ZONING ANALYSIS

PROJECT INFORMATION

PROJECT ADDRESS: 2619 WISCONSIN AVE. NW. WASHINGTON, DC. 20007 PROJECT SCOPE: LEVEL III ALTERATION OF SINGLE FAMILY HOME.

CELLAR 1.889 SF 1ST FLR 1.660 SF 2ND FLR 1.110 SF 1935 SQUARE: 0044 3RD FLR 758 SF R1-B ZONE: 5,524 SF TOTAL 5,417 SF LOT SIZE: NOT APPLICABLE HISTORIC:

CODE ANALYSIS

APPLICABLE BUILDING CODES

2017 DCMR 12B, District of Columbia Residential Code 2017 DCMR 12G, District of Columbia Property Maintenance Code 2017 DCMR 12J, District of Columbia Existing Building Code

2013 ASHRAE 90.1 2016 DC Zoning Regulations

CLASSIFICATION

SPRINKLER SYSTEM	NFPA 13D
FIRE ALARM SYSTEM	YES (TO COMPLY WITH 2017 DCRC R314)

DC ENERGY RESIDENTIAL CODE COMPLIANCE (R402.1.2)

	RESIDENTIAL
FENESTRATION U-FACTOR	U-0.30
SKYLIGHT U-FACTOR	U-0.55
GLAZED FENESTRATION SHGC	0.40 SHGC
CEILING	R-49
WOOD FRAME WALL AND RIM JOISTS	R-19 IN CAVITY + R-5ci ON EXTERIOR, OR R-13 IN CAVITY + R-10ci ON EXTERIOR, OR R-15ci
MASS WALL	R-15ci ON EXTERIOR, OR R-20ci ON INTERIOR
FRAME FLOOR	R-25 + R-5ci
ELEVATED SLAB	R-15ci
BASEMENT WALL	R-19 IN CAVITY + R-5ci ON EXTERIOR, OR R-13 IN CAVITY + R-10ci ON EXTERIOR, OR R-15ci
SLAB ON GRADE	R-10 PERIMETER INSULATION FOR A DEPTH OF 2'-0"
SLAB ON GRADE - HEATED	R-5 SHALL BE ADDED TO REQUIRED SLAB EDGE R-VALUES
CONDITIONED CRAWLSPACE WALL	R-19 IN CAVITY + R-5ci ON EXTERIOR, OR R-13 IN CAVITY + R-10ci ON EXTERIOR, OR R-15ci

FIRE-RESISTANCE RATING REQUIREMENTS TABLE R302.1 (2)

		. ,
EXTERIOR WALL ELEMENT	MINIMUM FIRE RESISTANCE RATING	MINIMUM FIRE SEPARATION DISTANCE
WALLS: FIRE RESISTANCE RATED	1 HR - TESTED IN ACCORDANCE WITH ASTM E	0 FT
WALLS: NOT FIRE RESISTANCE RATED	0 HRS	3 FT
PROJECTIONS: FIRE RESISTANCE RATED	1 HR ON UNDERSIDE	2 FT
PROJECTIONS: NOT FIRE RESISTANCE RATED	0 HRS	3 FT
OPENINGS IN WALLS	0 HOUR	3 FT
PENETRATIONS	COMPYL WITH SECTION R302.4	3 FT

MEANS OF EGRESS

STAIRWAY WIDTH

ZONING CONSTRAINTS

	ALLOWABLE / REQUIRED	EXISTING	PROPOSED
LOT SIZE	4,880 SF	4,880 SF	4,880 SF
LOT OCCUPANCY	40% (1,952 SF)	39% (1,900 SF)	45% (2,192 SF)
FAR	N/A	N/A	N/A
REAR YARD SETBACK	25'-0"	55'-3"	26'-7"
SIDE YARD SETBACK	8'-0"	7'-2", 6'-9"	7'-2", 6'-9"
BUILDING HEIGHT	40'-0" (3 STORIES)	MAIN HOUSE: ~36'-0"	MAIN HOUSE: ~36'-0"
ACCESSORY BUILDING HEIGHT	22'-0" (2 STORIES)	ACCESSORY BLDG: ~14'-0" (1 STORY)	ACCESSORY BLDG: 21'-0" (2 STORI
RESIDENTIAL PARKING	1 SPACE	3 PARKING SPACES	3 PARKING SPACES
ACCESSORY BLDG AREA	30% OF REQ'D REAR YARD OR 450 SF	578 SF EXISTING NONCONFORMITY	578 SF EXISTING NONCONFORMITY

