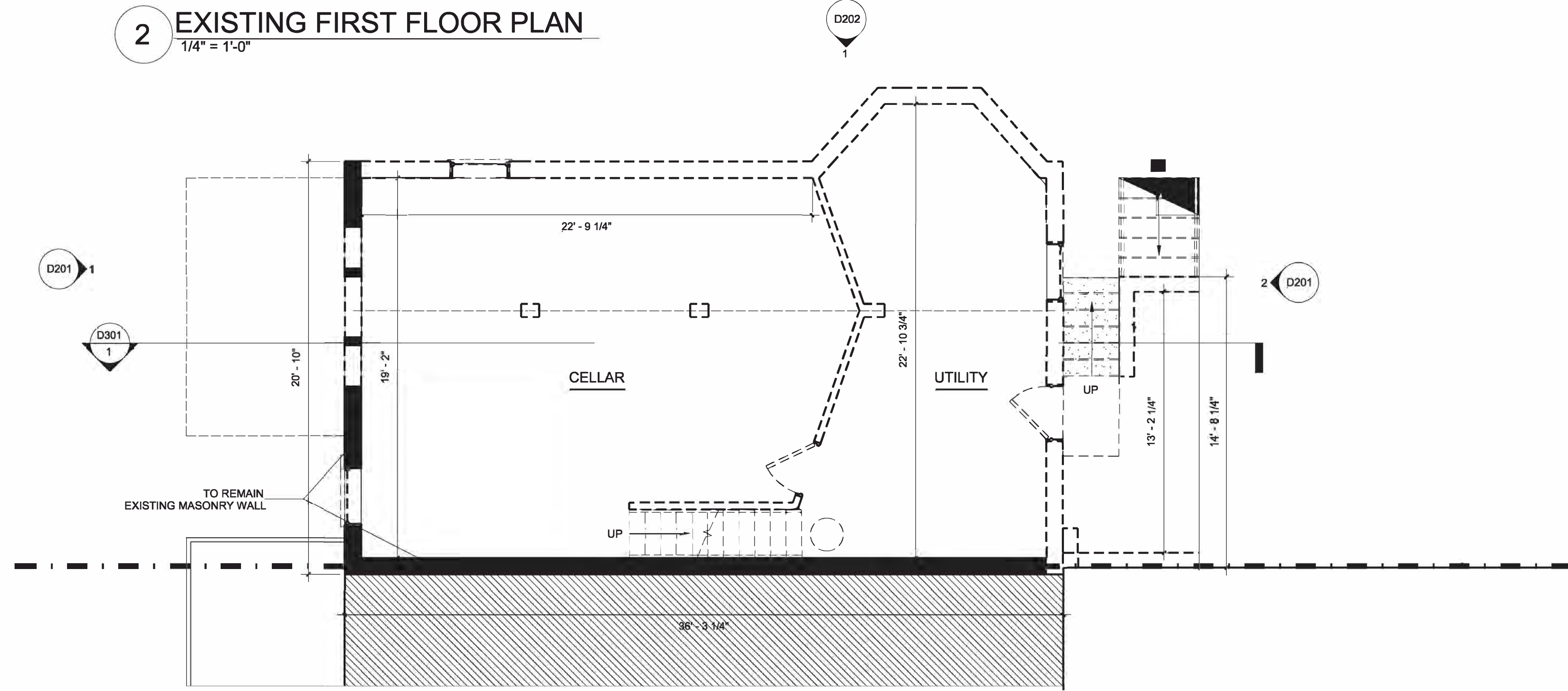
A002

SHEET:





2 EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"



1 EXISTING CELLAR PLAN
1/4" = 1'-0"



DIAMOND ENTERPRISE, LLC
DESIGN - BUILD
LAND DEVELOPMENT
MAINTENANCE
TELEPHONE: 202 487-3085

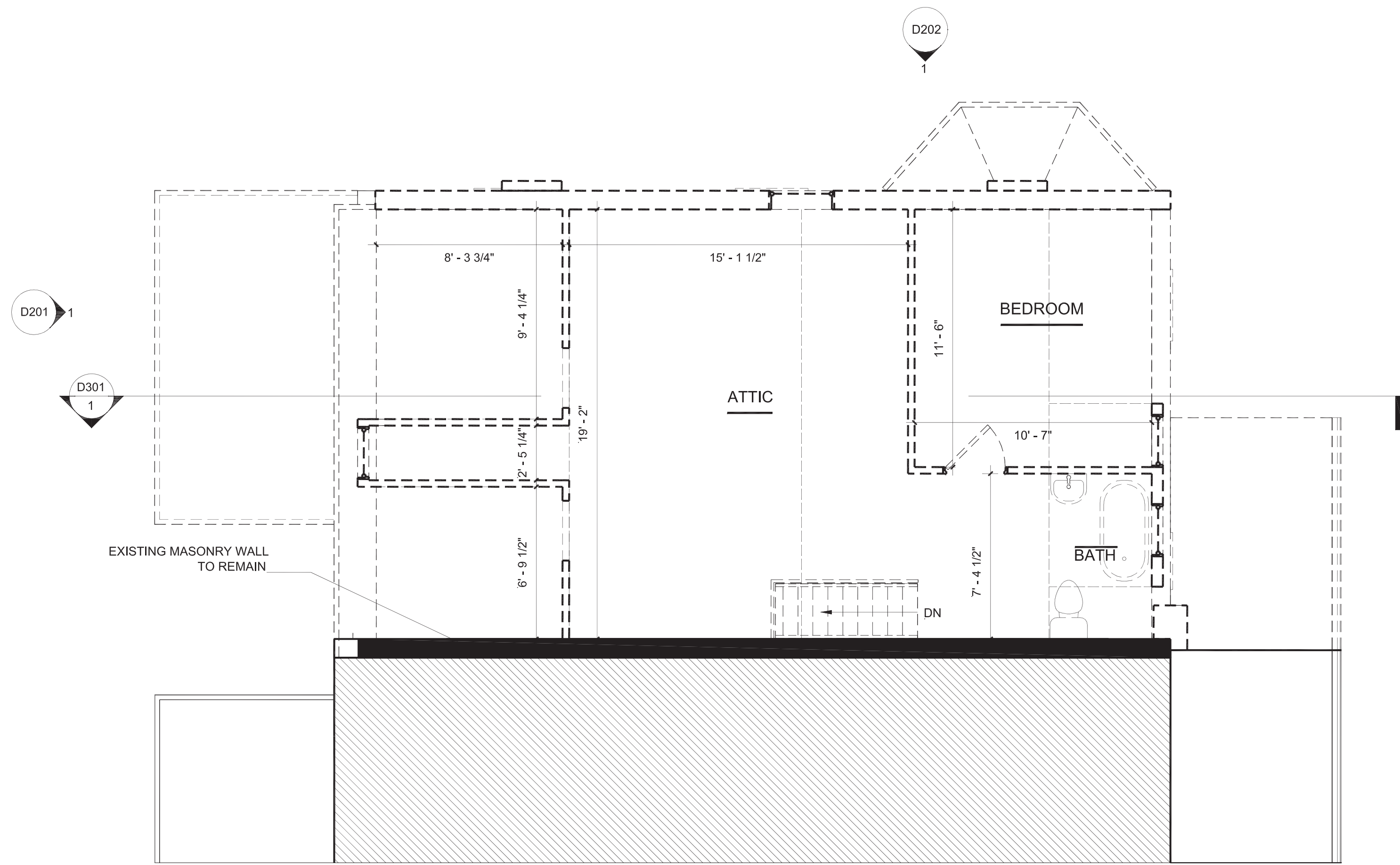
REVISES	DATE	NO.	REVISION TYPE	QUANTITY
		1		
		2		
		3		
		4		
		5		

EXISTING EXTERIOR ELEVATIONS
PROJECT NO: 06-10
DRAWN BY: M. D. BARNES
APPROVED BY:

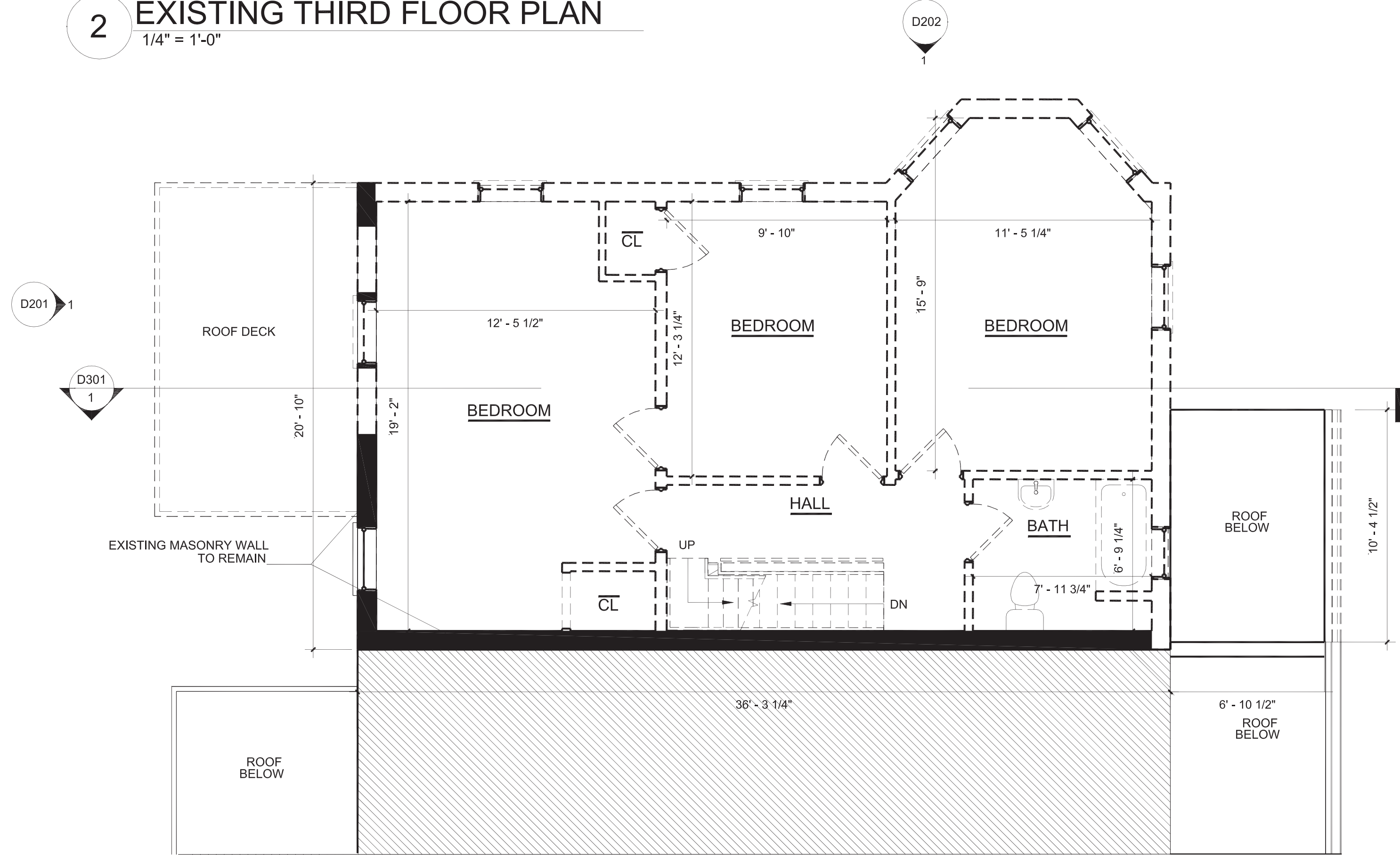
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WASHINGTON, DC

D101

SHEET:



2 EXISTING THIRD FLOOR PLAN
1/4" = 1'-0"



1 EXISTING SECOND FLOOR PLAN
1/4" = 1'-0"

DEMO GENERAL NOTES

- COORDINATE ALL DEMOLITION WITH NEW CONSTRUCTION
- CONTRACTOR TO PROVIDE CONSTRUCTION WASTE MANAGEMENT PLAN FOR SALVAGE/RECYCLING OF DEMOLITION AND CONSTRUCTION WASTE.
- CONTRACTOR IS RESPONSIBLE FOR ALL SHORING OF TEMPORARY WALL, FLOOR AND ROOF SUPPORTS THROUGHOUT THE DURATION OF THE PROJECT, IF NECESSARY.
- COMPLY WITH APPLICABLE LOCAL AND FEDERAL REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY, AND ENVIRONMENTAL PROTECTION.
- ERECT AND MAINTAIN DUSTPROOF PARTITIONS TO PREVENT THE SPREAD OF DUST, FUMES, ETC.
- PROTECT ALL EXISTING INTERIOR SURFACES TO REMAIN. IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE AFFECTED AREAS AT NO COST TO OWNER.

WALL KEY:

- 2 D201
[---] EXISTING WALLS TO BE DEMOLISHED
- [---] EXISTING WALLS TO REMAIN
- [---] NEW WALL
- [---] 1 HR FIRE SEPARATION WALL



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REVISES	DATE	NO.	QUANTITY	REVISION TYPE
		1		
		2		
		3		
		4		
		5		

EXISTING SECOND AND THIRD FLOORS

PROJECT NO: 06-10

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WASHINGTON, DC

D102

SHEET: