

2619 Wisconsin Avenue, NW
Washington D.C. 20007

OWNER:
NEWCITY
2227 BEL PRE ROAD #468
SILVER SPRING, MD 20906
(202) 800-7100
CONTACT: JOEY YAFFE

ARCHITECT:
SQUARE 134 ARCHITECTS
1432 K ST NW SUITE 200
Washington, DC 20005
(202) 328-0134
CONTACT: RONALD SCHNECK AIA

STRUCTURAL ENGINEER:

GRIGGS ENGINEERING
408 S. DALLAS ST
BALTIMORE, MD 21231
(202) 539-7155
CONTACT: DAVID GRIGGS, MS, PE

MEP ENGINEER:

FIRM NAME
ADDRESS
ADDRESS
(000) 000-0000
CONTACT: NAME
CONTACT: NAME

CODE ANALYSIS

APPLICABLE BUILDING CODES

2017 DCMR 12B, District of Columbia Residential Code
2017 DCMR 12G, District of Columbia Property Maintenance Code
2017 DCMR 12J, District of Columbia Existing Building Code

2013 ASHRAE 90.1
2016 DC Zoning Regulations

CLASSIFICATION

SPRINKLER SYSTEM	NFPA 13D
FIRE ALARM SYSTEM	YES (TO COMPLY WITH 2017 DCRC R314)

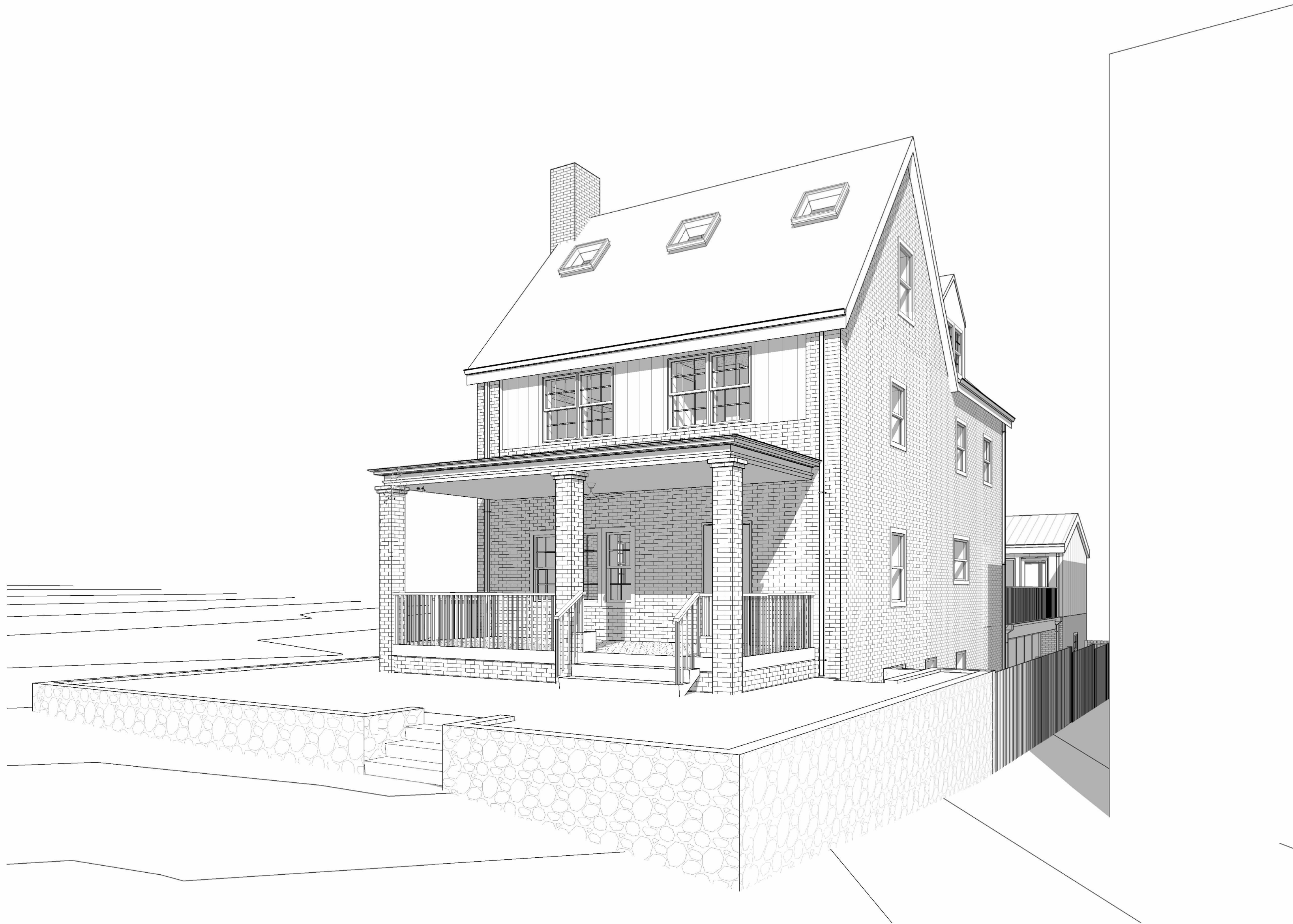
ZONING ANALYSIS

PROJECT INFORMATION

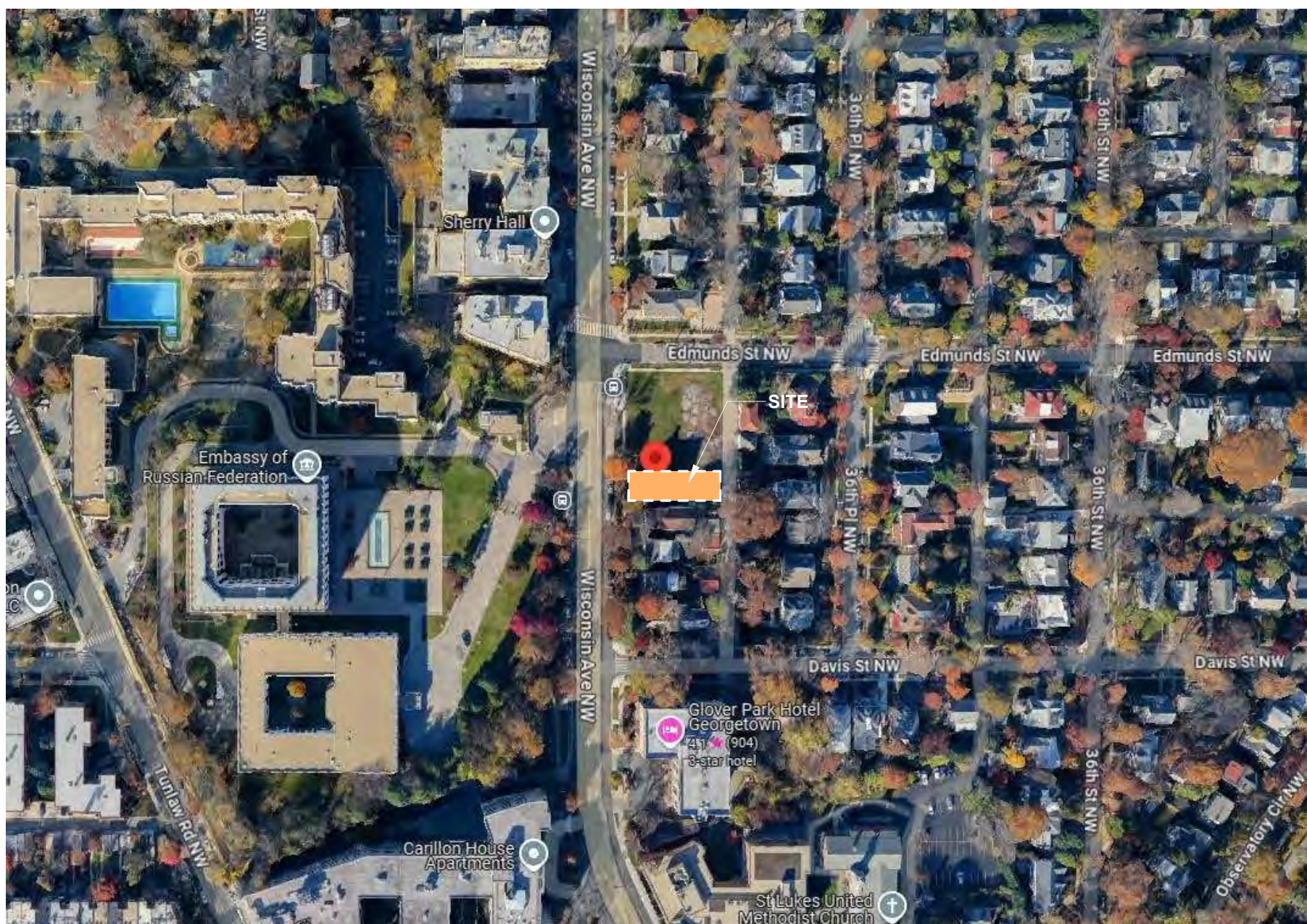
PROJECT ADDRESS:	2619 WISCONSIN AVE, NW, WASHINGTON, DC 20007	GFA/FAR
PROJECT SCOPE:	LEVEL III ALTERATION OF SINGLE FAMILY HOME.	CELLAR 1,889 SF
		1ST FLR 1,660 SF
SQUARE:	1935	2ND FLR 1,110 SF
LOT:	0044	3RD FLR 758 SF
ZONE:	R1-B	
LOT SIZE:	5,524 SF	TOTAL 5,417 SF
HISTORIC:	NOT APPLICABLE	

SHEET LIST

CIVIL	STRUCTURAL
CIV001 CIVIL COVER SHEET	S0001 STRUCTURAL NOTES
CIV002 CIVIL COVER SHEET NOTES	S0002 STRUCTURAL NOTES
	S0004 GENERAL SCHEDULE
ARCHITECTURAL GENERAL	S0005 UNDERPINNING NOTES
G0000 COVER SHEET	S1000 FOUNDATION / CELLAR PLAN
G0001 PROJECT INFORMATION	S1001 FIRST FLOOR FRAMING PLAN
G0002 WALL, FLOOR & ROOF TYPES	S1002C SECOND FLOOR FRAMING PLAN (CONCRETE)
	S1002W SECOND FLOOR FRAMING PLAN (WOOD)
ARCHITECTURAL SITE	S1003 THIRD FLOOR FRAMING PLAN
A1000 ARCHITECTURAL SITE PLAN	
ARCHITECTURAL	MECHANICAL
AD0001 DEMO PLAN - CELLAR	M0000 MECHANICAL COVER SHEET
AD0002 DEMO PLAN - 1ST FLOOR	M0001 MECHANICAL CELLAR FLOOR PLAN
AD0003 DEMO PLAN - 2ND FLOOR	M0002 MECHANICAL FIRST FLOOR PLAN
AD0004 DEMO PLAN - 3RD FLOOR	M0003 MECHANICAL SECOND FLOOR PLAN
AD301 DEMOLITION ELEVATIONS	M0004 MECHANICAL THIRD FLOOR PLAN
	M0007 MECHANICAL ROOF PLAN
	M0009 MECHANICAL DETAILS
ARCHITECTURAL	PLUMBING
A1001 PLAN - CELLAR	P0000 PLUMBING COVER SHEET
A1002 PLAN - 1ST FLOOR	P0001 PLUMBING COVER SHEET
A1003 PLAN - 2ND FLOOR	P0002 PLUMBING 1ST FLOOR PLAN
A1004 PLAN - 3RD FLOOR	P0003 PLUMBING 2ND FLOOR PLANS
A1005 PLAN - ROOF	P0004 PLUMBING 3RD FLOOR PLAN
A1006 PLAN - ROOF DRAINAGE	
A2000 RCP - CELLAR	ELECTRICAL
A2001 RCP - 1ST FLOOR	E0000 ELECTRICAL COVER SHEET
A2002 RCP - 2ND FLOOR	E0001 ELECTRICAL CELLAR FLOOR PLAN
A2003 RCP - 3RD FLOOR	E0002 ELECTRICAL FIRST FLOOR PLAN
A3000 NORTH ELEVATION	E0003 ELECTRICAL SECOND FLOOR PLAN
A3001 EAST & WEST ELEVATION	E0004 ELECTRICAL THIRD FLOOR PLAN
A3002 SOUTH ELEVATION	E0007 ELECTRICAL ROOF PLANS
A3003 GARAGE ELEVATIONS	E0008 ELECTRICAL LOAD CALCULATION
A3050 BUILDING SECTIONS	E0009 ELECTRICAL POWER RISER
A3051 BUILDING SECTIONS	E0010 ELECTRICAL PANELS SCHEDULE
A3052 BUILDING SECTIONS	E0012 ELECTRICAL DETAILS & LIGHTING SCHEDULE
A6010 DOOR SCHEDULE & TYPES	



VICINITY MAP



ZONING MAP



3X3 AREA FOR DOB USE



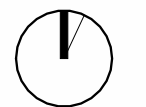
SQUARE 134 ARCHITECTS
1432 K St NW Suite 200, Washington D.C. 20005
www.square134.com 202.328.0134

**2619 Wisconsin
Avenue, NW
Washington D.C. 20007**

DRAWING TITLE

COVER SHEET

GRAPHIC SCALES



DATE	SUBMISSION NAME
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#	DATE	DESCRIPTION
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STAMP



PROJECT NUMBER
24010

SCALE
As indicated

ISSUE

Permit Submission Set

ISSUE DATE
09/06/2024

DRAWING NUMBER

G0000 Board of Zoning
Adjustment District
of Columbia CASE
NO. 21244
EXHIBIT NO. 19A

PROJECT ADDRESS:	2619 WISCONSIN AVE, NW, WASHINGTON, DC, 20007		GFA/FAR
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LOT SIZE:	5,524 SF	TOTAL	5,417 SF
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SPRINKLER SYSTEM	NFPA 13D
FIRE ALARM SYSTEM	YES (TO COMPLY WITH 2017 DCRC R314)

	RESIDENTIAL
FENESTRATION U-FACTOR	U-0.30
SKYLIGHT U-FACTOR	U-0.55
GLAZED FENESTRATION SHGC	0.40 SHGC
CEILING	R-49
WOOD FRAME WALL AND RIM JOISTS	R-19 IN CAVITY + R-5ci ON EXTERIOR, OR R-13 IN CAVITY + R-10ci ON EXTERIOR, OR R-15ci
MASS WALL	R-15ci ON EXTERIOR, OR R-20ci ON INTERIOR
FRAME FLOOR	R-25 + R-5ci
ELEVATED SLAB	R-15ci
BASEMENT WALL	R-19 IN CAVITY + R-5ci ON EXTERIOR, OR R-13 IN CAVITY + R-10ci ON EXTERIOR, OR R-15ci
SLAB ON GRADE	R-10 PERIMETER INSULATION FOR A DEPTH OF 2'-0"
SLAB ON GRADE - HEATED	R-5 SHALL BE ADDED TO REQUIRED SLAB EDGE R-VALUES
CONDITIONED CRAWLSPACE WALL	R-19 IN CAVITY + R-5ci ON EXTERIOR, OR R-13 IN CAVITY + R-10ci ON EXTERIOR, OR R-15ci

EXTERIOR WALL ELEMENT	MINIMUM FIRE RESISTANCE RATING	MINIMUM FIRE SEPARATION DISTANCE
WALLS: FIRE RESISTANCE RATED	1 HR - TESTED IN ACCORDANCE WITH ASTM E	0 FT
WALLS: NOT FIRE RESISTANCE RATED	0 HRS	3 FT
PROJECTIONS: FIRE RESISTANCE RATED	1 HR ON UNDERSIDE	2 FT
PROJECTIONS: NOT FIRE RESISTANCE RATED	0 HRS	3 FT
OPENINGS IN WALLS	0 HOUR	3 FT
PENETRATIONS	COMPLY WITH SECTION R302.4	3 FT

STAIRWAY WIDTH	36"
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	ALLOWABLE / REQUIRED	EXISTING	PROPOSED
LOT SIZE	4,880 SF	4,880 SF	4,880 SF
LOT OCCUPANCY	40% (1,952 SF)	39% (1,900 SF)	45% (2,192 SF)
FAR	N/A	N/A	N/A
REAR YARD SETBACK	25'-0"	55'-3"	26'-7"
SIDE YARD SETBACK	8'-0"	7'-2", 6'-9"	7'-2", 6'-9"
BUILDING HEIGHT	40'-0" (3 STORIES)	MAIN HOUSE: ~36'-0"	MAIN HOUSE: ~36'-0"
ACCESSORY BUILDING HEIGHT	22'-0" (2 STORIES)	ACCESSORY BLDG: ~14'-0" (1 STORY)	ACCESSORY BLDG: 21'-10" (2 STORIES)
RESIDENTIAL PARKING	1 SPACE	3 PARKING SPACES	3 PARKING SPACES
ACCESSORY BLDG AREA	30% OF REQ'D REAR YARD OR 450 SF	578 SF EXISTING NONCONFORMITY	578 SF EXISTING NONCONFORMITY

The Construction Documents are to include AIA document A201 "General Conditions of the Contract for Construction". The LLC entity or other as designated on the COVER SHEET A0000 of this drawing set, shall be designated as "The Owner", Square 134 Architects shall be designated as "The Architect". "The Owner" shall be designated as "The Landlord". The AIA document shall also include the Agreement, Performance and Payment Bonds, General Conditions, Supplementary Conditions, the Specifications, the Drawings Addendum, and Contract Modifications, Building Rules and Regulations & any other documents required by the Owner

2. The General Contractor shall be both licensed and bonded in the District of Columbia and shall provide documents upon the Architect's request.

3. The Work shall be done in accordance with all rules and regulations of all applicable safety and building codes. The General Contractor is responsible for securing and paying for all permits required for the Work and for the scheduling of all required inspections during the course of the Work.

4. The General Contractor shall review the existing conditions, Landlord Rules & Regulations & Base Building Construction Documents from the Landlord and shall comply with all base building requirements and design criteria. The Contractor shall notify the Architect of all discrepancies, errors, inconsistencies or ambiguities discovered.

5. The General Contractor shall provide protection and be responsible for any existing finishes to remain and shall repair or replace any damaged areas as a result of the Work. All existing finishes to remain shall be cleaned at the completion of construction.

6. All materials and systems shall be installed as per manufacturer's specifications and all construction shall be of industry standard or better. The Architect shall be ultimate judge of quality.

7. Only new items of recent manufacture, of standard quality, free from defects, will be permitted in the Work, unless otherwise noted. Rejected items shall be removed immediately from the Work and replaced with items of the quality specified. Failure to remove rejected materials and equipment shall not relieve the General Contractor from the responsibility for quality of items used nor from any other obligation imposed on him by the Contract.

8. Do not scale drawings. Stated & written dimensions govern. The General Contractor shall verify all dimensions in the field and shall be responsible for their accuracy. No extra charge or compensation shall be allowed because of difference between actual dimensions and those indicated on the drawings, unless they contribute to a change in the scope of the Work. Any difference which may be found shall be submitted to the Architect for decision prior to ordering, manufacturing, or proceeding with the Work. Horizontal dimensions indicated are to/from face of GWB, unless noted otherwise. Vertical dimensions are from top of floor slab except where noted to be above finished floor (AFF). Dimensions are not adjustable without approval of Architect unless noted +/-.

9. In the event of conflict between data shown on drawings and data shown on the specification, the specification shall govern. Detail drawings take precedent over drawings of larger scope. Should the General Contractor at any time discover an error in a drawing or specification, or any discrepancy, or variation between dimensions on the drawings and measurements at site, or lack of dimensions or other information, the Contractor shall not proceed with the work affected until clarification has been made by the Architect. In case of an inconsistency between Drawings and Specifications or within either Document, not clarified by addendum, the more specific provision will take precedence over less specific provisions which will take precedence over less stringent, more expensive item will take precedence over less expensive. Better quality or greater quantity of Work shall be provided in accordance with Architect's interpretation. On Drawings, figures take precedence over scaled dimensions. Scaling of dimensions, if done, is done at the Contractor's own risk.

10. General Contractor shall verify that no conflicts exist in locations of any and all mechanical, telephone, electrical, plumbing and sprinkler piping, lighting fixtures, doors, misc. steel, metal fabrication, glass/sizing, and hardware. Shop drawings shall be submitted in the form of 2 sets of prints. Shop drawings shall not be reproductions of Contract Documents. Material Submittals (3 samples) shall be provided for wood, acrylic, tile, base, panel, laminate and any other materials indicated in the shop drawing.

11. The General Contractor shall provide shop drawings for the Architect's review and approval for the following: All shop fabricated millwork, flooring, light fixtures, doors, misc. steel, metal fabrication, glass/sizing, and hardware. Shop drawings shall be submitted in the form of 2 sets of prints. Shop drawings shall not be reproductions of Contract Documents. Material Submittals (3 samples) shall be provided for wood, acrylic, tile, base, panel, laminate and any other materials indicated in the shop drawing.