GENERAL NOTES

GFA/FAR

- 1. The Construction Documents are to include AIA document A201 "General Conditions of the Contract for Construction". The LLC entity or other as designated on the COVER SHEET A0000 of this drawing set, shall be designated as "The Owner", Square 134 Architects shall be designated as "The Architect". "The Owner" shall be designated as "The Landlord". The AIA document shall also include the Agreement, Performance and Payment Bonds, General Conditions, Supplementary Conditions, the Specifications, the Drawings Addendum, and Contract Modifications, Building Rules and Regulations & any other documents required by the Owner
- 2. The General Contractor shall be both licensed and bonded in the District of Columbia and shall provide documents upon the Architect's request.
- 3. The Work shall be done in accordance with all rules and regulations of all applicable safety and building codes. The General Contractor is responsible for securing and paying for all permits required for the Work and for the scheduling of all required inspections during the course of the
- 4. The General Contractor shall review the existing conditions, Landlord Rules & Regulations & Base Building Construction Documents from the Landlord and shall comply with all base building requirements and design criteria. The Contractor shall notify the Architect of all discrepancies, errors, inconsistencies or ambiguities discovered.
- 5. The General Contractor shall provide protection and be responsible for any existing finishes to remain and shall repair or replace any damaged areas as a result of the work. All existing finishes to remain shall be cleaned at the completion of construction.
- 6. All materials and systems shall be installed as per manufacturer's specifications and all construction shall be of industry standard or better. The Architect shall be ultimate judge of quality.
- 7. Only new items of recent manufacture, of standard quality, free from defects, will be permitted in the Work, unless otherwise noted. Rejected items shall be removed immediately form the Work and replaced with items of the quality specified. Failure to remove rejected materials and equipment shall not relieve the General Contractor from the responsibility for quality of items used nor from any other obligation imposed on him
- 8. Do not scale drawings. Stated & written dimensions govern. The General Contractor shall verify all dimensions in the field and shall be responsible for their accuracy. No extra charge or compensation shall be allowed because of difference between actual dimensions and those indicated on the drawings, unless they contribute to a change in the scope of the Work. Any difference which may be found shall be submitted to the Architect for decision prior to ordering, manufacturing, or proceeding with the Work. Horizontal dimensions indicated are to/from face of GWB, unless noted otherwise. Vertical dimensions are from top of floor slab except where noted to be above finished floor (AFF). Dimensions are not adjustable without approval of Architect unless noted +/-.
- 9. In the event of conflict between data shown on drawings and data shown on the specification, the specification shall govern. Detail drawings take precedent over drawings of larger scope. Should the General Contractor at any time discover an error in a drawing or specification, or any discrepancy, or variation between dimensions on the drawings and measurements at site, or lack of dimensions or other information, the Contractor shall not proceed with the work affected until clarification has been made by the Architect. In case of an inconsistency between Drawings and Specifications or within either Document, not clarified by addendum, the more specific provision will take precedence over less specific; more specific will take precedence over less stringent; more expensive item will take precedence over less expensive. Better quality or greater quantity of Work shall be provided in accordance with Architect's interpretation. On Drawings, figures take precedence over scaled dimensions. Scaling of dimensions, if done, is done at the Contractor's own risk.
- equipment (to include all piping, duct work, sprinklers structural members and conduit) and that clearances for installation and maintenance of above equipment is provided. Elements in conflict shall be determined and reviewed with the Architect prior to work proceeding. Contractor to
- 11. The General Contractor shall provide shop drawings for the Architect's review and approval for the following: All shop fabricated millwork, flooring, light fixtures, doors, misc. steel, metal fabrication, glass/glazing, and hardware. Shop drawings shall be submitted in the form of 2 sets of prints. Shop drawings shall not be reproductions of Contract Documents. Material Submittals (3 samples) shall be provided for wood, acrylic,
- 12. The General Contractor shall provide the Architect with manufacturer's cut sheets and specifications for all equipment including but not limited to:
- Documents or will result in additional work, shall be brought to the attention of the Architect prior to proceeding with work.
- proceeding with the Work. Contractor shall submit proposed locations to Architect and Structural Engineer for review prior to proceeding with the
- 15. Patch, repair and install all fireproofing as required by code. Fireproof any new penetrations required by the work.
- 16. General Contractor to coordinate and review size and location of all slab penetrations. All required penetrations shall be made in accordance with the Owner's standard approval procedures and methods. All penetrations shall be properly sealed according to the Architect and the
- 17. The General Contractor shall continuously check architectural and structural clearances for accessibility of equipment and mechanical and electrical systems. No allowances of any kind will be made for the General Contractor's negligence to foresee means of installing equipment into position.
- distortions, holes, marks cracks, stains, or discoloration. Jointing shall be close fitting, neat and well scribed. The finished work shall have no exposed unsightly anchors or fasteners and shall not present hazardous, unsafe corners. All work shall have the provision for expansion, contraction and shrinkage as necessary to prevent cracks, buckling, and warping due to temperature and humidity conditions.
- 19. Attachments, connections or fasteners of any nature are to be properly and permanently secured in conformance with best practice and the General Contractor is responsible for improving them accordingly. The drawings highlight special conditions only and by no means illustrate every connection. Start of installation shall imply acceptance of substrate.
- governing codes, ordinances, etc. require quantity or better quality than common practice or common usage would require.
- construction. If an item is found to be unavailable or to have a long lead time, the General Contractor shall notify Architect immediately with a
- commencement of the work. Any unreported deficiencies will become the responsibility of the General Contractor to correct.
- 23. Within the scope of renovation, all debris shall be removed from the site on a daily basis when possible. Upon completion of the work, remove all
- 24. All abandoned miscellaneous nails, hangers, staples, wires and conduits shall be removed from the walls and areas of exposed ceilings. Remove all abandoned pipe sleeves in floor slabs. Patch existing slab as req. to maintain UL fire rating of floor slab where pipes and conduits
- 25. Slab penetrations less than 2" around new and existing piping, conduit, ductwork, etc. shall be filled with acoustic foam and/or sealant to ensure acoustical separation between floor slabs. Slab penetrations greater than 2" around new and exiting piping, conduit, ductwork, etc. shall be filled with concrete. All piping, conduit, ductwork, etc. shall be wrapped with expansion material prior to filling with concrete. Expansion material shall be approved by the MEP Engineer.
- 26. Provide the Architect with manufacturer's cut sheets and specifications for review of equipment including but not limited to: lighting fixtures,
- ceilings. Contractor shall be responsible for coordinating all trades. Required access panels shall be included in the Contractor's scope.
- 28. Contractor shall provide the Team with a construction schedule showing the proposed phasing. Any long lead items that will affect the
- Document any existing conditions or damages prior to the start of construction.
- 30. The Contractor shall be solely responsible for, and have control over, all construction means, methods, techniques, sequences, and procedures for coordinating and constructing all portions of the work.
- installation of these materials throughout the building.

