

**BEFORE THE DISTRICT OF COLUMBIA
BOARD OF ZONING ADJUSTMENT**

**APPLICATION OF
D.C. DEPARTMENT OF GENERAL SERVICES**

ANC 4B

STATEMENT OF THE APPLICANT

I. NATURE OF RELIEF SOUGHT

This statement is submitted on behalf of the Applicant, D.C. Department of General Services (the “Applicant”), as the implementing agency executing this project on behalf of the D.C. Office of Unified Communications (“OUC”), for the property located at 6001 Georgia Avenue (SSL: PAR01010055) (the “Property”), in support of its application for special exception relief pursuant to 11 DCMR Subtitle X § 901.2 and Subtitle C § 1313.3 for the construction of a new antenna tower. The Applicant satisfies the special conditions for antenna towers set forth in Subtitle C § 1313 to the extent practicable. With respect to the conditions in Subtitle C §§ 1313.4, 1313.8, and 1313.9, which the Applicant cannot meet, the Applicant seeks relief pursuant to Subtitle C § 1313.6, or in the alternative, area variance relief pursuant to Subtitle X § 1002.1.

II. JURISDICTION OF THE BOARD

The Board of Zoning Adjustment (the “Board”) has jurisdiction to grant the special exception relief requested herein pursuant to Subtitle X § 901.2 and the variance relief requested herein pursuant to Subtitle X § 1000.1 of the Zoning Regulations.

III. BACKGROUND

A. The Property and the Surrounding Neighborhood

The Property is a large, rectangular-shaped lot approximately 133,981 sq. ft. in land area. The Property is bounded by Quackenbos Street NW to the north, Peabody Street NW to the south, 9th Street NW to the east, and Georgia Avenue NW to the west. The Property is a split-zoned lot

located in MU-4 and RA-1 zones in the Brightwood neighborhood of Ward 4. A copy of the Zoning Map is attached at **Tab A**.

The Property is improved with two existing self-supporting towers: one measuring 400 feet and the other 700 feet in height (the “Existing Antennas”) maintained and operated by OUC. The Existing Antennas are located in the RA-zoned portion of the Property. The Property is also improved with a structure that serves as the Washington D.C. Metropolitan Police Department’s Fourth District Headquarters and two accessory structures. It is situated approximately one mile south of the Maryland border. The surrounding area is primarily residential in character, with a mix of single-family homes, apartment buildings, and neighborhood-serving retail along Georgia Avenue. The Property is not located within a historic district.

B. The Project

The Applicant proposes to remove the Existing Antennas and replace them with a single, consolidated 500-foot self-supporting antenna tower (the “Proposed Antenna”). The architectural plan set is attached at **Tab B**. The Proposed Antenna will be engineered to accommodate the relocation of all existing telecommunications equipment currently in use, including critical infrastructure operated by the Metropolitan Police Department, the Federal Bureau of Investigation, the Washington Metropolitan Area Transit Authority, and the Office of Unified Communications. The Proposed Antenna will be located entirely within the RA-zoned portion of the Property. The Proposed Antenna is necessary to replace structurally compromised infrastructure and to ensure the continuity of essential public safety and government communications throughout the District.

IV. NATURE OF SPECIAL EXCEPTION RELIEF SOUGHT AND STANDARD OF REVIEW

Under D.C. Code § 6-641.07(g)(2) and 11 DCMR X § 901.2, the Board is authorized to grant a special exception where it finds the special exception:

- (1) Will be in harmony with the general purpose and intent of the Zoning Regulations and Zoning Maps;*
- (2) Will not tend to affect adversely, the use of neighboring property in accordance with the Zoning Regulations and Zoning Maps; and*
- (3) Subject in specific cases to special conditions specified in the Zoning Regulations.*

11 DCMR Subtitle X § 901.2.

Relief granted through a special exception is presumed appropriate, reasonable, and compatible with other uses in the same zoning classification, provided the specific requirements for the relief are met. In reviewing an application for special exception relief, “[t]he Board’s discretion . . . is limited to a determination of whether the exception sought meets the requirements of the regulation.” *First Baptist Church of Wash. v. District of Columbia Bd. of Zoning Adjustment*, 432 A.2d 695, 701 (D.C. 1981) (quoting *Stewart v. District of Columbia Bd. of Zoning Adjustment*, 305 A.2d 516, 518 (D.C. 1973)). If the applicant meets its burden, the Board must ordinarily grant the application. *Id.*

V. APPLICANT MEETS BURDEN FOR SPECIAL EXCEPTION RELIEF

A. The Relief is Harmonious with the General Purpose and Intent of the Zoning Regulations and Maps

The relief requested will be in harmony with the purpose and intent of the Zoning Regulations and related maps. The purposes of the RA-1 zone are to:

- (a) Permit flexibility of design by permitting all types of urban residential development if they conform to the height, density, and area requirements established for these districts; and*

(b) Permit the construction of those institutional and semi-public buildings that would be compatible with adjoining residential uses and that are excluded from the more restrictive residential zones.

11 DCMR Subtitle F §101.3

The Proposed Antenna will support essential public safety and government communications infrastructure—a semi-public, institutional use that aligns with the types of uses contemplated under Subtitle F § 101.3(b). The Existing Antennas have operated on the RA-zoned portion of the Property for decades without adverse impact on adjacent residential uses. The Project improves upon this longstanding condition by consolidating two structurally unsound towers into a single, modern facility designed to current safety and engineering standards. The Proposed Antenna has been thoughtfully sited and designed to minimize visual and spatial impacts, and will remain within a site already accustomed to this type of infrastructure. The relief requested therefore preserves the residential character of the area, reduces nonconformity, and enhances public safety in a manner fully consistent with the intent of the Zoning Regulations.

The relief is also consistent with the intent of the MU-4 zone, which applies to a portion of the split-zoned Property. Antenna towers are expressly permitted by special exception in MU zones under Subtitle C § 1313.4. While the Proposed Antenna will be located in the RA-zoned portion of the Property, the MU zoning that applies to the site reflects a land use context in which this type of infrastructure is contemplated and permitted. The Project's location on a lot that includes MU zoning reinforces its compatibility with the purposes of the Zoning Regulations.

For these reasons, the relief is harmonious with the general purpose and intent of the Zoning Regulations and maps.

B. The Proposed Relief Will Not Tend to Adversely Affect the Use of Neighboring Property

The Proposed Antenna will not introduce new impacts that would interfere with the use or enjoyment of neighboring properties. The tower will not produce noise, vibration, odor, or light, and it will not increase traffic or intensity of use on the site. The infrastructure it supports operates passively and is not perceptible to nearby residents in day-to-day activity. The Property will continue to function in much the same way as it has for decades.

Moreover, the Project reduces the overall number of towers on the site, replacing two Existing Antennas with a single facility. This consolidation limits visual clutter and represents a reduction in the scale and spread of existing nonconforming elements. The Proposed Antenna has been designed with attention to minimizing visual impact where possible, and its location on a lot with an established infrastructure use helps mitigate the effect of any perceived change. Accordingly, the requested relief will not adversely affect neighboring residential uses.

C. The Project Satisfies the Special Conditions of Subtitle C § 1313

The Proposed Antenna satisfies the special conditions for antenna towers set forth in Subtitle C § 1313 to the extent practicable. For those provisions the Project cannot meet, the Applicant seeks relief pursuant to Subtitle C § 1313.6, or in the alternative, area variance relief pursuant to Subtitle X § 1002.1. The Proposed Antenna satisfies the other special conditions for the construction of an antenna tower pursuant to Subtitle C § 1313, as follows:

Subtitle C § 1313.4 – An antenna tower maybe permitted as a special exception in the following zones:

(a) MU Zones, except MU-3 zone...

The Proposed Antenna is located on a split-zoned lot, and the Property includes an MU-4 zone, which would ordinarily satisfy this condition. However, the Proposed Antenna will be located entirely within the RA-zoned portion of the Property, which does not qualify under Subtitle

C § 1313.4. Therefore, as outlined below, the Applicant seeks relief from this special exception condition pursuant to Subtitle C § 1313.6, or in the alternative, variance relief.

Subtitle C § 1313.5 – The location, height, and other characteristics of an antenna tower or monopole shall be:

(a) Consistent with the purpose of this chapter;

The Proposed Antenna is consistent with the purpose of Subtitle C Chapter 13. The purpose of chapter 13 is to mitigate potential adverse impacts on public welfare, neighborhood character and the aesthetic interests of the District, including its streetscape, skyline, and role as the nations capital. *See* Subtitle C § 1300.1(a)-(c). The Project advances these goals by removing the Existing Antennas and replacing them with a single, modern structure, reducing visual clutter and maximizing the efficiency of telecommunications equipment on the Property. By consolidating telecommunications infrastructure and minimizing its visual and spatial impact, the Proposed Antenna reduces the presence of bulky and redundant structures and thereby supports the Zoning Commission’s intent to protect the District’s scenic and urban character.

(b) Designed and available for collocation by other service providers;

The Existing Antennas have been made available for collocation by other service providers. Similarly the Proposed Antenna is designed to support multiple antenna arrays and will be made available to other telecommunications service providers on a commercial basis.

(c) Located so the visual impacts are minimized to the greatest practical extent, from neighboring property and adjacent public space, or appropriately screened by landscaping or other techniques to minimize the visibility of the antenna tower or monopole;

Although the Property is surrounded by residential uses, the Proposed Antenna reduces the overall visual impact of the site by removing the Existing Antennas and replacing them with a single, modern structure. This consolidation eliminates redundancy and reduces the number of vertical elements visible from surrounding homes and streets. In addition, the Applicant is prepared

to implement additional screening measures in order to reduce visibility from the street and adjacent properties should the Board find such measures necessary. These efforts, taken together, ensure that visual impacts are minimized to the greatest practical extent in accordance with the regulation.

(d) Designed and constructed to preserve existing trees to the greatest practical extent.

No trees exist on the subject property. Therefore, tree preservation measures are not applicable.

Subtitle C § 1313.7 – Any antenna tower or monopole with a proposed height in excess of that permitted by the act of June 1, 1910 (36 Stat. 452), as amended, shall not be permitted, unless the height is approved by the mayor or his or her designee.

The Applicant has obtained written authorization from the Department of Buildings, issued pursuant to the District of Columbia Reorganization Plan No. 1 of 1983, the Department of Buildings Establishment Act, the Height Act, and the authority vested in the Department of Buildings Director under 12A DCMR. The authorization confirms that the Proposed Antenna's height of 500 feet above grade is permissible. This documentation is attached as **Tab C**.

Subtitle C § 1313.8 – An antenna tower or monopole shall be set back a minimum horizontal distance equal to its total height as measured from the ground, from any residentially developed or zoned property.

The Applicant cannot comply with this requirement and seeks relief from the special exception conditions pursuant to Subtitle C § 1313.6, or in the alternative, variance relief, as outlined in the sections below.

Subtitle C § 1313.9 – Each part of an antenna tower or monopole shall be setback from each lot line the greater of the following: ...

(b) A distance of at least one-third (1/3) of the total constructed height.

The Applicant cannot comply with this requirement and seeks relief from the special exception conditions pursuant to Subtitle C § 1313.6, or in the alternative, variance relief, as outlined in the sections below.

Subtitle C § 1313.13 – no signs of any kind, including advertisements, may be place on an antenna tower or monopole, its equipment cabinet, or its equipment shelter, unless necessary for the safety of the public.

The Applicant confirms that the Proposed Antenna is a city project intended solely for municipal use and not for for-profit or commercial purposes. No signs, advertisements, or other commercial messaging will be placed on the tower, equipment cabinet, or equipment shelter, except as may be required for public safety in accordance with applicable regulations.

VI. THE APPLICANT QUALIFIES FOR RELIEF PUSUANT TO § 1313.6

Subtitle C § 1313.6 provides that if an applicant is unable to meet the special exception requirements of this section, the Board of Zoning Adjustment may nevertheless grant the application if the applicant demonstrates the following:

(a) There is a significant gap in wireless service.

The Existing Antennas support a network of communications equipment used by multiple public safety and government agencies, including the Metropolitan Police Department, the Office of Unified Communications, the FBI, and WMATA. The Existing Antennas are structurally compromised and cannot remain in service. If the Proposed Antenna is not constructed in a timely manner, there will be a significant disruption to critical emergency and operational communications, resulting in a clear and unacceptable gap in service.

(b) The proposed antenna tower or monopole will fill this gap.

The Proposed Antenna is specifically designed to maintain continuous service coverage by accommodating all equipment currently mounted on the Existing Antennas. It is engineered to

match and consolidate the functions of the two nonconforming towers, ensuring uninterrupted operations for all agencies currently relying on the site.

(c) No other mounting options are available.

The equipment currently housed on the Existing Antennas cannot be relocated to nearby buildings or other structures due to its weight, elevation requirements, and the unique coverage needs of the agencies involved. The only option that satisfies all technical and operational parameters is a dedicated antenna tower located on the same site.

(d) The site is the only location from which the gap can be filled or, if other sites are available, the antenna tower or monopole at the proposed location will generate the least adverse impacts.

The Property is already developed with two long-standing antenna towers, and the surrounding neighborhood is familiar with the use. The Property is owned by the District and already part of the public inventory. The Proposed Antenna would share the site with existing Metropolitan Police Department infrastructure, making continued use of the site a practical and efficient use of public resources. Relocating the Proposed Antenna elsewhere would likely result in delay and additional cost to evaluate the viability of a new location. The existing site remains the only viable location from which the necessary coverage can be maintained without creating new burdens on other communities.

(e) The height and other physical design characteristics of the proposed antenna tower or monopole do not exceed those which are minimally necessary to fill the gap in wireless service.

The Proposed Antenna is 500 feet tall, which reflects the minimum height required to support the existing agency equipment and maintain necessary coverage. The height was determined through engineering analysis and reflects a consolidation of two structures into a single tower, not an expansion of capacity beyond what is needed.

(f) It is using the least intrusive means to provide wireless service necessary to fill the gap in such service.

Replacing the Existing Antenna's with one consolidated structure represents the least intrusive means of preserving service. The Proposed Antenna minimizes visual and spatial impact while improving site safety and efficiency. The design is as compact and efficient as possible, consistent with the highly specialized nature of the communications infrastructure. In addition, the ability to collocate other antennas on the new tower increases operational efficiency and avoids the need for additional standalone structures elsewhere.

(g) The proposed antenna tower or monopole, even when supporting all possible co-locators, will be in full compliance with Federal Communications Commission cumulative and individual RF emission levels.

The Proposed Antenna will comply fully with all applicable FCC regulations concerning RF emissions, including both cumulative and individual exposure limits. All equipment installed on the Proposed Antenna will meet current federal standards for health and safety.

VII. NATURE OF VARIANCE RELIEF SOUGHT AND STANDARD OF REVIEW

In the alternative, if the Board determines that relief under Subtitle C § 1313.6 is not available, the Applicant seeks area variance relief pursuant to Subtitle X § 1002.1 from the locational requirement set forth in Subtitle C § 1313.4, as well as from the setback and separation requirements set forth in Subtitle C §§ 1313.8 and 1313.9. While the Existing Antennas have long operated on the site in the RA zone, they constitute a nonconforming use and do not comply with current locational, setback and separation standards. Because the Proposed Antenna cannot meet the applicable development standards, the Applicant seeks variance relief to allow the replacement of the structurally compromised Existing Antennas with the new, consolidated Proposed Antenna in order to support critical public safety and government communications infrastructure.

Under D.C. Code § 6-641.07(g)(3) and 11 DCMR Subtitle X § 1000.1, the Board is authorized to grant variance relief where it finds that three conditions exist:

- (1) The Property is affected by exceptional size, shape or topography or other extraordinary or exceptional situation or condition;*
- (2) The owner would encounter practical difficulties or undue hardship if the zoning regulations were strictly applied; and*
- (3) The variance would not cause substantial detriment to the public good and would not substantially impair the intent, purpose and integrity of the zone plan as embodied in the Zoning Regulations and Map.*

11 DCMR Subtitle X § 1001.1; *see also French v. Board of Zoning Adjustment*, 658 A.2d 1023, 1035 (1995); *see also Capitol Hill Restoration Society, Inc. v. Board of Zoning Adjustment*, 534 A.2d 939 (1987).

In assessing the variance test, the Board may apply a more flexible standard of review for a public service organization, “especially where the organization is seeking the zoning relief in order to meet a public need or serve the public interest.” *See Neighbors for Responsive Government v. D.C. Bd. of Zoning Adjustment*, 195 A.3d 35, 56 (D.C. 2018); *see also Monaco v. D.C. Bd. of Zoning Adjustment*, 407 A.2d 1091, 1097 (1979). The flexible standard of review can be applied regardless of whether the applicant seeks to expand an existing use or add a new use to the property in question. *See id.* at 59. As part of this reduced standard of review, the Board may more fully weigh the equities of an individual case, including the organization’s needs, in finding an exceptional situation or condition. *See id.* at 56; *see also Monaco* at 1098; *see also National Black Child Development Institute, Inc. v. D.C. Bd. of Zoning Adjustment*, 483 A.2d 687, 690 (1984).

VIII. APPLICANT MEETS BURDEN FOR VARIANCE RELIEF

A. The Property is Affected by an Exceptional Situation or Condition

The phrase “exceptional situation or condition” applies not only to the land, but also to the existence and configuration of a building on the land. *See Clerics of St. Viator, Inc. v. District of*

Columbia Bd. of Zoning Adjustment, 320 A.2d 291, 294 (D.C. 1974). The unique or exceptional situation may arise from a confluence of factors which affect a single property. *Gilmartin v. D.C. Bd. Of Zoning Adjustment*, 579 A.2d 1164, 1168 (D.C. 1990).

The exceptional situation or condition affecting the Property arises in large part from the programmatic need for a highly specialized communications facility to support essential public safety and government operations. The scale, function, and infrastructure requirements of the Proposed Antenna go well beyond typical land use and create unique siting constraints that limit viable alternatives. The Existing Antennas are the only facilities of their size and capacity in the District and serve as critical infrastructure for public safety and government communications. Furthermore, they are structurally compromised and cannot remain in service. The Property is impacted by the existing MPD Building which occupies the entire MU portion of the lot. The combination of split zoning, the location and condition of the Existing Antennas, the unique scale of the infrastructure, and the essential nature of the services it supports together constitute an exceptional situation or condition under the variance standard.

B. The Applicant Will Face Practical Difficulty with Strict Zoning Compliance

An applicant experiences practical difficulties when compliance with the Zoning Regulations would be “unnecessarily burdensome.” See *Gilmartin v. District of Columbia Bd. of Zoning Adjustment*, 579 A.2d 1164, 1170 (D.C. 1990). Here, the Applicant faces practical difficulty complying with Subtitle C § 1313.4, which prohibits antenna towers in the RA zone. Operationally, the RA-zoned portion of the Property is the only feasible location for the Proposed Antenna. Relocating the Proposed Antenna to the MU-zoned portion of the Property would require demolition of the existing MPD building, which is not a practical or feasible option. Alternatively, abandoning the site altogether and relocating the infrastructure to a different MU-zoned property

elsewhere in the District would require extensive analysis, site acquisition, and engineering to determine viability, all at significant cost. Both alternatives would result in substantial practical difficulties by delaying the replacement of the structurally unsound Existing Antennas and imposing significant additional costs given the critical nature and complexity of the infrastructure involved.

The Applicant also faces practical difficulties complying with the setback and separation requirements set forth in Subtitle C §§ 1313.8 and 1313.9, as follows:

Subtitle C § 1313.8 – An antenna tower or monopole shall be set back a minimum horizontal distance equal to its total height as measured from the ground, from any residentially developed or zoned property.

Given the proposed tower height of 500ft above grade the required set back would demand a parcel at least 1000 feet in both width and depth—making such siting functionally impractical within the District’s dense urban fabric. Compliance with this setback requirement would be practically difficult as there are no abutting parcels that could be acquired to ensure compliance. Requiring full compliance would either render the Proposed Antenna infeasible or severely compromise its operational effectiveness by forcing relocation to a suboptimal site.

Subtitle C § 1313.9 – Each part of an antenna tower or monopole shall be setback from each lot line the greater of the following:...

(b) A distance of at least one-third (1/3) of the total constructed height

Due to the size and configuration of the Property it is not physically possible to achieve the required one-third height setback from all lot lines. For a 500-foot tower, this would require a minimum setback of approximately 167 feet from all lot lines. However, the Property measures approximately 230 feet in diameter from north to south, making it physically impossible to achieve the required setback on the site. Even if the tower were centered, the lot does not provide enough space to maintain 167 feet of separation from each lot line. Accordingly, strict adherence to this

requirement would prevent the construction of a tower of this height anywhere on the Property. Siting the Proposed Antenna to comply with this standard would require a substantial reduction in height which would be counterproductive to the programmatic needs of the Applicant. Compliance is therefore unduly burdensome and inconsistent with the longstanding use and configuration of the Property.

C. The Variance Relief Will Not Cause Substantial Detriment to the Public Good or the Zoning Regulations and Maps

The Proposed Antenna will not be of substantial detriment to the public good and will not substantially impair the intent, purpose, or integrity of the Zoning Regulations. The Project does not introduce a new use but replaces two existing nonconforming antenna towers that have operated on the Property for decades. The Existing Antennas do not comply with current zoning requirements, including location, setback and separation standards, and are structurally unsound. The Proposed Antenna consolidates the Existing Antenna's into a single, modern structure designed to current safety and engineering standards, thereby improving site conditions and reducing the overall intensity of the use.

The surrounding neighborhood is already accustomed to the presence of large-scale antenna infrastructure. The Existing Antennas have long shaped the physical character of the site, and the Project maintains that balance by keeping the use in place without expanding its footprint or introducing new impacts. In fact, replacing two towers with one will reduce visual clutter and overall site disruption.

Replacing the Existing Antennas is also necessary to ensure uninterrupted public safety and government communications. Relocating the infrastructure to another site in the District would not only create serious logistical and operational burdens, but could also shift impacts to communities unfamiliar with a tower of this scale. The Proposed Antenna preserves continuity of

service, minimizes change to the neighborhood, and improves safety and compliance. The Project serves the public interest by maintaining critical infrastructure in a safer and more compliant form, with minimal impact on the surrounding community.

IX. ADDITIONAL DOCUMENTATION REQUIRED UNDER § 1313.11

Pursuant to Subtitle C § 1313.11, the Applicant has included all required written and graphic documentation in support of this application as follows:

(a) The area to be served by the proposed new antenna or monopole;

A graphic showing the area to be served by the Proposed Antenna is attached at **Tab D**. This graphic compares the area that will be served by the Proposed Antenna (dark green and orange) with the area currently being served (light green).

(b) The area being inadequately served;

A map identifying the area that would be inadequately served in the event of a structural failure of the Existing Antennas is attached at **Tab E**.

(c) A map indicating the location of any other antenna or related facility sites providing service by the applicant within a two (2)-mile radius, including public space, of the proposed site;

A map indicating the location of other antenna or related facility sites operated by the Applicant within a two-mile radius, including those located in public space, is attached at **Tab F**.

(d) Other towers or monopoles within a two (2)-mile radius of the proposed site with identified heights above grade;

A map identifying other towers or monopoles within a two-mile radius of the proposed site, along with their heights above grade, is attached at **Tab G**.

(e) An explanation of why the applicant cannot collocate on an existing tower or monopole;

All DGS-controlled towers and structures are open for collocation through the Portfolio Management Division of DGS.

- (f) A written statement agreeing to permit the collocation by other service providers on a commercial basis on an antenna tower;*

All DGS-controlled tower and structures are open for collocation through the Portfolio Management Division of DGS. Of the Existing Antennas, the tower that remains in use has eight tenants in addition to the District of Columbia public safety equipment. All eight tenants will transfer their equipment to the new replacement tower.

- (g) A written statement agreeing to design a proposed monopole for at least three (3) antenna arrays and to make the array space available on a commercial basis for collocation by any telecommunications service provider whenever unused by the initial telecommunications service provider(s);*

All DGS-controlled towers and structures are open for collocation through the Portfolio Management Division of DGS. Of the Existing Antennas, the tower that remains in use has eight tenants in addition to the District of Columbia public safety equipment. All eight tenants will transfer their equipment to the new replacement tower. Those tenants are: Capitol Police, FBI, US Dept of Justice, WMATA, US Secret Service, National Oceanic and Atmospheric Administration (NOAA), Verizon Wireless, and T-Mobile. The new tower is designed to accommodate the District's public safety equipment, these eight entities, plus an additional 25% capacity for any new tenants.

- (h) The topographic conditions of the area to be served;*

A description of the topographic conditions of the area to be served is attached at **Tab H**.

- (i) The relative height of the antenna tower or monopole to the tops of surrounding trees within one-quarter mile (.25 mi.) radius of the proposed site as they presently exist;*

Documentation showing the relative height of the proposed antenna tower compared to the tops of surrounding trees within a 0.25-mile radius is attached at **Tab I**.

(j) The proposed appearance of the antenna tower or monopole, including exterior finish;

Renderings showing the proposed appearance and exterior finish of the tower are attached at **Tab J**.

(k) A maintenance plan explaining how the property manager will control ice build-up, falling ice, and potential falling debris; the plan should also address how inoperative antennas will be removed; and

To demonstrate its history of responsible maintenance, the Applicant has provided a copy of its current services contract with Tecknomic, a licensed maintenance provider, attached at **Tab K**. While the existing contract does not extend to the Proposed Antenna, it reflects the Applicant's established practice of retaining qualified professionals to manage ice buildup, remove falling debris and inoperative antennas, and perform structural upkeep. The Proposed Antenna will be designed in accordance with the Telecommunications Industry Association ANSI/TIA-222-G standard and will be maintained in accordance with prevailing industry standards by a qualified third-party contractor engaged by the OUC.

(l) Other information as may be necessary for impact assessment of the antenna tower or monopole.

The Applicant is not aware of any additional information necessary for the impact assessment of the Proposed Antenna. However, the Applicant remains fully willing to provide any supplemental materials the Board may find useful in evaluating the potential impacts of the Project.

X. COMMUNITY OUTREACH

As the Property is located within the boundaries of ANC 4B. The Applicant notified ANC 4B of its intent to file and presented the Project to the community on May 28, 2024. The Applicant will contact ANC 4B when the application is filed and request that the Applicant present to ANC 4B at the next available public meeting.

XI. CONCLUSION

For the reasons stated above, the Project meets the applicable standards for special exception relief under the Zoning Regulations. Accordingly, the Applicant respectfully requests the Board grant the application.

Respectfully Submitted,
COZEN O'CONNOR



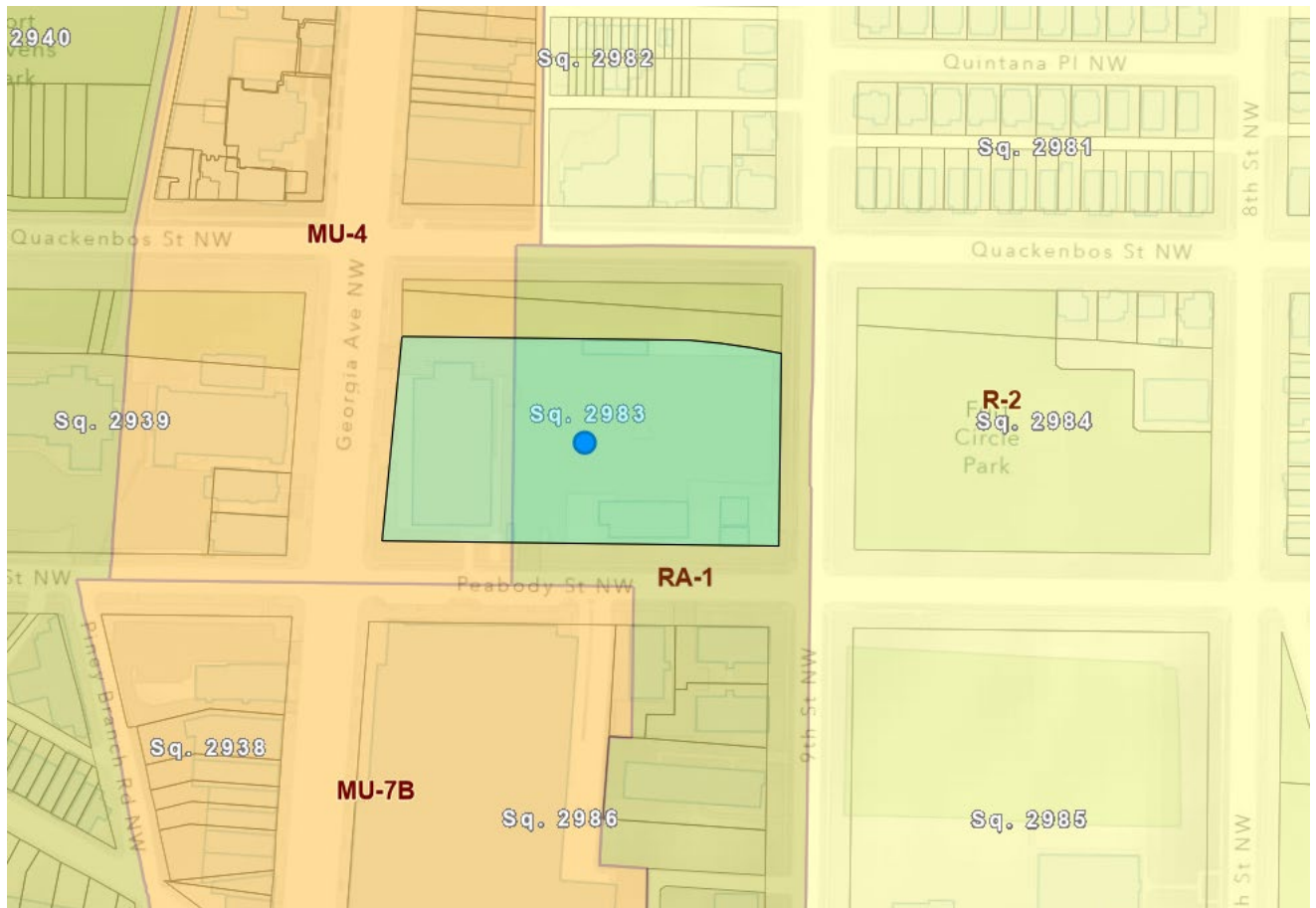
Meridith H. Moldenhauer



Zachary Bradley

Tab A

Zoning Map



Tab B

DGS 4D TOWER DEMO/REBUILD

6001 GEORGIA AVENUE, NW, WASHINGTON D.C. 20011

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DWG NO. TITLE:

G-001 COVER SHEET
G-002 PHASING PLAN - DEMO AND NEW WORK
G-003 PHASING PLAN - DEMO AND NEW WORK

DEMOLITION - SUPPORTING BUILDING #1

A-001 LEGEND, ABBREVIATIONS, GENERAL NOTES
AD-101 FLOOR PLAN - DEMO SUPPORT BLDG.
AD-201 ELEVATIONS - DEMO SUPPORT BLDG.
AD-801 PHOTO DOCUMENTATION - SUPPORT BLDG.
M-001 LEGEND, ABBREVIATIONS, GENERAL NOTES AND DRAWING LIST
MD-101 FLOOR PLAN - DEMO SUPPORT BLDG.
PD-101 LEGEND, ABBREVIATIONS, GENERAL NOTES AND DRAWING LIST
FPD-101 FLOOR PLAN - DEMO SUPPORT BLDG.
E-001 ABBREVIATIONS, SYMBOL LIST, AND NOTES
ED-101 SUPPORTING BUILDING #1 PLANS - DEMO SUPPORT BLDG.

CIVIL:

CV010 GENERAL NOTES
CV012 RAZE GENERAL NOTES
CV090 TEMP DISCHARGE PERMIT REQUIREMENTS
CV100 EXISTING CONDITIONS PLAN
CV105 EXISTING CONDITIONS NOTES
CV110 RAZE PERMIT PLAN
CV150 DEMOLITION PLAN
CV200 SITE PLAN
CV205 SITE DETAILS
CV215 PUBLIC SPACE REHABILITATION PLAN
CV230 GRADING PLAN
CV490 RAZE SEDIMENT CONTROL PLAN
CV500 SEDIMENT CONTROL PLAN
CV510 SEDIMENT CONTROL DETAILS
CV520 SEDIMENT CONTROL NOTES
CV700 TRAFFIC CONTROL PLAN - CONSTRUCTION ENTRANCE
CV710 TRAFFIC CONTROL PLAN - TRUCK MAP

STRUCTURAL:

S-1 PROPOSED ELEVATION - NEW EXTERIOR TOWER
S-2 EQUIPMENT SCHEDULE
S-3 FOUNDATION INSTALLATION DETAILS - NEW EXTERIOR TOWER
S-4 GENERAL NOTES II

ELECTRICAL:

E-002 SITE PLAN - EXISTING & DEMOLITION
E-003 SITE PLAN - NEW WORK
E-401 PLAN VIEWS - NEW WORK - MAIN BLDG AND EXTERIOR GUARD BOOTH
E-402 PLAN VIEW - NEW WORK - MAIN BLDG
E-403 PLAN VIEW - EXISTING AND DEMOLITION - 700' TOWER

E-404 PLAN VIEW - NEW WORK - 990' TOWER

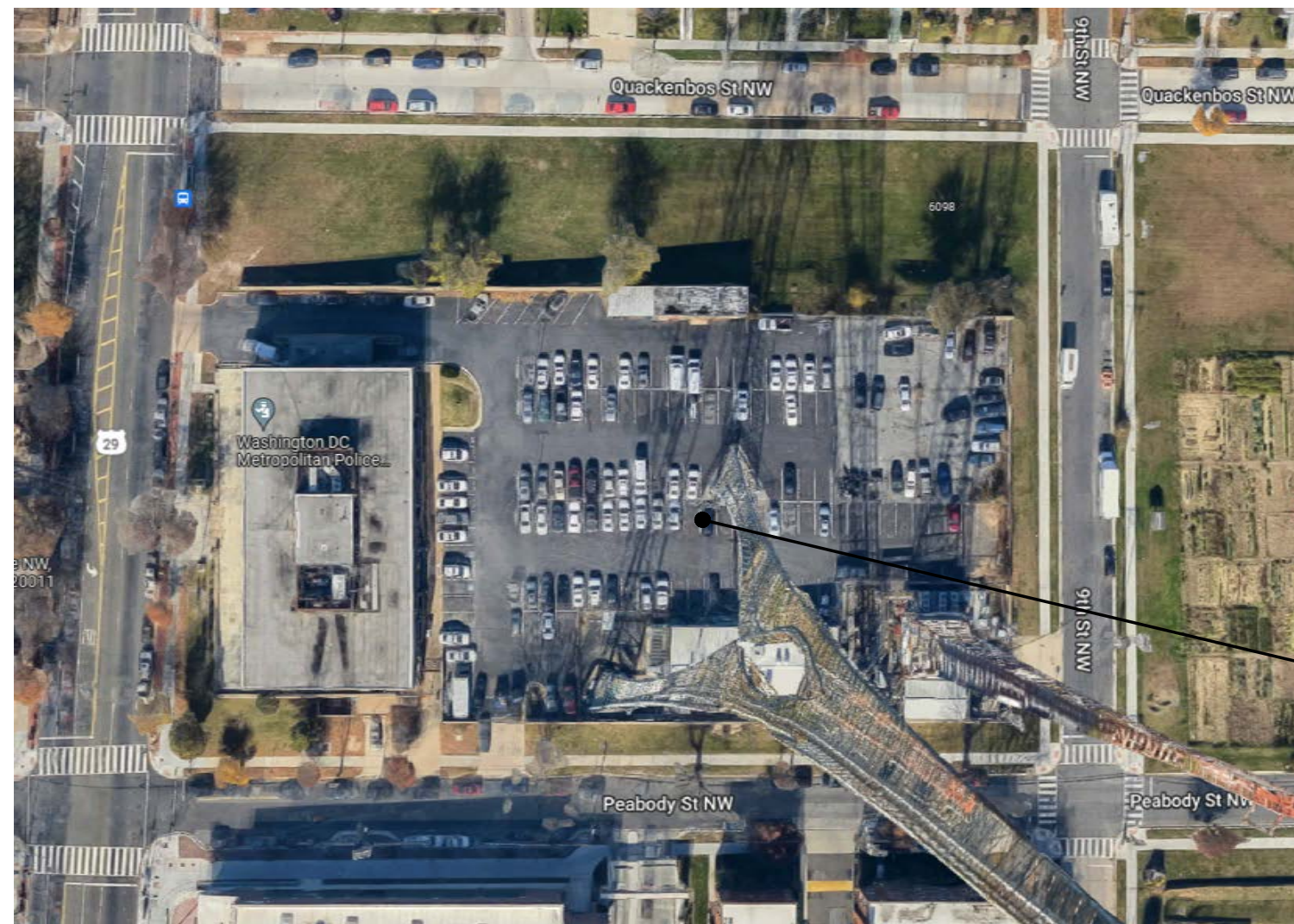
E-601 PARTIAL POWER RISER DIAGRAM

E-801 DETAILS

E-802 DETAILS



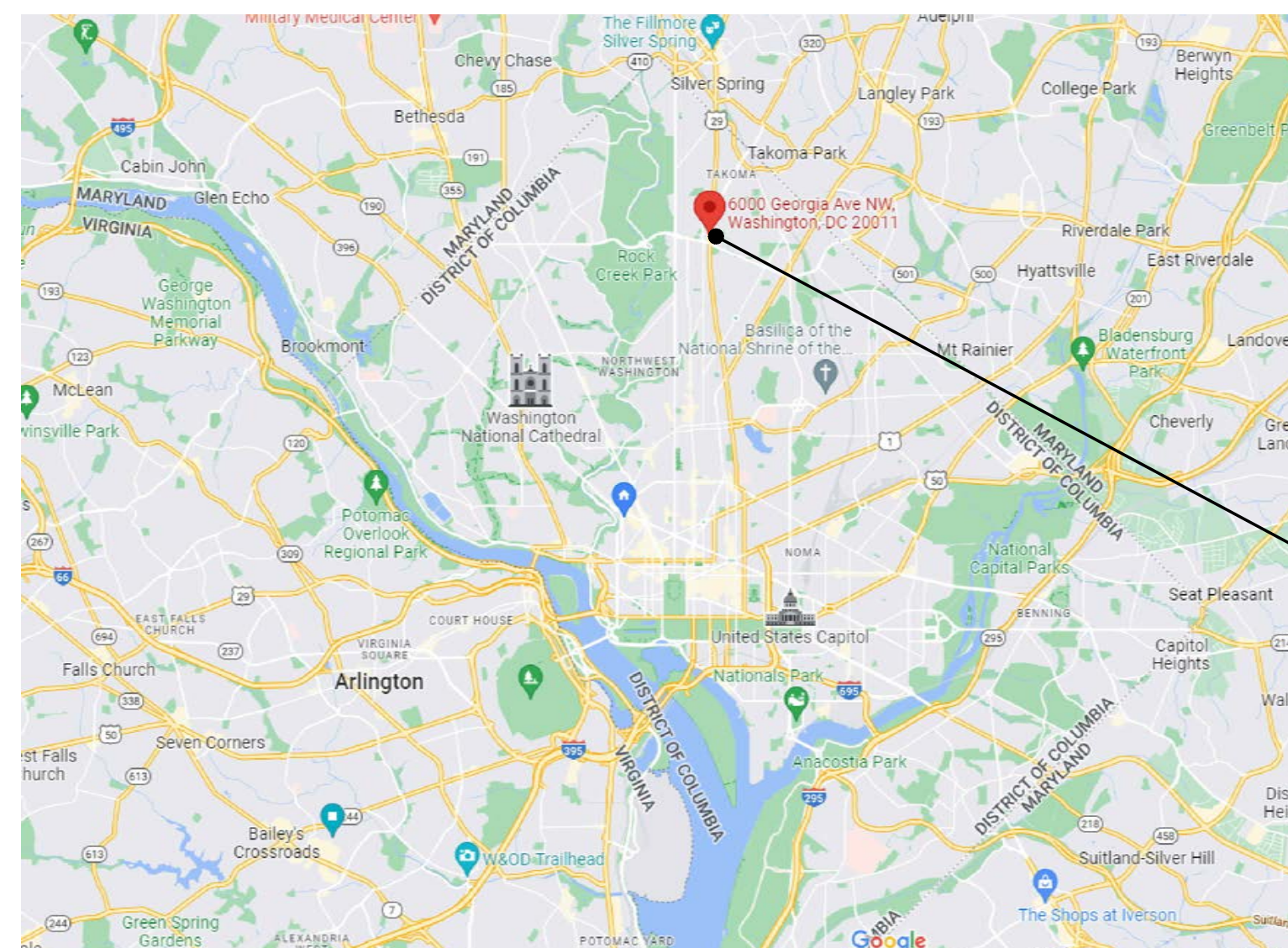
AREA OF PROPOSED NEW WORK



LOCATION OF WORK

COURTESY OF GOOGLE

VICINITY MAP



LOCATION OF WORK

COURTESY OF GOOGLE

PERMIT SUBMISSION

05/03/2024

LOCATION MAP

#	Date	Change Description
1	11/06/24	PERMIT PRESCREEN
2	01/31/25	PERMIT CYCLE 1

DGS
DEPARTMENT OF
GENERAL SERVICES

**BUILD
MAINTAIN
SUSTAIN**

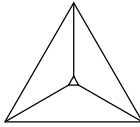
DGS 4D TOWER
6001 Georgia Avenue, NW,
WASHINGTON D.C. 20011
FOR THE
GOVERNMENT OF THE DISTRICT
OF COLUMBIA

ALPHATEC p.c.
**ENGINEERS
ARCHITECTS
PLANNERS**

1525 18TH STREET N.W.
WASHINGTON, D.C. 20036
TEL: 202/797-5000
FAX: 202/797-5003

SUB-CONSULTANT:	SEAL:
Dwg. Coord.: RB	Tech. Coord.: SPG
Project NO.:	SEE PLOT STAMP
COVER SHEET	G-001
PERMIT SUBMISSION	05/03/2024

	500' - 0"	4' - 0"	
T-1	480' - 0"	6' - 0"	
T-2	460' - 0"	8' - 0"	
T-3	440' - 0"	10' - 0"	
T-4	420' - 0"	12' - 0"	
T-5	400' - 0"	14' - 0"	
T-6	380' - 0"	16' - 0"	
T-7	360' - 0"	18' - 0"	
T-8	340' - 0"	20' - 0"	
T-9	320' - 0"	22' - 0"	
T-10	300' - 0"	24' - 0"	
T-11	280' - 0"	26' - 0"	
T-12	260' - 0"	28' - 0"	
T-13	240' - 0"	30' - 0"	
T-14	220' - 0"	32' - 0"	
T-15	200' - 0"	34' - 0"	
T-16	180' - 0"	36' - 0"	
T-17	160' - 0"	38' - 0"	
T-18	140' - 0"	40' - 0"	
T-19	120' - 0"	42' - 0"	
T-20	100' - 0"	44' - 0"	
T-21	80' - 0"	46' - 0"	
T-22	60' - 0"	48' - 0"	
T-23	40' - 0"	50' - 0"	
T-24	20' - 0"	52' - 0"	
T-25	0' - 0"	54' - 0"	



Design Standard:
Design Wind Speeds:

Service Wind Speed:	60 mph (deflection only)
Risk Category:	III and IV
Exposure Category:	B
Topographic Category:	1
Crest Height:	0 ft.
Latitude:	38.962952
Longitude:	-77.026289

2 01/31/25 PERMIT CYCLE 1

Solid Rod	A36	(rod dia. <3/4")
	A572 Gr.50	(3/4" thru 1" dia.)
	A572 Gr.58	(>1" dia.)
Pipe	A500 Gr.B	(antenna pipes)
	A500 Gr.B/C	(tower legs min. Fy 50 ksi)

Plate A572 Gr.50

Bolts A-325/A-449 (leg & angle)

AnchorBolt F1554 Grade 105 or A687

~~Finish: Tower & Hardware are hot dip galvanizes~~

2

1. ALL STRUCTURAL HARDWARE IS GALVANIZED IN ACCORDANCE WITH ASTM A-153 (HDG). TOWER SECTIONS & ASSOCIATED STRUCTURAL COMPONENTS ARE GALVANIZED IN ACCORDANCE WITH ASTM A-123 (HDG) IN ACCORDANCE WITH AISC 360 SECTION B.13 .
2. ALL BOLTS & NUTS MUST BE IN PLACE BEFORE ADJOINING SECTION(S) ARE INSTALLED.
3. ALL STRUCTURAL BOLTS ARE TO BE TIGHTENED TO A SNUG TIGHT CONDITION AS DEFINED BY AISC & RCSC SPECIFICATION FOR STRUCTURAL JOINTS UNLESS NOTED OTHERWISE.
4. ALL WELDING TO CONFORM TO AWS D1.1 SPECIFICATION. 5/16" MINIMUM WELD SIZE UNLESS NOTED OTHERWISE.
5. MATERIAL LABELED AS ASTM A-572 GR. 58 OR 58 KSI YIELD STRENGTH ALSO CONFORMS TO ASTM A-572 GR. 50.
6. ANALYSIS PERFORMED USING STEEL GRADES LISTED UNDER MATERIALS STRENGTHS SHOWN ON THIS PAGE.
7. THIS DRAWING DOES NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, SEQUENCES AND PROCEDURES.
8. THE CONTRACTOR MUST BE EXPERIENCED IN THE PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN.
9. (VIBRATION DISCLAIMER) ALTHOUGH RARE, VIBRATIONS SEVERE ENOUGH TO CAUSE DAMAGE CAN OCCASIONALLY OCCUR IN STRUCTURES OF ALL TYPES, BECAUSE THEY ARE INFLUENCED BY MANY INTERACTING VARIABLES. VIBRATIONS ARE GENERALLY UNPREDICTABLE. THE USER'S MAINTENANCE PROGRAM SHOULD INCLUDE OBSERVATION FOR EXCESSIVE VIBRATION AND EXAMINATION FOR ANY STRUCTURAL DAMAGE OR BOLT LOOSENING. THE VALMONT WARRANTY SPECIFICALLY EXCLUDES FATIGUE FAILURE OR SIMILAR PHENOMENA RESULTING FROM INDUCED VIBRATION, HARMONIC OSCILLATION OR RESONANCE ASSOCIATED WITH MOVEMENT OF AIR CURRENTS AROUND THE PRODUCT.
10. THE CONTRACTOR SHALL VERIFY MATERIALS TO BE FREE FROM FAULTS AND DEFECTS UPON ARRIVAL, AND IN CONFORM WITH THE SUPPLIED DOCUMENTS. ALL SUBSTITUTIONS MUST BE DULY APPROVED AND AUTHORIZED IN WRITING BY VALMONT ENGINEERING PRIOR TO FABRICATION AND INSTALLATION. VALMONT IS NOT RESPONSIBLE FOR MATERIALS DAMAGED DURING UNLOADING OR CONSTRUCTION.
11. THE CONTRACTOR SHALL MAINTAIN A CHECK OF TOWER PLUMBNESS DURING ALL PHASES OF CONSTRUCTION WORK. IT SHALL BE PLUMB WITHIN THE TOLERANCE SPECIFIED IN THE LATEST REVISION OF THE TIA - STANDARD. MEANS AND METHODS ARE FULL RESPONSIBILITY OF THE CONTRACTOR. AFTER COMPLETION OF THE TOWER ERECTION, WITH ALL JOINTS TIGHT, AND ALL APPURTENANCES INSTALLED, THE CONTRACTOR SHALL MAKE A FINAL CHECK OF TOWER PLUMBNESS. THE CONTRACTOR SHALL SUBMIT DOCUMENTS TO THE THIRD PARTY INSPECTOR APPOINTED BY THE TOWER OWNER AS REQUESTED.
12. ANTENNAS, MOUNTS, MOUNT ACCESSORIES ETC. SHOULD NOT BE ATTACHED TO THE DIAGONALS SHOWN ON THIS DRAWING.

12. ANTENNAS, MOUNTS, MOUNT ACCESSORIES ETC., SHOULD NOT BE ATTACHED TO THE DIAGONALS SHOWN ON THIS DRAWING.

Maximum Base Reactions


MAX. LEG REACTIONS:

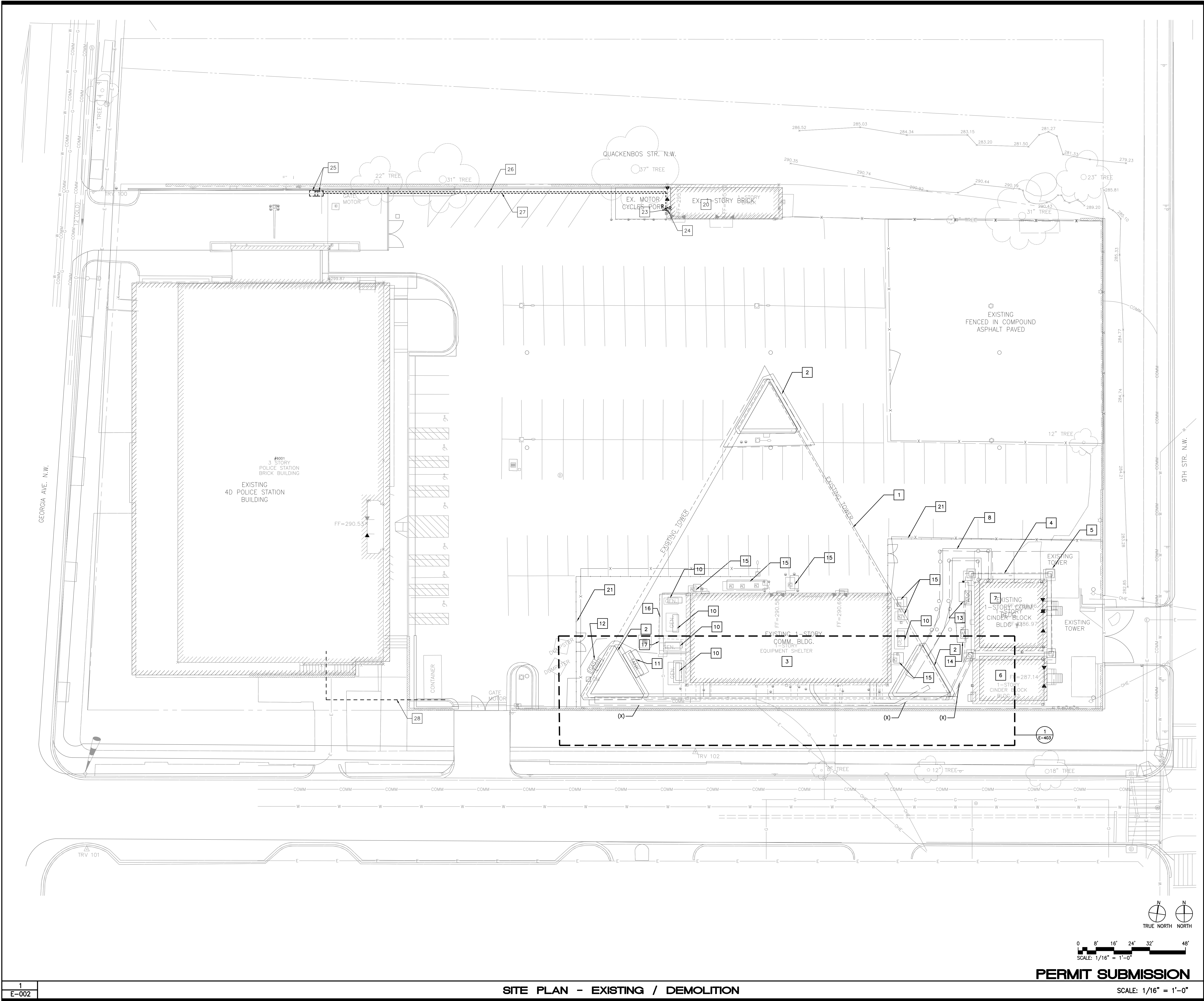
DOWN: 1204 K
UPLIFT: -966 K
SHEAR: 143 K

2 01/31/25 PERMIT CYCLE 1



TOWER COLUMN										
SECTION	ELEVATION	FACE WIDTH	PANELS	LEG SIZE	LEG STYLE	LEG BOLT QTY & DIA	DIAGONAL BRACING SIZE	HORIZONTAL BRACING SIZE	BRACING BOLT QTY & DIA	SECTION WEIGHT
T1	480' - 500'	6.0'	2	1.25"	12BDFH	6 x 1"	3/16" x 2-1/2" x 2-1/2"	3/16" x 3" x 3"	1 x 1"	1961.76
T2	460' - 480'	8.0'	2	1.25"	12BDFH	6 x 1"	3/16" x 2-1/2" x 2-1/2"		1 x 1"	1967.97
T3	440' - 460'	10.0'	2	1.25"	12BDFH	6 x 1"	3/16" x 2-1/2" x 2-1/2"		1 x 1"	2011.71
T4	420' - 440'	12.0'	2	1.25"	12BDFH	6 x 1"	3/16" x 2-1/2" x 2-1/2"		1 x 1"	2063.91
T5	400' - 420'	14.0'	2	1.25"	12BDFH	6 x 1"	3/16" x 3" x 3"		1 x 1"	2241.45
T6	380' - 400'	16.0'	2	1.50"	12BDFH	6 x 1"	1/4" x 3" x 3"		1 x 1"	2900.43
T7	360' - 380'	18.0'	2	1.75"	12BDFH	6 x 1 1/4"	1/4" x 3-1/2" x 3-1/2"		1 x 1"	3642.15
T8	340' - 360'	20.0'	2	1.75"	12BDFH	6 x 1 1/4"	5/16" x 3-1/2" x 3-1/2"		1 x 1"	4131.99
T9	320' - 340'	22.0'	1	2.00"	12BDH2	12 x 1"	1/4" x 3-1/2" x 3-1/2"		1 x 7/8"	4847.82
T10	300' - 320'	24.0'	1	2.00"	12BDH2	12 x 1"	1/4" x 3-1/2" x 3-1/2"		1 x 7/8"	5013.81
T11	280' - 300'	26.0'	1	2.25"	12BDH2	12 x 1"	1/4" x 3-1/2" x 3-1/2"		1 x 7/8"	5645.01
T12	260' - 280'	28.0'	1	2.25"	12BDH2	12 x 1"	1/4" x 3-1/2" x 3-1/2"		1 x 7/8"	5759.37
T13	240' - 260'	30.0'	1	2.50"	12BDH2	12 x 1 1/4"	1/4" x 4" x 4"		1 x 7/8"	6967.68
T14	220' - 240'	32.0'	1	2.50"	12BDH2	12 x 1 1/4"	1/4" x 4" x 4"		1 x 7/8"	7221.60
T15	200' - 220'	34.0'	1	2.75"	12BDH2	12 x 1 1/4"	3/8" x 4" x 4"		1 x 7/8"	9594.84
T16	180' - 200'	36.0'	1	2.75"	12BDH2	12 x 1 1/4"	3/8" x 4" x 4"		1 x 7/8"	9808.23
T17	160' - 180'	38.0'	1	3.00"	12BDH2	12 x 1 1/4"	3/8" x 4" x 4"		1 x 7/8"	11277.27
T18	140' - 160'	40.0'	1	3.00"	12BDH2	12 x 1 1/4"	5/16" x 5" x 5"		1 x 7/8"	11906.94
T19	120' - 140'	42.0'	1	3.00"	12BDH2D	12 x 1 1/4"	5/16" x 5" x 5"		2 x 7/8"	12238.62
T20	100' - 120'	44.0'	1	3.25"	12BDH2D	18 x 1 1/4"	5/16" x 5" x 5"		2 x 7/8"	13316.16
T21	80' - 100'	46.0'	1	3.25"	12BDH2D	18 x 1 1/4"	5/16" x 5" x 5"		2 x 7/8"	13690.77
T22	60' - 80'	48.0'	1	3.50"	12BDH2D	18 x 1 1/4"	3/8" x 5" x 5"		2 x 7/8"	16508.19
T23	40' - 60'	50.0'	1	3.50"	18BD	22 x 1 1/4"	3/8" x 6" x 6"		2 x 1"	25048.06
T24	20' - 40'	52.0'	1	3.50"	18BD	22 x 1 1/4"	3/8" x 6" x 6"		2 x 1"	25490.26
T25	0' - 20'	54.0'	1	3.50"	18BD	22 x 1 1/4"	3/8" x 6" x 6"		2 x 1"	25932.45

						SITE WASHINGTON, DISTRICT OF COLUMBIA NB&C U 54 X 500' COPYRIGHT 2022	DESCRIPTION Tower View Page 1	<div>valmont</div> <div>1-877-467-4763 Plymouth, IN</div> <div>1-800-547-2151 Salem, OR</div> <div>STRUCTURES</div>										
@B	UPDATE NOTE 1 ON PAGE 1				SAN						2/28/2025							
@A	UPDATED REACTIONS, WIND SPEED NOTE, MTL GRADE				SAN						2/14/2025							
REV	DESCRIPTION OF REVISIONS			CPD	BY						DATE							
REVISION HISTORY																		
DRAWN BY SAN		APPROVED BY SAN		DESIGNED BY TF		APPROVED BY J_L		RELEASE DATE 2/28/2025		PROPRIETARY NOTE: THE DATA AND TECHNIQUES CONTAINED IN THIS DRAWING ARE PROPRIETARY INFORMATION OF VALMONT INDUSTRIES AND CONSIDERED A TRADE SECRET. ANY USE OR DISCLOSURE WITHOUT THE CONSENT OF VALMONT INDUSTRIES IS STRICTLY PROHIBITED.			ENG. FILE NO. 544849		DWG. NO. 298173T		PAGE 1 OF 27	



GENERAL NOTES

1. REFER TO SYMBOLS AND NOTES ON SHEET E-001.
2. REFER TO G-002 FOR PHASING OF WORK.

KEY NOTES

- 1 EXISTING 3-LEGGED 700' HIGH TOWER TO BE DEMOLISHED.
- 2 EXISTING 700' HIGH TOWER LEG SUPPORT TO BE DEMOLISHED.
- 3 EXISTING 700' HIGH TOWER UTILITY SUPPORT BUILDING TO REMAIN FOR NEW 500' HIGH TOWER UTILITY SUPPORT.
- 4 EXISTING 4-LEGGED 400' HIGH TOWER TO BE DEMOLISHED.
- 5 EXISTING 400' HIGH TOWER LEG SUPPORT TO BE DEMOLISHED (TYP. OF 4).
- 6 EXISTING 400' HIGH TOWER UTILITY SUPPORT BUILDING TO REMAIN.
- 7 EXISTING ABANDONED BUILDING TO BE DEMOLISHED, AS REQUIRED FOR INSTALLATION OF NEW 500' HIGH TOWER. REFER TO SHEET ED-101.
- 8 EXISTING ICE BRIDGE FOR 400 FEET TOWER.
- 9 NOT USED.
- 10 EXISTING GENERATOR TO REMAIN.
- 11 EXISTING PROPANE TANK TO BE RELOCATED.
- 12 EXISTING NATURAL GAS BOOSTER PUMP TO BE RELOCATED.
- 13 EXISTING TANK TO BE DEMOLISHED.
- 14 EXISTING GENERATOR TO BE DEMOLISHED.
- 15 EXISTING HVAC UNIT TO REMAIN.
- 16 EXISTING CANOPY.
- 17 EXISTING CONCRETE PAD.
- 18 NOT USED.
- 19 NOT USED.
- 20 EXISTING VEHICLE MAINTENANCE BUILDING (VMB).
- 21 EXISTING FENCE TO BE DEMOLISHED AND REPLACED BY NEW AT SAME LOCATION. REFER TO KEY NOTES 13 AND 14 ON SHEET E-003 FOR ADDITIONAL INFORMATION.
- 22 NOT USED.
- 23 EXISTING 100A, 2P, 240V DISCONNECT SWITCH, SERVING PANELBOARD D, TO REMAIN.
- 24 EXISTING 1A, 3W PANELBOARD D, SERVING VMB BUILDING, TO REMAIN.
- 25 EXISTING STAGGERED PULL BOXES FOR POWER AND TELECOM TO BE REMOVED.
- 26 EXISTING POWER CONDUIT SERVING VMB BUILDING PANELBOARD D TO BE REPLACED UP TO NEW NEMA 3R PULL BOX AT SALLY PORT. REFER TO SHEET E-003 FOR ADDITIONAL INFORMATION.
- 27 EXISTING ABANDONED TELECOM CONDUIT TO BE REMOVED IN ITS ENTIRETY.
- 28 THREE (3) EXISTING OVERHEAD PARALLEL CONDUIT RUNS, PENETRATING THE SOUTH WALL OF THE BOILER ROOM 019 AT BASEMENT LEVEL, TO REMAIN.

#	Date	Change Description

DGS

BUILD

MAINTAIN

SUSTAIN

DEPARTMENT OF
GENERAL SERVICES

DGS 4D TOWER
6001 Georgia Avenue, NW,
WASHINGTON D.C. 20036
FOR THE
GOVERNMENT OF THE DISTRICT
OF COLUMBIA

ALPHATEC PC

ENGINEERS
ARCHITECTS
PLANNERS

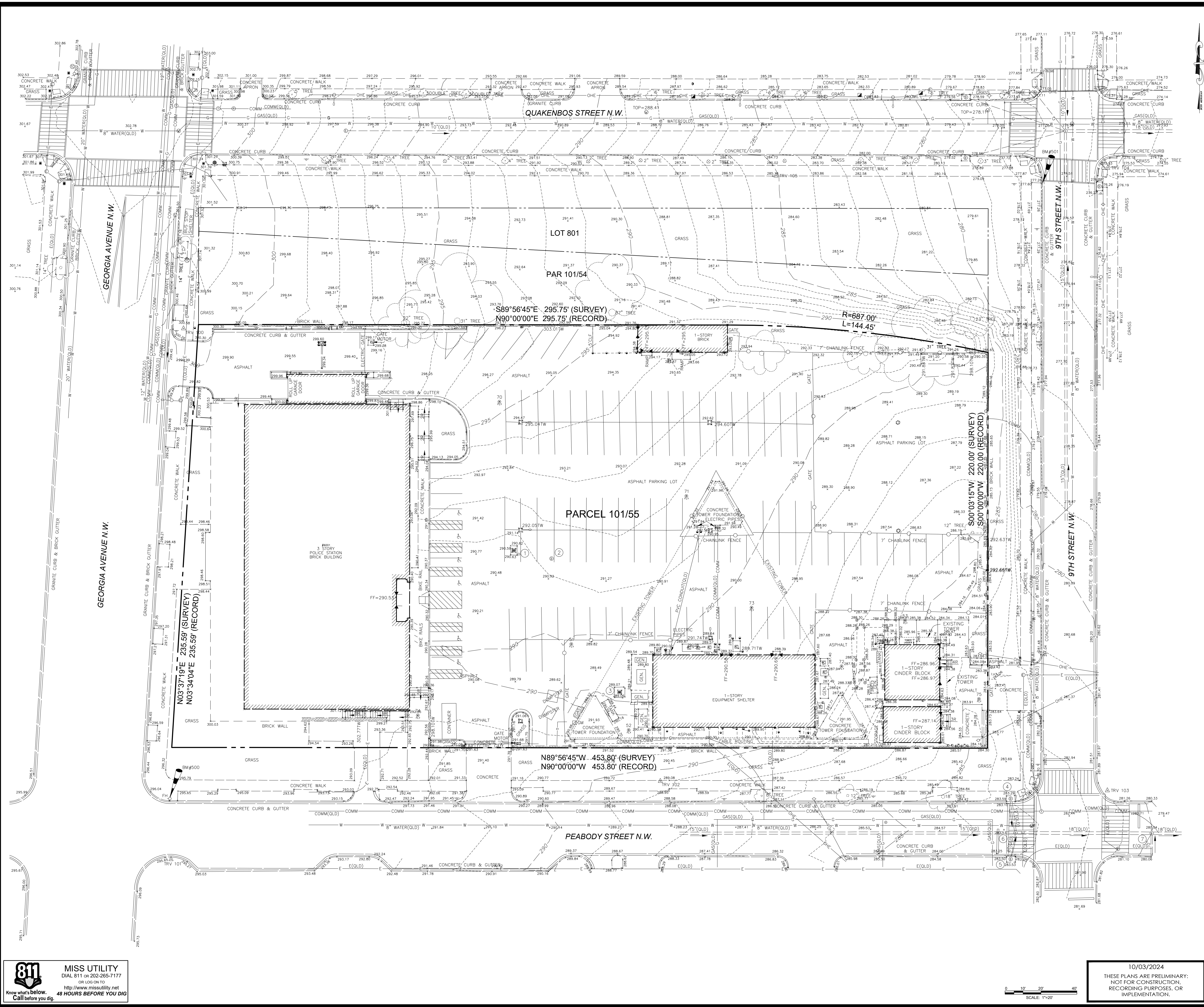
1525 18TH STREET N.W.
WASHINGTON, D.C. 20036
TEL. 202/797-5000
FAX 202/797-5003

SUB-CONSULTANT	SEAL
Dwg. Coord.: CSG	Tech. Coord.: LAP
Project NO.: SEE PLOT STAMP	
SITE PLAN - EXISTING & DEMOLITION	E-002
PERMIT SUBMISSION	05/03/2024

PERMIT SUBMISSION

SCALE: 1/16" = 1'-0"

SITE PLAN - EXISTING / DEMOLITION



RESERVED FOR DCRA STAMP

EXISTING CONDITIONS PLAN NOTES

1. EXISTING CONDITIONS LEGEND APPLIES TO THIS SHEET ONLY. EXISTING CONDITIONS MAY BE DEPICTED DIFFERENTLY OR NOT FULLY DEPICTED ON OTHER PLAN SHEETS.
2. LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE AND BASED UPON AVAILABLE RECORDS. CONTRACTOR SHALL LOCATE AND CONFIRM ALL UTILITIES PRIOR TO UNDERTAKING ANY DEMOLITION OR EXCAVATION.
3. REFER TO THE CIVIL COVER SHEET FOR ADDITIONAL INFORMATION.

#	Date	Change Description



DGS 4D TOWER
6001 Georgia Avenue, NW,
WASHINGTON D.C. 20008
FOR THE
GOVERNMENT OF THE DISTRICT
OF COLUMBIA



ENGINEERS
ARCHITECTS
PLANNERS

1525 8TH STREET N.W.
WASHINGTON, D.C. 20005
TEL 202/797-5000
FAX 202/797-5000

SUB-CONSULTANT: SEAL:




PROFESSIONAL ENGINEERS & LAND SURVEYORS

Dwg. Coord.: MC Tech. Coord.: JG Project No.: SEE PLOT STAMP

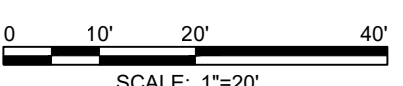
EXISTING CONDITIONS PLAN CIV100

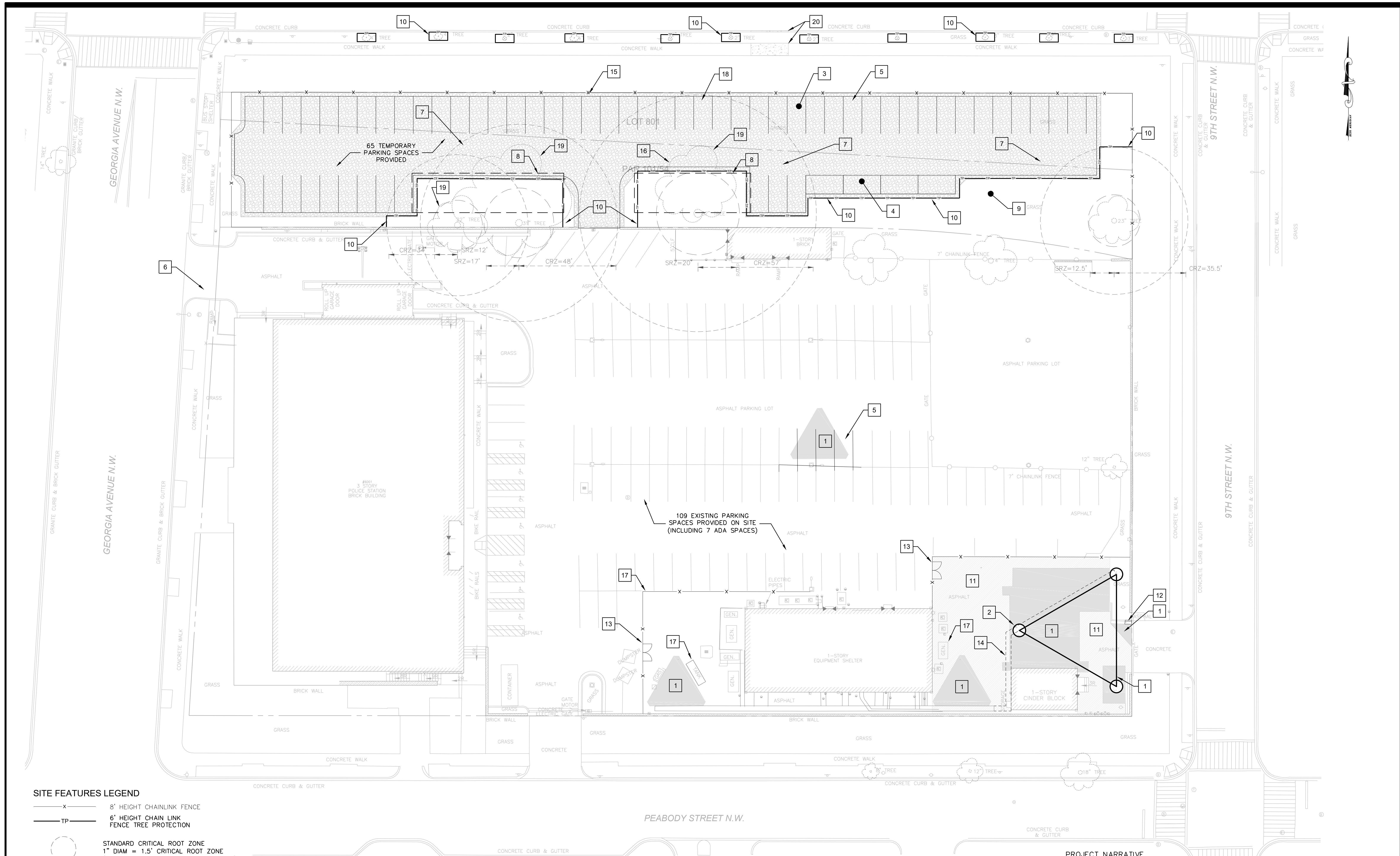
NCPC SUBMISSION 10/03/2024



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10/03/2024
THESE PLANS ARE PRELIMINARY:
NOT FOR CONSTRUCTION,
RECORDING PURPOSES, OR
IMPLEMENTATION.





SITE FEATURES LEGEND

- 8' HEIGHT CHAINLINK FENCE
 - 6' HEIGHT CHAIN LINK FENCE TREE PROTECTION
 - STANDARD CRITICAL ROOT ZONE
1" DIAM = 1.5' CRITICAL ROOT ZONE
(MEASURED FROM FACE OF TREE TRUNK)
 - STANDARD STRUCTURAL ROOT ZONE
1" DIAM = 0.5' STRUCTURAL ROOT ZONE
(MEASURED FROM FACE OF TREE TRUNK)
- NOTE: CRITICAL ROOT ZONES AND TREE PRESERVATION MEASURES TO BE CONFIRMED WITH DDOT UFD ARBORIST

HATCH LEGEND

- CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- ASPHALT MILL & OVERLAY
- TEMPORARY STONE PARKING LOT

KEYNOTES

- ASPHALT PAVING, SEE DETAIL ON CIV205
- PROPOSED 500' TOWER WITH DRILLED PIER CONCRETE FOUNDATION. SEE STRUCTURAL PLANS.
- TEMPORARY GRAVEL PARKING LOT. RETURN TO EXISTING CONDITIONS AT PROJECT COMPLETION.
- PARALLEL PARKING SPACES PROVIDED TO AVOID EXCAVATION OF STEEP SURFACE SLOPE UPON NATIONAL PARK SERVICE PROPERTY.
- STANDARD PARKING SPACE 9'X16' PAVEMENT STRIPING, TYP.
- USE OF EXISTING SITE ENTRANCE & GATE FROM GEORGIA AVE NW TO ACCESS TEMPORARY PARKING LOT.
- GRAVEL PARKING LOT OVER TREE CRITICAL ROOT ZONE. SEE PARKING LOT CROSS SECTION FINAL GRAVEL SECTION SUBJECT TO NPS & DDOT UFD REVIEW/APPROVAL.
- "AT-RISK" PARKING SPACES LOCATED IN TREE DRIP LINE + 5' / STRUCTURAL ROOT ZONE ASSUMED TO BE ELIMINATED BY NPS / DDOT UFD REVIEW.
- PARKING SPACES NOT PROVIDED DUE TO EXISTING STEEP SURFACE SLOPE.
- MILL & OVERLAY EXISTING ASPHALT AREA AROUND 500' TOWER AND BUILDING RAZE AS SHOWN.
- CONCRETE CURB & GUTTER ADJACENT TO EXISTING
- METAL CABLE TRAY STRUCTURE, SEE TOWER PLANS
- 8' HEIGHT PERIMETER CHAIN LINK FENCE, TYP.
- TREE DRIP LINE LIMITS, APPROXIMATE PER SITE VISIT OBSERVATIONS.
- REMOVE, REINSTALL, OR REPLACE SITE FEATURES AS REQUIRED TO PERFORM WORK BASED ON MEANS AND METHODS, TYP. NOT ALL REQUIRED ITEMS ARE IDENTIFIED ON THIS PLAN.
- PROTECT TREES AS REQUIRED BY ARBORIST, TYP.
- REPLACE IN-KIND CURB AND SIDEWALK DEMOLISHED FOR CONSTRUCTION ENTRANCE. SEE CIV215.

TEMPORARY GRAVEL PARKING AREA RESTORATION:

- RESTORE AREA OF TEMPORARY GRAVEL PARKING AND ASSOCIATED CONSTRUCTION WORK/STAGING AREAS TO EXISTING CONDITIONS, INCLUDING BUT NOT LIMITED TO EXISTING GRADE, FULL GROWTH LAWN SURFACE, & AERATED TOPSOIL.
- RESTORATION METHODS AND MATERIALS IS SUBJECT TO REVIEW/APPROVAL BY NPS, DDOT UFD, AND PROJECT ARBORIST.
- INSTALL GEOTEXTILE FABRIC (OR OTHER APPROVED EQUAL) DIRECTLY ON TOP OF EXISTING LAWN AREAS TO RECEIVE GRAVEL PARKING SECTION TO ASSIST IN REMOVAL OF GRAVEL PARKING WHILE MINIMIZING MIXING OF GRAVEL IN EXISTING TOPSOIL LAYER.
- REMOVE GRAVEL PARKING SECTION. DO NOT DRIVE EQUIPMENT ON CRITICAL ROOT ZONE.
- RAKE ALL EXCESS GRAVEL & MULCH OFF OF EXISTING TOPSOIL.
- INSTALL VERTICAL MULCH WITHIN CRITICAL ROOT ZONE, EXCLUDING STRUCTURAL ROOT ZONE. VERTICAL MULCH SHALL CONSIST OF 2" DIAMETER 18" DEEP HOLES DRILLED EVERY 24" O.C. AND BACKFILLED WITH A MIX OF LEAF COMPOST, SAND, & TOPSOIL.
- ANY HOLES OR DEPRESSIONS LEFT BY FENCES ON THE GROUND SHOULD BE COVERED BEFORE VEGETATION RESTORATION AT THE END OF THE WORK ON SITE.
- INSTALL MAX 3" DEPTH TOPSOIL OVER TEMPORARY GRAVEL PARKING AREA & INSTALL SEED W/ STRAW MULCH.
- ANY TREE LOSS SHOULD BE MITIGATED TO A 1" TO 1" REPLACEMENT AND PROPER MAINTENANCE AT A LOCATION DESIGNATED BY NPS.

TREE PRESERVATION NOTES:

- CONTRACTOR SHALL PROVIDE TREE PRESERVATION MEASURES, IN ACCORDANCE WITH THE SITE PLAN APPROVED BY NATIONAL PARK SERVICE. CONTRACTOR SHALL COORDINATE TREE PRESERVATION PLAN MEASURES WITH NPS PRIOR TO THE START OF CONSTRUCTION, INSTALLATION OF TREE PROTECTION MEASURES, OR DEMOLITION.
- A PRE-CONSTRUCTION MEETING WITH THE CONTRACTOR AND NPS SHALL BE PROVIDED PRIOR TO THE START OF CONSTRUCTION, INSTALLATION OF TREE PROTECTION MEASURES OR DEMOLITION.
- TREE PROTECTIVE MEASURES INCLUDE:
- TREE PRESERVATION GENERAL REQUIREMENTS:
- PROTECT CRITICAL ROOT ZONES AS SHOWN ON THE PLANS AND AGREED UPON BY THE CONSTRUCTION ARBORIST FOR ALL SPECIAL AND HERITAGE TREES TO REMAIN, ADJACENT TO THE PROPOSED WORK.
 - PROVIDE OVERSIGHT/MONITORING BY AN ISA CERTIFIED ARBORIST.
 - INCORPORATE ALTERNATIVE CONSTRUCTION METHODS/MATERIALS AND ISA BEST MANAGEMENT PRACTICES AS DIRECTED BY NPS CONSTRUCTION ARBORIST.
 - TREE PRESERVATION MEASURES MAY INCLUDE, BUT NOT BE LIMITED TO METHODS/ACTIVITIES PRE- DURING AND POST CONSTRUCTION, AS DIRECTED BY DDOT UFD:
 - TREE ASSESSMENTS
 - ROOT PRUNING
 - TREE / BRANCH PRUNING
 - TREE ROOTS GREATER THAN 2" ARE NOT TO BE DISTURBED. IF ROOTS 2" OR LARGER ARE DISCOVERED TO BE IN CONFLICT WITH THE IMPROVEMENTS, THE CONTRACTOR SHALL CONTACT THE CONSTRUCTION ARBORIST FOR DIRECTION.
 - PROVIDE AGREEMENTS BETWEEN OWNER AND ISA-CA TO PROVIDE CONSTRUCTION OVERSIGHT AND POST CARE AS NEEDED.
 - SUBMIT REPORTS/PHOTOS AND UPDATES BASED ON FOLLOW-UP VISITS, COORDINATING WITH NPS AS NEEDED.
 - TREE SIGNAGE SHALL BE INSTALLED ON THE CHAIN LINK OR WELDED WIRE FENCE EVERY 20 FEET. TREE PROTECTION SIGNED SHALL BE IN ENGLISH AND SPANISH, CLEARLY STATING NO ENTRY, TREE PRESERVATION AREA. SEE DETAIL.
 - CONTRACTOR SHALL REPLACE ANY TREE THAT IS DAMAGED AS A RESULT OF THE WORK. ANY TREE LOSS SHOULD BE MITIGATED TO A 1" TO 1" REPLACEMENT AND PROPER MAINTENANCE AT A LOCATION DESIGNATED BY NPS.

PROJECT NARRATIVE

THIS PROJECT IS FOR THE DEMOLITION OF AN EXISTING 400' TOWER, 700' TOWER, AND CONSTRUCTION OF A NEW 500' TOWER AT 6001 GEORGIA AVE NW. THE PROPERTY IS MORE FORMALLY AS TAX LOT 0801 IN SQUARE 2983 AND PARCELS 101/54 & 101/55. THE SITE IS 133,981 SF (3.076 ACRES) AND IS ZONED MU-4 & RA-1. THE SITE IS ABUTTED BY QUACKENBOS ST NW TO THE NORTH, PEABODY ST NW TO THE SOUTH, 9TH ST NW TO THE EAST, AND GEORGIA AVE NW TO THE WEST. THE SITE IS LOCATED IN THE COMBINED SEWER SYSTEM AREA.

THE SITE SHALL UNDERGO SELECTIVE DEMOLITION AS PART OF THE TOWER REPLACEMENT, UTILITY ABANDONMENT & UTILITY INSTALLATION EFFORTS. UTILITY ABANDONMENT & IMPROVEMENTS WILL BE DESIGNED AND COORDINATED BY OTHERS.

EXTERIOR SITE IMPROVEMENTS INCLUDE DEMOLITION OF THE 700' TOWER & 400' TOWER, DEMOLITION OF ONE 1-STORY CINDER BLOCK BUILDING (THE DEMOLITION OF THE BUILDING IS INCLUDED IN THIS PACKAGE BUT WILL BE SUBMITTED UNDER A SEPARATE RAZE PERMIT), & CONSTRUCTION OF THE NEW TOWER FOUNDATION. A TEMPORARY GRAVEL PARKING LOT WILL BE INSTALLED TO THE NORTH OF THE POLICE FACILITY & RETURNED TO EXISTING CONDITIONS AT PROJECT COMPLETION. THERE ARE NO IMPROVEMENTS EXPECTED IN PUBLIC SPACE.

THE SCOPE OF THIS CELL TOWER PROJECT HAS BEEN DEFINED TO AVOID STORMWATER MANAGEMENT REQUIREMENTS. THE POST PROJECT IMPERVIOUS COVER OF SOIL DISTURBANCE AREAS IS LESS THAN 1,000 SF (LESS THAN 2,500 SF) AND WILL THEREFORE NOT TRIGGER STORMWATER MANAGEMENT.

PERIMETER EROSION & SEDIMENT CONTROL MEASURES SHALL BE USED. THE LIMITS OF DISTURBANCE SHALL BE SURROUNDED WITH SILT FENCE, SILT SOCK, & TREE PROTECTION FENCING AS SHOWN ON THE PLANS AND PER THE DIRECTION OF THE DOEE INSPECTOR. A TEMPORARY PARKING LOT WILL BE PROVIDED UTILIZING THE EXISTING SITE ENTRANCE. FOR THE CONSTRUCTION OF THE TEMPORARY PARKING LOT A CONSTRUCTION ENTRANCE WILL BE INSTALLED OFF QUACKENBOS ST NW. THIS CONSTRUCTION ENTRANCE WILL BE USED FOR THE DURATION OF CONSTRUCTION FOR THE TEMPORARY LOT.

THE PROJECT IS ANTICIPATED TO BE SUBMITTED UNDER THE FOLLOWING BUILDING PERMITS: RAZE & BUILDING PERMIT.

RESERVED FOR DCRA STAMP


SITE PLAN NOTES

- ALL EXISTING FEATURES ARE NOT NECESSARILY DEPICTED ON THIS PLAN. SEE EXISTING CONDITIONS SHEETS.
- WORK IN PUBLIC SPACE SHALL BE IN ACCORDANCE WITH DDOT STANDARDS AND AN ASSOCIATED PUBLIC SPACE PERMIT.
- REPLACEMENT OF PAVEMENT IN-KIND, SUCH AS FOR SUBSURFACE UTILITY INSTALLATION, IS NOT NECESSARILY GRAPHICALLY DEPICTED ON THIS PLAN. BID PRICING SHALL INCLUDE IN-KIND REPLACEMENT OF PAVEMENT BASED ON EXTENT OF THE PROPOSED WORK.
- REFER TO THE CIVIL COVER SHEET FOR ADDITIONAL INFORMATION.

#	Date	Change Description



DGS 4D TOWER
6001 Georgia Avenue, NW
WASHINGTON D.C. 20011
FOR THE
GOVERNMENT OF THE DISTRICT
OF COLUMBIA



ENGINEERS
ARCHITECTS
PLANNERS
1525 8TH STREET N.W.
WASHINGTON D.C. 20005
TEL 202/797-5000
FAX 202/797-5000

SUB-CONSULTANT:	SEAL:
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PROFESSIONAL ENGINEERS & LAND SURVEYORS

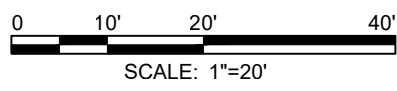
Dwg. Coord.: MC	Tech. Coord.: JG	Project No.	SEE PLOT STAMP
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SITE PLAN	CIV200
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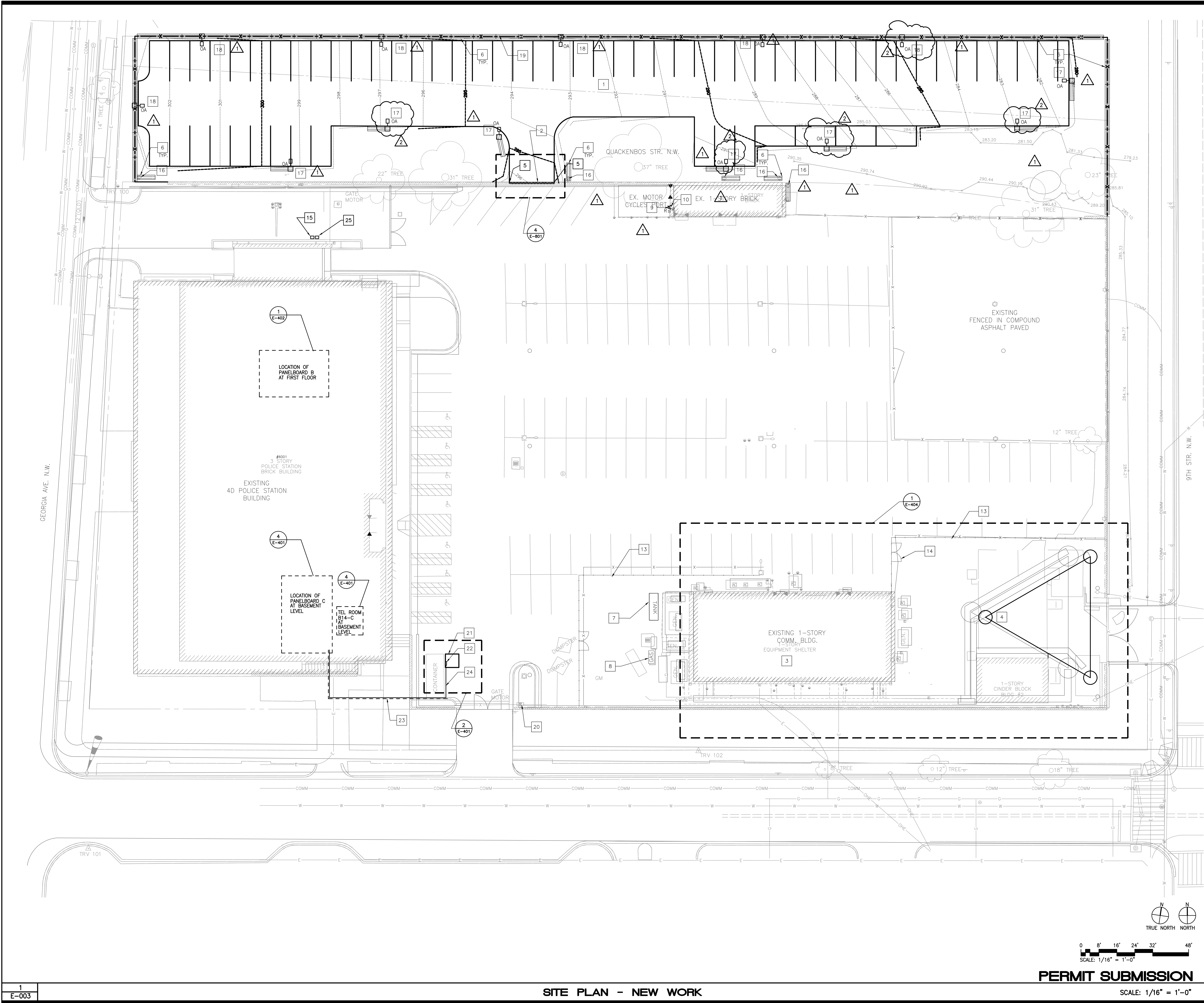
NCPC SUBMISSION	10/03/2024
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OR LOG ON TO
http://www.missutility.net
48 HOURS BEFORE YOU DIG



10/03/2024
THESE PLANS ARE PRELIMINARY:
NOT FOR CONSTRUCTION,
RECORDING PURPOSES, OR
IMPLEMENTATION.



GENERAL NOTES

1.

REFER TO SYMBOLS AND NOTES ON SHEET E-001.

2.

REFER TO G-002 AND G-003 FOR PHASING OF WORK.

3.

FOR PANELBOARD SCHEDULES REFER TO SHEET E-701.

4.

FOR LOCATION OF PANELBOARD C REFER TO DETAIL 4/E-401.

5.

FOR LOCATION OF PANELBOARD B REFER TO DETAIL 1/E-402.

KEY NOTES

1

BEFORE TEMPORARY PARKING CAN BE USED, SECURITY MEASURES HAVE TO BE INSTALLED, AND APPROVED BY MPD.

2

BEFORE OPENING THE WALL IS STARTED, THE SECURITY MEASURES MUST BE IMPLEMENTED, FENCING, LIGHTS/CONTROLLER, AND CCTV. APPROVAL BY MPD IS REQUIRED.

3

UTILITY SUPPORT BUILDING FOR NEW 500' HIGH TOWER. REFER TO DETAIL 1/E-401 FOR ADDITIONAL INFORMATION.

4

FOR GROUNDING EQUIPMENT REFER TO SHEET E-404.

5

THE PORTION OF NEW POWER FEEDER FOR PANELBOARD D ALONG THE WALL SEGMENT THAT IS TO BE DEMOLISHED, SHALL BE ROUTED UNDERGROUND FOR THE LENGTH OF THE DEMOLITION SEGMENT. REFER TO CONDUIT ROUTING ELEVATION ON 5/E-801.

6

JERSEY BARRIER, SEE A-801 AND A-802. LENGTH VARIES.

7

NEW LOCATION OF EXISTING PROPANE TANK.

8

NEW LOCATION OF EXISTING NATURAL GAS BOOSTER PUMP.

9

EXISTING 100A, 3P, 240V DISCONNECT SWITCH TO REMAIN.

10

EXISTING PANELBOARD D TO REMAIN.

11

NOT USED.

12

NOT USED.

13

NEW VINYL COATED PERMANENT FENCE. REFER TO DETAIL 6/E-802 FOR ADDITIONAL INFORMATION.

14

NEW PERMANENT FENCE GATE. REFER TO DETAIL 5/E-802 FOR ADDITIONAL INFORMATION.

15

NEMA 3R PULL BOX AT SALLY PORT FOR NEW FEEDER REPLACING EXISTING FEEDER SERVING PANELBOARD D WITHIN VMB BUILDING. FEEDER SIZE 2#4/0+1#8G.-2"C. SOURCE OF FEEDER IS PANELBOARD B AT FIRST FLOOR. REFER TO DETAIL 1/E-402 FOR ADDITIONAL INFORMATION. WITHIN SALLY PORT, EXISTING FEEDER SHALL BE REUSED UP TO PANELBOARD B.

16

TEMPORARY POLE MOUNTED CAMERA ON TEMPORARY PARKING. REFER TO DETAIL 2/E-801 FOR ADDITIONAL INFORMATION. CONDUIT SHALL BE ROUTED TO IT RACK IN VEHICLE MAINTENANCE OFFICE. COORDINATE WITH TENANT FOR IT RACK LOCATION AND ROUTING OF CONDUIT. POWER FOR IT RACK SHALL BE PROVIDED BY A NEMA 6L-30R RECEPTACLE OUTLET, SERVED BY CIRCUITS 15 AND 17 OF PANELBOARD D. SECURITY RACK TERMINATION POINT SHALL BE TELEPHONE ROOM B14-C LOCATED AT MAIN BUILDING BASEMENT LEVEL. CAMERAS TO BE INSTALLED BY OTHERS.

17

LIGHTING FIXTURE FOR TEMPORARY PARKING. REFER TO SHEET E-701 FOR LUMINAIRE SCHEDULE. REFER TO DETAIL 3/E-801 FOR ADDITIONAL INFORMATION. POWER TO BE PROVIDED BY CIRCUIT 8 IN THE EXISTING VMB PANELBOARD D.

18

LIGHTING FIXTURE FOR TEMPORARY PARKING. REFER TO SHEET E-701 FOR LUMINAIRE SCHEDULE. REFER TO DETAIL 6/E-802 FOR ADDITIONAL INFORMATION. POWER TO BE PROVIDED BY CIRCUIT 8 IN THE EXISTING VMB PANELBOARD D.

19

TEMPORARY PARKING FENCE. REFER TO DETAIL 6/E-802 FOR ADDITIONAL INFORMATION.

20

GATE CONTROLLER TO BE CONFIGURED TO ALLOW GATE TO OPERATE FROM GUARD BOOTH. GATE TO BE OPERABLE BY MPD DURING NON-CONSTRUCTION HOURS.

21

TEMPORARY GUARD BOOTH TO BE INSTALLED IN LOCATION TO ALLOW ACCESS OF CONSTRUCTION VEHICLES IN/OUT OF CONSTRUCTION AREA.

22

NEW PREFAB GUARD HOUSE PANELBOARD GH.

23

THREE (3) EXISTING OVERHEAD PARALLEL CONDUIT RUNS, PENETRATING THE SOUTH WALL OF THE BOILER ROOM 019 AT BASEMENT LEVEL, TO REMAIN.

24

NEW PANELBOARD GH FEEDER. FEEDER SHALL BE ROUTED ALONG THE THREE (3) EXISTING FEEDERS, INDICATED BY KEY NOTE 23 ON THIS SHEET, AND TERMINATED AT THE EXISTING PANELBOARD C, LOCATED AT THE BOILER ROOM 019 AT THE BASEMENT LEVEL.

25

NEMA 3R PULL BOX AT SALLY PORT FOR 2-INCH COMMUNICATION CONDUIT ORIGINATING FROM VMB BUILDING SECURITY RACK AND TERMINATING AT SALLY PORT. EXISTING CONDUIT FROM SALLY PORT TO TELEPHONE ROOM B14-C, LOCATED AT THE MAIN BUILDING BASEMENT LEVEL, SHALL BE REUSED. REFER TO DETAIL 4/E-401 FOR ROOM LOCATION.

#

Date

Change Description

1

11/06/24

PERMIT PRESCREEN

2

01/31/25

PERMIT CYCLE 1

DGS BUILD MAINTAIN SUSTAIN

DGS 4D TOWER

6001 Georgia Avenue, NW,

WASHINGTON D.C. 20011

FOR THE

GOVERNMENT OF THE DISTRICT OF COLUMBIA

ALPHATEC PC

ENGINEERS ARCHITECTS PLANNERS

1525 18TH STREET N.W.

WASHINGTON D.C. 20036

TEL 202/797-5000

FAX 202/797-5003

SUB-CONSULTANT

SEAL

SEE PLOT STAMP

SEE PLOT STAMP

SITE PLAN - NEW WORK

E-003

PERMIT SUBMISSION


05/03/2024

PERMIT SUBMISSION

SCALE: 1/16" = 1'-0"


SITE PLAN - NEW WORK

i:\21-dc2-002\cad drawings\CAD Dwgs\CD\21-DC2-002-GE01.dwg, 1/31/2025 1:12:21 PM, DWG To PDF.pc3




7
AD-801

INTERIOR ELEVATION 4




6
AD-801

INTERIOR ELEVATION 3




5
AD-801

INTERIOR ELEVATION 2




4
AD-801

INTERIOR ELEVATION 1




3
AD-801

SOUTH WEST ELEVATION



2
AD-801

NORTH WEST ELEVATION



1
AD-801

PERMIT SUBMISSION

NORTH EAST ELEVATION

GENERAL NOTES

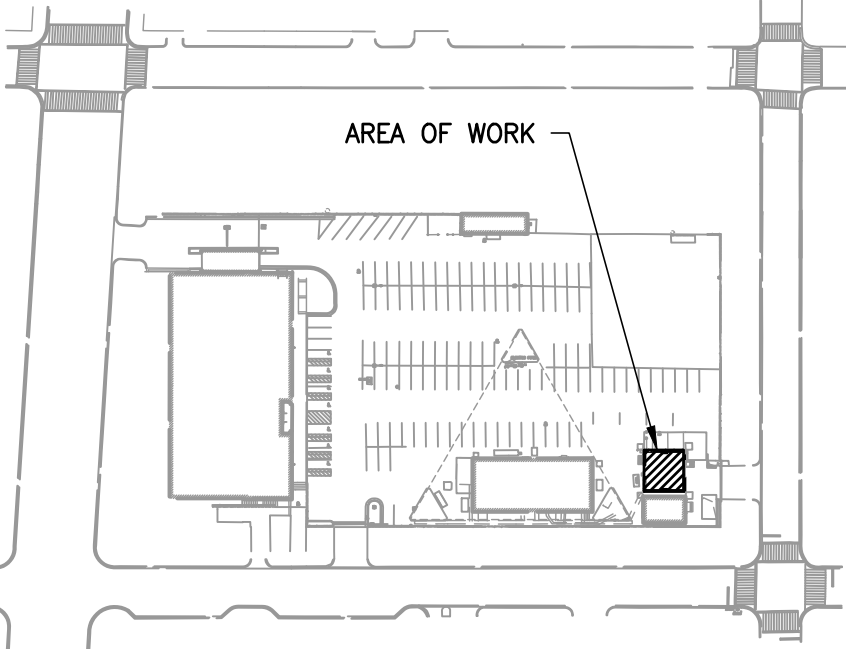
1. ALL BUILDING SYSTEMS AND FINISHES ARE TO BE REMOVED IN THEIR ENTIRETY INCLUDING BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, FIRE ALARM SYSTEMS, U.O.N.

2. ALL EQUIPMENT SHALL BE SALVAGED AND RETURNED TO DGS/MPD. VERIFY WITH DGS/MPD.

3. BUILDING ABOVE SLAB ON GRADE SHALL BE DEMOLISHED IN ITS ENTIRETY. SLAB SHALL BE DEMOLISHED WITHOUT DISTURBING SUBSURFACE PER CIVIL DRAWINGS.

4. REFER TO CIVIL DRAWINGS FOR DEMOLITION WORK.

KEY PLAN



#	Date	Change Description

DGS

BUILD
MAINTAIN
SUSTAIN

DEPARTMENT OF
GENERAL SERVICES

DGS 4D TOWER
6001 Georgia Avenue, NW,
WASHINGTON D.C. 20011
FOR THE
GOVERNMENT OF THE DISTRICT
OF COLUMBIA


ALPHATEC PC

ENGINEERS
ARCHITECTS
PLANNERS

1525 18TH STREET N.W.
WASHINGTON, D.C. 20036
TEL. 202/797-5000
FAX 202/797-5003

SUB-CONSULTANT

SEAL



Dwg. Coord.: RB Tech. Coord.: SPG Project NO.: SEE PLOT STAMP

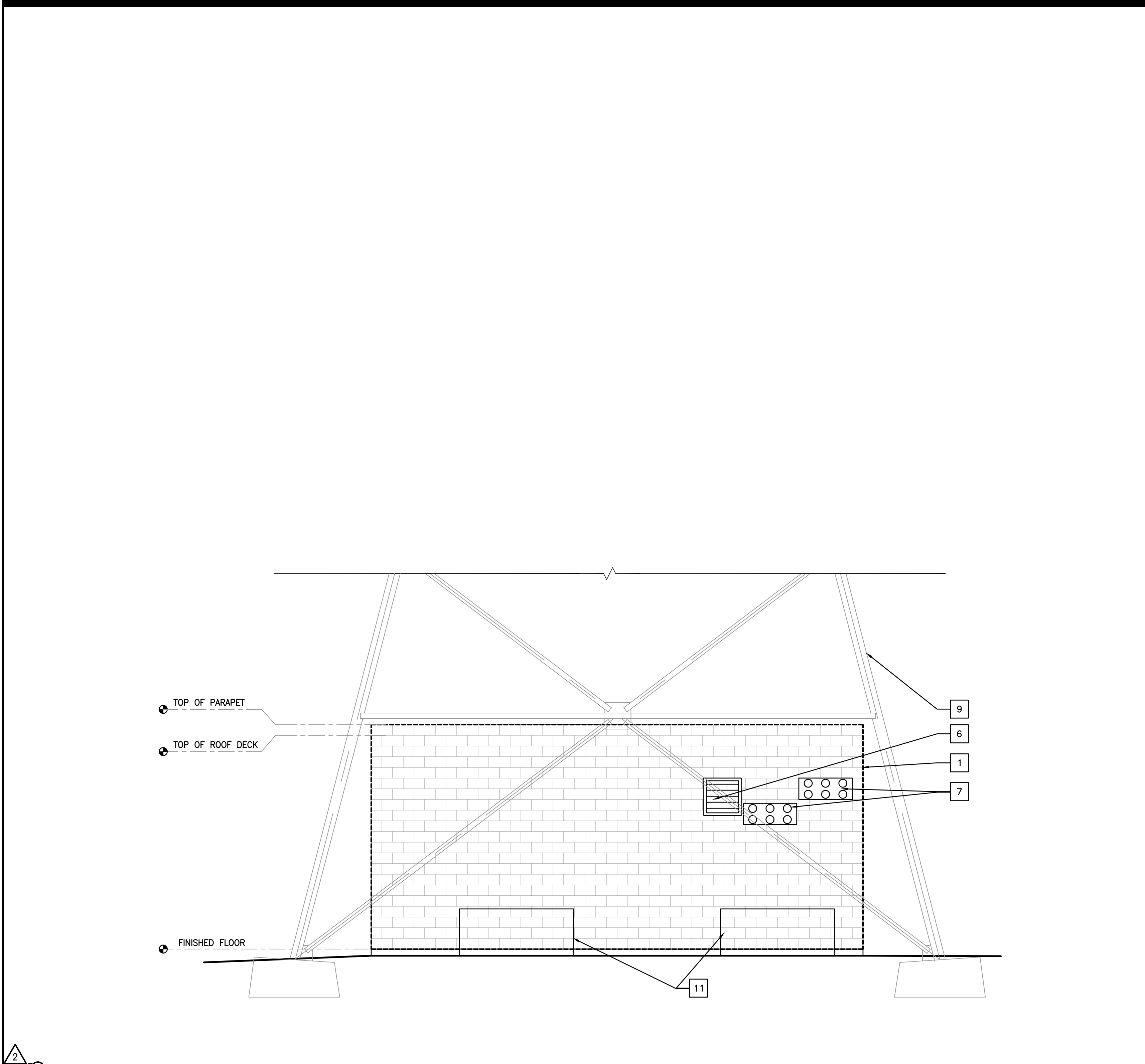
PHOTO DOCUMENTATION
SUPPORT BLDG

AD-801

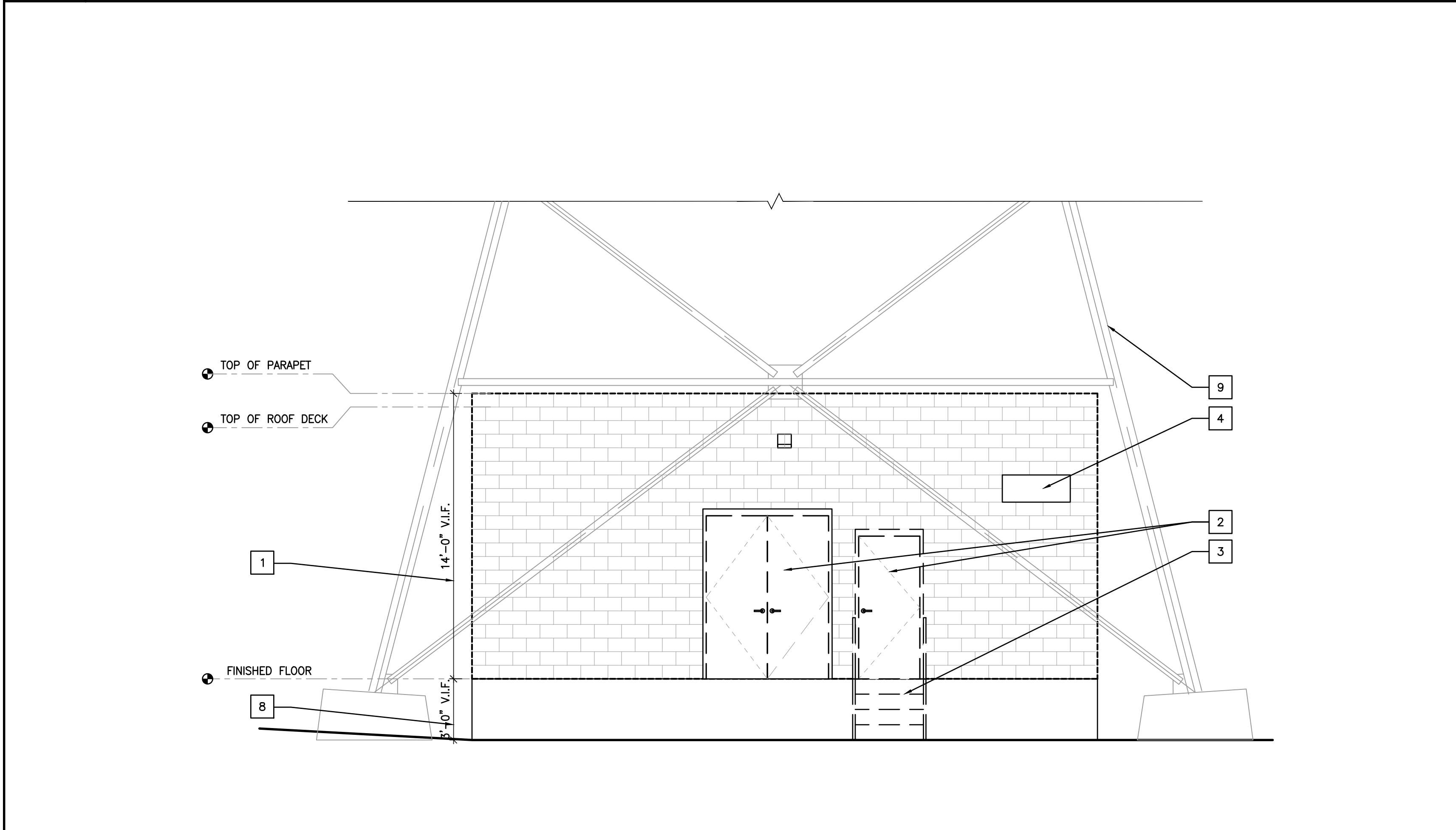
PERMIT SUBMISSION

05/03/2024

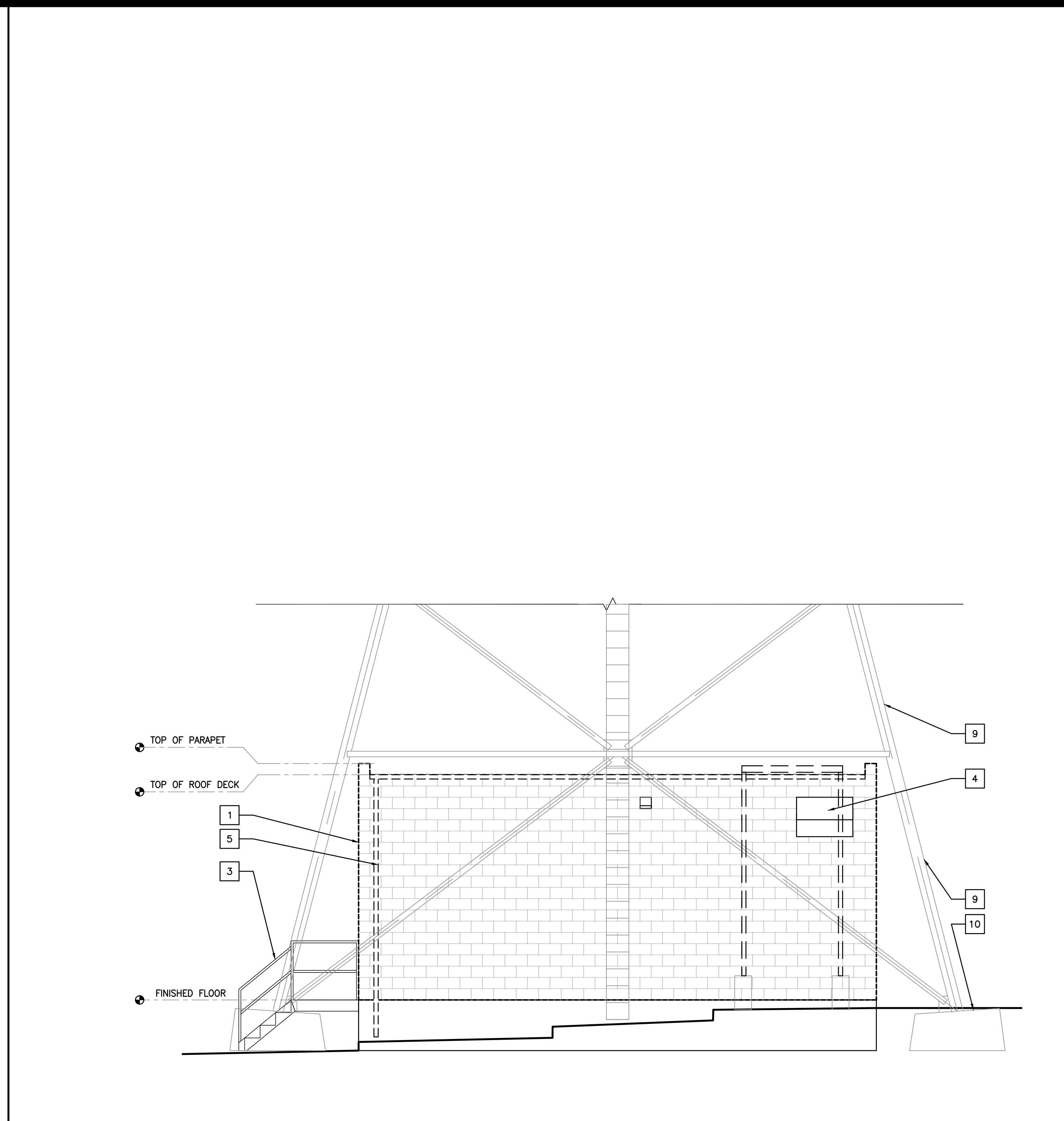
I:\21-DC2-002\CAD DRAWINGS\CAD Dwgs\CD\BREAKOUT - RAZE\21-DC2-002-SA01.dwg, 2/24/2025 12:40:44 PM, jq092



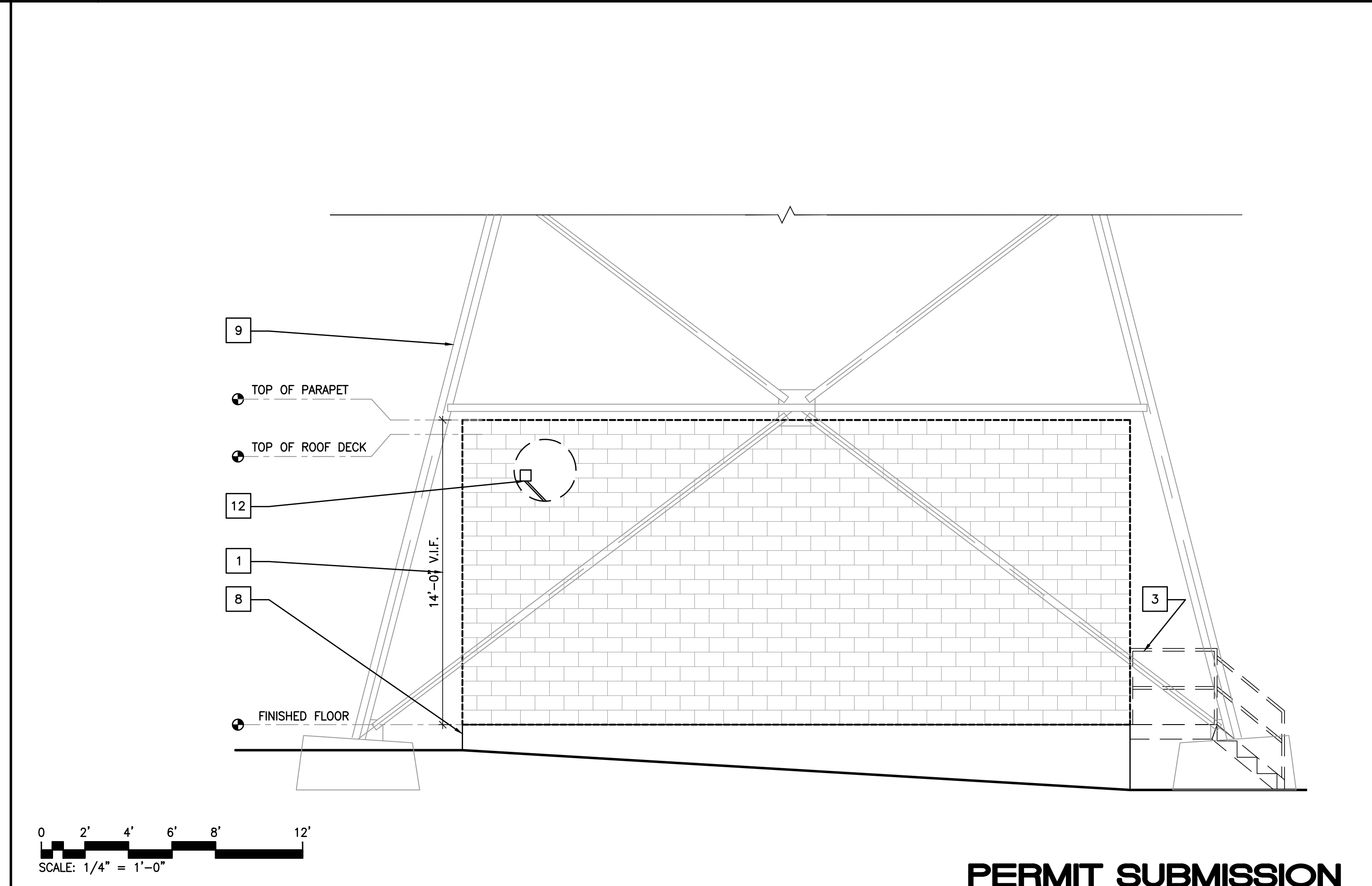
WEST ELEVATION SCALE: 1/4" = 1'-0"



EAST ELEVATION SCALE: 1/4" = 1'-0"



NORTH ELEVATION SCALE: 1/4" = 1'-0"



SOUTH ELEVATION SCALE: 1/4" = 1'-0"

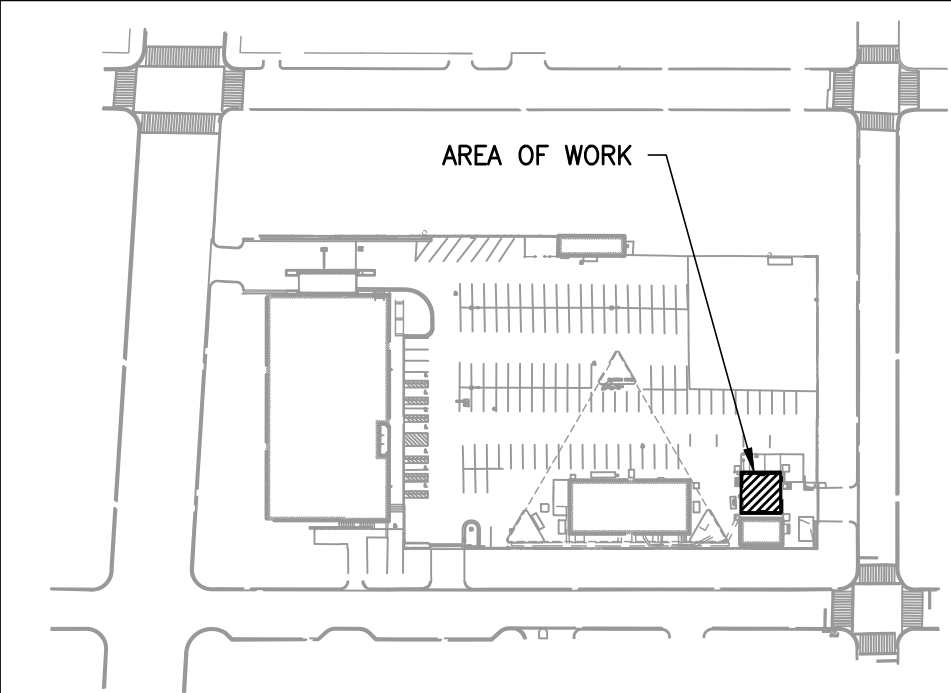
GENERAL NOTES

- ALL BUILDING SYSTEMS AND FINISHES ARE TO BE REMOVED IN THEIR ENTIRETY INCLUDING BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, FIRE ALARM SYSTEMS, U.O.N.
- ALL EQUIPMENT SHALL BE SALVAGED AND RETURNED TO DGS/MPD. VERIFY WITH DGS/MPD.
- BUILDING ABOVE SLAB ON GRADE SHALL BE DEMOLISHED IN ITS ENTIRETY. SLAB SHALL BE DEMOLISHED WITHOUT DISTURBING SUBSURFACE PER CIVIL DRAWINGS.
- REFER TO CIVIL DRAWINGS FOR DEMOLITION WORK.

KEY NOTES

- DEMOLISH EXISTING CMU WALL
- DEMOLISH OPENING, DOOR, AND HARDWARE
- DEMOLISH STEEL STAIRS AND PLATFORM DOWN TO GRADE
- STEEL INFILL PANEL TO BE DEMOLISHED.
- DEMOLISH GUTTER, DOWNSPOUTS AND ACCESSORIES
- LOUVER TO BE DEMOLISHED
- DEMOLISH WALL PENETRATION
- EXISTING CONCRETE SLAB TO REMAIN
- EXISTING TOWER
- FOUNDATIONS OF EXISTING TOWER
- EXISTING SITE ELEMENTS, REFER TO CIVIL DRAWINGS
- SALVAGE EXISTING EQUIPMENT, RETURN TO OWNER. VERIFY WITH DGS/MPD

KEY PLAN



#	Date	Change Description
2	01/31/25	PERMIT CYCLE 1

DGS BUILD MAINTAIN SUSTAIN
DEPARTMENT OF GENERAL SERVICES

DGS 4D TOWER
6001 Georgia Avenue, NW,
WASHINGTON D.C. 20036
FOR THE
GOVERNMENT OF THE DISTRICT
OF COLUMBIA

ALPHATEC PC
ENGINEERS
ARCHITECTS
PLANNERS

1025 18TH STREET N.W.
WASHINGTON, D.C. 20036
TEL. 202/797-5000
FAX 202/797-5003

SUB-CONSULTANT:	SEAL:
Dwg. Coord.: RB	Tech. Coord.: SPG
Project NO.: SEE PLOT STAMP	AD-201
PERMIT SUBMISSION	05/03/2024



1. PROVIDE CONSTRUCTION SCREEN AT PERMITTER OF SITE.
2. PROVIDE TEMPORARY CONSTRUCTION FENCING TO SECURE THE PERMITTER OF PHASED WORK.
3. DESIGN FOR THE CONSTRUCTION OF A DEDICATED CONSTRUCTION ENTRANCE VIA PEABODY ST, NW AND MOP ENTRANCE VIA GEORGIA AVE., NW. PROVIDE ACCESS FOR WASTE REMOVAL COMPANY VEHICLES TO THE SITE.
4. ADVISE THE CONTRACTOR TO VISIT THE SITE AND SHALL OBSERVE ALL EXISTING CONDITIONS, EQUIPMENT, FIXTURES, FINISHES, ETC. PRIOR TO SUBMITTING THEIR BID, AND INCLUDE IN THEIR PRICE ALL LABOR AND MATERIAL THAT MAY AFFECT THEIR WORK.
5. CIVIL INFORMATION ON GENERAL PHASING AND ELECTRICAL SHEETS FOR INFORMATION AND REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR SITE INFORMATION.
6. TEMPORARY SECURITY BOOTH TO BE COORDINATED WITH DGS/ODC/MPO AND SHALL BE INSTALLED AT BEGINNING OF CONSTRUCTION. REFER TO GSA 29-00000-003 FOR DETAILS.
7. CONSTRUCTION BUILDING #1 WILL BE RAZED AS PER ADJMD-ED-FPD SPECS. THE BUILDING WILL BE DEMOLISHED TO FOUNDATION. DEMOLITION OF THE BUILDING SLAB, WITHOUT DISTURBING THE CONCRETE AS PER GSA 29-00000-003.
8. ALL PAINTS SHALL BE ASSUMED TO CONTAIN LEAD. ALL WORK INVOLVING PAINTED SURFACES MUST BE PERFORMED IN ACCORDANCE WITH OSHA LEAD IN CONSTRUCTION STANDARD 29 CFR 1926.62. THE CONTRACTOR IS RESPONSIBLE FOR ALL TESTING OF LEAD WASTE.


- 1 NEW TOWER IS OPERATIONAL.
- 2 TEMPORARY PARKING IS FULLY OPERATIONAL. SUBSEQUENT TO THE REMOVAL OF EXISTING FORMER STAGING AREA, BY MPD, MPD TWO WAY TRAFFIC THROUGH NORTH EXIT (GEORGIA AVE) ONLY.
- 3 EXISTING PARKING AREA IS USED FOR STAGING (64 PARKING SPACES).
- 4 RELOCATE PROPANE TANK AND NATURAL GAS BOOSTER PUMP TO NEW LOCATION. REFER TO KEY NOTES 7 AND 8 ON SHEET E-003. RELOCATE GAS PIPE, AND PROTECT EQUIPMENT.
- 5 ALL EQUIPMENT FROM (E) 700' TO BE DISCONNECTED AND REMOVED BY OTHERS.
- 6 DEMOLISH TOP MOST PART OF THE TOWER FROM 700 FEET DOWN TO 400 FEET, DEMOLISHING USING HELICOPTER
- 7 DEMOLISH REMAINING PART OF THE TOWER FROM 400 FEET DOWN TO FOUNDATION, DEMOLISHING USING CRANE
- 8 CUT FOUNDATION PILES DOWN MIN 1' BELOW FINISHED GRADE, FILL THE VOID, PREPARE FOR ASPHALT FINISH. SEE CIVIL DRAWINGS
- 9 CUT FOUNDATION PILES DOWN MIN 1' BELOW FINISHED GRADE, FILL THE VOID, PREPARE FOR ASPHALT FINISH. SEE CIVIL DRAWINGS

1	PATCH OPENING IN BRICK WALL PRIOR BEGINNING OF DEMOLITION WORK ON TEMPORARY PARKING. SEE CIVIL DRAWINGS.
2	DEMOLISH TEMPORARY PARKING AND FENCE. REMOVE TEMPORARY LIGHTING AND CAMERAS. RETURN LOT TO THE OWNER IN RESTORED CONDITION. SEE CIVIL.
3	PATCH DISTURBED ASPHALT SURFACE, NEW STRIPING, TYPICAL. SEE CIVIL DRAWINGS
4	NEW PERMANENT VINYL COATED CHAIN LINK FENCE, SEE 6/E-802 AND NEW DOUBLE GATE, SEE 5/E-802
5	RESTORE FIELD TO ORIGINAL CONDITION. REFER TO CIVIL SHEETS.

DGS
DEPARTMENT OF
GENERAL SERVICES

BUILD
MAINTAIN
SUSTAIN

DGS 4D TOWER
6001 Georgia Avenue, NW.
WASHINGTON D.C. 20011
FOR THE
GOVERNMENT OF THE DISTRICT
OF COLUMBIA

SUB-CONSULTANT:	SEAL: 
Dwg. Coord.: RB Tech. Coord.: SPG	Project NO: SEE PLOT STAMP
PLANNING PLAN DEMO AND NEW WORK	G-003
PERMIT SUBMISSION	05/03/2024

Tab C



**GOVERNMENT OF THE DISTRICT OF COLUMBIA
DEPARTMENT OF BUILDINGS
Office of the Director**

October 10, 2023

SENT FIRST-CLASS U.S. MAIL

Spiro P. Gianniotis, AIA, NCARB, LEED AP BD+C, GPCP, GGP
Principal
Alphatec PC
1525 18th St NW
Washington, DC 20036

Re: Approval to exceed Height Act for new tower at 6001 Georgia Avenue, NW

Based on discussions with the District of Columbia Metropolitan Police Department (MPD), and as requested in a September 21, 2023 letter from you, the District of Columbia Department of Buildings (DOB) has learned that consolidation of two structurally-insufficient existing towers at 6001 Georgia Avenue, NW, into one 500 ft tower is necessary in order to prevent a significant loss of coverage to critical intelligence communities, and to provide continuous services to existing and possible new antennas in the future. The proposed new tower would accommodate the government authorities' needs for wireless coverage, as any lapse in the operation of the antennas would significantly interrupt critical service in the area; one of the functions reliant on the tower construction is the emergency 9-1-1 services for the public.

MPD has represented to DOB that the project involves the demolition of one existing 400ft Self Supporting Tower (SST), relocating all of its existing antennas to a new 500ft SST, and lastly, demolishing the existing 700ft SST. The goal of the project is to demolish the current existing towers that are structurally incapable of accommodating existing equipment belonging to critical public entities such as Federal Bureau of Investigation, the Washington Metropolitan Area Transit Authority, and Office of Unified Communications among others, while also allowing for the addition of more antennas and expansion of services of those entities in the future.

The new tower would exceed the height otherwise allowed under the Height of Buildings Act of 1910 (Height Act). For this reason, the new tower would require the Director of DOB to approve this tower to exceed the otherwise-applicable height requirements of the Height Act.

Pursuant to the District of Columbia Reorganization Plan No. 1 of 1983, the Department of Buildings Establishment Act, the Height Act, and my authority in 12A DCMR, I hereby approve the proposed height of the new tower to allow MPD to construct at 6001 Georgia Avenue, NW one Self-Supporting Tower that is 500 feet above grade consistent with the plans submitted to DOB as part of your September 21, 2023 request to me.

Sincerely,

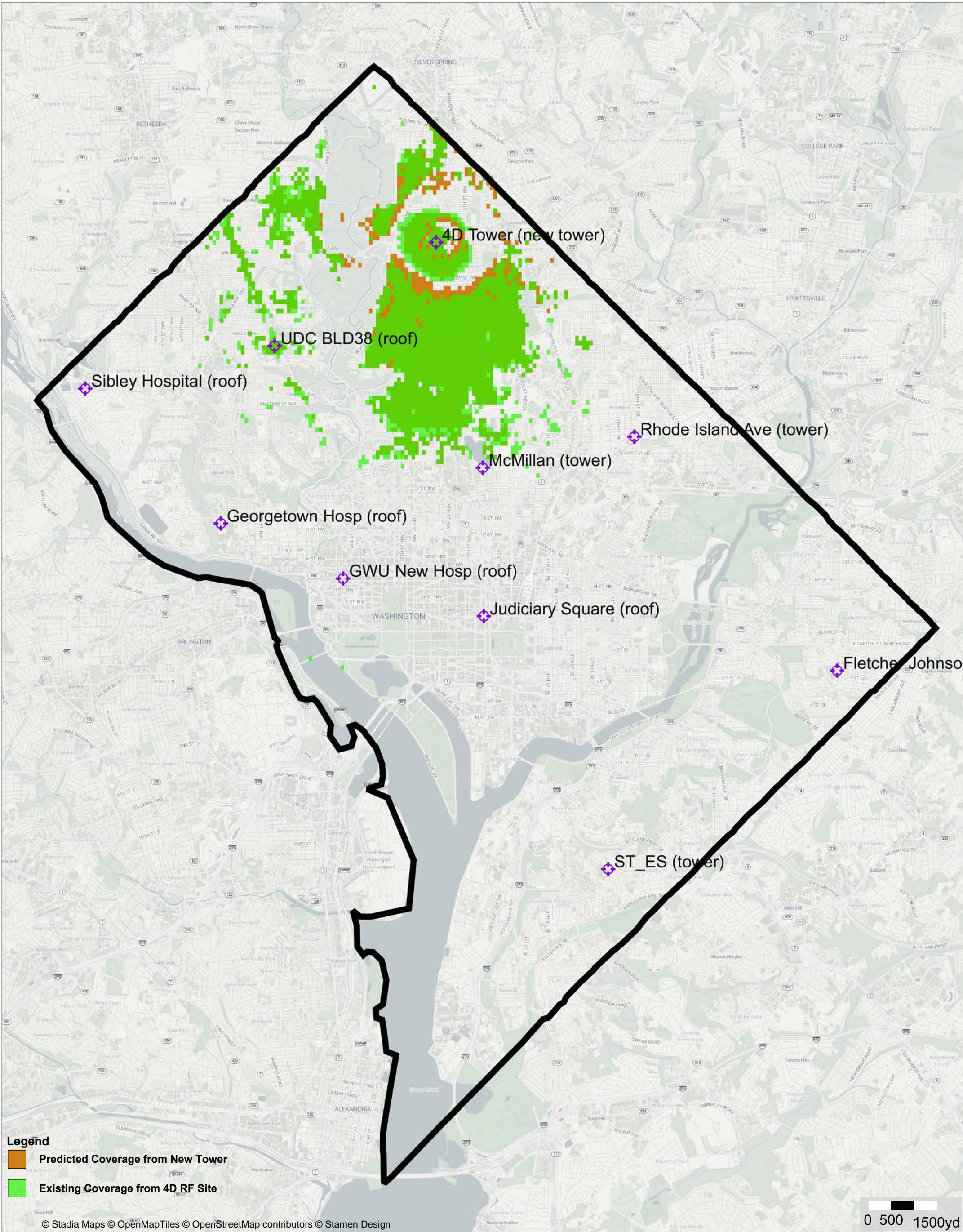


Brian J. Hanlon
Acting Director
Department of Buildings

Cc: Pamela A. Smith, Acting Chief, MPD
Nikki Lavenhouse, Commander, 4D
Delano Hunter, Director, DGS
Kathleen A. Beeton, Acting Zoning Administrator, DOB

Tab D

Comparison of 26dB Coverage: Existing Vs New 4D RF Site



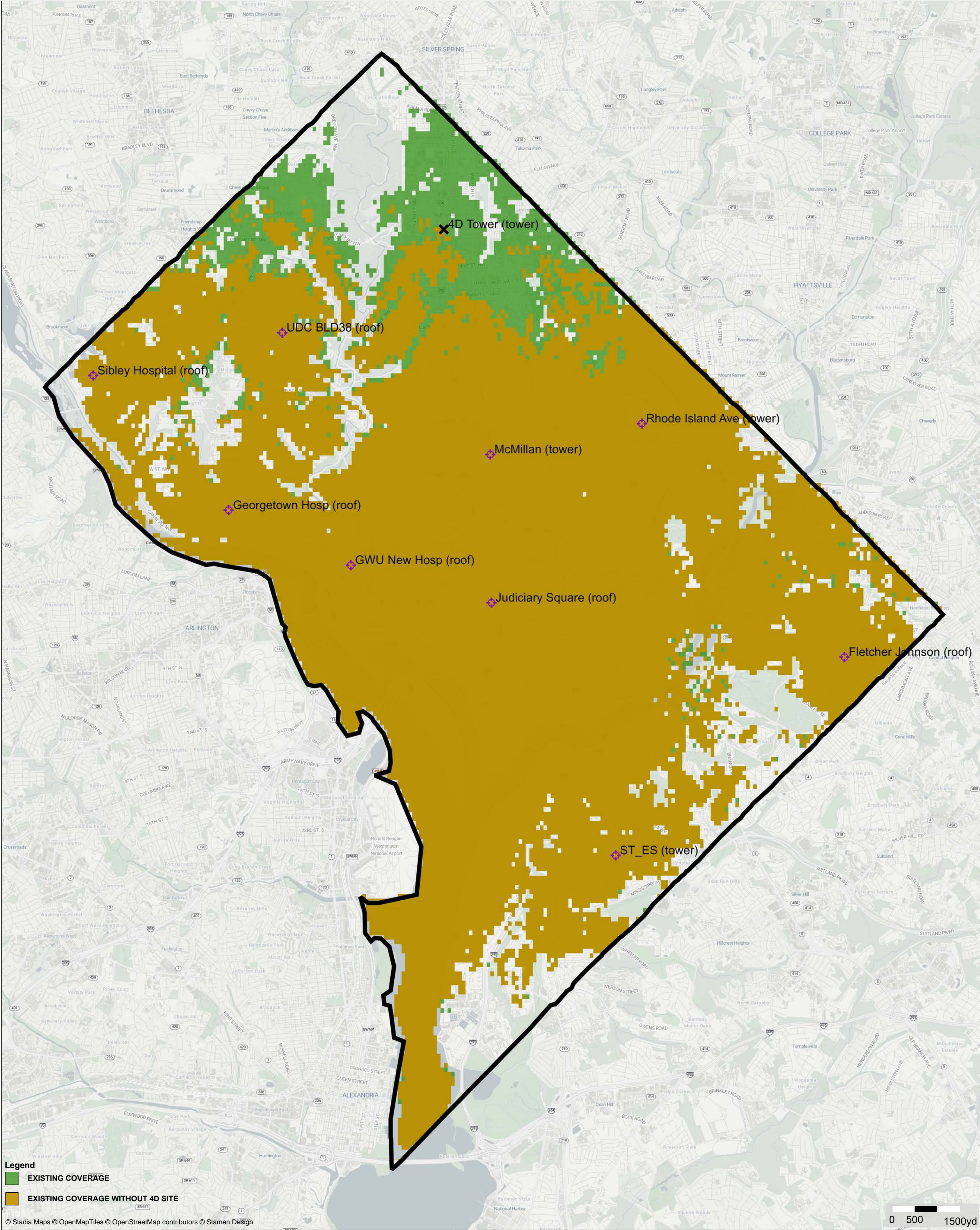
Tab E



MOTOROLA
SOLUTIONS

For Information Only

Comparison of 26dB Coverage: With and Without 4D RF Site



Printed: 4/21/2025

System version: 3.2.4

Solution: DC_OUC

Project: 4D site Impact April 2025

Design: Design 3 Without 4D

GRV483

This map is intended solely for the equipment configuration stated above.
Coverage can vary significantly if different configurations are used.

Tab F

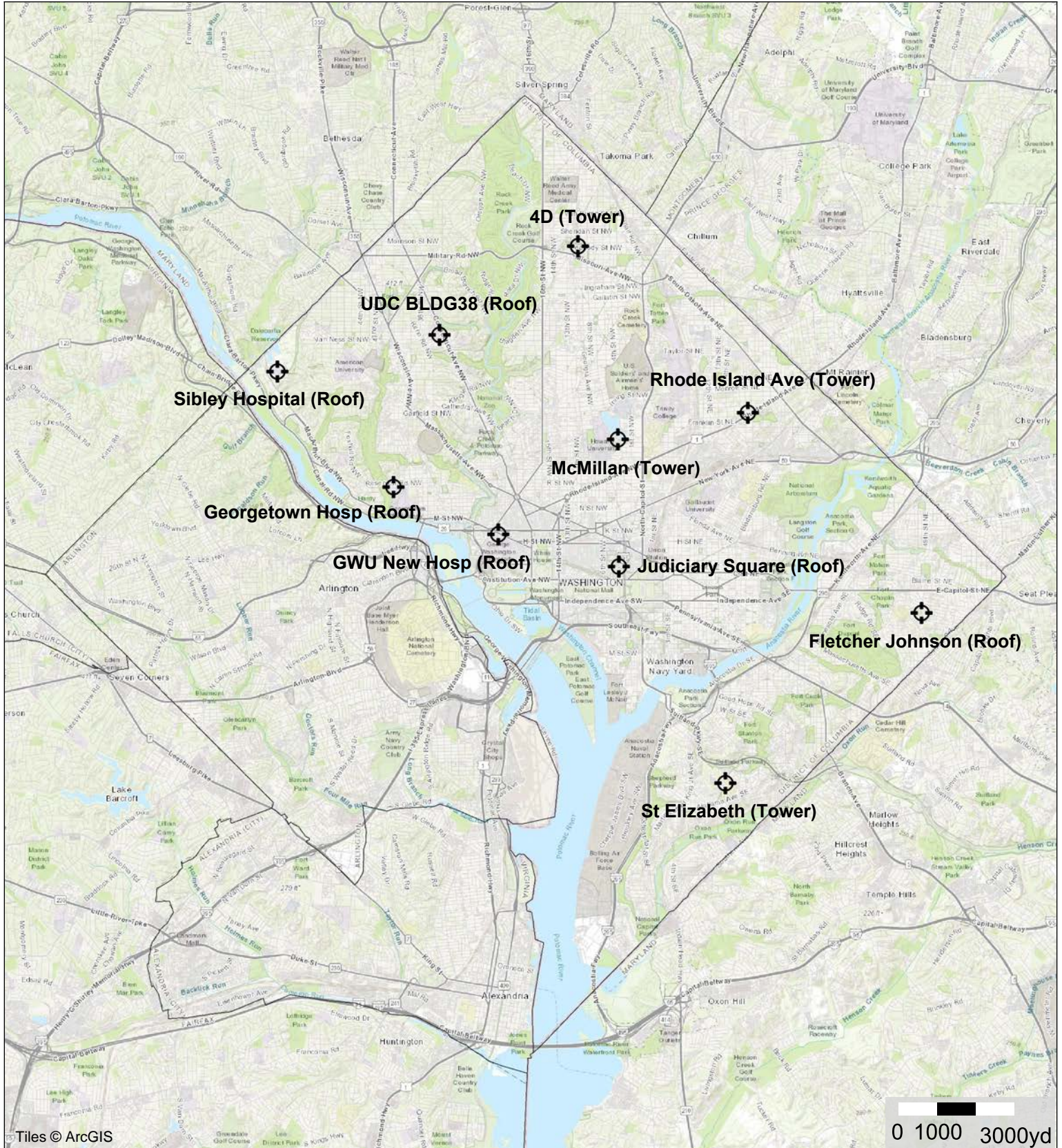


MOTOROLA
SOLUTIONS

OUC, DC

For Information Only

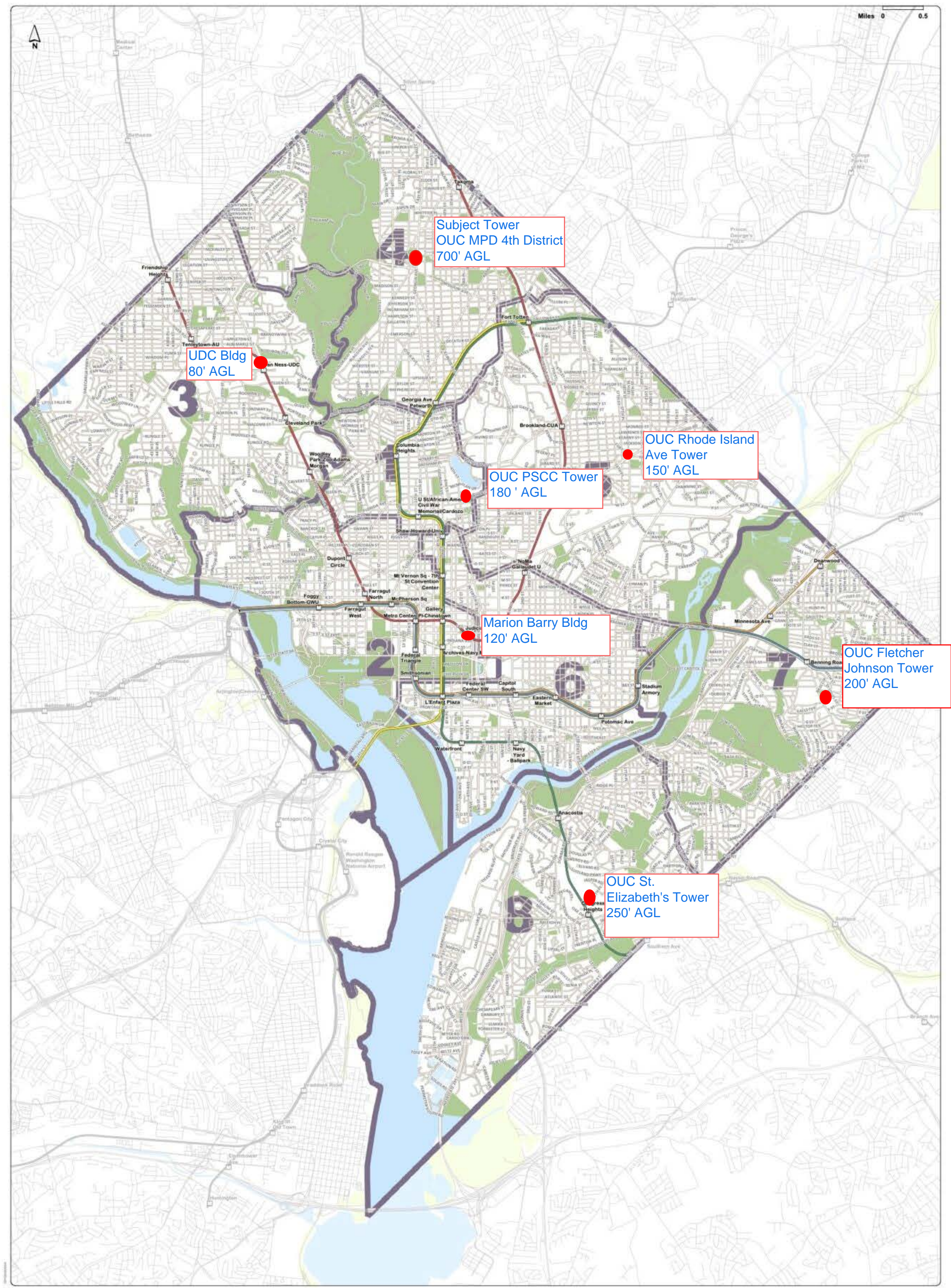
ASTRO P25 Trunked 7/800 MHz
Subsite Map



Printed: 6/27/2024
System version: 3.1.6

Solution: DC_OUC
Project: UDC Relocation
Design: Design 16 Updated Heights w UDC
vhqc43

Tab G

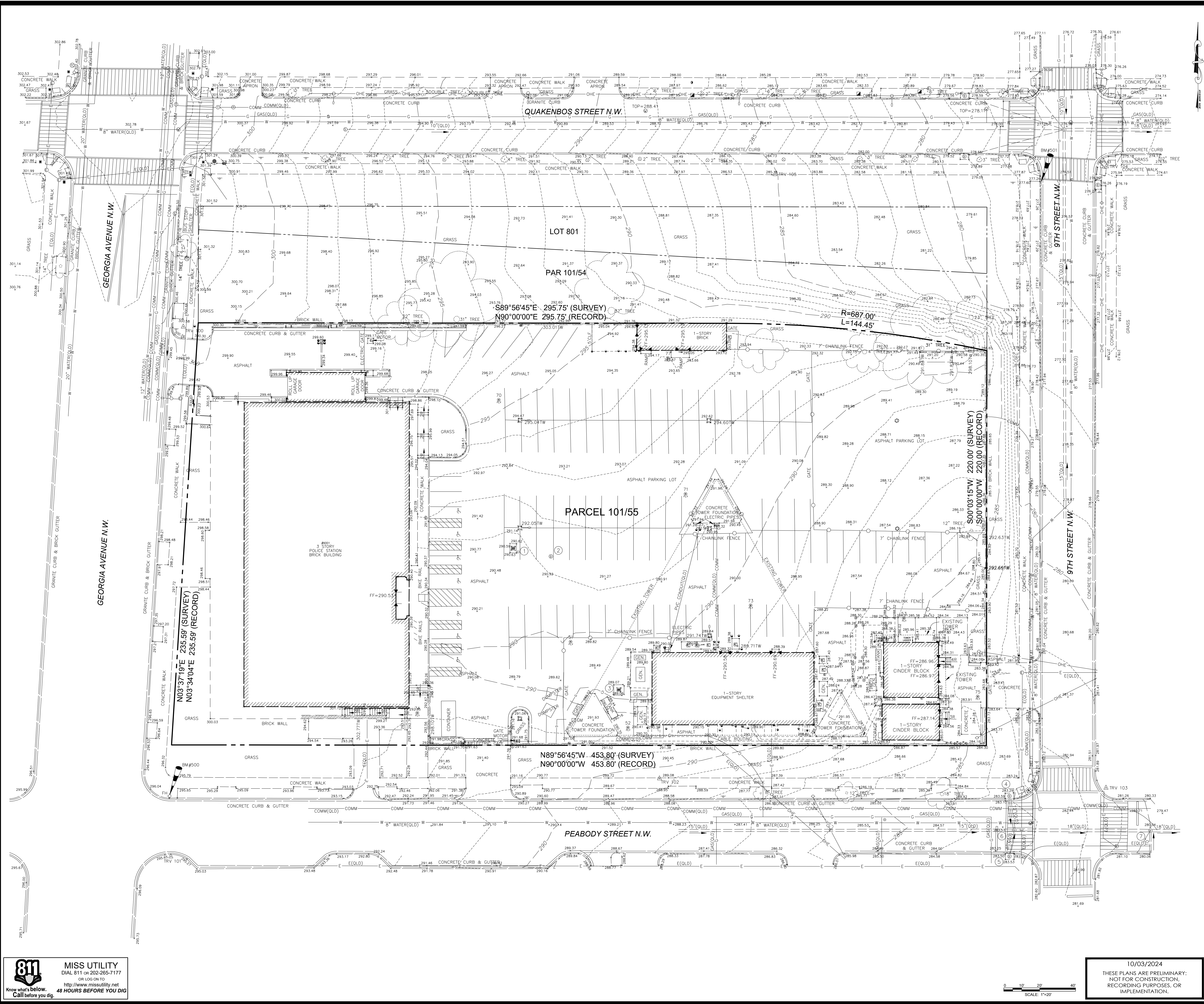


Office of Planning ~ March 9, 2018
Government of the District of Columbia

This map was created for planning purposes from a variety of sources. It is neither a survey nor a legal document. Information provided by other agencies should be verified with them where appropriate.

The District of Columbia
Ward Boundary Map

Tab H



RESERVED FOR DCRA STAMP

EXISTING CONDITIONS PLAN NOTES

1. EXISTING CONDITIONS LEGEND APPLIES TO THIS SHEET ONLY. EXISTING CONDITIONS MAY BE DEPICTED DIFFERENTLY OR NOT FULLY DEPICTED ON OTHER PLAN SHEETS.

2. LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE AND BASED UPON AVAILABLE RECORDS. CONTRACTOR SHALL LOCATE AND CONFIRM ALL UTILITIES PRIOR TO UNDERTAKING ANY DEMOLITION OR EXCAVATION.

3. REFER TO THE CIVIL COVER SHEET FOR ADDITIONAL INFORMATION.

#	Date	Change Description

DGS BUILD MAINTAIN SUSTAIN

DGS 4D TOWER

6001 Georgia Avenue, NW,

WASHINGTON D.C. 20008

FOR THE

GOVERNMENT OF THE DISTRICT OF COLUMBIA

ALPHATEC

ENGINEERS ARCHITECTS PLANNERS

1525 8TH STREET N.W.

WASHINGTON, D.C. 20005

TEL 202/797-5000

FAX 202/797-5000

SUB-CONSULTANT:

SEAL:

AMT

PROFESSIONAL ENGINEERS & LAND SURVEYORS

Dwg. Coord.: MC

Tech. Coord.: JG

Project No.: SEE PLOT STAMP

EXISTING CONDITIONS PLAN

CIV100

NPCC SUBMISSION

10/03/2024

811

MISS UTILITY

DIAL 811 OR 202-265-7177

OR LOG ON TO

http://www.missutility.net

48 HOURS BEFORE YOU DIG

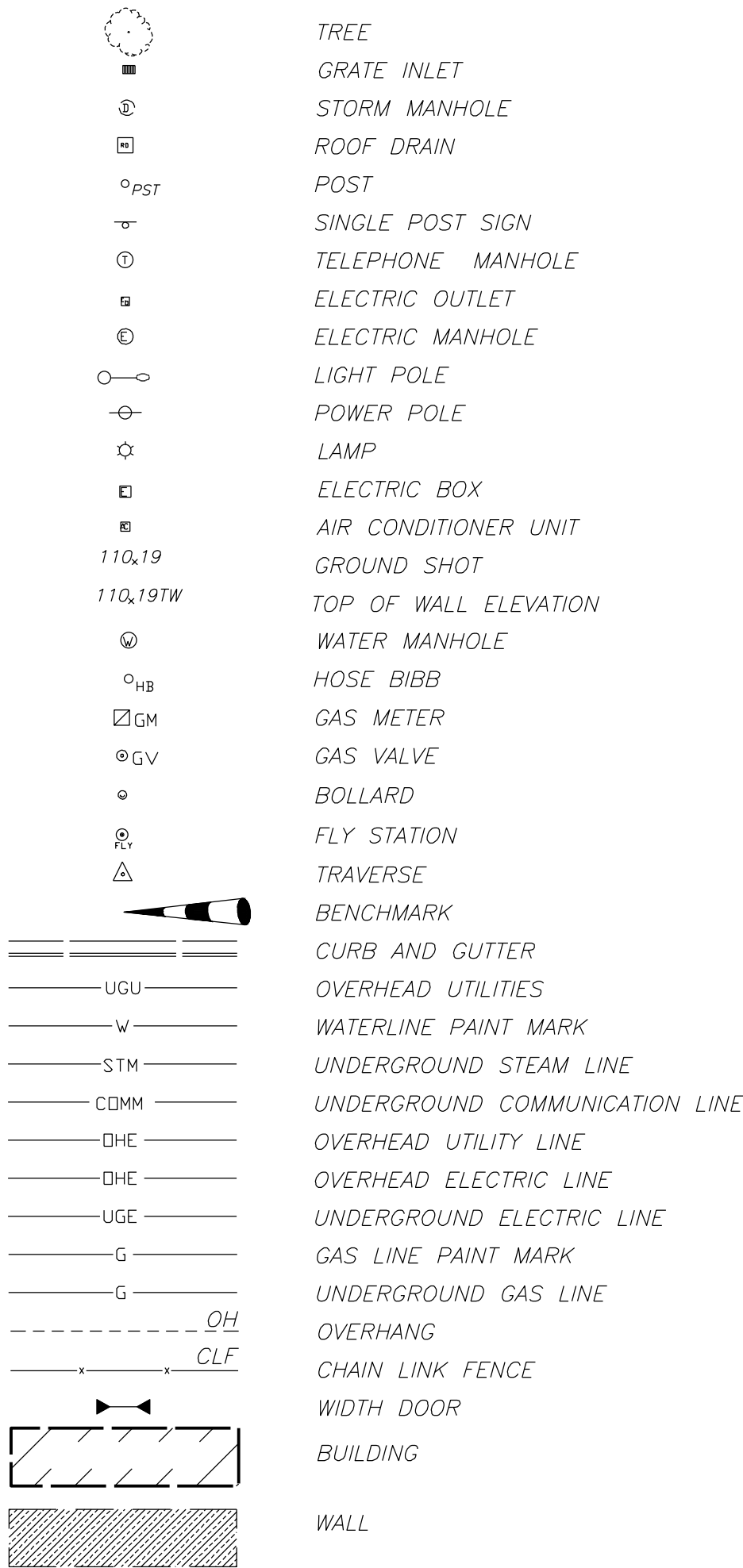
10/03/2024

THESE PLANS ARE PRELIMINARY:
NOT FOR CONSTRUCTION,
RECORDING PURPOSES, OR
IMPLEMENTATION.

0 10' 20' 40'

SCALE: 1"=20'

LEGEND:



STORM SEWER DATA:

- GRATE INLET
TOP=290.53
V=260.0
(FULL OF WATER)
- MANHOLE
TOP=291.33
INV. UNABLE TO OBTAIN
(OBSTRUCTED)
- GRATE INLET
TOP=288.99
V=279.9
(FULL OF WATER)
- DROP INLET
TOP=283.48
V=278.6
(DEBRIS ON BOTTOM)
- DROP INLET
TOP=283.47
V=278.3
(DEBRIS ON BOTTOM)
- MANHOLE
TOP=283.35
INV. UNABLE TO OBTAIN
(CRACK ON TOP)
- MANHOLE
TOP=280.00
INV. IN(A)=269.78(T.C.)
INV. IN(B)=268.77(W.C.P.)
INV. DJT=268.29

SURVEY NOTES:

- HORIZONTAL DATUM: MARYLAND STATE PLANE NAD83 (2001)
- VERTICAL DATUM: NAVD88
- PROPERTY INFORMATION SHOWN HEREON IS FOR INFORMATION PURPOSE ONLY AND WAS OBTAINED FROM RECORDS AND VERIFIED IN THE FIELD INsofar AS POSSIBLE. PROPERTY LINE DIMENSIONS FROM OFFICIAL CITY RECORDS MAY NOT NECESSARILY AGREE WITH ACTUAL MEASURED DIMENSIONS. ALL PROPERTY LINES IN THE DISTRICT OF COLUMBIA ARE SUBJECT TO CHANGE BY THE OFFICE OF THE SURVEYOR, D.C. THIS SURVEY DOES NOT REFLECT A "SURVEY TO MARK". THE PROPERTY LINE REFLECTED ON THIS SURVEY IS NOT TO BE USED FOR ANY CONSTRUCTION STAKEOUT PURPOSES; A "SURVEY TO MARK" MUST BE APPROVED BY THE OFFICE OF THE SURVEYOR PRIOR TO BEGINNING ANY BUILDING DEMOLITION OR CONSTRUCTION OPERATIONS.
- CONTOUR INTERVAL IS ONE(1) FEET.

UTILITY NOTES:

- ASCE C/I 38-02 QUALITY LEVEL C (QLC) - UTILITIES LABELED AS (QLC) ARE SHOWN BASED ON UTILITY RECORD RESEARCH ALIGNED WITH VISIBLE SURVEYED UTILITY FEATURES.
- ASCE C/I 38-02 QUALITY LEVEL D (QLD) - UTILITIES LABELED AS (QLD) ARE SHOWN BASED ON UTILITY RECORD RESEARCH. THERE WERE NO VISIBLE UTILITY FEATURES TO SURVEY.
- THE UTILITY SIZES SHOWN HEREIN ARE BASED ON RECORD INFORMATION PROVIDED BY THE UTILITY COMPANY, BY THE OWNER, CLIENT, OR SITE REPRESENTATIVE.
- SANITARY SEWER AND STORM DRAIN SIZES ARE SHOWN BASED ON OBSERVED EVIDENCED, UNLESS NOTED OTHERWISE.
- NO GUARANTEE OR WARRANTY IS EXPRESSED OR IMPLIED REGARDING THE ACCURACY OR COMPLETENESS OF UTILITY INFORMATION SHOWN HEREON. OTHER UTILITIES MAY EXIST WHICH HAVE NO RECORD INFORMATION.

TRAVERSE DATA:

NO	NORTHING	EASTING	ELEV	DESCRIPTION
100	472278.2340	1304457.3731	300.49	CROSS CUT
101	471983.1177	1304450.4411	295.51	CROSS CUT
102	472026.5873	1304722.5503	289.11	CROSS CUT
103	472021.4025	1304971.1962	281.60	CROSS CUT
104	472367.4760	1304971.4232	275.85	CROSS CUT
105	472363.1486	1304786.9045	285.08	CROSS CUT

BENCHMARK DATA:

NO	ELEV	DESCRIPTION
500	298.01	X-CUT ON NORTH BONNET BOLT OF FIRE HYDRANT
501	277.24	X-CUT CUT ON TOP OF CURB

UTILITY INFORMATION:

UTILITY COMPANY	STATUS
VERIZON 13101 Columbia Pike FDC-1 Silver Spring, MD 20904	RECEIVED
PEPCO 701 Ninth St, N.W. Washington, DC 20068	RECEIVED
WASHINGTON GAS 6801 Industrial Road Springfield, VA 22151	RECEIVED
DC WATER 5000 Overlook Avenue, S.W. Washington, DC 20032	RECEIVED

RESERVED FOR DCRA STAMP

EXISTING CONDITIONS PLAN NOTES

- EXISTING CONDITIONS LEGEND APPLIES TO THIS SHEET ONLY. EXISTING CONDITIONS MAY BE DEPICTED DIFFERENTLY OR NOT FULLY DEPICTED ON OTHER PLAN SHEETS.
- LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE AND BASED UPON AVAILABLE RECORDS. CONTRACTOR SHALL LOCATE AND CONFIRM ALL UTILITIES PRIOR TO UNDERTAKING ANY DEMOLITION OR EXCAVATION.
- REFER TO THE CIVIL COVER SHEET FOR ADDITIONAL INFORMATION.

#	Date	Change Description

DGS
DISTRICT OF COLUMBIA
DEPARTMENT OF GENERAL SERVICES

BUILD MAINTAIN SUSTAIN

DGS 4D TOWER
6001 Georgia Avenue, NW,
WASHINGTON D.C. 20011
FOR THE
GOVERNMENT OF THE DISTRICT
OF COLUMBIA

ALPHATEC
ENGINEERS
ARCHITECTS
PLANNERS

1525 8TH STREET N.W.
WASHINGTON, DC 20005
TEL 202/797-5000
FAX 202/797-5003

SUB-CONSULTANT:
AMT LLC
PROFESSIONAL ENGINEERS & LAND SURVEYORS

SEAL:
DISTRICT OF COLUMBIA
REGISTERED PROFESSIONAL ENGINEER
05/03/2024
CIVIL

Dwg. Coord.: MC	Tech. Coord.: JG	Project NO. SEE PLOT STAMP
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EXISTING CONDITIONS NOTES	CIV105
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PERMIT SUBMISSION	05/03/2024
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811
Know what's below.
Call before you dig.

MISS UTILITY
DIAL 811 OR 202-265-7177
OR LOG ON TO
<http://www.missutility.net>
48 HOURS BEFORE YOU DIG

05/03/2024

THESE PLANS ARE ISSUED FOR AGENCY REVIEW.
ALL APPLICABLE AGENCY PERMIT APPROVALS
MUST BE OBTAINED PRIOR TO CONSTRUCTION.

Tab I

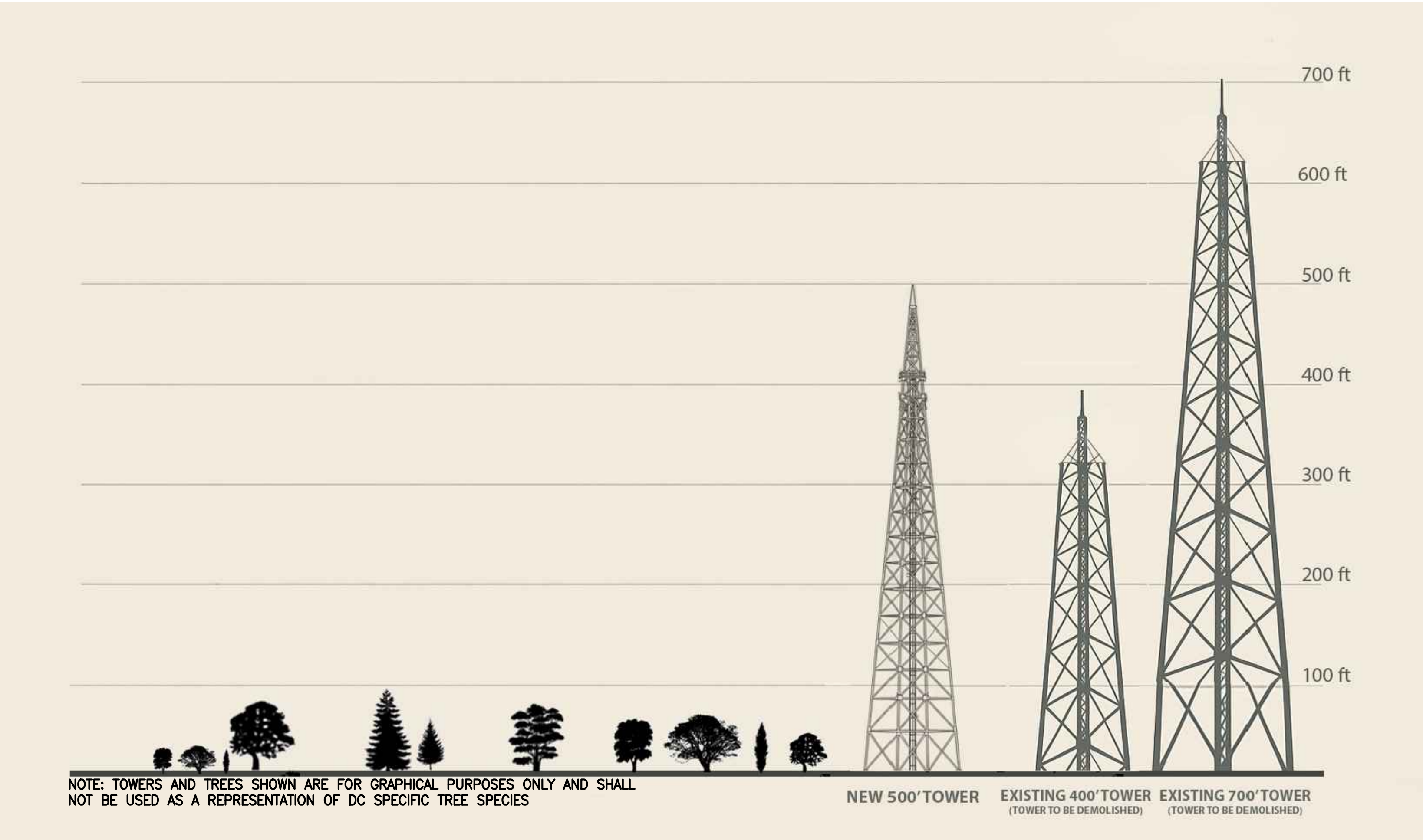
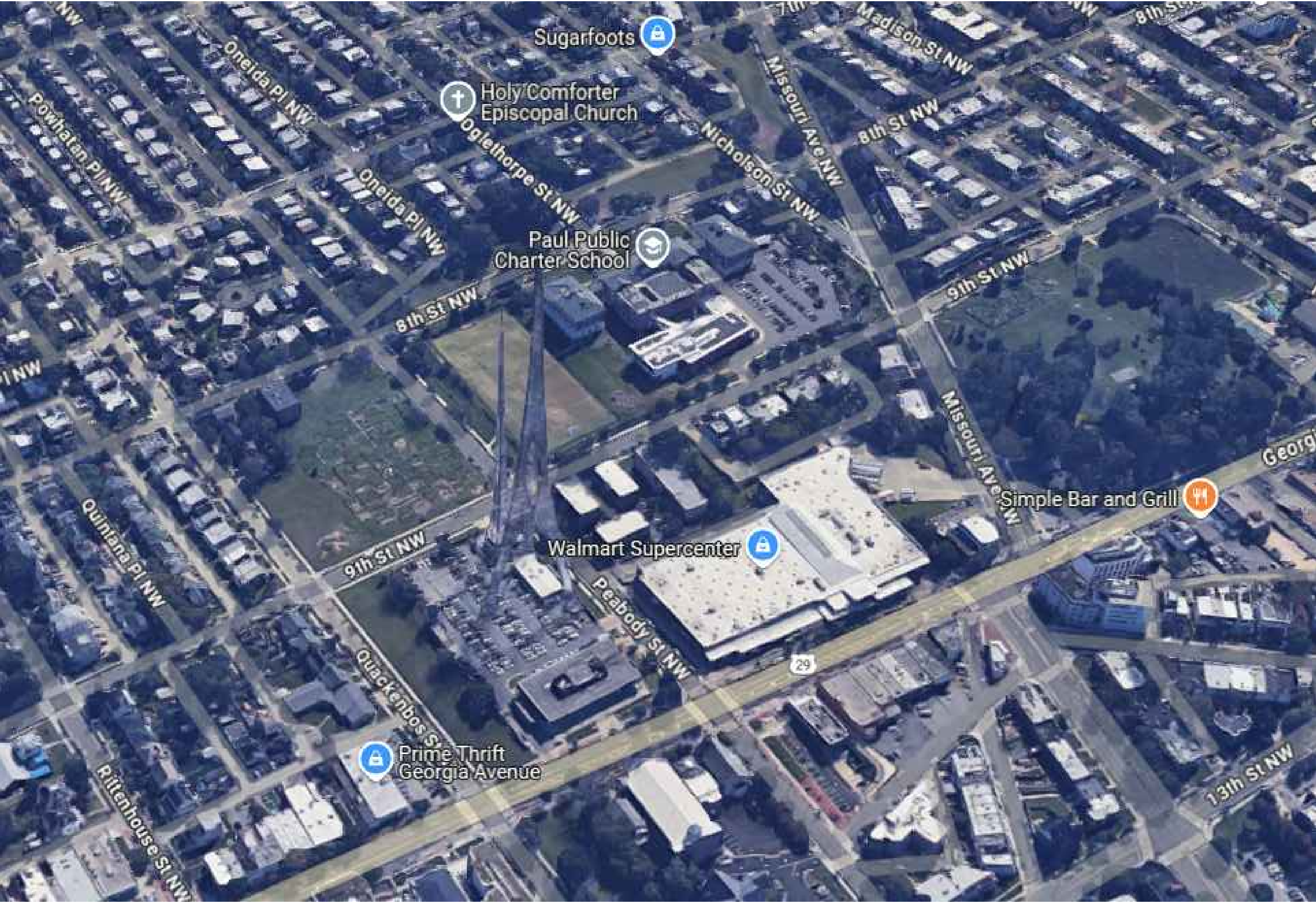


DIAGRAM OF EXISTING TOWER IN RELATION TO AVERAGE TREE HEIGHT AVERAGE HEIGHTS 20'-50'. (HIGHEST TREE IN DC IS APPROX. 100')



EXISTING TOWERS HEIGHT IN RELATION TO ADJACENT AREA



ARIEL VIEW FROM THE U.S AIR FORCE MEMORIAL IN ARLINGTON



ARIEL VIEW OF EXISTING TOWERS IN RELATION TO THE WHITE HOUSE



EYE LEVEL VIEW OF THE TOWERS FROM 9TH ST NW



DC TREE MAP WITHIN APPROX. 0.25 MILE FROM THE EXISTING TOWER

SCALE: NTS

Tab J

AFTER



BEFORE



Tab K

MODIFICATION OF CONTRACT				1. Contract Number CW96353		Page of Pages 1 of 1	
2. Modification Number M0003		3. Effective Date 10/1/2024		4. Requisition/Purchase Request No. RK286802		5. Solicitation Caption Radio Antenna and Tower Site Maintenance, Opt Yr 3	
6. Issued by: Office of Contracting and Procurement 441 4 th Street, NW, Suite 700S Washington, DC 20001				Cod e LT Office of the Unified Communications 2720 Martin Luther King Jr. Ave., SE Washington, DC 20032			
8. Name and Address of Contractor (No. street, city, county, state and zip code) TECKNOMIC 1725 I Street, N.W. Washington , D.C. 20006				9A. Amendment of Solicitation No.			
				9B. Dated (See Item 11)			
				10A. Modification of Contract/Order No. CW96353			
Code	DUNS:	TIN:	FEIN:	10B. Dated (See Item 13)			
11. THIS ITEM ONLY APPLIES TO AMENDMENTS OF SOLICITATIONS							
<input type="checkbox"/> The above numbered solicitation is amended as set forth in item 14. The hour and date specified for receipt of Offers <input type="checkbox"/> is extended <input type="checkbox"/> is not extended. Offers must acknowledge receipt of this amendment prior to the hour and date specified in the solicitation or as amended, by one of the following methods: (a) By completing Items 8 and 15, and returning _____ copies of the amendment: (b) By acknowledging receipt of this amendment on each copy of the offer submitted; or (c) BY separate letter or fax which includes a reference to the solicitation and amendment number. FAILURE OF YOUR ACKNOWLEDGMENT TO BE RECEIVED AT THE PLACE DESIGNATED FOR THE RECEIPT OF OFFERS PRIOR TO THE HOUR AND DATE SPECIFIED MAY RESULT IN REJECTION OF YOUR OFFER. If by virtue of this amendment you desire to change an offer already submitted, such may be made by letter or fax, provided each letter or telegram makes reference to the solicitation and this amendment, and is received prior to the opening hour and date specified.							
12. Accounting and Appropriation Data (If Required) To be cited on individual orders issued on behalf of participating agencies							
13. THIS ITEM APPLIES ONLY TO MODIFICATIONS OF CONTRACTS/ORDERS , IT MODIFIES THE CONTRACT/ORDER NO. AS DESCRIBED IN ITEM 14							
A. This change order is issued pursuant to (Specify Authority): 27 DCMR, Section 3601.2 The changes set forth in Item 14 are made in the contract/order no. in item 10A.							
B. The above numbered contract/order is modified to reflect the administrative changes (such as changes in paying office, appropriation data etc.) set forth in item 14, pursuant to the authority of							
<input checked="" type="checkbox"/> D. Other (Specify type of modification and authority) Bi-lateral - 27 DCMR, Section 3601.2(c)							
E. IMPORTANT: Contractor <input type="checkbox"/> is not <input checked="" type="checkbox"/> is required to sign this document and return 1 copy to the issuing office.							
14. Description of Amendment/Modification (Organized by UCF Section headings, including solicitation/contract subject matter where feasible.)							
<p>This modification to the Contract identified in Block 10A above is hereby modified as described below:</p> <p>In accordance with section F, Period of Performance (Option to extend the term of the Contract), the District hereby exercise Option Year Three to extend the term of the contract for the period of October 1, 2024 through September 30, 2025</p> <ol style="list-style-type: none"> The term of the Contract for Option Year Three (3) is hereby extended October 1, 2024 through September 30, 2025 at the estimated contract value of \$ \$80,645.83. Wage Determination No. 15-4281, Revision No. 29, dated 4-11-2024, is made part of this contract. 							
ALL OTHER TERMS AND CONDITIONS REMAIN UNCHANGED							
Except as provided herein, all terms and conditions of the document is referenced in Item 9A or 10A remain unchanged and in full force and effect.							
15A. Name and Title of Signer (Type or print)				16A. Name of Contracting Officer Xayna Sanders			
15B. Name of Contractor (Signature of person authorized to sign)		15C. Date Signed		16B. District of Columbia <i>Xayna Sanders</i> (Signature of Contracting Officer)		16C. Date Signed 9/25/2024	