12. The General Contractor shall provide the Architect with manufacturer's cut sheets and specifications for all equipment including but not limited to: light fixtures, plumbing equipment, electrical equipment, fans, supplementary heating and cooling elements, all hardware and security equipment.

13. The General Contractor shall not proceed with work for which he expects additional compensation beyond the contract amount with out written authorization from the Architect and Owner. Failure to obtain such authorization shall invalidate a claim for extra compensation. The Contractor shall not proceed with work which, if completed in strict conformance with the Construction Documents, will result in additional work beyond the scope of the Contract without written authorization from the Architect and Owner. Any field conditions that significantly vary from the Contract Documents or will result in additional work, shall be brought to the attention of the Architect prior to proceeding with work.

14. Contractor shall include all x-ray and core drill costs. All core drilling of the slab shall be approved by the Landlord Structural Engineer prior to proceeding with the Work. Contractor shall submit proposed locations to Architect and Structural Engineer for review prior to proceeding with the work.

15. Patch, repair and install all fireproofing as required by code. Fireproof any new penetrations required by the work.

16. General Contractor to coordinate and review size and location of all slab penetrations. All required penetrations shall be made in accordance with the Owner's standard approval procedures and methods. All penetrations shall be properly sealed according to the Architect and the Owner's requirements and applicable codes.

17. The General Contractor shall continuously check architectural and structural clearances for accessibility of equipment and mechanical and electrical systems. No allowances of any kind will be made for the General Contractor's negligence to foresee means of installing equipment into position.

18. The finished work shall be firm, well-anchored, in true alignment, plumb, level, with smooth, clean, uniform, appearance without waves, distortions, holes, marks cracks, stains, or discoloration. Joining shall be close fitting, neat and well scribed. The finished work shall have no exposed unsightly anchors or fasteners and shall not present hazardous, unsafe conditions. All work shall have the provision for expansion, contraction and shrinkage as necessary to prevent cracks, buckling, and warping due to temperature and humidity conditions.

19. Attachments, connections or fasteners of any nature are to be properly and permanently secured in conformance with best practice and the General Contractor is responsible for improving them accordingly. The drawings highlight special conditions only and by no means illustrate every connection. Start of installation shall imply acceptance of substrate.

20. General Contractor shall waive "Common Practice" and "Common Usage" as construction criteria wherever details and Contract Documents of governing codes, ordinances, etc. require quantity or better quality than common practice or common usage would require.

21. The General Contractor shall submit shop drawings and submittals order and schedule delivery of materials in ample time to avoid delays in construction. If an item is found to be unavailable or to have a long lead time, the General Contractor shall notify Architect immediately with a proposed alternative.

22. The General Contractor shall notify the Owner, the Landlord, and the Architect in writing of any deficiencies in base building new work prior to the commencement of the work. Any unreported deficiencies will become the responsibility of the General Contractor to correct.

23. Within the scope of renovation, all debris shall be removed from the site on a daily basis when possible. Upon completion of the work, remove all debris from the building created by the work provided under this Contract and leave all areas clean. Trash is not permitted to be burned on site.

24. All abandoned miscellaneous nails, hangers, staples, wires and conduits shall be removed from the walls and areas of exposed ceilings. Remove all abandoned pipe sleeves in floor slabs. Patch existing slab as req. to maintain UL fire rating of floor slab where pipes and conduits have been removed.

25. Slab penetrations less than 2" around new and existing piping, conduit, ductwork, etc. shall be filled with acoustic foam and/or sealant to ensure acoustical separation between floor slabs. Slab penetrations greater than 2" around new and existing piping, conduit, ductwork, etc. shall be filled with concrete. All piping, conduit, ductwork, etc. shall be wrapped with expansion material prior to filling with concrete. Expansion material shall be approved by the MEP Engineer.

26. Provide the Architect with manufacturer's cut sheets and specifications for review of equipment including but not limited to: lighting fixtures, plumbing equipment, electrical equipment, fans, heating and cooling elements and accessories, hardware and security equipment.

27. Notify Architect of any access panels which may be required before proceeding with the work. No access panels shall be provided in GWB ceilings. General Contractor shall be responsible for coordinating all trades. Required access panels shall be included in the Contractor's scope.

28. Contractor shall provide the Team with a construction schedule showing the proposed phasing. Any long lead items that will affect the Substantial Completion date shall be brought to the Architect's attention immediately.

29. Provide protection for existing finishes to remain, including restrooms, lobbies and corridors and repair damages as a result of construction. Document any existing conditions or damages prior to the start of construction.

30. The Contractor shall be solely responsible for, and have control over, all construction means, methods, techniques, sequences, and procedures for coordinating and constructing all portions of the work.

31. General Contractor shall provide a 10' x 10' mockup of exterior materials and finishes based on design documents for approval prior to full installation of these materials throughout the building.

AAV	above	OA	overall
ACOUS	acoustical	OC	on center
AD	acoustical ceiling tile	OD	outside diameter
ADJ	adjustable	OH	office
AF	above finished floor	OP	opposite hand
ALUM	aluminum	OPG	opening
ALT	alternate	OPP	opposite
APPROX	approximate	PART	partition
ARCH	architect	PG	paint grade
BALC	balcony	PL	property line
BD	board	PLAM	plastic laminate
BED	between	PLY	plaster
BLDG	building	PLYWD	plywood
BLKG	blocking	PNT	paint
BLW	below	PR	pair
BEM	beam	PSL	panel support leg
BO	bottom of	PTD	partition
BOT	bottom	PTN	painted
BRKRT	bracket	R	riser
BULKHD	bulkhead	RAD	radius
CAB	cabinet	RD	roof drain
CALK	caulking	REF	refrigerator, refer
CEM	cement	REINF	reinforced
CER	ceramic	REQD	required
CJ	construction joint	RESIL	resilient
CL	center line	REV	revision
CLG	ceiling	RM	room
CLO(S)	closet	RO	rough opening
CLR	clear	S	south
COL	column	SB	sink basin
CONC	concrete	SCHED	schedule
CONT	continuous	SC WD	solid core wood door
CPT	carpet	SEAL	sealant
CTR	ceramic tile center	SECT	section
		SF	square foot
DBL	double	SHT	sheet
DET	detail	SIM	similar
DIA	diameter	SP	standpipe
DIM	dimension	SPEC	specification
DISP	disposer	SQ	square
DN	down	SS	stainless steel
DO	door	STD	standard
DS	down spout	STL	steel
DW	dishwasher	STOR	storage
DWG	drawing	STRUCT	structural
		SUSP	suspended
		SYM	symmetrical
E	east	T	tread
EA	each	TEL	telephone
ELEC	electric(al)	TERR	terrazzo
ELEV	elevation	T&G	tongue & groove
EMER	emergency	THK	thick(ness)
ENCL	enclosure	THR	threshold
EP	end panel	TO	top of
EQ	equal	TYP	typical
EQUIP	equipment	UC	undercut
EXIST	existing to remain	UNFIN	unfinished
EXIST	existing	UNO	unless otherwise noted
EW	electrical water cooler	UNO	unless otherwise noted
		UNT	utility
FA	fire alarm	VCT	vinyl composition tile
FD	floor drain	VE	value engineering
FEC	fire extinguisher	VFL	verify in field
PH	fire extinguisher cabinet	VWC	vinyl wall covering
FIN	fire hose cabinet		
FLUOR	finish	W	west
FT	floor	W/	with
FTU	fluorescent foot or feet	WC	wall covering
FUR	furring	WD	wood
FUF	face of	W/I	within
FO	face of finish	W/O	without
		WLD	welded
GAL	gallon	WP	waterproof
GALV	galvanized	WSCT	wainscot
GB	grab bar	WT	weight
GFI	ground fault interrupt		
GL	glass		
GND	ground		
GYP	gypsum		
GWB	gypsum wall board		
HC	handicapped		
HDWD	hardwood		
HDWR	hardware		
HT	height		
HM	hollow metal		
HORIZ	horizontal		
HR	hour		
ID	inner diameter		
INCAN	incandescent		
INSUL	insulation		
INT	interior		
JAN	janitor		
JST	joist		
JT	joint		
KD	knock down		
LAV	lavatory		
LB(S)	pounds		
LDG	landing		
LT	light		
MAX	maximum		
MECH	mechanical		
MEMB	membrane		
MFR	manufacturer		
MIN	minimum		
MISC	miscellaneous		
MTD	mounted		
MTL	metal		
N	north		
NIC	not in contract		
NO	number		
NOM	nominal		
NTS	not to scale		

ELEVATION REFERENCE MARK

1
A0001

SECTION REFERENCE MARK

1
A0001

DETAIL SECTION REFERENCE MARK

1
A0001

CALLOUT REFERENCE MARK

ROOM NAME	ROOM NAME	ROOM NAME
101	101	101
WALL N		FinishGroup
WALL W		
WALL E		
WALL S		
CLG	FLOOR	BASE

ROOM TAGS

101
Area Name
150 GSF Gross
Comment

101
Area Name
150 SF

Area Name

101
Area Name

Area Name
150 SF

AREA TAGS

1t

101

WINDOW TAG

DOOR TAG

XXX

TM

PARTITION TAG

EQUIPMENT/PLUMBING TAGS

?

XX

MATERIAL TAG

FLOOR & ROOF TAGS

E01

XX

KEYNOTE TAG

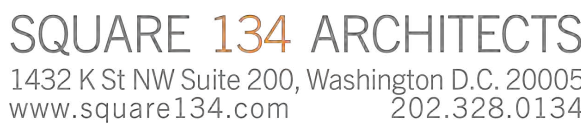
LIGHT FIXTURE TAG

1

REVISION CLOUD

10'-0"

SPOT ELEVATION MARK



**2619 Wisconsin
Avenue, NW
Washington D.C. 20007**

GRAPHIC SCALES

[illegible]

STAMP



PROJECT NUMBER
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SCALE
As indicated

ISSUE
Permit Submission Set

ISSUE DATE
09/06/2024

DRAWING NUMBER

G0001

Board of Zoning
District of Colum
CASE NO. 2124
EXHIBIT NO. 19

FLOOR TYPE E

EXISTING JOIST FLOOR

TYPE	DEPTH	FIRE RATING	UL NO.	MIN R-VALUE	IIC	STC
E1	1'-1 7/16"	V.I.F.	N/A	N/A	V.I.F.	V.I.F.

TYPE E

NEW 3/16" LVT W/ UNDERLAYMENT

EXISTING PLYWOOD SUBFLOOR

EXISTING WOOD JOIST

FLOOR TYPE A

WOOD TRUSS

TYPE	DEPTH	FRAMING DEPTH	FIRE RATING	UL NO.	MIN R-VALUE	IIC	STC
A1	1'-1 7/16"	1'-0"	1 HR	L521	N/A	55	61

TYPE A

3/16" LVT W/ UNDERLAYMENT

1/4" ACOUSTICAL MAT

3/4" PLYWOOD SUBFLOOR

SOUND CONTROL BATT INSULATION

WOOD JOIST

5/8" GWB, USE MOISTURE RESISTANT GWB AT WET LOCATIONS

*AT EXTERIOR LOCATIONS, PROVIDE BATT INSULATION (R-33 MIN) WITHIN FRAMING; PROVIDE EXTERIOR FINISH IN LIEU OF GWB

ROOF TYPE D

SLAB ON GRADE

TYPE	DEPTH	FRAMING DEPTH	FIRE RATING	UL NO.	MIN R-VALUE	IIC	STC
D1	1'-5 1/4"	1'-0"	N/A	N/A	N/A		

CONCRETE PAVERS

ADJUSTABLE PEDESTAL

TPO MEMBRANE

RIGID INSULATION SLOPED 1/4" PER 1'-0." 2.5" AT HIGHEST POINT

3/4" PLYWOOD SUBFLOOR

WOOD JOIST

FIBER CEMENT SOFFIT PANEL

ROOF TYPE Y

JOIST + SLOPED INSULATION

TYPE	FRAMING DEPTH	FIRE RATING	UL NO.	MIN R-VALUE	IIC	COMMENTS
Y1	1'-0"	1 HR	P531	R-49		

STANDING SEAM METAL ROOF

METAL FLASHING

WATERPROOF MEMBRANE

3/4" PLYWOOD SUBFLOOR

SOUND CONTROL CLOSED CELL SPRAY FOAM INSULATION PER UL DESIGN NUMBER (MIN. 8 1/2" @ R-6 PER 1" = R-51

2X WOOD JOIST

5/8" RESILIENT CHANNEL

5/8" GWB, USE MOISTURE RESISTANT GWB AT WET LOCATIONS

TYPE U

FIBER CEMENT EXTERIOR WALL + WOOD STUD

TYPE	WIDTH	FRAMING WIDTH	FIRE RATING	UL NO.	MIN R-VALUE	STC	COMMENTS
U01	10 1/4"	5 1/2"	1 HR	U309	R19+R5ci	N/A	
U01B	10 1/4"	5 1/2"	1 HR	U309	R19+R5ci	N/A	
U02B	8 1/4"	3 1/2"	1 HR	U309	R19+R5ci	N/A	

FIBER CEMENT BOARD AND BATTEN FOR TYPES UXXB

3/4" GAP

FIBERGLASS Z-GIRT AND TIES (NONCOMBUSTIBLE)

2" BLACK MAT FACED CONTINUOUS STONE WOOL INSULATION BOARD (R-8.6)

AIR AND WATER BARRIER OR FLUID APPLIED MEMBRANE

5/8" TYPE X EXTERIOR OR FIRE RATED STRUCTURAL SHEATHING; SEE STRUCTURAL

5 1/2" BATT INSULATION, R-21

WOOD STUD, SPACING PER UL DESIGN NO. AND STC RECOMMENDATIONS, PROVIDE FRTW FOR TYPE III CONSTRUCTION

5/8" GWB, USE DUROCK OR EQUIV. AT WET LOCATIONS; PROVIDE STRUCTURAL SHEATHING UNDER GWB AS REQUIRED BY STRUCTURAL DRAWINGS

TYPE X

EXISTING BRICK EXTERIOR WALL + FURRING

TYPE	UL NO.	MIN R-VALUE	STC	COMMENTS
X1	N/A	N/A	N/A	V.I.F.
X2	N/A	N/A	N/A	V.I.F.

5 1/8"

V.I.F.

EXISTING EXTERIOR MASONRY WALL, V.I.F.

AIR AND WATER BARRIER OR FLUID APPLIED MEMBRANE

1" RIGID INSULATION

3 1/2" BATT INSULATION

WOOD STUD, SPACING PER UL DESIGN NO. AND STC RECOMMENDATIONS, PROVIDE FRTW FOR TYPE III CONSTRUCTION

5/8" GWB, USE DUROCK OR EQUIV. AT WET LOCATIONS

TYPE C

INTERIOR PARTITION

TYPE	WIDTH	FRAMING WIDTH	FIRE RATING	UL NO.	R-VALUE	STC	COMMENTS
C04	4 1/8"	3 1/2"	NR	N/A	N/A	N/A	
C06	6 1/8"	5 1/2"	NR	N/A	N/A	N/A	

3 1/2" BATT INSULATION

WOOD STUDS, SEE SCHEDULE FOR SIZING, SPACING PER UL DESIGN NO. AND STC RECOMMENDATIONS

5/8" GWB, USE DUROCK OR EQUIV. AT WET LOCATIONS; PROVIDE STRUCTURAL SHEATHING UNDER GWB AS REQUIRED BY STRUCTURAL DRAWINGS

TYPE C

TYPE A

INTERIOR PARTITION

TYPE	WIDTH	FRAMING WIDTH	FIRE RATING	UL NO.	R-VALUE	STC	COMMENTS
A04	4 3/4"	3 1/2"	NR	N/A	N/A	34	
A06	6 3/4"	5 1/2"	NR	N/A	N/A	34	

3 1/2" BATT INSULATION

WOOD STUDS, SEE SCHEDULE FOR SIZING, SPACING PER UL DESIGN NO. AND STC RECOMMENDATIONS

5/8" GWB, USE DUROCK OR EQUIV. AT WET LOCATIONS; PROVIDE STRUCTURAL SHEATHING UNDER GWB AS REQUIRED BY STRUCTURAL DRAWINGS

TYPE A

GENERAL NOTES - WALL, FLOOR, ROOF

A. AIR BARRIER TO COMPLY WITH ASTM E 2357, ASTM E 1667. MATERIALS REQUIRE SEALED JOINTS

B. ALL SOURCES OF AIR LEAKAGE IN THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED OR WEATHER STRIPPED TO MINIMIZE AIR LEAKAGE

C. FLOOR INSULATION TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, AND SUBSTANTIAL CONTACT WITH UNDERSIDE OF FLOOR

D. CEILING INSULATION TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. BLOWN INS MARKED EVERY 300 FT²

E. ALL FLOORS, WALLS, CEILING MATERIAL TO MEET VOC STANDARDS OF THE GREEN CONSTRUCTION CODE

F. PUTTY PACKS REQUIRED AT ALL FIRE AND SOUND RATED PARTITIONS AS WELL AS FOR AIR SEALING REQUIREMENTS

G. FIRE RATED ACOUSTICAL SEALANT REQUIRED AT ALL TOP/BOTTOM PLATES OF RATED PARTITIONS

H. GC IS RESPONSIBLE FOR PROVIDING AND COMPLYING WITH ALL UL ASSEMBLIES

I. FOR TYPE III CONSTRUCTION, PROVIDE FRT WOOD WITHIN EXTERIOR WALLS; POSTS BEAMS, OR WALLS SUPPORTING A RATED EXTERIOR WALL MUST BE FIRE RESISTANT RATED NOT LESS THAN THE RATING OF THE SUPPORTED WALL

J. PROVIDE ADDITIONAL WALL BRACING AS REQUIRED BY STRUCTURAL DRAWINGS

K. COMPONENTS OF THE BUILDING THERMAL ENVELOPE LISTED IN TABLE R402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION.

L. EACH DWELLING UNIT SHALL COMPLY WITH TABLE R401.4.1.2. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E 779 OR ASTM E 1827 AND REPORTED AT A PRESSURE OF 0.2 INCH W.G. (50 PASCALS). TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE APPROVED THIRD PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY OR FINAL INSPECTION. TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. APPROVED SAMPLING PROTOCOLS APPROVED BY THE CODE OFFICIAL MAY BE USED.

M. INTERIOR WALL AND CEILING FINISH MATERIALS. INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E84 OR UL 723. SUCH INTERIOR FINISH MATERIALS SHALL BE GROUPED IN THE FOLLOWING CLASSES IN ACCORDANCE WITH THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDEXES.

a. CLASS A: = FLAME SPREAD INDEX 0-25; SMOKE-DEVELOPED INDEX 0-450

b. CLASS B: = FLAME SPREAD INDEX 26-75; SMOKE-DEVELOPED INDEX 0-450

c. CLASS C: = FLAME SPREAD INDEX 76-200; SMOKE-DEVELOPED INDEX 0-450.

d. EXCEPTION: MATERIALS TESTED IN ACCORDANCE WITH SECTION 803.1.2. SECTION 804.4 INTERIOR FLOOR FINISH REQUIREMENTS. INTERIOR FLOOR COVERING MATERIALS SHALL COMPLY WITH SECTIONS 804.4.1 AND 804.4.2 AND INTERIOR FLOOR FINISH MATERIALS SHALL COMPLY WITH SECTION 804.4.2. SECTION 804.4.1 TEST REQUIREMENT. IN ALL OCCUPANCIES, INTERIOR FLOOR COVERING MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE DOC FF-1 "PILL TEST" (CPSC 16 CFR PART 1630) OR WITH ASTM D2859.