ABBREVIATIONS

BV	above	OA	overall
COUS	acoustical	ОС	on center
CT	acoustical ceiling tile	OD	outside diamet
D	area drain	OFF	office
DJ	adjustable	ОН	opposite hand
FF	above finished floor	OPG	opening
LUM	aluminum	OPP	opposite
LT	alternate		
PPROX	approximate	PART	partition
RCH	architect	PG	paint grade
		PL	property line
ALC	balcony	PLAM	plastic laminat
D	board	PLAS	plaster
ET	between	PLYWD	plywood
LDG	building	PNT	paint
LKG	blocking	PR	pair

PSL BLW panel support leg below PTD beam partition bottom of PTN painted bottom BRKT bracket **BULKHD** bulkhead RAD radius RD roof drain REF refrigerator, refer REINF CALK caulking reinforced CEM cement REQD required **RESIL** CER resilient ceramic

construction joint

cased opening

center line

ceiling

closet

column

concrete

carpet

center

detail

diameter

dimension

down spout

dishwasher

electric(al)

emergency

enclosure

end panel

equipment

fire alarm

floor drain

fire hydrant

fluorescent

foot or feet

face of finish

galvenized

ground fault interupt

gypsum wall board

grab bar

glass

ground

gypsum

hardware

horizontal

height

hour

handicapped hardwood

hollow metal

incandescent

insulation

interior

joist

joint

knock down

lavatory

pounds

landing

maximum

mechanical

manufacturer

miscellaneous mounted

not in contract

membrane

minimum

metal

north

number nominal

not to scale

light

furring

face of

finish

floor

fire extinguisher

existing to remain

electrical water cooler

fire extinguisher cabinet

equal

existing

elevation

drawing

each

disposer

down

door

continuous

ceramic tile

clear

CPT

CTR

DET

DIM

DS

DW

EA

ELEC

ELEV

EMER

ENCL

EP

EQ

ETR

EXIST

EWC

FΑ

FD

FE

FLR

FT

FUR

FO

FOF

GB

GFI

GL

GND

GYP

GWB

HDWR

HT

HM

HORIZ

INSUL

INT

JAN

JST

LB(S)

LDG

MAX

MECH

MEMB

MFR

MIN

MTL

NIC

NO

NTS

LT

FLUOR

EQUIP

DWG

REV

RM

SCHED

SC WD

SEAL

SECT

SHT

SPEC

SQ

SS

STD

STL

STOR

SUSP

SYM

TEL

T&G

THK

THR

TYP

TO

UC

UNFIN

UON

UNO

UTIL

VCT

W/I

WLD

WSCT

STRUCT

revision

rough opening

sink basin

solid core wood door

schedule

sealant

section

sheet

similar

standpipe

standard

storage

structural

suspended

symmetrical

telephone

terrazzo

thick(ness)

threshold

top of

typical

utility

undercut

unfinished

unless otherwise noted

unless noted otherwise

vinyl composition tile

value engineering

verify in field

wall covering

wood

within

withou

welded waterproof

wainscot

wetstack

weight

tongue & groove

specification

stainless stee

square foot

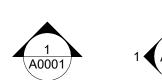
room

south

CJ CL CLG CLO(S) CLR COL CONC CONT

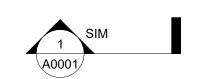
- 10. General Contractor shall verify that no conflicts exist in locations of any and all mechanical, telephone, electrical, plumbing and sprinkler
- coordinate new work with existing conditions.
- tile, base, paint, laminate and any other materials indicated in the shop drawing.
- light fixtures, plumbing equipment, electrical equipment, fans, supplementary heating and cooling elements, all hardware and security equipment.
- 13. The General Contractor shall not proceed with work for which he expects additional compensation beyond the contract amount with out written authorization from the Architect and Owner. Failure to obtain such authorization shall invalidate a claim for extra compensation. The Contractor shall not proceed with work which, if completed in strict conformance with the Construction Documents, will result in additional work beyond the scope of the Contract without written authorization from the Architect and Owner. Any field conditions that significantly vary from the Contract
- 14. Contractor shall include all x-ray and core drill costs. All core drilling of the slab shall be approved by the Landlord Structural Engineer prior to
- Owner's requirements and applicable codes.
- 18. The finished work shall be firm, well-anchored, in true alignment, plumb, level, with smooth, clean, uniform, appearance without waves,
- 20. General Contractor shall waive "Common Practice" and "Common Usage" as construction criteria wherever details and Contract Documents of
- 21. The General Contractor shall submit shop drawings and submittals order and schedule delivery of materials in ample time to avoid delays in
- 22. The General Contractor shall notify the Owner, the Landlord, and the Architect in writing of any deficiencies in base building new work prior to the
- debris from the building created by the work provided under this Contract and leave all areas clean. Trash is not permitted to be burned on site.
- plumbing equipment, electrical equipment, fans, heating and cooling elements and accessories, hardware and security equipment.
- 27. Notify Architect of any access panels which may be required before proceeding with the work. No access panels shall be provided in GWB
- Substantial Completion date shall be brought to the Architect's attention immediately.
- 29. Provide protection for existing finishes to remain, including restrooms, lobbies and corridors and repair damages as a result of construction.
- 31. General Contractor shall provide a 10' x 10' mockup of exterior materials and finishes based on design documents for approval prior to full

SYMBOLS

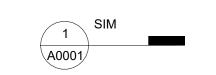




ELEVATION REFERENCE MARK

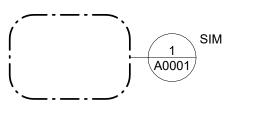


SECTION REFERENCE MARK



DETAIL SECTION REFERENCE MARK

CALLOUT REFERENCE MARK



ROOM NAME ROOM NAME ROOM NAME 101 WALL N FinishGroup WALL W WALL E **ROOM NAME ROOM NAME** WALL S 150 SF CLG | FLOOR | BASE **ROOM TAGS**

101 101 Area Name Area Name Area Name 150 SF 150 GSF Gross Comment **AREA TAGS**

(101) **WINDOW TAG** DOOR TAG

XXX **EQUIPMENT/PLUMBING TAGS**

MATERIAL TAG FLOOR & ROOF TAGS

XX

KEYNOTE TAG LIGHT FIXTURE TAG

10'-0"

SPOT ELEVATION MARK

REVISION CLOUD

3X3 AREA FOR DOB USE

SQUARE 134 ARCHITECTS 1432 K St NW Suite 200, Washington D.C. 20005 202.328.0134 www.square134.com

2619 Wisconsin Avenue, NW Washington D.C. 20007

DRAWING TITLE **PROJECT INFORMATION**

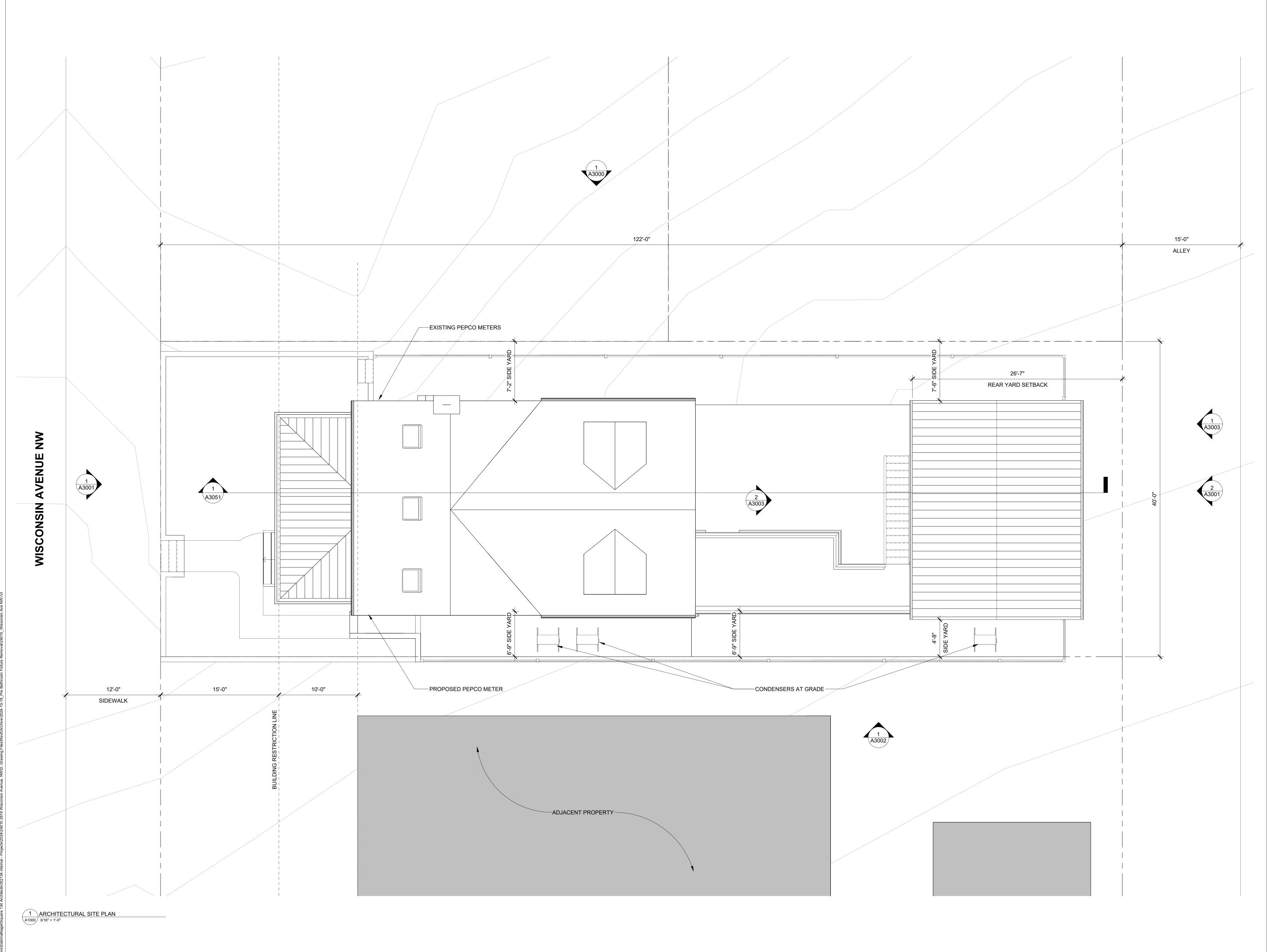
GRAPHIC SCALES

SUBMISSION NAME

STAMP

PROJECT NUMBER 24010 SCALE As indicated

Permit Submission Set ISSUE DATE 09/06/2024



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DRAWING TITLE ARCHITECTURAL SITE **PLAN**

GRAPHIC SCALES

DATE SUBMISSION NAME

DATE DESCRIPTION

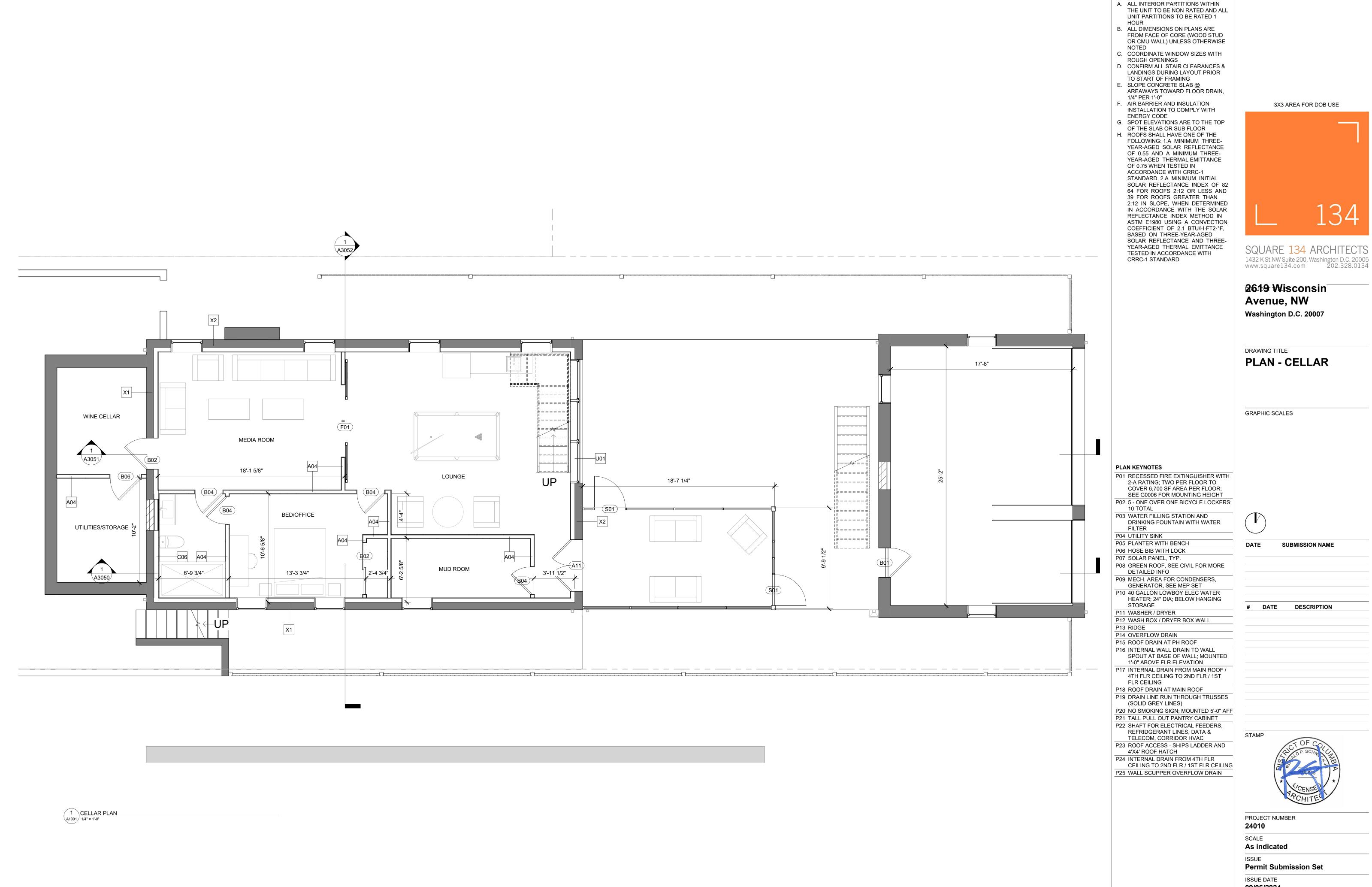
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PROJECT NUMBER **24010**

SCALE 3/16" = 1'-0"

ISSUE
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ISSUE DATE **09/06/2024** DRAWING NUMBER

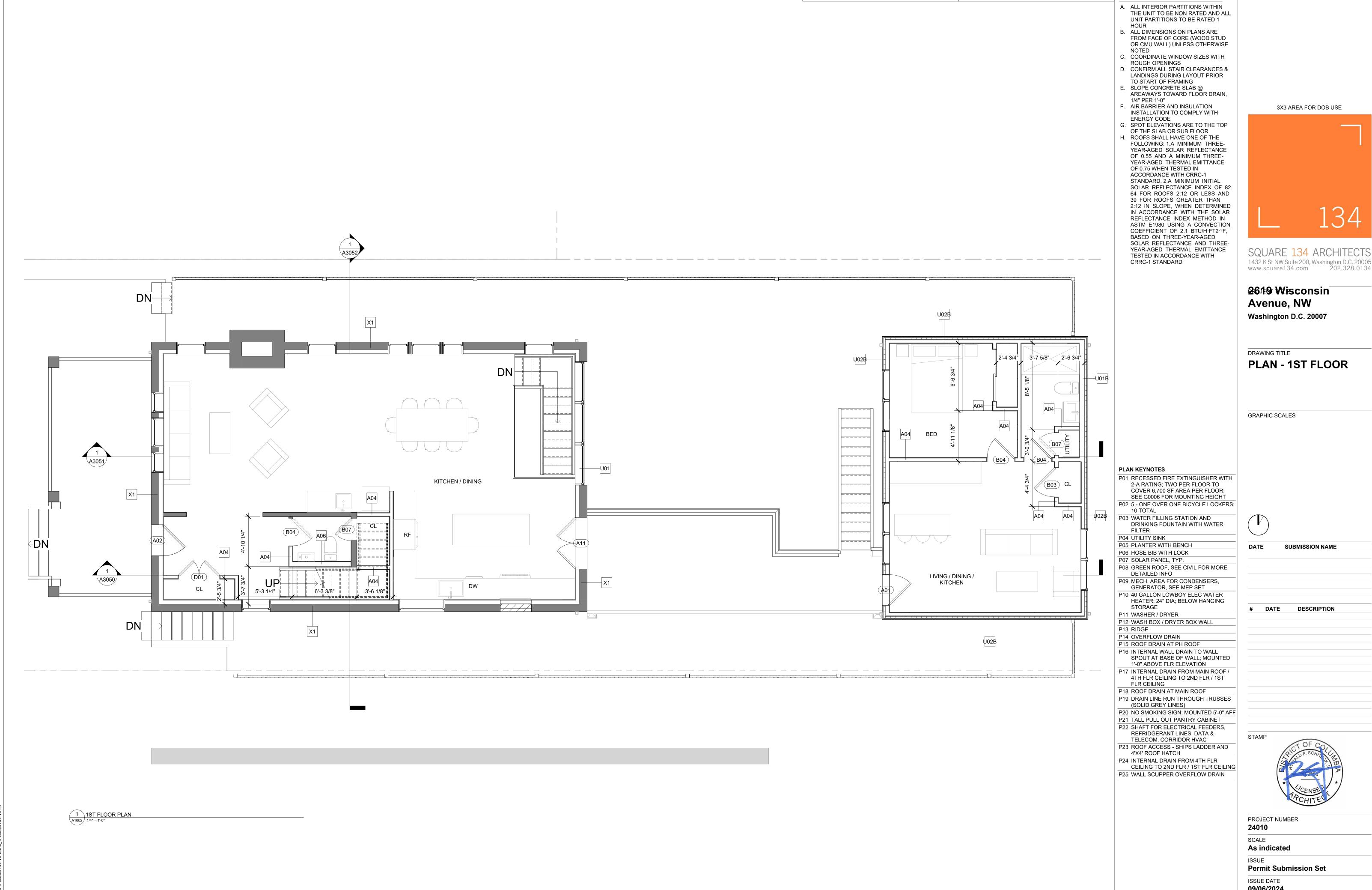


UNITS - GSF

UNITS - NSF

GENERAL NOTES - PLAN

09/06/2024



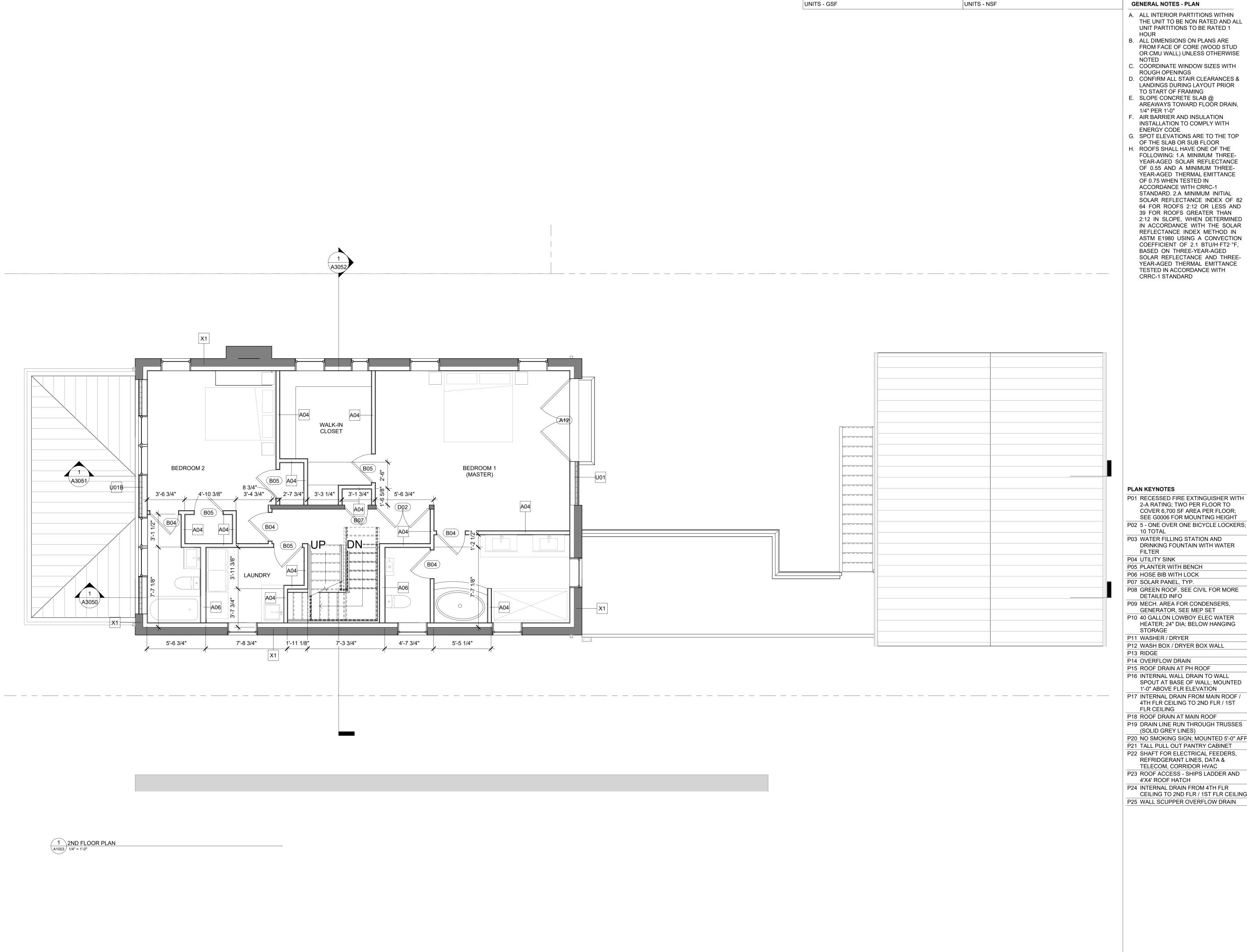
UNITS - GSF

UNITS - NSF

GENERAL NOTES - PLAN

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09/06/2024



GENERAL NOTES - PLAN

- A. ALL INTERIOR PARTITIONS WITHIN THE UNIT TO BE NON RATED AND ALL UNIT PARTITIONS TO BE RATED 1
- B. ALL DIMENSIONS ON PLANS ARE FROM FACE OF CORE (WOOD STUD OR CMU WALL) UNLESS OTHERWISE
- C. COORDINATE WINDOW SIZES WITH
- D. CONFIRM ALL STAIR CLEARANCES & LANDINGS DURING LAYOUT PRIOR TO START OF FRAMING
- E. SLOPE CONCRETE SLAB @ AREAWAYS TOWARD FLOOR DRAIN,
- F. AIR BARRIER AND INSULATION INSTALLATION TO COMPLY WITH
- G. SPOT ELEVATIONS ARE TO THE TOP OF THE SLAB OR SUB FLOOR
- H. ROOFS SHALL HAVE ONE OF THE FOLLOWING: 1.A MINIMUM THREE-YEAR-AGED SOLAR REFLECTANCE OF 0.55 AND A MINIMUM THREE-YEAR-AGED THERMAL EMITTANCE OF 0.75 WHEN TESTED IN ACCORDANCE WITH CRRC-1 STANDARD. 2.A MINIMUM INITIAL SOLAR REFLECTANCE INDEX OF 82
- 64 FOR ROOFS 2:12 OR LESS AND 39 FOR ROOFS GREATER THAN 2:12 IN SLOPE, WHEN DETERMINED IN ACCORDANCE WITH THE SOLAR REFLECTANCE INDEX METHOD IN ASTM E1980 USING A CONVECTION COEFFICIENT OF 2.1 BTU/H·FT2·°F, BASED ON THREE-YEAR-AGED SOLAR REFLECTANCE AND THREE-

3X3 AREA FOR DOB USE

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DRAWING TITLE

PLAN - 2ND FLOOR

GRAPHIC SCALES

P02 5 - ONE OVER ONE BICYCLE LOCKERS; P03 WATER FILLING STATION AND DRINKING FOUNTAIN WITH WATER

P06 HOSE BIB WITH LOCK P07 SOLAR PANEL, TYP. P08 GREEN ROOF, SEE CIVIL FOR MORE

GENERATOR, SEE MEP SET P10 40 GALLON LOWBOY ELEC WATER HEATER; 24" DIA; BELOW HANGING

P11 WASHER / DRYER P12 WASH BOX / DRYER BOX WALL

P14 OVERFLOW DRAIN P15 ROOF DRAIN AT PH ROOF P16 INTERNAL WALL DRAIN TO WALL SPOUT AT BASE OF WALL; MOUNTED

P17 INTERNAL DRAIN FROM MAIN ROOF / 4TH FLR CEILING TO 2ND FLR / 1ST

P18 ROOF DRAIN AT MAIN ROOF P19 DRAIN LINE RUN THROUGH TRUSSES (SOLID GREY LINES)

P20 NO SMOKING SIGN; MOUNTED 5'-0" AFF P21 TALL PULL OUT PANTRY CABINET P22 SHAFT FOR ELECTRICAL FEEDERS, REFRIDGERANT LINES, DATA &

TELECOM, CORRIDOR HVAC P23 ROOF ACCESS - SHIPS LADDER AND

P24 INTERNAL DRAIN FROM 4TH FLR CEILING TO 2ND FLR / 1ST FLR CEILING P25 WALL SCUPPER OVERFLOW DRAIN

SUBMISSION NAME

DATE DESCRIPTION

STAMP

PROJECT NUMBER 24010

SCALE As indicated

ISSUE **Permit Submission Set**

ISSUE DATE 09/06/2024

(E02)

A04

GENERAL NOTES - PLAN

- A. ALL INTERIOR PARTITIONS WITHIN THE UNIT TO BE NON RATED AND ALL UNIT PARTITIONS TO BE RATED 1
- B. ALL DIMENSIONS ON PLANS ARE FROM FACE OF CORE (WOOD STUD OR CMU WALL) UNLESS OTHERWISE
- C. COORDINATE WINDOW SIZES WITH ROUGH OPENINGS D. CONFIRM ALL STAIR CLEARANCES &
- TO START OF FRAMING E. SLOPE CONCRETE SLAB @ AREAWAYS TOWARD FLOOR DRAIN,
- F. AIR BARRIER AND INSULATION
- INSTALLATION TO COMPLY WITH G. SPOT ELEVATIONS ARE TO THE TOP
- H. ROOFS SHALL HAVE ONE OF THE FOLLOWING: 1.A MINIMUM THREE-YEAR-AGED SOLAR REFLECTANCE OF 0.55 AND A MINIMUM THREE-YEAR-AGED THERMAL EMITTANCE OF 0.75 WHEN TESTED IN ACCORDANCE WITH CRRC-1 STANDARD. 2.A MINIMUM INITIAL SOLAR REFLECTANCE INDEX OF 82 64 FOR ROOFS 2:12 OR LESS AND
- 39 FOR ROOFS GREATER THAN 2:12 IN SLOPE, WHEN DETERMINED IN ACCORDANCE WITH THE SOLAR REFLECTANCE INDEX METHOD IN ASTM E1980 USING A CONVECTION COEFFICIENT OF 2.1 BTU/H·FT2·°F, BASED ON THREE-YEAR-AGED SOLAR REFLECTANCE AND THREE-YEAR-AGED THERMAL EMITTANCE TESTED IN ACCORDANCE WITH

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DRAWING TITLE

PLAN - 3RD FLOOR

GRAPHIC SCALES

P01 RECESSED FIRE EXTINGUISHER WITH COVER 6,700 SF AREA PER FLOOR; SEE G0006 FOR MOUNTING HEIGHT

P02 5 - ONE OVER ONE BICYCLE LOCKERS; 10 TOTAL

P03 WATER FILLING STATION AND DRINKING FOUNTAIN WITH WATER FILTER

P04 UTILITY SINK P05 PLANTER WITH BENCH P06 HOSE BIB WITH LOCK P07 SOLAR PANEL, TYP. P08 GREEN ROOF, SEE CIVIL FOR MORE

DETAILED INFO P09 MECH. AREA FOR CONDENSERS, GENERATOR, SEE MEP SET

P10 40 GALLON LOWBOY ELEC WATER HEATER; 24" DIA; BELOW HANGING STORAGE

P11 WASHER / DRYER P12 WASH BOX / DRYER BOX WALL P13 RIDGE P14 OVERFLOW DRAIN

P15 ROOF DRAIN AT PH ROOF P16 INTERNAL WALL DRAIN TO WALL SPOUT AT BASE OF WALL; MOUNTED 1'-0" ABOVE FLR ELEVATION

P17 INTERNAL DRAIN FROM MAIN ROOF / 4TH FLR CEILING TO 2ND FLR / 1ST FLR CEILING P18 ROOF DRAIN AT MAIN ROOF

P19 DRAIN LINE RUN THROUGH TRUSSES (SOLID GREY LINES) P20 NO SMOKING SIGN; MOUNTED 5'-0" AFF P21 TALL PULL OUT PANTRY CABINET P22 SHAFT FOR ELECTRICAL FEEDERS,