N. PENETRATIONS OR OPENINGS FOR PIPING, ELECTRICAL DEVICES, HEATING, VENTILATING OR EXHAUST DUCTS SHALL BE SEALED, LINED, INSULATED OR OTHERWISE TREATED TO MAINTAIN THE REQUIRED FIRE RATINGS; SEE A5002 FOR TYPICAL PENETRATION DETAILS

O. PROVIDE SPRAY FIREPROOFING ON ALL STRUCTURAL STEEL MEMBERS WITHIN OR OUTSIDE OF RATED WALL AND CEILING ASSEMBLIES.

3X3 AREA FOR DOB USE

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2619 Wisconsin Avenue, NW

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DRAWING TITLE

WALL, FLOOR + ROOF TYPES

GRAPHIC SCALES

1 1/2"= 1'-0"

3" 1' 6"

DATE

SUBMISSION NAME

#

DATE

DESCRIPTION

STAMP

DISTRICT OF COLUMBIA

REGISTERED PROFESSIONAL ARCHITECT

2619 WISCONSIN AVENUE, NW

WASHINGTON, D.C. 20007

202.328.0134

PROJECT NUMBER

24010

SCALE

As indicated

ISSUE

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ISSUE DATE

09/06/2024

DRAWING NUMBER

G0002

Board of Zoning Adjus District of Columbia CASE NO. 21244 EXHIBIT NO. 19A

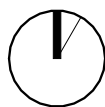


**2619 Wisconsin
Avenue, NW
Washington D.C. 20007**

DRAWING TITLE

**ARCHITECTURAL SITE
PLAN**

GRAPHIC SCALES



DATE	SUBMISSION NAME
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[illegible]

STAMP



PROJECT NUMBER
24010

SCALE
3/16" = 1'-0"

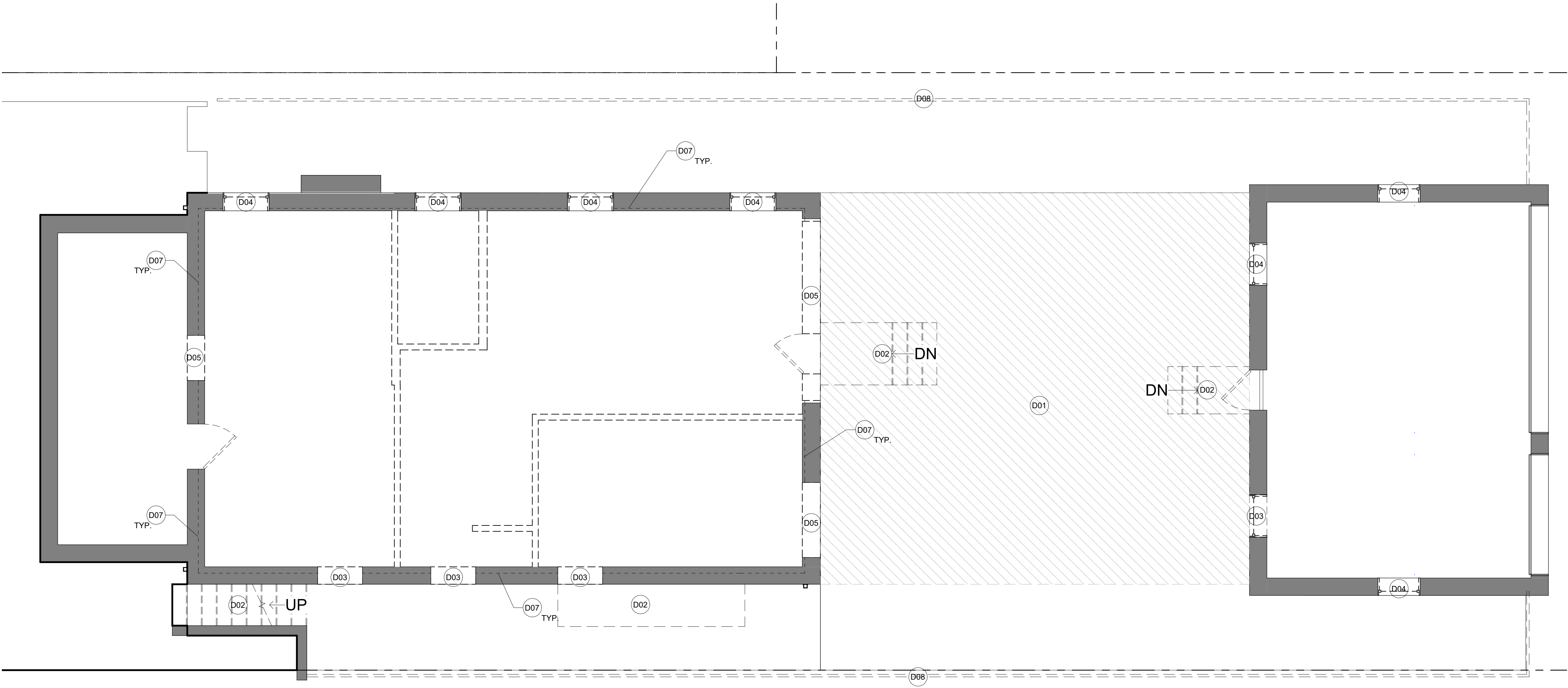
ISSUE
Permit Submission Set

ISSUE DATE
09/06/2024

DRAWING NUMBER

A1000

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1 CELLAR DEMOLITION PLAN
AD001 1/4" = 1'-0"

GENERAL NOTES - DEMO

- REFER TO DEMOLITION FINISH SCHEDULE FOR EXISTING INTERIOR FINISHES
- WHERE ITEMS OR MATERIALS ARE REMOVED IN PART, THE PORTION REMAINING SHALL BE CUT STRAIGHT AND CLEAN
- COORDINATE WITH NEW WORK TO DETERMINE EXTENT OF DEMOLITION WHERE PORTIONS OF EXISTING CONSTRUCTION ARE REMOVED TO ACCOMMODATE NEW SHAFTS, CHASES, OR OTHER CONDUITS

3X3 AREA FOR DOB USE



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DEMO LEGEND

- EXISTING WALL TO REMAIN
- TO BE DEMOLISHED

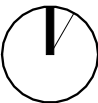
DEMOLITION KEYNOTES

- D01 EXCAVATE TO ALIGN WITH CELLAR LEVEL
- D02 DEMOLISH EXISTING STAIR
- D03 DEMOLISH EXISTING WINDOW. LOWER SILL HEIGHT
- D04 REPLACE EXISTING WINDOW IN KIND
- D05 DEMOLISH EXISTING WALL
- D06 DEMOLISH EXISTING FLOOR FOR NEW OPENING
- D07 DEMOLISH EXISTING FLAT STUDS AND FINISH TO FACE OF MASONRY
- D08 DEMOLISH EXISTING CHAIN LINK FENCE
- D09 REPLACE EXISTING PORCH ROOF WITH STANDING SEAM METAL ROOF

DRAWING TITLE

DEMO PLAN - CELLAR

GRAPHIC SCALES



DATE SUBMISSION NAME

DATE DESCRIPTION

STAMP



PROJECT NUMBER
24010

SCALE
As indicated

ISSUE
Permit Submission Set

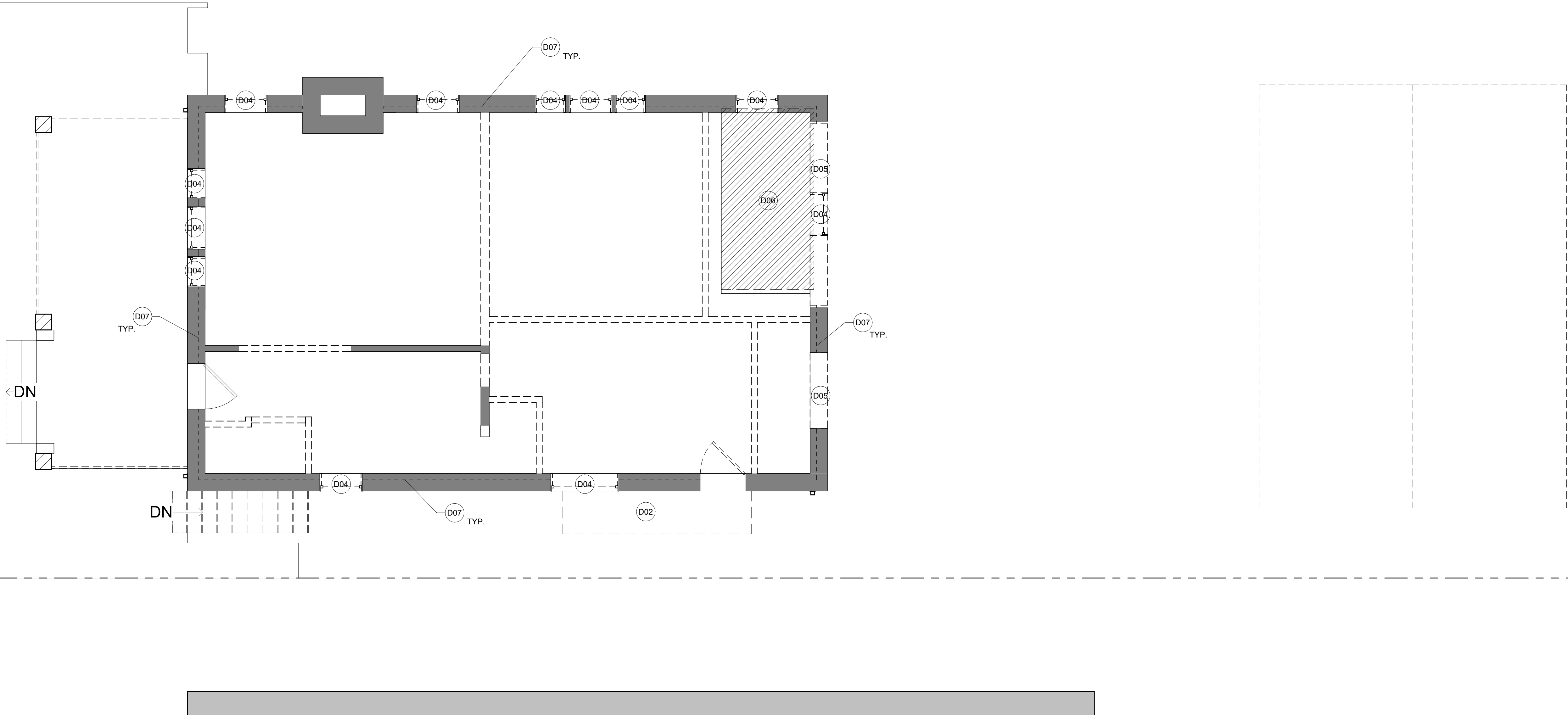
ISSUE DATE
09/06/2024

DRAWING NUMBER

AD001

Board of Zoning Adj
District of Columbia
CASE NO. 21244
EXHIBIT NO. 19A

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1 1ST FLOOR DEMOLITION PLAN
AD002 1/4" = 1'-0"

GENERAL NOTES - DEMO

- REFER TO DEMOLITION FINISH SCHEDULE FOR EXISTING INTERIOR FINISHES
- WHERE ITEMS OR MATERIALS ARE REMOVED IN PART, THE PORTION REMAINING SHALL BE CUT STRAIGHT AND CLEAN
- COORDINATE WITH NEW WORK TO DETERMINE EXTENT OF DEMOLITION WHERE PORTIONS OF EXISTING CONSTRUCTION ARE REMOVED TO ACCOMMODATE NEW SHAFTS, CHASES, OR OTHER CONDUITS

DEMO LEGEND

- EXISTING WALL TO REMAIN
- TO BE DEMOLISHED

DEMOLITION KEYNOTES

- D01 EXCAVATE TO ALIGN WITH CELLAR LEVEL
- D02 DEMOLISH EXISTING STAIR
- D03 DEMOLISH EXISTING WINDOW. LOWER SILL HEIGHT
- D04 REPLACE EXISTING WINDOW IN KIND
- D05 DEMOLISH EXISTING WALL
- D06 DEMOLISH EXISTING FLOOR FOR NEW OPENING
- D07 DEMOLISH EXISTING FLAT STUDS AND FINISH TO FACE OF MASONRY
- D08 DEMOLISH EXISTING CHAIN LINK FENCE
- D09 REPLACE EXISTING PORCH ROOF WITH STANDING SEAM METAL ROOF

3X3 AREA FOR DOB USE



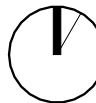
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Avenue, NW
Washington D.C. 20007

DRAWING TITLE

DEMO PLAN - 1ST
FLOOR

GRAPHIC SCALES



DATE SUBMISSION NAME

DATE DESCRIPTION

STAMP



PROJECT NUMBER
24010

SCALE
As indicated

ISSUE
Permit Submission Set

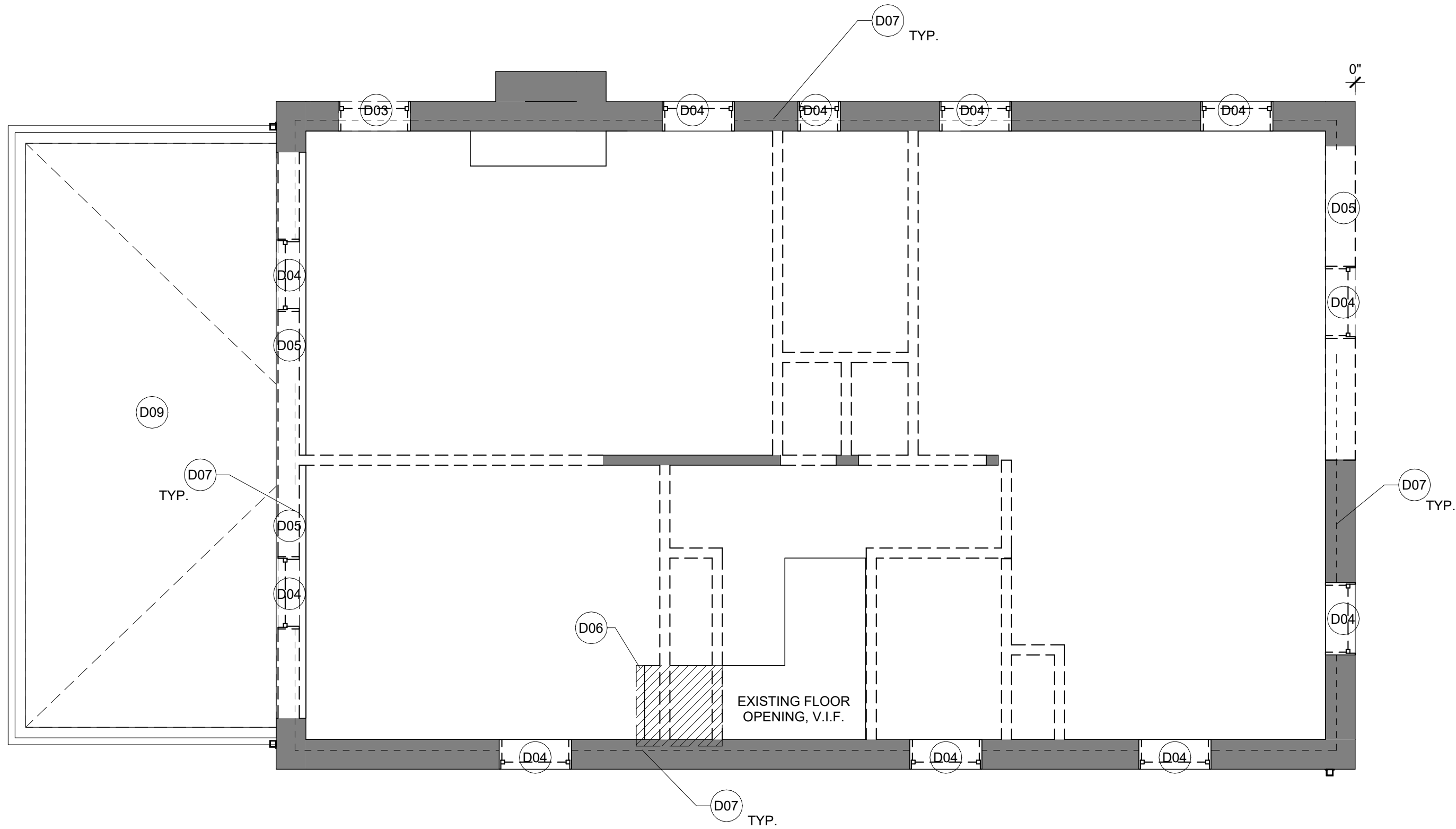
ISSUE DATE
09/06/2024

DRAWING NUMBER

AD002

Board of Zoning Adj
District of Columbia
CASE NO. 21244
EXHIBIT NO. 19A

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1 2ND FLOOR DEMOLITION PLAN
AD003 1/4" = 1'-0"

GENERAL NOTES - DEMO

- REFER TO DEMOLITION FINISH SCHEDULE FOR EXISTING INTERIOR FINISHES
- WHERE ITEMS OR MATERIALS ARE REMOVED IN PART, THE PORTION REMAINING SHALL BE CUT STRAIGHT AND CLEAN
- COORDINATE WITH NEW WORK TO DETERMINE EXTENT OF DEMOLITION WHERE PORTIONS OF EXISTING CONSTRUCTION ARE REMOVED TO ACCOMMODATE NEW SHAFTS, CHASES, OR OTHER CONDUITS

3X3 AREA FOR DOB USE



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DEMO LEGEND

- EXISTING WALL TO REMAIN
TO BE DEMOLISHED

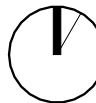
DEMOLITION KEYNOTES

- D01 EXCAVATE TO ALIGN WITH CELLAR LEVEL
D02 DEMOLISH EXISTING STAIR
D03 DEMOLISH EXISTING WINDOW. LOWER SILL HEIGHT
D04 REPLACE EXISTING WINDOW IN KIND
D05 DEMOLISH EXISTING WALL
D06 DEMOLISH EXISTING FLOOR FOR NEW OPENING
D07 DEMOLISH EXISTING FLAT STUDS AND FINISH TO FACE OF MASONRY
D08 DEMOLISH EXISTING CHAIN LINK FENCE
D09 REPLACE EXISTING PORCH ROOF WITH STANDING SEAM METAL ROOF

DRAWING TITLE

DEMO PLAN - 2ND
FLOOR

GRAPHIC SCALES



DATE SUBMISSION NAME

DATE DESCRIPTION

STAMP



PROJECT NUMBER
24010

SCALE
As indicated

ISSUE
Permit Submission Set

ISSUE DATE
09/06/2024

DRAWING NUMBER

AD003

Board of Zoning Adj
District of Columbia
CASE NO. 21244
EXHIBIT NO. 19A

- A. REFER TO DEMOLITION FINISH SCHEDULE FOR EXISTING INTERIOR FINISHES
- B. WHERE ITEMS OR MATERIALS ARE REMOVED IN PART, THE PORTION REMAINING SHALL BE CUT STRAIGHT AND CLEAN
- C. COORDINATE WITH NEW WORK TO DETERMINE EXTENT OF DEMOLITION WHERE PORTIONS OF EXISTING CONSTRUCTION ARE REMOVED TO ACCOMMODATE NEW SHAFTS, CHASES, OR OTHER CONDUITS

134

**2619 Wisconsin
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GRAPHIC SCALES

DATE	SUBMISSION NAME
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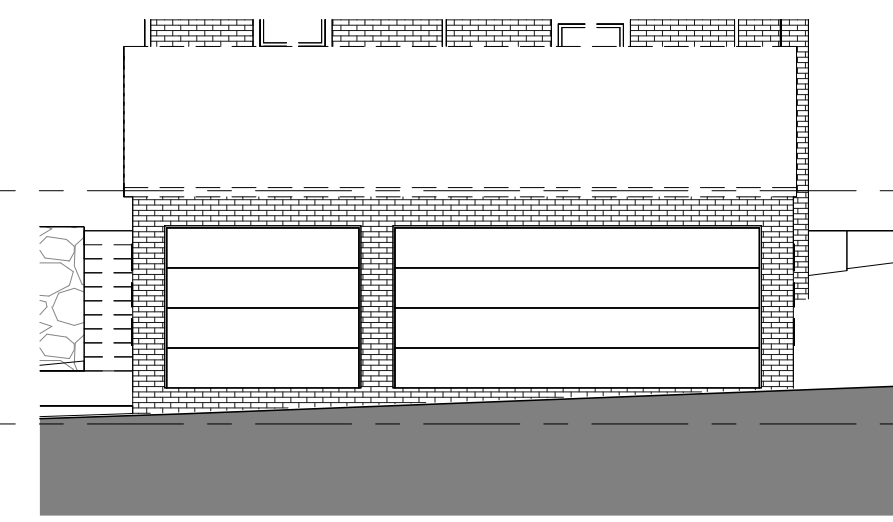
A circular professional seal for the District of Columbia. The outer ring contains the text "DISTRICT OF COLUMBIA". Inside the ring, at the top, is "RONALD P. SCHMITT, JR." and at the bottom is "LICENSED ARCHITECT". In the center of the seal, there is a signature in blue ink that appears to be "RPS". Below the signature, the word "SEAL" is printed. There are two small stars on either side of the central text area.

DRAWING NUMBER

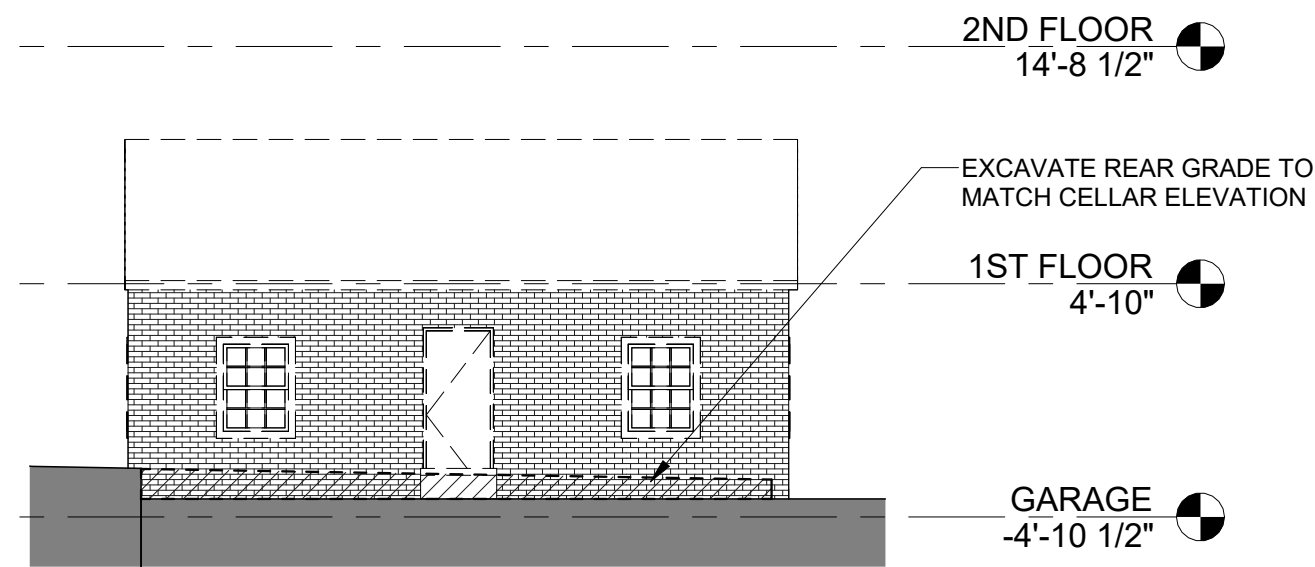
AD004 Board of Zoning
District of Colum

Board of Zoning
District of Colum
CASE NO. 2124
EXHIBIT NO. 19

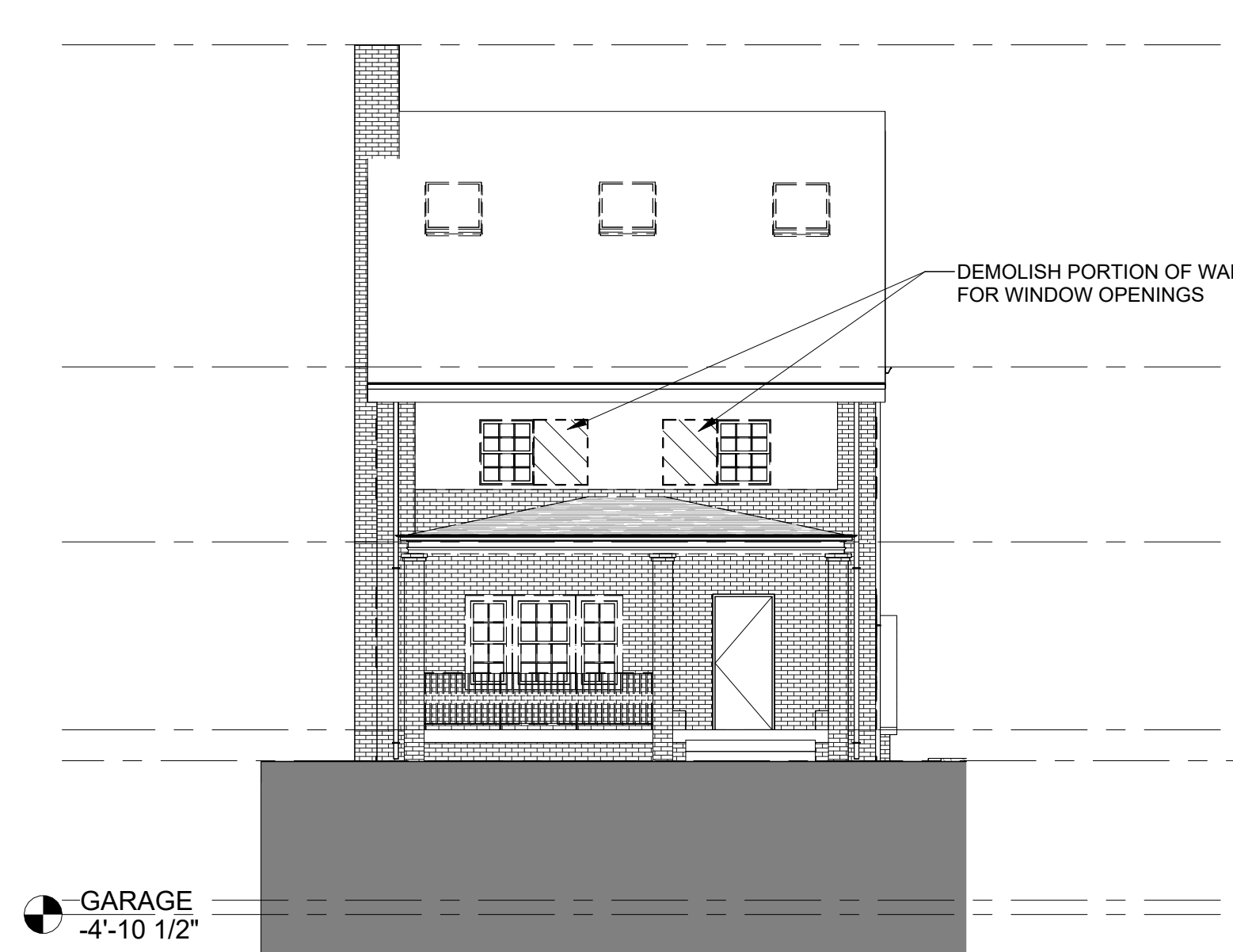
AD004 $1/4" = 1'-0"$



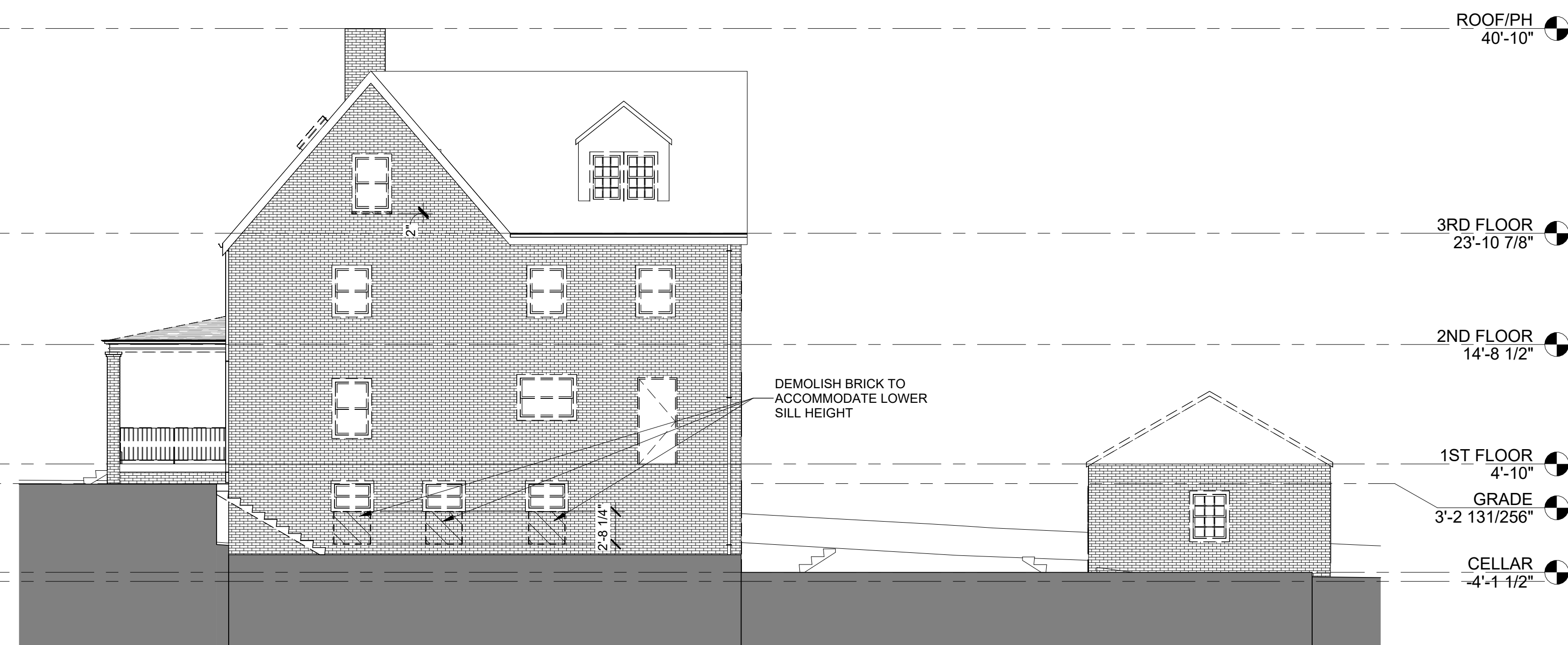
6 EAST ELEVATION - DEMO - GARAGE
AD301 1/8" = 1'-0"



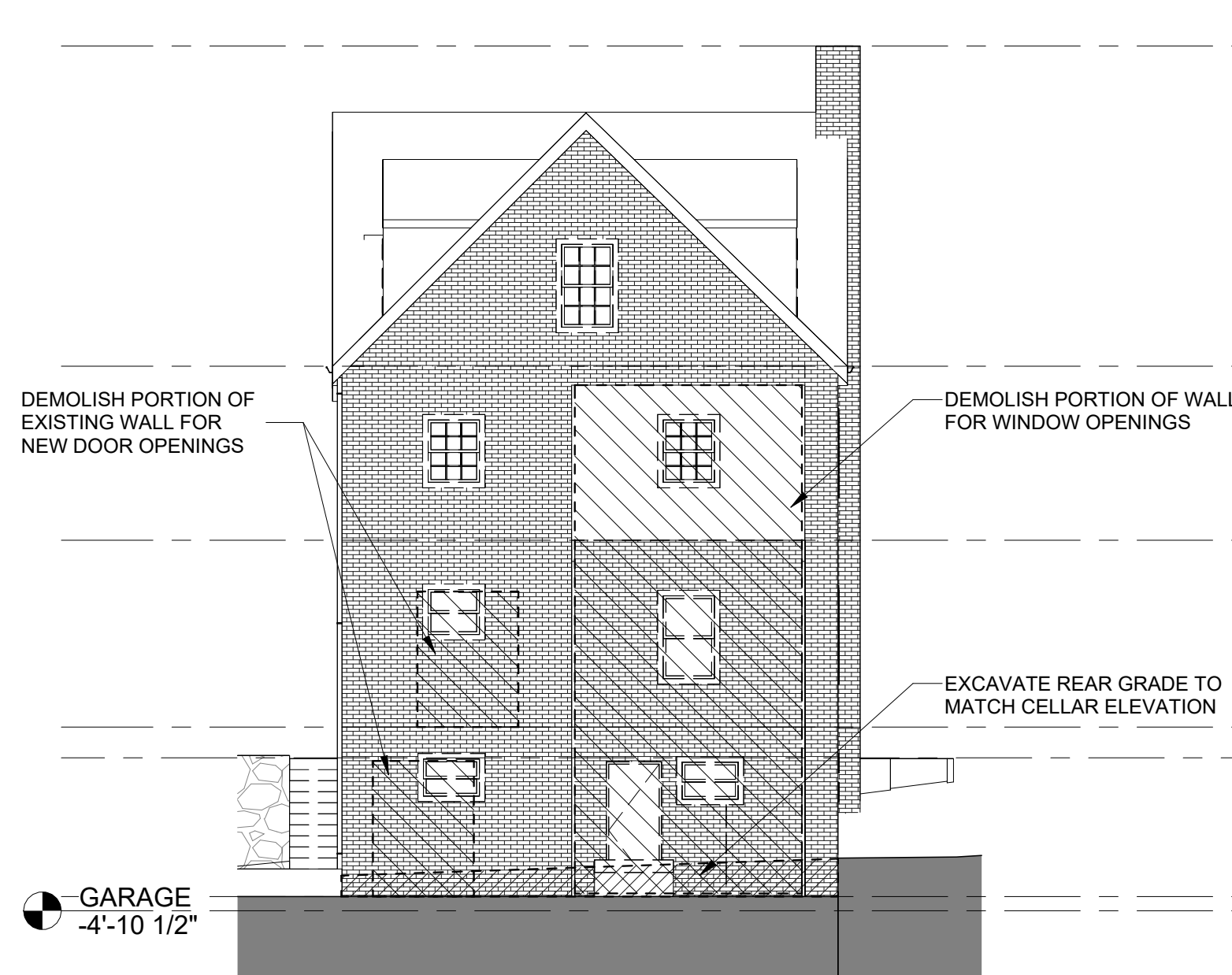
5 WEST ELEVATION - DEMO - GARAGE
AD301 1/8" = 1'-0"



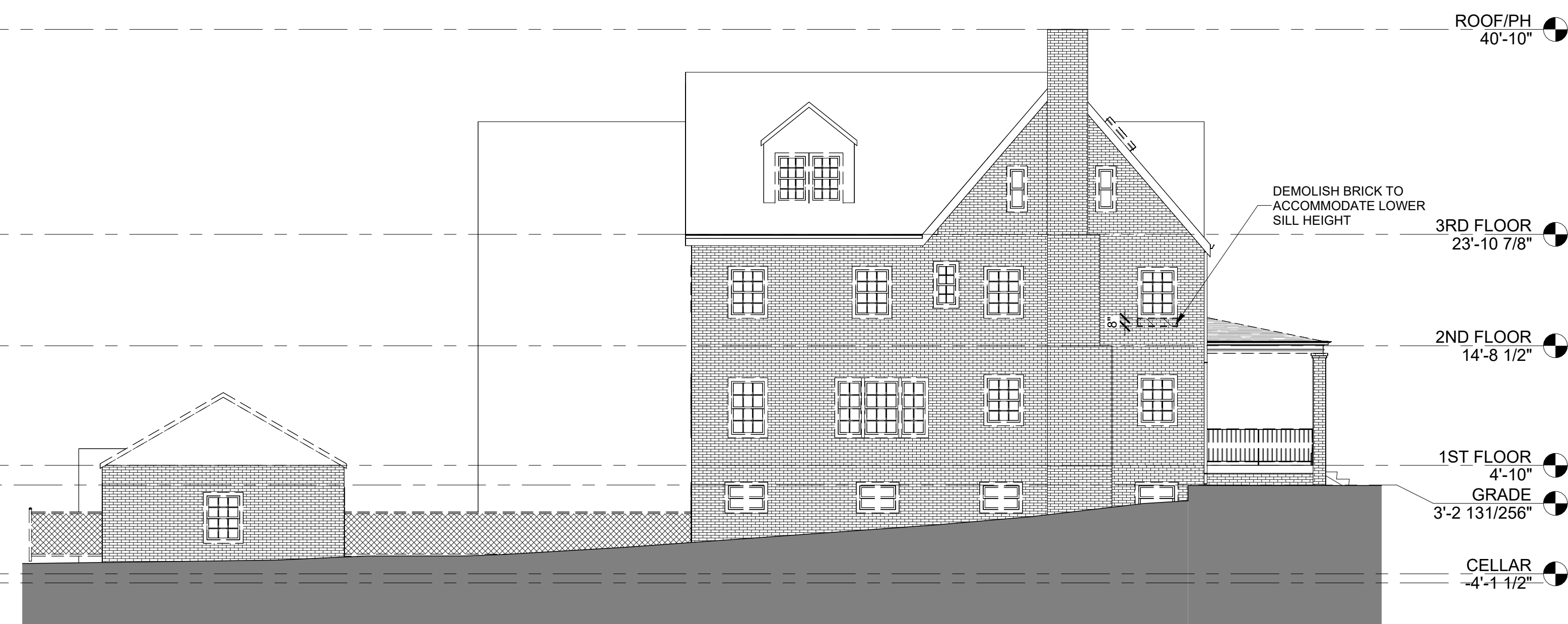
4 WEST ELEVATION - DEMO
AD301 1/8" = 1'-0"



3 SOUTH ELEVATION - DEMO
AD301 1/8" = 1'-0"



2 EAST ELEVATION - DEMO
AD301 1/8" = 1'-0"



1 NORTH ELEVATION - DEMO
AD301 1/8" = 1'-0"

K3 AREA FOR DOB USE



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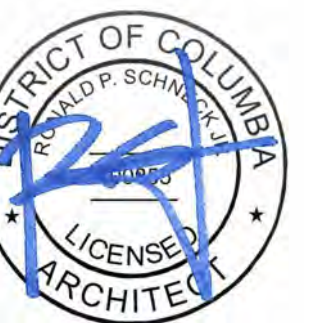
DRAWING TITLE

**DEMOLITION
ELEVATIONS**

GRAPHIC SCALES

[illegible]

STAMP

PROJECT NUMBER
24010

SCALE
1/8" = 1'-0"

ISSUE

Permit Submission Set

ISSUE DATE
09/06/2024

DRAWING NUMBER

AD301

Board of Zoning Appeals
District of Columbia
CASE NO. 21244
EXHIBIT NO. 19A

- A. ALL INTERIOR PARTITIONS WITHIN THE UNIT TO BE NON RATED AND ALL UNIT PARTITIONS TO BE RATED 1 HOUR
- B. ALL DIMENSIONS ON PLANS ARE FROM FRAMES OF CORE (WOOD STUD OR CMU WALL) UNLESS OTHERWISE NOTED
- C. COORDINATE WINDOW SIZES WITH ROUGH OPENINGS
- D. CONFIRM ALL STAIR CLEARANCES & LANDINGS DURING LAYOUT PRIOR TO CONSTRUCTION
- E. SLOPE CONCRETE SLAB @ AREAWAYS TOWARD FLOOR DRAIN, 1/4" PER 1'-0"
- F. AIR BARRIER AND INSULATION INSTALLATION TO COMPLY WITH ENERGY CODE
- G. SPOT ELEVATIONS ARE TO THE TOP OF THE SLAB OR SUB FLOOR
- H. FLOORS SHALL HAVE ONE OF THE FOLLOWING: 1.A MINIMUM THREE-YEAR-AGED SOLAR REFLECTANCE OF 0.55 AND A MINIMUM THREE-YEAR-AGED THERMAL EMITTANCE OF 0.75 WHEN TESTED IN ACCORDANCE WITH CRC-1 STANDARD 2.A MINIMUM INITIAL SOLAR REFLECTANCE INDEX OF 82 64 FOR FLOORS 2.12 OR LESS AND 39 FOR FLOORS GREATER THAN 2.12 3.SLOPE, WHEN DETERMINED IN ACCORDANCE WITH THE SOLAR REFLECTANCE INDEX METHOD IN ASTM E1980 USING A CONVECTION COEFFICIENT OF 2.1 BTU/H·FT²·F, BASED ON THREE-YEAR-AGED SOLAR REFLECTANCE AND THREE-YEAR-AGED THERMAL EMITTANCE TESTED IN ACCORDANCE WITH CRC-1 STANDARD

L 134

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DRAWING TITLE

PLAN - CELLAR

GRAPHIC SCALES



DATE	SUBMISSION NAME
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#	DATE	DESCRIPTION
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STAMP



PROJECT NUMBER
24010

SCALE
As indicated

ISSUE

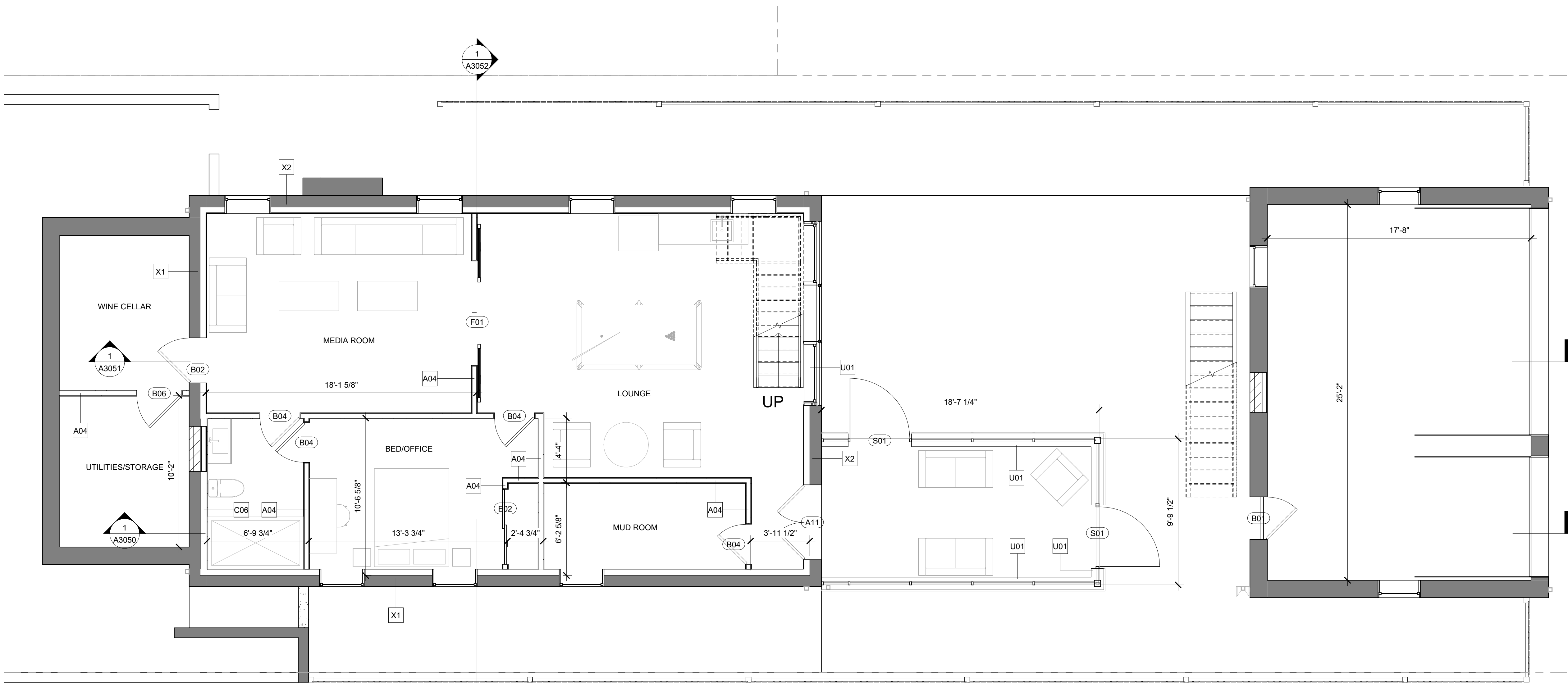
Permit Submission Set

ISSUE DATE
09/06/2024

DRAWING NUMBER

A1001

Board of Zoning
District of Colum
CASE NO. 2124
EXHIBIT NO. 19



1 CELLAR PLAN
A1001 1/4" = 1'-0"

UNITS - GSF

UNITS - NSF

GENERAL NOTES - PLAN

- A. ALL INTERIOR PARTITIONS WITHIN THE UNIT TO BE NON RATED AND ALL UNIT PARTITIONS TO BE RATED 1 HOUR
- B. ALL DIMENSIONS ON PLANS ARE FROM FACE OF CORE (WOOD STUD OR CMU WALL) UNLESS OTHERWISE NOTED
- C. COORDINATE WINDOW SIZES WITH ROUGH OPENINGS
- D. CONFIRM ALL STAIR CLEARANCES & LANDINGS DURING LAYOUT PRIOR TO START OF FRAMING
- E. SLOPE CONCRETE SLAB @ AREAWAYS TOWARD FLOOR DRAIN, 1/4" PER 1'-0"
- F. AIR BARRIER AND INSULATION INSTALLATION TO COMPLY WITH ENERGY CODE
- G. SPOT ELEVATIONS ARE TO THE TOP OF THE SLAB OR SUB FLOOR
- H. ROOFS SHALL HAVE ONE OF THE FOLLOWING: 1.A. MINIMUM THREE-YEAR-AGED SOLAR REFLECTANCE OF 0.55 AND A MINIMUM THREE-YEAR-AGED THERMAL EMITTANCE OF 0.75 WHEN TESTED IN ACCORDANCE WITH CRRC-1 STANDARD. 2.A. MINIMUM INITIAL SOLAR REFLECTANCE INDEX OF 82 64 FOR ROOFS 2:12 OR LESS AND 39 FOR ROOFS GREATER THAN 2:12 IN SLOPE, WHEN DETERMINED IN ACCORDANCE WITH THE SOLAR REFLECTANCE INDEX METHOD IN ASTM E1880 USING A CONVECTION COEFFICIENT OF 2.1 BTU/H-FT²-°F, BASED ON THREE-YEAR-AGED SOLAR REFLECTANCE AND THREE-YEAR-AGED THERMAL EMITTANCE TESTED IN ACCORDANCE WITH CRRC-1 STANDARD

3X3 AREA FOR DOB USE



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DRAWING TITLE
PLAN - 1ST FLOOR

GRAPHIC SCALES



DATE SUBMISSION NAME

DATE DESCRIPTION

STAMP



PROJECT NUMBER
24010

SCALE
As indicated

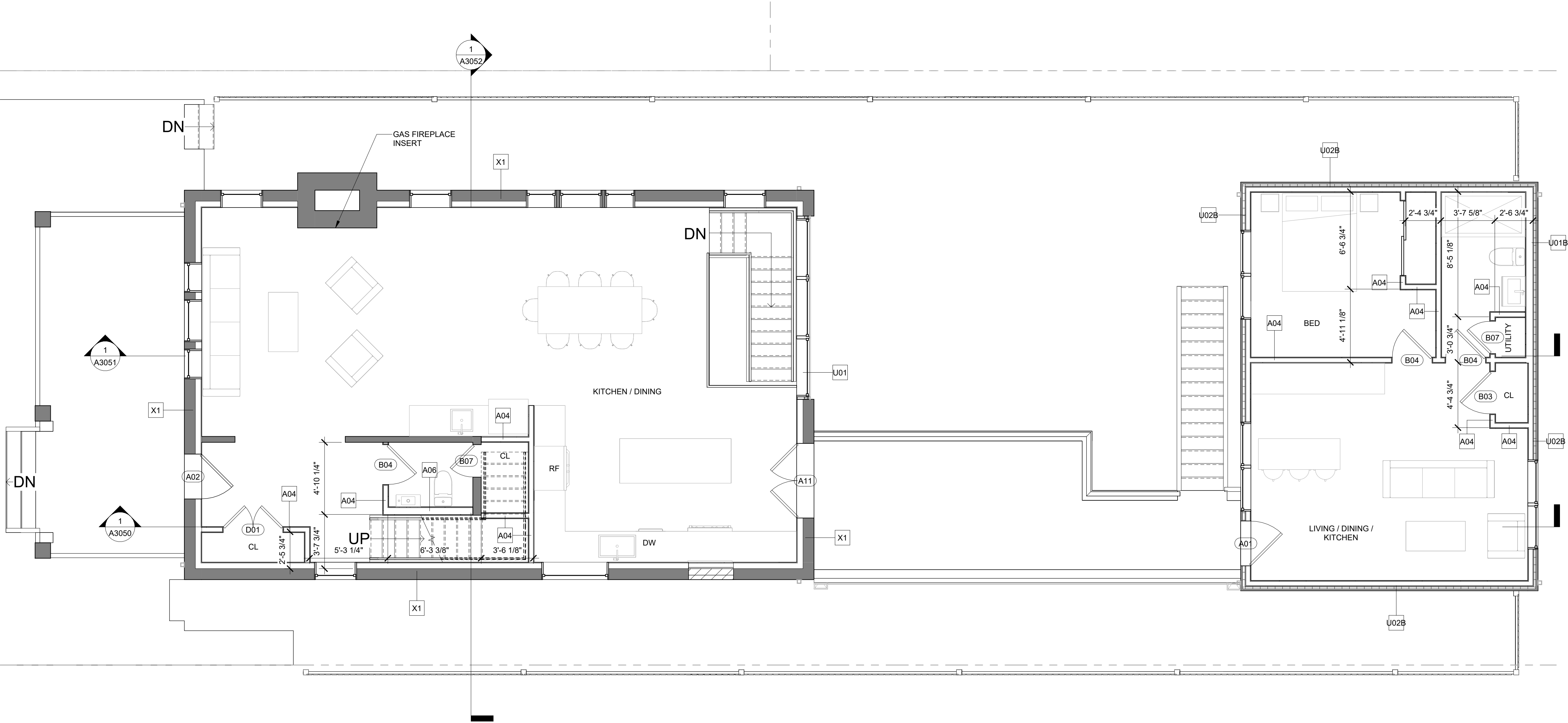
ISSUE
Permit Submission Set

ISSUE DATE
09/06/2024

DRAWING NUMBER

A1002

Board of Zoning Adjus
District of Columbia
CASE NO. 21244
EXHIBIT NO. 19A



1 1ST FLOOR PLAN
A1002 1/4" = 1'-0"

UNITS - GSF

UNITS - NSF

GENERAL NOTES - PLAN

- A. ALL INTERIOR PARTITIONS WITHIN THE UNIT TO BE NON RATED AND ALL UNIT PARTITIONS TO BE RATED 1 HOUR
- B. ALL DIMENSIONS ON PLANS ARE FROM FACE OF CORE (WOOD STUD OR CMU WALL) UNLESS OTHERWISE NOTED
- C. COORDINATE WINDOW SIZES WITH ROUGH OPENINGS
- D. CONFIRM ALL STAIR CLEARANCES & LANDINGS DURING LAYOUT PRIOR TO START OF FRAMING
- E. SLOPE CONCRETE SLAB @ AREAWAYS TOWARD FLOOR DRAIN, 1/4" PER 1'-0"
- F. AIR BARRIER AND INSULATION INSTALLATION TO COMPLY WITH ENERGY CODE
- G. SPOT ELEVATIONS ARE TO THE TOP OF THE SLAB OR SUB FLOOR
- H. ROOFS SHALL HAVE ONE OF THE FOLLOWING: 1.A. MINIMUM THREE-YEAR-AGED SOLAR REFLECTANCE OF 0.55 AND A MINIMUM THREE-YEAR-AGED THERMAL EMITTANCE OF 0.75 WHEN TESTED IN ACCORDANCE WITH CRRC-1 STANDARD. 2.A. MINIMUM INITIAL SOLAR REFLECTANCE INDEX OF 82 64 FOR ROOFS 2:12 OR LESS AND 39 FOR ROOFS GREATER THAN 2:12 IN SLOPE, WHEN DETERMINED IN ACCORDANCE WITH THE SOLAR REFLECTANCE INDEX METHOD IN ASTM E1980 USING A CONVECTION COEFFICIENT OF 2.1 BTU/H-FT²-°F, BASED ON THREE-YEAR-AGED SOLAR REFLECTANCE AND THREE-YEAR-AGED THERMAL EMITTANCE TESTED IN ACCORDANCE WITH CRRC-1 STANDARD

3X3 AREA FOR DOB USE



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Washington D.C. 20007

DRAWING TITLE
PLAN - 2ND FLOOR

GRAPHIC SCALES



DATE SUBMISSION NAME

DATE DESCRIPTION

STAMP



PROJECT NUMBER
24010

SCALE
As indicated

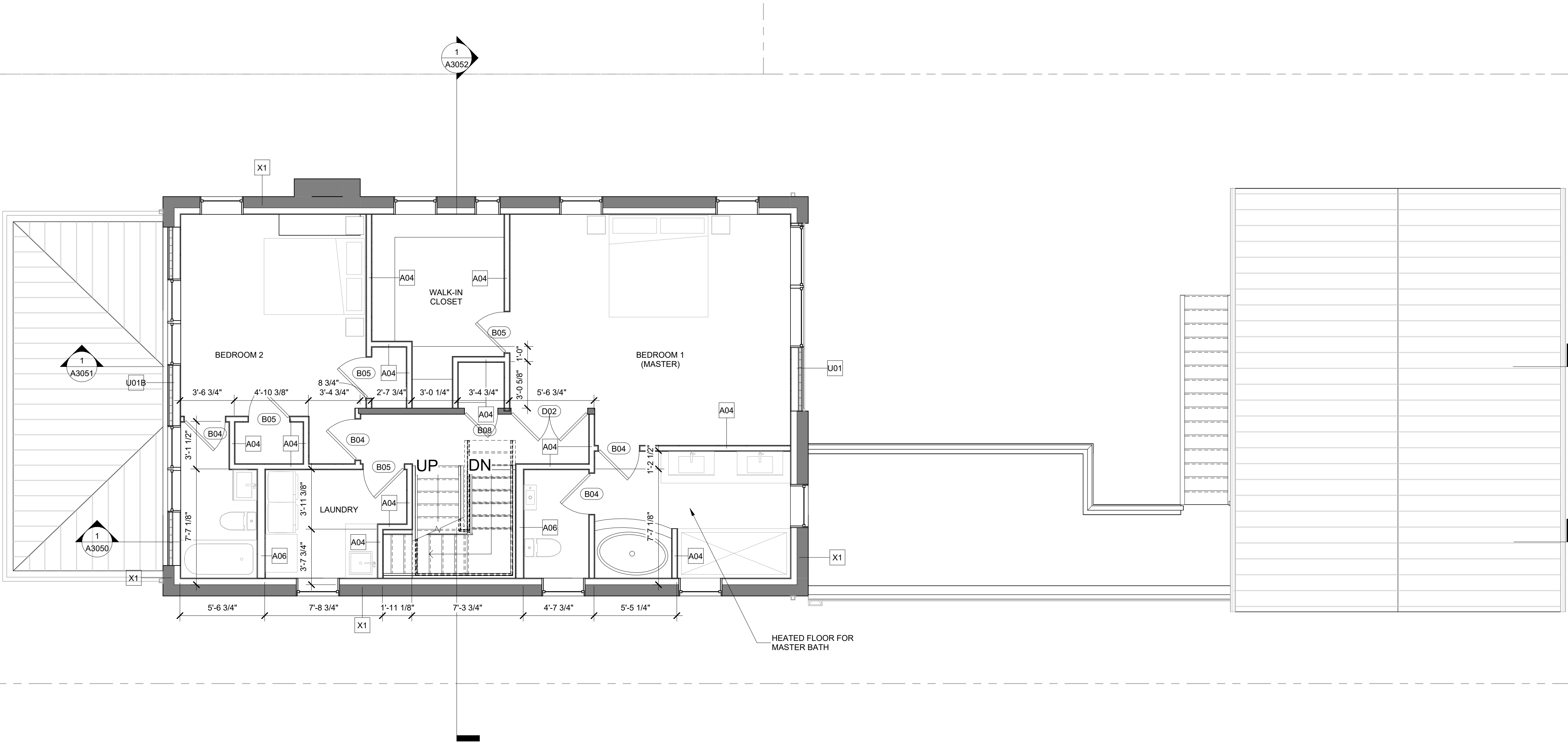
ISSUE
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ISSUE DATE
09/06/2024

DRAWING NUMBER

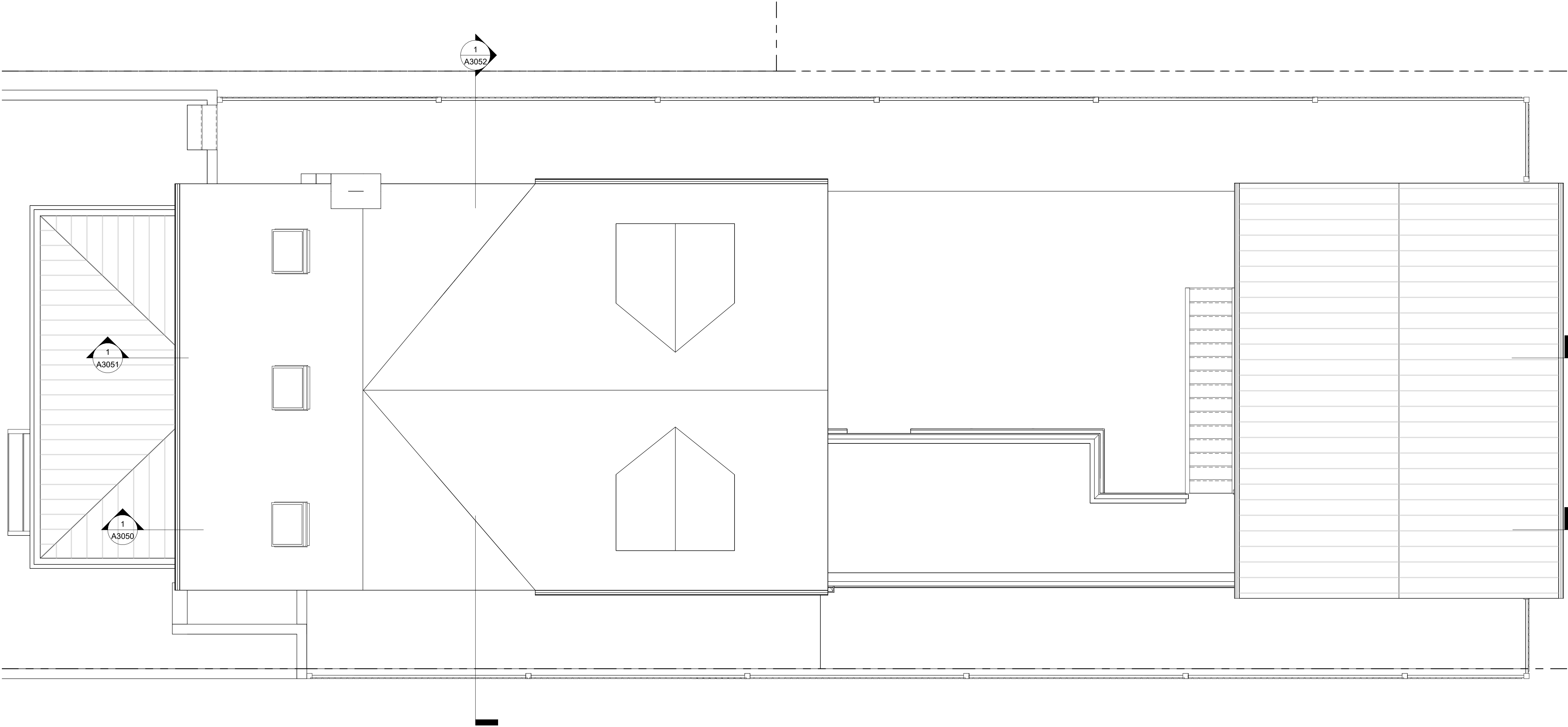
A1003

Board of Zoning Adjus
District of Columbia
CASE NO. 21244
EXHIBIT NO. 19A



1 2ND FLOOR PLAN
A1003 1/4" = 1'-0"

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1 ROOF PLAN
A1005 1/4" = 1'-0"

GENERAL NOTES - PLAN

- A. ALL INTERIOR PARTITIONS WITHIN THE UNIT TO BE NON RATED AND ALL UNIT PARTITIONS TO BE RATED 1 HOUR
- B. ALL DIMENSIONS ON PLANS ARE FROM FACE OF CORE (WOOD STUD OR CMU WALL) UNLESS OTHERWISE NOTED
- C. COORDINATE WINDOW SIZES WITH ROUGH OPENINGS
- D. CONFIRM ALL STAIR CLEARANCES & LANDINGS DURING LAYOUT PRIOR TO START OF FRAMING
- E. SLOPE CONCRETE SLAB @ AREAWAYS TOWARD FLOOR DRAIN, 1/4" PER 1'-0"
- F. AIR BARRIER AND INSULATION INSTALLATION TO COMPLY WITH ENERGY CODE
- G. SPOT ELEVATIONS ARE TO THE TOP OF THE SLAB OR SUB FLOOR
- H. ROOFS SHALL HAVE ONE OF THE FOLLOWING: 1.A. MINIMUM THREE-YEAR-AGED SOLAR REFLECTANCE OF 0.55 AND A MINIMUM THREE-YEAR-AGED THERMAL EMITTANCE OF 0.75 WHEN TESTED IN ACCORDANCE WITH CRRC-1 STANDARD. 2.A. MINIMUM INITIAL SOLAR REFLECTANCE INDEX OF 82 64 FOR ROOFS 2:12 OR LESS AND 39 FOR ROOFS GREATER THAN 2:12 IN SLOPE, WHEN DETERMINED IN ACCORDANCE WITH THE SOLAR REFLECTANCE INDEX METHOD IN ASTM E1980 USING A CONVECTION COEFFICIENT OF 2.1 BTU/H-FT²-°F, BASED ON THREE-YEAR-AGED SOLAR REFLECTANCE AND THREE-YEAR-AGED THERMAL EMITTANCE TESTED IN ACCORDANCE WITH CRRC-1 STANDARD

3X3 AREA FOR DOB USE

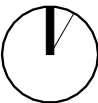


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DRAWING TITLE
PLAN - ROOF

GRAPHIC SCALES



DATE SUBMISSION NAME

DATE DESCRIPTION

STAMP



PROJECT NUMBER
24010

SCALE
As indicated

ISSUE
Permit Submission Set

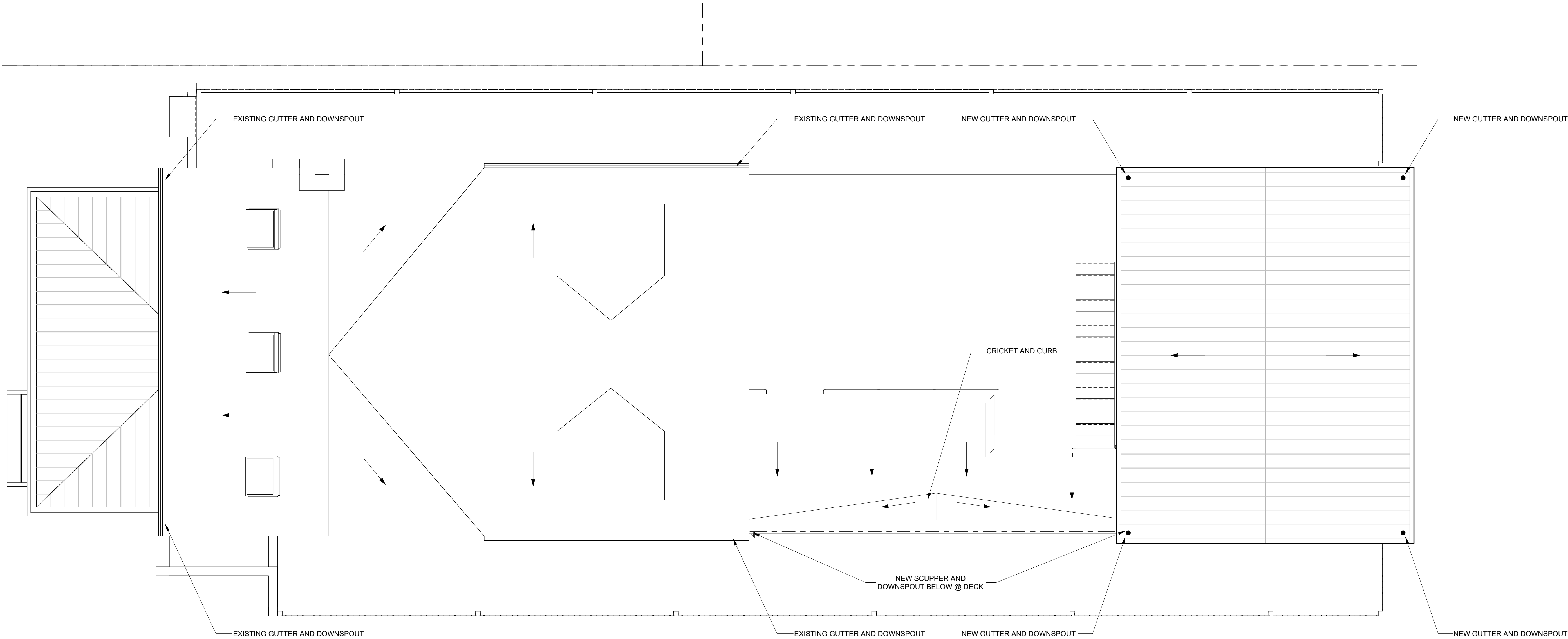
ISSUE DATE
09/06/2024

DRAWING NUMBER

A1005

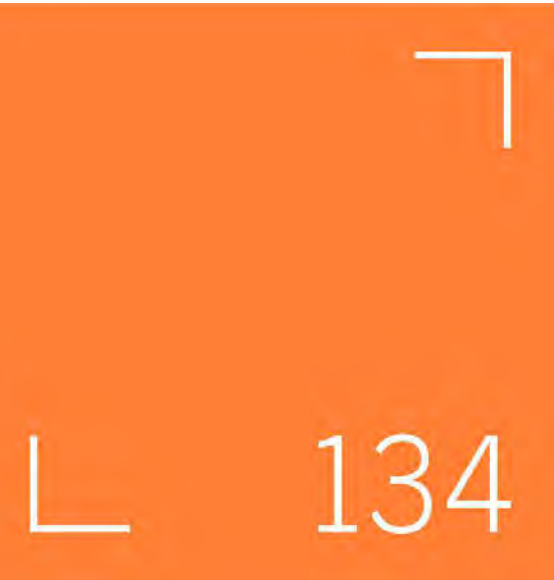
Board of Zoning Adjus
District of Columbia
CASE NO. 21244
EXHIBIT NO. 19A

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1 ROOF DRAINAGE PLAN
A1006/ 1/4" = 1'-0"

3X3 AREA FOR DOB USE



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DRAWING TITLE
PLAN - ROOF DRAINAGE

GRAPHIC SCALES



DATE SUBMISSION NAME

DATE DESCRIPTION

STAMP



PROJECT NUMBER
24010

SCALE
1/4" = 1'-0"

ISSUE
Permit Submission Set

ISSUE DATE
09/06/2024

DRAWING NUMBER

A1006

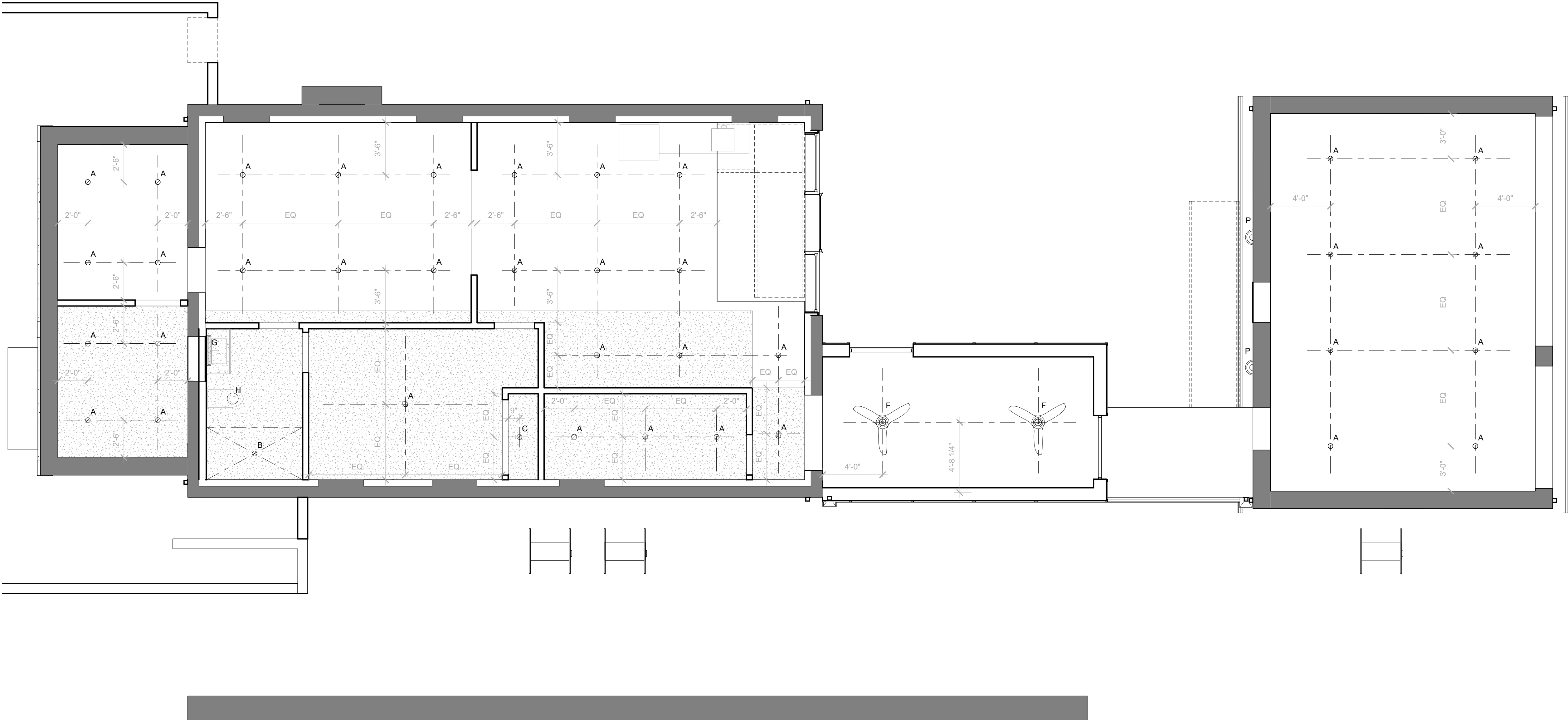
Board of Zoning Adj
District of Columbia
CASE NO. 21244
EXHIBIT NO. 19A

LIGHTING SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER	TYPE	MODEL	FINISH	WATTS	EFFICACY	COMMENTS
A	Unit Recessed Light	TBD		TBD		60 W	14 lm/W	
B	Wet Location Recessed Light	TBD		TBD		60 W	14 lm/W	
C	Door Activated Recessed Light	TBD		TBD		60 W	14 lm/W	
F	Ceiling Fan with Light	TBD		TBD		9 W	149 lm/W	
G	Vanity Light	TBD		TBD		18 W	149 lm/W	
H	Bathroom Fan/Light Combo	TBD		TBD		15 W	75 lm/W	
L	Pendant Light	TBD		TBD		12 W	149 lm/W	
P	Unit Door Entry Light	TBD		TBD		100 W	12 lm/W	

GENERAL NOTES - RCP

- A. ALL DIMENSIONS ON REFLECTED CEILING PLANS ARE FROM FACE OF WALL FINISH UNLESS NOTED OTHERWISE.
- B. EMERGENCY POWER SHALL BE PROVIDED IN THE EVENT OF A POWER FAILURE FOR EGRESS LIGHTING AT PRESCRIBED ILLUMINATION LEVELS.
- C. IF FIXTURE IS WITHIN A RATED ASSEMBLY, PROVIDE A UL RATED FIXTURE OR FIRE PROTECTION (DRYWALL SURROUNDS, FIRE HATS, OR FIRE RATED ELECTRICAL BOX).
- D. DEFAULT CEILING HEIGHTS TO BE MAXIMIZED AND CONSISTENT THROUGHOUT DWELLING UNITS, CORRIDORS, AND COMMON SPACES UNLESS SPECIFIED OTHERWISE; SOME CEILINGS WILL NEED TO BE HUNG BELOW THE FLOOR STRUCTURE DUE TO PENETRATIONS AND EQUIPMENT SEE NOTES AND RCPs FOR DROPPED CEILINGS BELOW; UNFORESEEN CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER IMMEDIATELY.
- E. AIR SEAL AT POCKET DOOR OPENING AND CEILING PRIOR TO DOOR INSTALLATION.
- F. LIGHTS, FIXTURES, EXIT SIGNS AND OTHER CEILING ACCESSORIES ARE SHOWN FOR FIXTURE TYPE AND LOCATION ONLY REFER TO ENGINEERING DRAWINGS FOR REQUIREMENTS, CIRCUITING SWITCHING, FIXTURE SPECIFICATIONS AND EMERGENCY LIGHTING.
- G. REFER TO ENGINEER'S DRAWINGS FOR LOCATIONS OF EXHAUST FANS, STROBES, EXIT LIGHTS, GRILLS, EMERGENCY LIGHTS, SMOKE DETECTORS, ETC.
- H. IF ANY DISCREPANCY EXISTS BETWEEN DRAWINGS AND FIELD OR ARCHITECTURAL AND ENGINEERING DRAWINGS, NOTIFY ARCHITECT IMMEDIATELY.
- I. AVOID LOCATING DUCTS, CONDUITS, CABLING, EQUIPMENT, ETC. IN THE OPEN CEILING AREAS.
- J. GANG MULTIPLE SWITCHES WITH SINGLE COVER PLATE, ALL COVER PLATES TO BE WHITE.
- K. SPRINKLER HEADS INSTALLED IN GWB CEILINGS SHALL BE FULLY RECESSED, COVER PLATES SHALL BE WHITE.
- L. EXIT DEVICES TO BE CENTERED ON HALLWAY OR OPENING.
- M. PAINT EXPOSED DUCTS, CABLES, JUNCTION BOXES, SPRINKLER PIPES, AND OTHER EQUIPMENT TO MATCH CEILING.
- N. REFER TO ID DRAWINGS FOR COMMON CORRIDOR, LOBBY, AND AMENITY CEILING DESIGN.
- O. PROVIDE STICKPIN INSULATION AT UNDERSIDE OF SLAB WHERE OCCUPIED SPACE OCCURS ABOVE; WRAP UP ON VERTICAL SURFACES, I.E. SIDE FACES OF DROPPED SLAB, FOLDS.
- P. PROVIDE STICKPIN INSULATION IN CEILING AT OCCUPIED SPACES BELOW RAMP AND LOADING.
- Q. PROVIDE FIRE RATED SOFFIT FOR PIPES/DUCTS PROTECTION.



1 CELLAR RCP
A2000 1/4" = 1'-0"

3X3 AREA FOR DOB USE



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DRAWING TITLE
RCP - CELLAR

GRAPHIC SCALES



DATE SUBMISSION NAME

DATE DESCRIPTION

STAMP



PROJECT NUMBER
24010

SCALE
As indicated

ISSUE
Permit Submission Set

ISSUE DATE
09/06/2024

DRAWING NUMBER

A2000

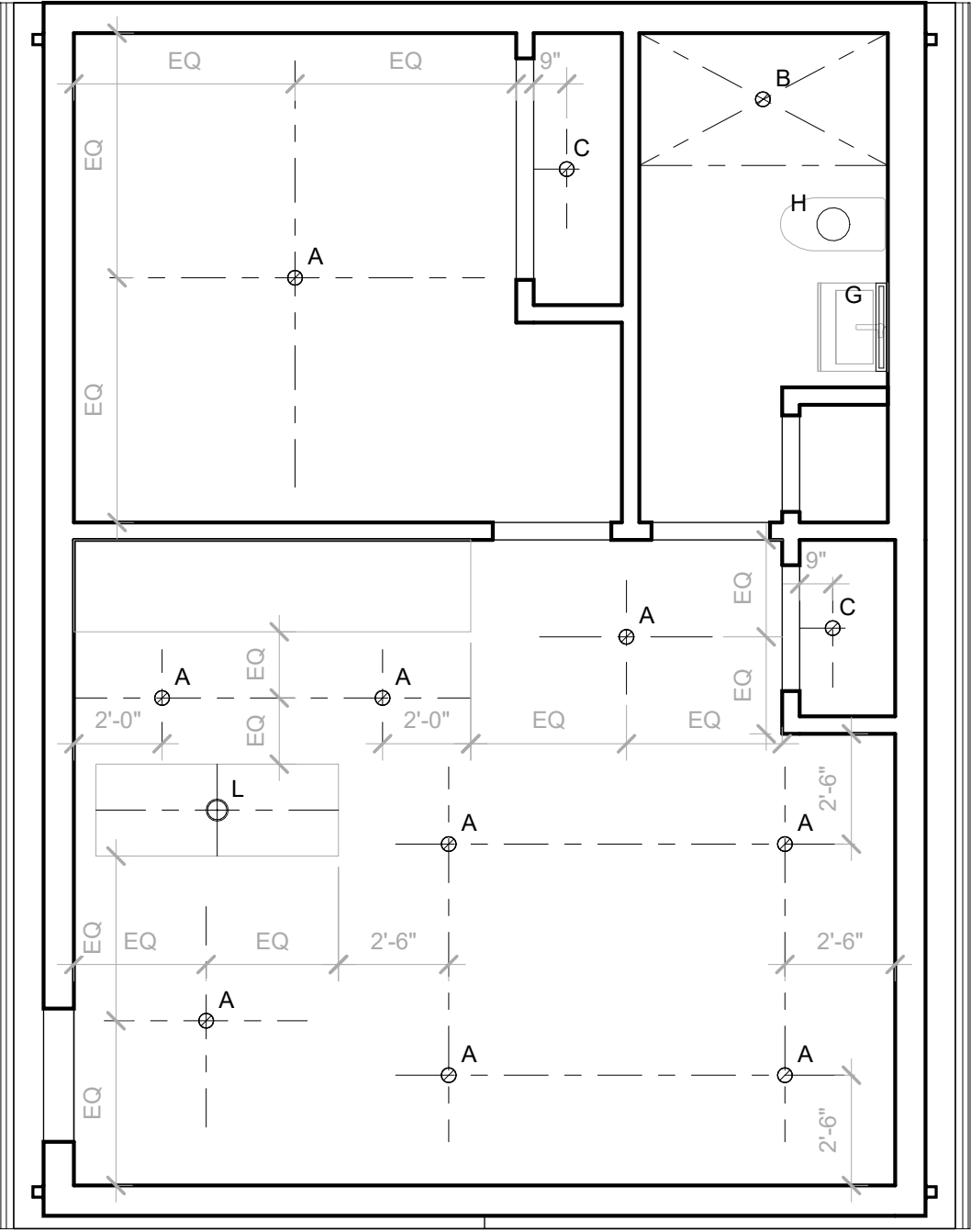
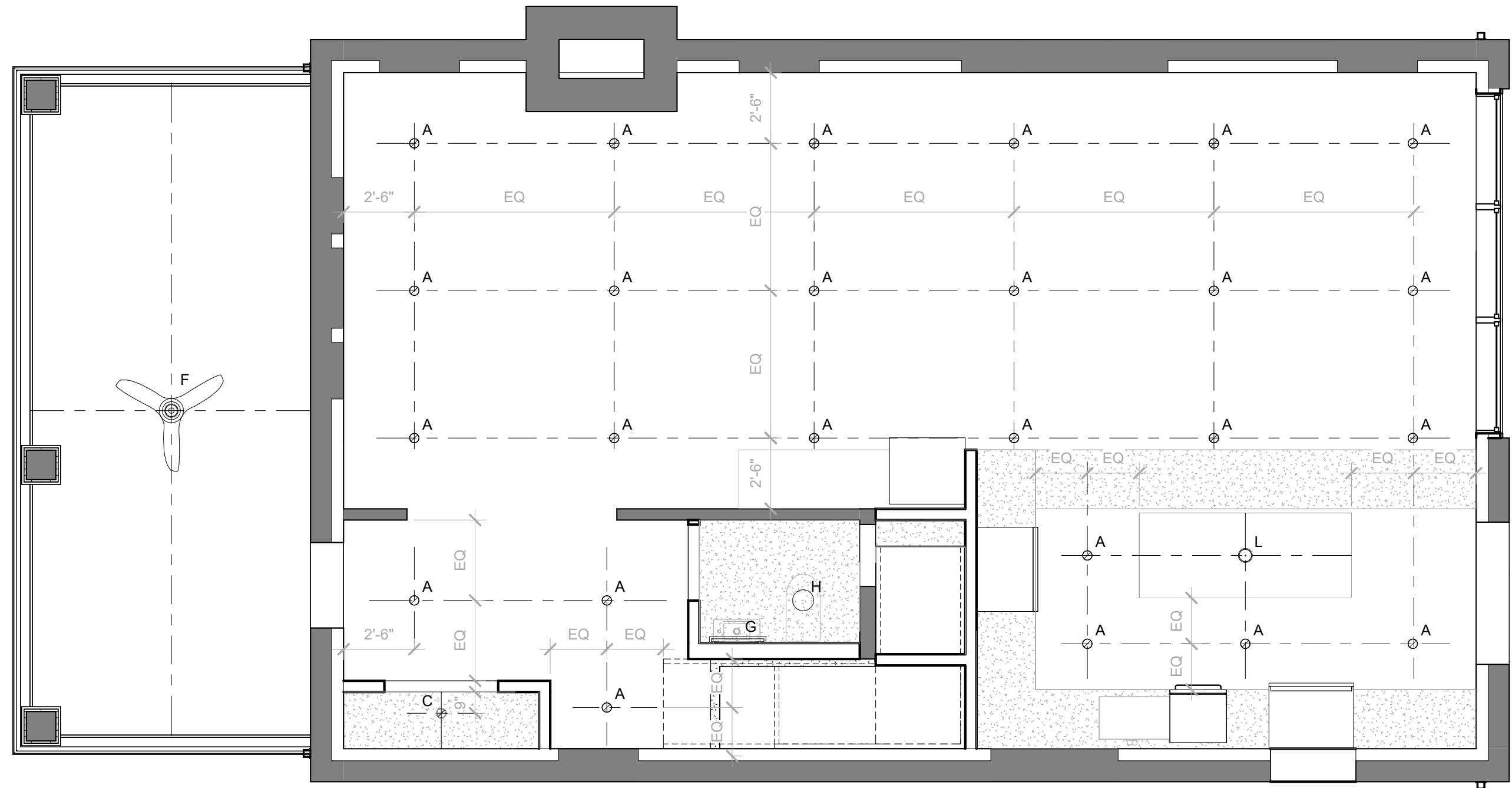
Board of Zoning Adj
District of Columbia
CASE NO. 21244
EXHIBIT NO. 19A

LIGHTING SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER	TYPE	MODEL	FINISH	WATTS	EFFICACY	COMMENTS
A	Unit Recessed Light	TBD		TBD		60 W	14 lm/W	
B	Wet Location Recessed Light	TBD		TBD		60 W	14 lm/W	
C	Door Activated Recessed Light	TBD		TBD		60 W	14 lm/W	
F	Ceiling Fan with Light	TBD		TBD		9 W	149 lm/W	
G	Vanity Light	TBD		TBD		18 W	149 lm/W	
H	Bathroom Fan/Light Combo	TBD		TBD		15 W	75 lm/W	
L	Pendant Light	TBD		TBD		12 W	149 lm/W	
P	Unit Door Entry Light	TBD		TBD		100 W	12 lm/W	

GENERAL NOTES - RCP

- A. ALL DIMENSIONS ON REFLECTED CEILING PLANS ARE FROM FACE OF WALL FINISH UNLESS NOTED OTHERWISE.
- B. EMERGENCY POWER SHALL BE PROVIDED IN THE EVENT OF A POWER FAILURE FOR EGRESS LIGHTING AT PRESCRIBED ILLUMINATION LEVELS.
- C. IF FIXTURE IS WITHIN A RATED ASSEMBLY, PROVIDE A UL RATED FIXTURE OR FIRE PROTECTION (DRYWALL SURROUNDS, FIRE HATS, OR FIRE RATED ELECTRICAL BOX).
- D. DEFAULT CEILING HEIGHTS TO BE MAXIMIZED AND CONSISTENT THROUGHOUT DWELLING UNITS, CORRIDORS, AND COMMON SPACES UNLESS SPECIFIED OTHERWISE; SOME CEILINGS WILL NEED TO BE HUNG BELOW THE FLOOR STRUCTURE DUE TO PENETRATIONS AND EQUIPMENT. SEE NOTES AND RCPs FOR DROPPED CEILINGS BELOW; UNFORESEEN CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER IMMEDIATELY.
- E. AIR SEAL AT POCKET DOOR OPENING AND CEILING PRIOR TO DOOR INSTALLATION.
- F. LIGHTS, FIXTURES, EXIT SIGNS AND OTHER CEILING ACCESSORIES ARE SHOWN FOR FIXTURE TYPE AND LOCATION ONLY. REFER TO ENGINEERING DRAWINGS FOR INFORMATION ON POWER REQUIREMENTS, CIRCUITING, SWITCHING, FIXTURE SPECIFICATIONS AND EMERGENCY LIGHTING.
- G. REFER TO ENGINEER'S DRAWINGS FOR LOCATIONS OF EXHAUST FANS, STROBES, EXIT LIGHTS, GRILLS, EMERGENCY LIGHTS, SMOKE DETECTORS, ETC.
- H. IF ANY DISCREPANCY EXISTS BETWEEN DRAWINGS AND FIELD OR ARCHITECTURAL AND ENGINEERING DRAWINGS, NOTIFY ARCHITECT IMMEDIATELY.
- I. AVOID LOCATING DUCTS, CONDUITS, CABLING, EQUIPMENT, ETC. IN THE OPEN CEILING AREAS.
- J. GANG MULTIPLE SWITCHES WITH SINGLE COVER PLATE. ALL COVER PLATES TO BE WHITE.
- K. SPRINKLER HEADS INSTALLED IN GWB CEILINGS SHALL BE FULLY RECESSED. COVER PLATES SHALL BE WHITE.
- L. EXIT DEVICES TO BE CENTERED ON HALLWAY OR OPENING.
- M. PAINT EXPOSED DUCTS, CABLES, JUNCTION BOXES, SPRINKLER PIPES, AND OTHER EQUIPMENT TO MATCH CEILING.
- N. REFER TO ID DRAWINGS FOR COMMON CORRIDOR, LOBBY, AND AMENITY CEILING DESIGN.
- O. PROVIDE STICKPIN INSULATION AT UNDERSIDE OF SLAB WHERE OCCUPIED SPACE OCCURS ABOVE; WRAP UP ON VERTICAL SURFACES, I.E. SIDE FACES OF DROPPED SLAB, FOLDS.
- P. PROVIDE STICKPIN INSULATION IN CEILING AT OCCUPIED SPACES BELOW RAMP AND LOADING.
- Q. PROVIDE FIRE RATED SOFFIT FOR PIPES/DUCTS PROTECTION.

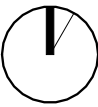


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DRAWING TITLE
RCP - 1ST FLOOR

GRAPHIC SCALES



DATE SUBMISSION NAME

DATE DESCRIPTION

STAMP



PROJECT NUMBER
24010

SCALE
As indicated

ISSUE
Permit Submission Set

ISSUE DATE
09/06/2024

DRAWING NUMBER

A2001

TYPE	DESCRIPTION	MANUFACTURER	TYPE	MODEL	FINISH	WATTS	EFFICACY	COMMENTS
A	Unit Recessed Light	TBD		TBD		60 W	14 lm/W	
B	Wet Location Recessed Light	TBD		TBD		60 W	14 lm/W	
C	Door Activated Recessed Light	TBD		TBD		60 W	14 lm/W	
F	Ceiling Fan with Light	TBD		TBD		9 W	149 lm/W	
G	Vanity Light	TBD		TBD		18 W	149 lm/W	
H	Bathroom Fan/Light Combo	TBD		TBD		15 W	75 lm/W	
L	Pendant Light	TBD		TBD		12 W	149 lm/W	
P	Unit Door Entry Light	TBD		TBD		100 W	12 lm/W	

ALL DIMENSIONS ON REFLECTED CEILING PLANS ARE FROM FACE OF WALL FINISH UNLESS NOTED OTHERWISE

EMERGENCY LIGHTING SHALL BE PROVIDED IN THE EVENT OF A POWER FAILURE FOR EGRESS LIGHTING AT PRESCRIBED ILLUMINATION LEVELS

IF FIXTURE IS WITHIN A RATED ASSEMBLY, PROVIDE A RATED FIXTURE OR FIRE PROTECTION (DRYWALL SURROUNDS, FIRE HATS OR FIRE RATED ELECTRICAL BOX) DEFAULT CEILING HEIGHTS TO BE MAINTAINED AND COVERED THROUGHOUT DWELLING UNITS, CORRIDORS, AND COMMON SPACES UNLESS SPECIFIED OTHERWISE; SOME CEILING WILL NEED TO BE HUNG TO CLEAR OBSTACLES

STRUCTURE DUE TO PENETRATION AND EQUIPMENT SEE NOTES AND RCPS FOR DROPPED CEILINGS BELOW: UNFORESEEN CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER IMMEDIATELY

AIR SEAL AT POCKET DOOR OPENING AND CEILING PRIOR TO DOOR INSTALLATION

IF FIRE ALARMS, EXIT SIGNS AND OTHER CEILING ACCESSORIES ARE SHOWN FOR FIXTURE TYPE AND LOCATION ONLY REFER TO ENGINEERING DRAWINGS FOR INFORMATION ON POWER REQUIREMENTS, CIRCUITING SWITCHING, FIXTURE SPECIFICATIONS AND EMERGENCY LIGHTING

ENGINEER'S DRAWINGS FOR LOCATIONS OF EXHAUST FANS, STROBES, EXIT LIGHTS, GRILLS, EMERGENCY LIGHTS, SMOKE DETECTORS, ETC.

IF ANY DISCREPANCY EXISTS BETWEEN DRAWINGS AND FIELD OF ARCHITECTURAL AND ENGINEERING DRAWINGS, NOTIFY ARCHITECT IMMEDIATELY

AVOID LOCATING DUCTS, CONDUCITS, CABLES, EQUIPMENT, ETC. IN THE OPEN CEILING AREAS

GANG MULTIPLE SWITCHES WITH SINGLE COVER PLATE, ALL COVER PLATES TO BE WHITE

SPRINKLER HEADS INSTALLED IN GWB CEILINGS SHALL BE FULLY RECESSED, COVER PLATES SHALL BE WHITE

EXIT DEVICES TO BE CENTERED ON HALLWAY OR OPENING

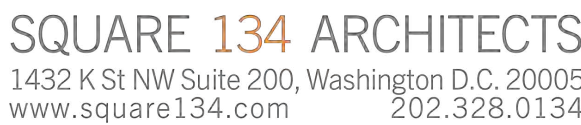
ALL EXPOSED DUCTS, CABLES, JUNCTION BOXES, SPRINKLER PIPES AND OTHER EQUIPMENT TO MATCH CEILING

REFER TO ID DRAWINGS FOR COMMON CORRIDOR, LOBBY, AND AMENITY CEILING DESIGN

PROVIDE STICKPIN INSULATION AT UNDERSIDE OF SLAB WHERE OCCUPIED SPACE OCCURS ABOVE; PROVIDE VENTED ROOF SURFACES, I.E. SIDE FACES OF DROPPED SLAB, FOLDS

PROVIDE STICKPIN INSULATION IN CEILING AT OCCUPIED SPACES ABOVE STAIRS AND ELEVATORS

PROVIDE FIRE RATED SOFFIT FOR PIPES/DUCTS PROTECTION



DRAWING TITLE

RCP - 2ND FLOOR

GRAPHIC SCALES



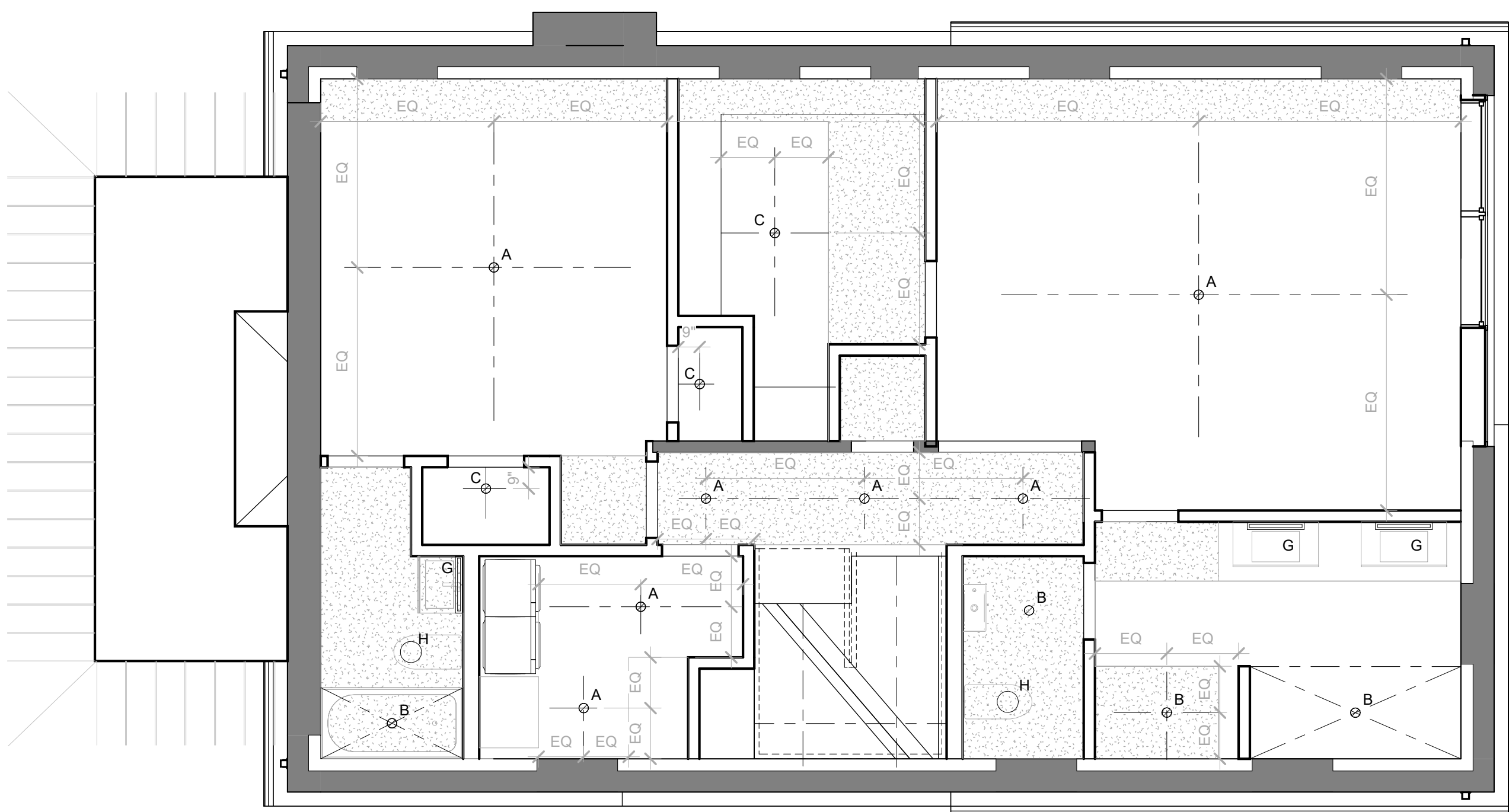
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STAMP



DRAWING NUMBER

Board of Zoning
District of Colum
CASE NO. 2124
EXHIBIT NO. 19



1 2ND FLOOR RCP
A2002 1/4" = 1'-0"

3X3 AREA FOR DOB USE



L 134

**2619 Wisconsin
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Washington D.C. 20007**

GRAPHIC SCALES

[illegible]

PROJECT NUMBER	24010
SCALE	As indicated
ISSUE	Permit Submission Set
ISSUE DATE	09/06/2024
DRAWING NUMBER	

A3000



1 NORTH ELEVATION
A3000 3/16" = 1'-0"

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2 EAST ELEVATION
A3001 3/16" = 1'-0"

1 WEST ELEVATION
A3001 3/16" = 1'-0"

EXTERIOR MATERIALS	
MARK	DESCRIPTION
CP1	FIBER CEMENT PANEL
CM1	CORRUGATED METAL
MC1	METAL COPING
PC1	PAINTED CONCRETE
PM1	PAINTED METAL
WT1	WOOD TILE

3X3 AREA FOR DOB USE



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DRAWING TITLE
EAST & WEST
ELEVATION

GRAPHIC SCALES

DATE SUBMISSION NAME

DATE DESCRIPTION

STAMP



PROJECT NUMBER
24010

SCALE
As indicated

ISSUE
Permit Submission Set

ISSUE DATE
09/06/2024

DRAWING NUMBER

A3001

Board of Zoning Adjus
District of Columbia
CASE NO. 21244
EXHIBIT NO. 19A

3X3 AREA FOR DOB USE



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GRAPHIC SCALES

[illegible]

PROJECT NUMBER
24010
SCALE
As indicated
ISSUE
Permit Submission Set
ISSUE DATE
09/06/2024
DRAWING NUMBER

A3002 Board of Zoning
District of Columbia
CASE NO. 2124
EXHIBIT NO. 19



1 SOUTH ELEVATION
A3002 3/16" = 1'-0"

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2 GARAGE - WEST ELEVATION
A3003 3/16" = 1'-0"

1 GARAGE - EAST ELEVATION
A3003 3/16" = 1'-0"

EXTERIOR MATERIALS	
MARK	DESCRIPTION
CP1	FIBER CEMENT PANEL
CM1	CORRUGATED METAL
MC1	METAL COPING
PC1	PAINTED CONCRETE
PM1	PAINTED METAL
WT1	WOOD TILE

3X3 AREA FOR DOB USE



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DRAWING TITLE
GARAGE ELEVATIONS

GRAPHIC SCALES

DATE SUBMISSION NAME

DATE DESCRIPTION

STAMP



PROJECT NUMBER
24010

SCALE
As indicated

ISSUE
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ISSUE DATE
09/06/2024

DRAWING NUMBER

A3003

Board of Zoning Adj
District of Columbia
CASE NO. 21244
EXHIBIT NO. 19A

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Washington D.C. 20007**

GRAPHIC SCALES

[illegible]

A circular professional seal for Ronald P. Schnitzler, a Licensed Architect in the District of Columbia. The seal features his name "RONALD P. SCHNITZLER" at the top, "DISTRICT OF COLUMBIA" around the perimeter, and "LICENSED ARCHITECT" at the bottom. A handwritten signature in blue ink is written across the center of the seal. The license number "60798" is printed below the signature.

DRAWING NUMBER

A3050 Board of Zoning
District of Colum

Board of Zoning
District of Columbia
CASE NO. 2124
EXHIBIT NO. 19



1 SECTION 1
A3050 3/16" = 1'-0"

134

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GRAPHIC SCALES

#	DATE	DESCRIPTION
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STAMP



SCALE
3/16" = 1'-0"

ISSUE

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ISSUE DATE
09/06/2024

DRAWING NUMBER

A3051 Board of Zoning
District of Colum

Board of Zoning
District of Colum
CASE NO. 2124
EXHIBIT NO. 19



1 SECTION 2
A3051 3/16" = 1'-0"

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134

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Washington D.C. 20007**

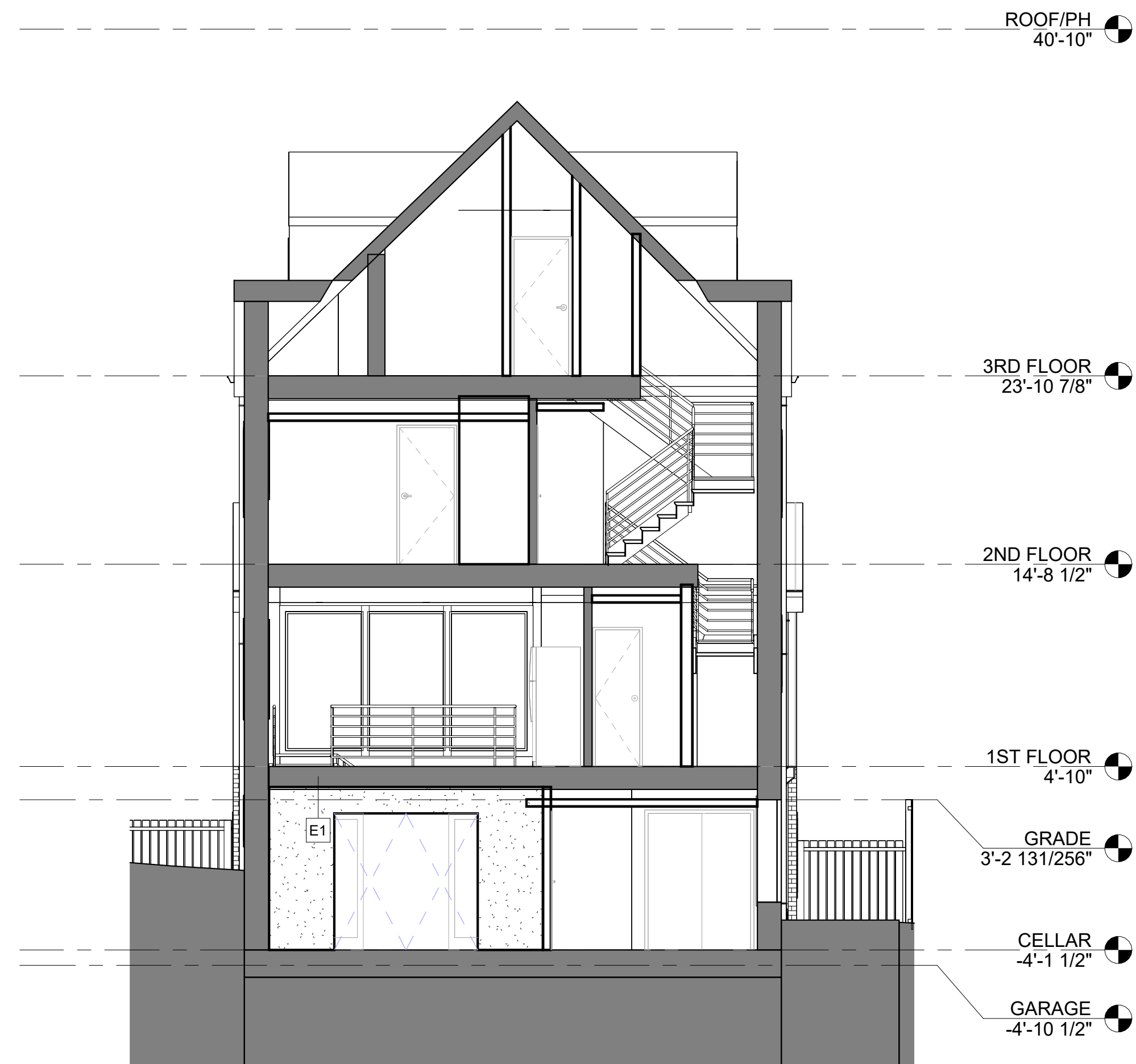
GRAPHIC SCALES

[illegible]

DRAWING NUMBER

A3052 Board of Zoning
District of Colum

Board of Zoning
District of Colum
CASE NO. 2124
EXHIBIT NO. 19

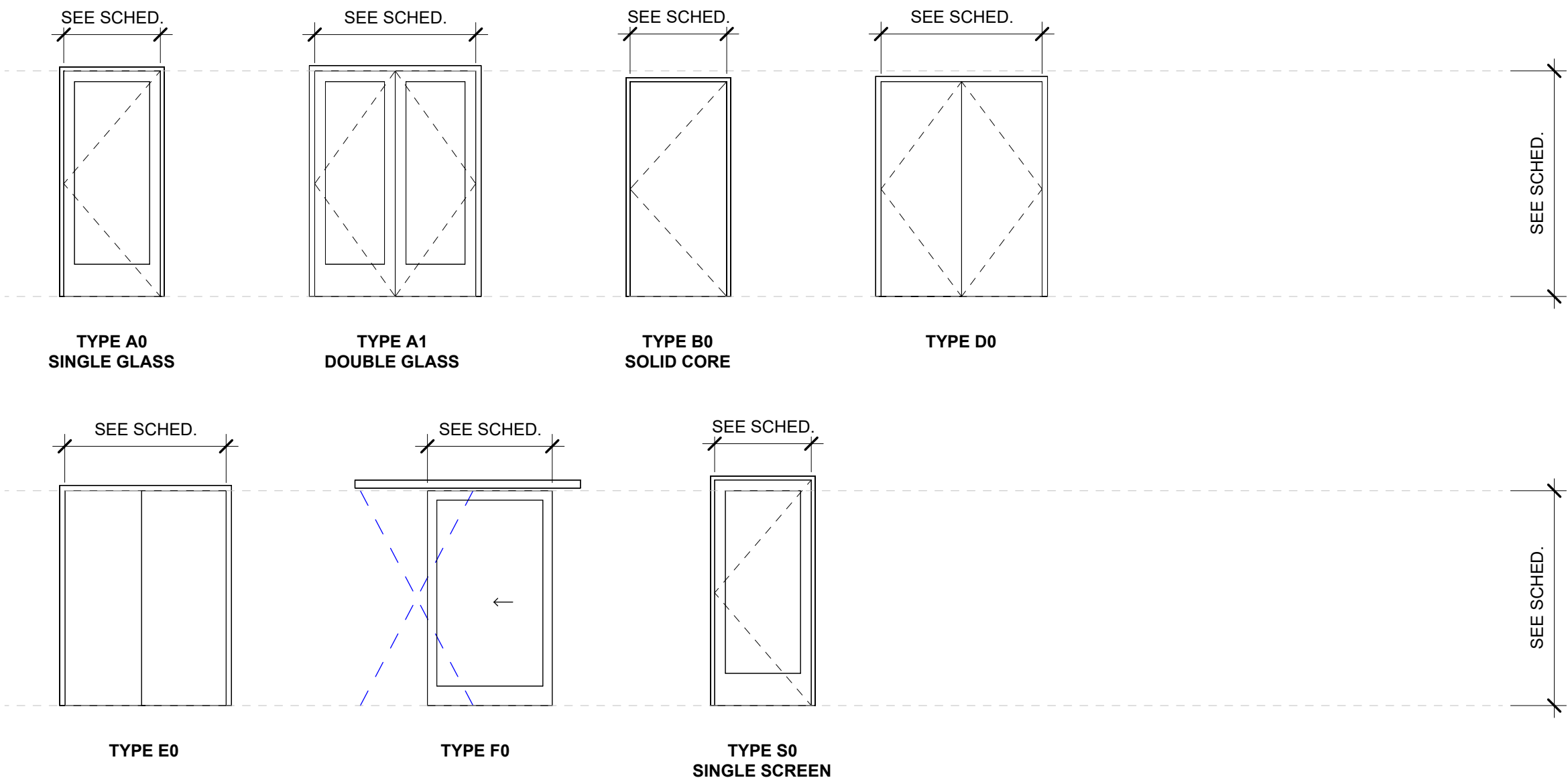


1 SECTION 3
A3052 3/16" = 1'-0"

DOOR SCHEDULE

TYPE	DESCRIPTION	DOOR			MATERIAL		FIRE				
		HEIGHT	WIDTH	THICKNESS	DOOR	FRAME	HARDWARE	RATING	U-FACTOR	SHGC	NOTES
A01	SINGLE GLASS BUILDING ENTRY	7'-0"	3'-0"	1 3/4"			A	NR	0.30 MIN	0.40 MIN	PROVIDE SAFETY GLAZING
A02	EXISTING BUILDING ENTRY	7'-0"	3'-0"	1 3/4"			A	NR	0.30 MIN	0.40 MIN	FLIP EXISTING DOOR TO SWING INWARD
A11	DOUBLE GLASS BUILDING ENTRY	7'-0"	5'-0"	1 3/4"			B	NR	0.30 MIN	0.40 MIN	PROVIDE SAFETY GLAZING
B01	GARAGE ENTRY DOOR	7'-0"	2'-10"	1 3/4"			A	NR	0.30 MIN	0.40 MIN	
B02	WINE CELLAR DOOR	6'-8"	3'-0"	1 3/4"			C	NR	NA	NA	
B03	UNIT CLOSET	6'-8"	2'-10"	1 3/4"			D	NR	NA	NA	
B04	BED/BATH	6'-8"	2'-8"	1 3/4"			F	NR	NA	NA	
B05	UNIT CLOSET	6'-8"	2'-8"	1 3/4"			F	NR	NA	NA	
B06	UTILITY DOOR	6'-8"	3'-0"	1 3/4"			C	NR	NA	NA	
B07	UNIT CLOSET	6'-8"	2'-2"	1 3/4"			F	NR	NA	NA	
B08	UTILITY CLOSET	6'-8"	2'-2"	1 3/4"			C		NA	NA	
D01	UNIT DOUBLE CLOSET	6'-8"	4'-0"	1 3/4"			G	NR	NA	NA	
D02	DOUBLE BEDROOM	6'-8"	5'-0"	1 3/4"			E	NR	NA	NA	
E02	UNIT DOUBLE SLIDING	6'-8"	5'-0"	1 3/4"			H	NR	NA	NA	
F01	UNIT BARN	6'-8"	3'-6"	1 3/4"			J	NR	NA	NA	
G01	EXISTING GARAGE DOOR	6'-8"	8'-0"	1 1/2"				NR	NA	NA	EXISTING GARAGE DOOR, V.I.F.
G02	EXISTING GARAGE DOOR	6'-8"	15'-2"	1 1/2"				NR	NA	NA	EXISTING GARAGE DOOR, V.I.F.
S01	SINGLE SCREEN	7'-3 1/4"	4'-0"	1 3/4"				NR	NA	NA	

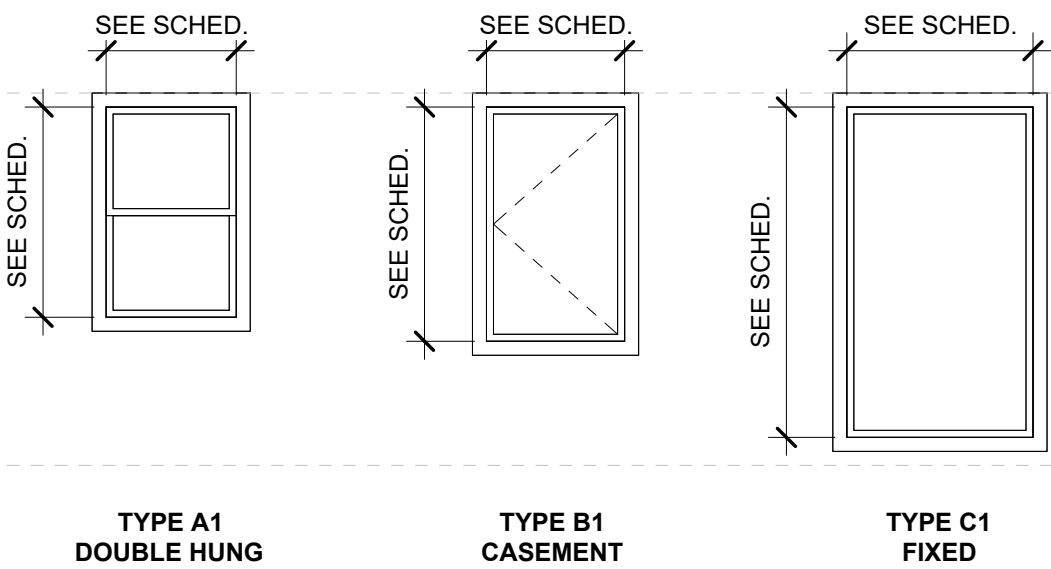
DOOR TYPES



WINDOW SCHEDULE

TAG	TYPE	WIDTH	HEIGHT	SILL HEIGHT	HEAD HEIGHT	U-FACTOR	SHGC	NOTES
A1	DOUBLE HUNG	3'-1"	2'-1"	5'-3"	7'-4"	0.3000 BTU/(h·ft²·°F)	0.4	V.I.F. EXISTING OPENING REPLACE IN KIND
A2	DOUBLE HUNG	2'-10"	4'-6"	2'-4"	6'-10"	0.3000 BTU/(h·ft²·°F)	0.4	V.I.F. EXISTING OPENING REPLACE IN KIND. PROVIDE SAFETY GLAZING
A3	DOUBLE HUNG	4'-6"	3'-4"	3'-10"	7'-2"	0.3000 BTU/(h·ft²·°F)	0.4	V.I.F. EXISTING OPENING REPLACE IN KIND
A4	DOUBLE HUNG	2'-10"	4'-6"	2'-6"	7'-0"	0.3000 BTU/(h·ft²·°F)	0.4	V.I.F. EXISTING OPENING REPLACE IN KIND
A5	DOUBLE HUNG	2'-0"	4'-6"	2'-6"	7'-0"	0.3000 BTU/(h·ft²·°F)	0.4	V.I.F. EXISTING OPENING REPLACE IN KIND
A6	DOUBLE HUNG	2'-10"	3'-9"	3'-6"	7'-3"	0.3000 BTU/(h·ft²·°F)	0.4	V.I.F. EXISTING OPENING REPLACE IN KIND
A7	DOUBLE HUNG	2'-10"	3'-9"	2'-9"	6'-6"	0.3000 BTU/(h·ft²·°F)	0.4	V.I.F. EXISTING OPENING REPLACE IN KIND
A8	DOUBLE HUNG	2'-0"	4'-6"	2'-4"	6'-10"	0.3000 BTU/(h·ft²·°F)	0.4	V.I.F. EXISTING OPENING REPLACE IN KIND
A9	DOUBLE HUNG	2'-10"	4'-6"	2'-4"	6'-10"	0.3000 BTU/(h·ft²·°F)	0.4	V.I.F. EXISTING OPENING REPLACE IN KIND
A10	DOUBLE HUNG	2'-10"	3'-10"	2'-6"	6'-4"	0.3000 BTU/(h·ft²·°F)	0.4	V.I.F. EXISTING OPENING REPLACE IN KIND
A11	DOUBLE HUNG	2'-10"	3'-5"	3'-0"	6'-5"	0.3000 BTU/(h·ft²·°F)	0.4	V.I.F. EXISTING OPENING REPLACE IN KIND
A12	DOUBLE HUNG	1'-8"	3'-5"	3'-4"	6'-9"	0.3000 BTU/(h·ft²·°F)	0.4	V.I.F. EXISTING OPENING REPLACE IN KIND
A13	DOUBLE HUNG	2'-10"	4'-4"	3'-0"	7'-4"	0.3000 BTU/(h·ft²·°F)	0.4	
A14	DOUBLE HUNG	1'-3"	3'-4"	2'-1"	5'-5"	0.3000 BTU/(h·ft²·°F)	0.4	V.I.F. EXISTING OPENING REPLACE IN KIND
A15	DOUBLE HUNG	2'-10"	4'-6"	2'-0"	6'-6"	0.3000 BTU/(h·ft²·°F)	0.4	V.I.F. EXISTING OPENING REPLACE IN KIND
A16	DOUBLE HUNG	2'-4"	3'-9"	2'-9"	6'-6"	0.3000 BTU/(h·ft²·°F)	0.4	V.I.F. EXISTING OPENING REPLACE IN KIND
A17	DOUBLE HUNG	2'-10"	4'-6"	1'-10"	6'-4"	0.3000 BTU/(h·ft²·°F)	0.4	V.I.F. EXISTING OPENING. REPLACE WITH LARGER WINDOW PER EGRESS REQUIREMENTS
B1	CASEMENT	3'-0"	5'-0"	2'-4"	7'-4"	0.3000 BTU/(h·ft²·°F)	0.4	
B2	CASEMENT	3'-0"	5'-0"	2'-0"	7'-0"	0.3000 BTU/(h·ft²·°F)	0.4	
C1	FIXED	4'-0"	7'-0"	2"	7'-2"	0.3000 BTU/(h·ft²·°F)	0.4	PROVIDE SAFETY GLAZING
C1A	FIXED	4'-0"	7'-0"	8"	7'-8"	0.3000 BTU/(h·ft²·°F)	0.4	PROVIDE SAFETY GLAZING
C2	FIXED	4'-0"	6'-6"	8"	7'-2"	0.3000 BTU/(h·ft²·°F)	0.4	PROVIDE SAFETY GLAZING
S1	SKYLIGHT	2'-10"	3'-2"			0.5500 BTU/(h·ft²·°F)	0.4	

WINDOW TYPES



HARDWARE SCHEDULE

QTY	ITEM	MANUFACTURER	MODEL #	FINISH	FUNCTION	NOTES
(A) GEN. EXTERIOR DOOR						
1	CLOSER	TBD	TBD	TBD		
1	DEADBOLT	TBD	TBD	TBD		
1	GASKETING	TBD	TBD	TBD		
3	HINGE	TBD	TBD	TBD		
1	LEVERSET	TBD	TBD	TBD		
1	PERIMETER WEATHERSEAL	TBD	TBD	TBD		
1	THRESHOLD	TBD	TBD	TBD		
1	WALL STOP	TBD	TBD	TBD		
(B) EXTERIOR DOOR - DOUBLE						
2	CLOSER	TBD	TBD	TBD		
1	FLUSH BOLT SET	TBD	TBD	TBD		
1	GASKETING	TBD	TBD	TBD		
6	HINGE	TBD	TBD	TBD		
2	LEVERSET	TBD	TBD	TBD		
1	PERIMETER WEATHERSEAL	TBD	TBD	TBD		
1	THRESHOLD	TBD	TBD	TBD		
2	WALL STOP	TBD	TBD	TBD		
(C) WINE CELLAR/UTILITY - SINGLE						
1	CLOSER	TBD	TBD	TBD		
1	EXIT DEVICE	TBD	TBD	TBD		
1	GASKETING	TBD	TBD	TBD		
3	HINGE	TBD	TBD	TBD		
1	LEVERSET	TBD	TBD	TBD		
1	WALL STOP	TBD	TBD	TBD		
(D) UNIT PRIVACY						
1	DOOR STOP	TBD	TBD	TBD		
3	HINGE	TBD	TBD	TBD		
1	LEVERSET	TBD	TBD	TBD		
(E) UNIT PRIVACY - DOUBLE						
2	DOOR STOP	TBD	TBD	TBD		
1	FLUSH BOLT SET	TBD	TBD	TBD		
6	HINGE	TBD	TBD	TBD		
2	LEVERSET	TBD	TBD	TBD		
(F) UNIT PASSAGE						
1	DOOR STOP	TBD	TBD	TBD		
3	HINGE	TBD	TBD	TBD		
1	LEVERSET	TBD	TBD	TBD		
(G) UNIT PASSAGE - DOUBLE						
2	DOOR STOP	TBD	TBD	TBD		
6	HINGE	TBD	TBD	TBD		
1	LEVERSET (DUMMY)	TBD	TBD	TBD		
2	ROLLER LATCH	TBD	TBD	TBD		
(H) UNIT PASSAGE - SLIDER						
1	DOOR FLOOR GUIDE	TBD	TBD	TBD		
1	SLIDING DOOR HARDWARE	TBD	TBD	TBD		
(J) UNIT BARN DOOR						
1	BARN DOOR HARDWARE	TBD	TBD	TBD		
1	BARN DOOR LATCH	TBD	TBD	TBD		
(L) BALCONY						
1	DEADBOLT	TBD	TBD	TBD		
3	HINGE	TBD	TBD	TBD		
1	LEVERSET	TBD	TBD	TBD		
1	PERIMETER WEATHERSEAL	TBD	TBD	TBD		
1	THRESHOLD	TBD	TBD	TBD		
1	WALL STOP	TBD	TBD	TBD		

GENERAL NOTES - DOOR & WINDOW

- A. ALL DOOR AND WINDOW SELECTIONS TO BE SELECTED BY OWNER AND ARCHITECT.
- B. FENESTRATION PRODUCTS ARE CERTIFIED AS TO THE PERFORMANCE LABELS OR CERTIFICATES.
- C. CONTINUOUS AIR BARRIER TO BE WRAPPED, SEALED, CAULKED, GASKETED, TAPED IN AN APPROVED MANNER ASSEMBLIES TO MEET ASTM 2357, ASTM E 1677, OR ASTM E 283.
- D. FENESTRATION PRODUCTS RATED IN ACCORDANCE WITH NFRC.
- E. FACTORY BUILT FENESTRATION AND DOORS TO BE LABELED AS MEETING AIR LEAKAGE REQUIREMENTS.
- F. FENESTRATION TO MEET AAMA/WDMA/CSA 101/I.S. 2/A440 OR DOES NOT EXCEED CODE LIMITS PER NFRC 400
- G. ALL DOORS WITH GLASS AND ALL GLAZING CONSIDERED AS HAZARDOUS LOCATIONS PER IRC MUST BE TEMPERED.
- H. ALL OPERABLE WINDOWS LOCATED LESS THAN 36" FROM FINISHED FLOOR TO BE PROVIDED WITH LIMITERS
- I. PROVIDE PRIVACY COVER AT ALL BEDROOM AND BATHROOM WINDOWS
- J. AIR SEAL AT POCKET DOOR OPENING AND CEILING PRIOR TO DOOR INSTALLATION

GENERAL NOTES - HARDWARE

- A. ALL HARDWARE SELECTIONS TO BE SELECTED BY OWNER, VERIFIED BY ARCHITECT.
- B. HARDWARE TYPES AND FUNCTIONS INDICATED IN THE HARDWARE SCHEDULE ARE THE BASIC INFORMATION NECESSARY FOR EACH DOOR OPENING. CONTRACTOR SHALL PROVIDE ALL HARDWARE NECESSARY FOR A COMPLETE INSTALLATION.
- C. ALL HARDWARE SHALL MEET THE REQUIREMENTS OF ICC ANSI A117.1-2009 AND IBC
- D. GENERAL CONTRACTOR SHALL COORDINATE ALL CYLINDERS, LOCKSETS, AND KEYING/MASTER KEY WITH OWNER
- E. COORDINATE FAIL SAFE LOCKS WITH REQUIREMENTS OF FIRE MARSHALL AND FIRE ALARM SYSTEM IN COMPLIANCE WITH IBC
- F. INTERIOR DESIGN SET SPECIFICATIONS SUPERCEDE ARCHITECTURAL SET
- G. GENERAL CONTRACTOR SHALL COORDINATE ALL DOOR AND HARDWARE WITH LOW VOLTAGE AND SECURITY SYSTEMS

AIR LEAKAGE REQUIREMENTS

5.4.3.2 Fenestration and Doors
Air leakage for fenestration and doors shall be determined in accordance with AAMA/WDMA/CSA 101/I.S.2/A440, NFRC 400, or ASTM E283 as specified below. Air leakage shall be determined by a laboratory accredited by a nationally recognized accreditation organization, such as the National Fenestration Rating Council, and shall be labeled and certified by the manufacturer. Air leakage shall not exceed:

- a. 1.0 cfm/ft2 for glazed swinging entrance doors and revolving doors, tested at a pressure of at least 1.57 psf in accordance with AAMA/WDMA/CSA 101/I.S.2/ A440, NFRC 400, or ASTM E283;
- b. 0.06 cfm/ft2 for curtainwall and storefront glazing, tested at a pressure of at least 1.57 psf or higher in accordance with NFRC 400 or ASTM E283;
- c. 0.3 cfm/ft2 for unit skylights having condensation weep-age openings, tested at a pressure of at least 1.57 psf in accordance with AAMA/WDMA/CSA 101/I.S.2/A440 or NFRC 400, or 0.5 cfm/ft2 tested at a pressure of at least 6.24 psf in accordance with AAMA/WDMA/CSA 101/ I.S.2/A440;
- d. 1.3 cfm/ft2 for nonswinging doors intended for vehicular access and material transportation, with a minimum opening rate of 32 in./s, tested at a pressure of at least 1.57 psf or higher in accordance with ANSI/DASMA 105, NFRC 400, or ASTM E283.
- e. 0.4 cfm/ft2 for other nonswinging opaque doors, glazed sectional garage doors, and upward acting nonswinging glazed doors tested at a pressure of at least 1.57 psf or higher in accordance with ANSI/DASMA 105, NFRC 400, or ASTM E283; and
- f. 0.2 cfm/ft2 for all other products tested at a pressure of at least 1.57 psf in accordance with AAMA/WDMA/CSA 101/I.S.2/A440 or NFRC 400, or 0.3 cfm/ft2 tested at a pressure of at least 6.24 psf in accordance with AAMA/WDMA/CSA 101/I.S/A440.

- Exceptions:
- 1. Field-fabricated fenestration and doors
- 2. Deleted
- 3. Products in buildings that comply with a whole building air leakage rate of 0.4 cfm/ft2 under a pressure differential of 0.3 in. H2O, 1.57 psf when tested in accordance with ASTM E 779

3X3 AREA FOR DOB USE



SQUARE 134 ARCHITECTS
1432 K St NW Suite 200, Washington D.C. 20005
www.square134.com 202.328.0134

2619 Wisconsin Avenue, NW
Washington D.C. 20007

DRAWING TITLE

DOOR SCHEDULE & TYPES

GRAPHIC SCALES

DATE SUBMISSION NAME

DATE DESCRIPTION

STAMP



PROJECT NUMBER

24010

SCALE

As indicated

ISSUE

Permit Submission Set

ISSUE DATE

09/06/2024

DRAWING NUMBER

A6010

Board of Zoning Adjus
District of Columbia
CASE NO. 21244
EXHIBIT NO. 19A