REFRIDGERANT LINES, DATA & TELECOM, CORRIDOR HVAC P23 ROOF ACCESS - SHIPS LADDER AND

4'X4' ROOF HATCH P24 INTERNAL DRAIN FROM 4TH FLR

CEILING TO 2ND FLR / 1ST FLR CEILING P25 WALL SCUPPER OVERFLOW DRAIN



SUBMISSION NAME

DATE DESCRIPTION

STAMP

PROJECT NUMBER 24010

SCALE As indicated

ISSUE **Permit Submission Set**

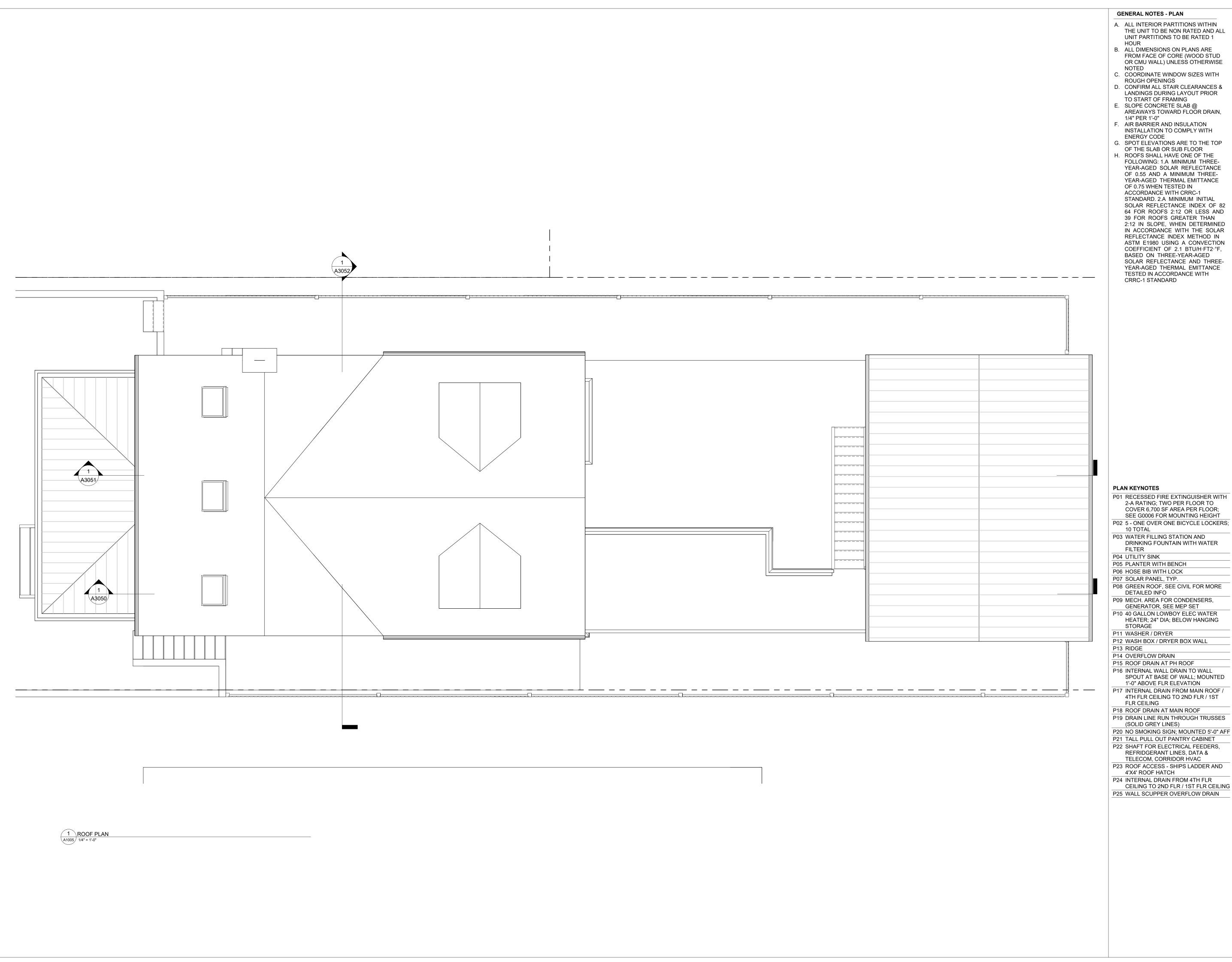
ISSUE DATE 09/06/2024

DRAWING NUMBER

1 3RD FLOOR PLAN

B07 DN-

└─**A**04



- THE UNIT TO BE NON RATED AND ALL

- YEAR-AGED SOLAR REFLECTANCE

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DRAWING TITLE

PLAN - ROOF

GRAPHIC SCALES

SEE G0006 FOR MOUNTING HEIGHT

P20 NO SMOKING SIGN; MOUNTED 5'-0" AFF

STAMP

SUBMISSION NAME

DATE DESCRIPTION

PROJECT NUMBER 24010

SCALE

As indicated ISSUE

Permit Submission Set ISSUE DATE

09/06/2024 DRAWING NUMBER

	EXTERIOR I	MATERIALS
	MARK	DESCRIPTION
-	CP1	FIBER CEMENT PANEL
	CM1	CORRUGATED METAL
	MC1	METAL COPING
<u></u>	PC1	PAINTED CONCRETE
P	PM1	PAINTED METAL
1	WT1	WOOD TILE

2619 Wisconsin DRAWING TITLE **NORTH ELEVATION** GRAPHIC SCALES

ROOF/PH 40'-10" 3RD FLOOR 23'-10 7/8" A10 A17 A10 2ND FLOOR 14'-8 1/2" A6 1ST FLOOR 4'-10" GRADE 3'-2 1/2" A1 A1 A1 **A7** CELLAR _-4'-1_1/2"__

1 NORTH ELEVATION 3/16" = 1'-0"

SQUARE 134 ARCHITECTS
1432 K St NW Suite 200, Washington D.C. 20005
www.square134.com 202.328.0134

3X3 AREA FOR DOB USE

Avenue, NW Washington D.C. 20007

SUBMISSION NAME

DATE DESCRIPTION

STAMP



PROJECT NUMBER **24010**

SCALE
As indicated

ISSUE
Permit Submission Set

ISSUE DATE **09/06/2024**



1 NORTH ELEVATION 3/16" = 1'-0" MARK
DESCRIPTION

CP1
FIBER CEMENT PANEL

CM1
CORRUGATED METAL

MC1
METAL COPING

PC1
PAINTED CONCRETE

PM1
PAINTED METAL

WT1
WOOD TILE

3X3 AREA FOR DOB USE

134

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DRAWING TITLE

NORTH ELEVATION

GRAPHIC SCALES

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DRAWING NUMBER

300 Gward of Zoning Adjustment District of Columbia CASE NO. 21244 EXHIBIT NO. 17A

FIBER CEMENT PAN
CORRUGATED MET
METAL COPING
PAINTED CONCRET
PAINTED METAL

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DRAWING TITLE

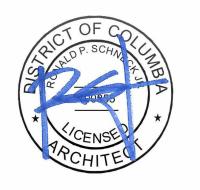
EAST & WEST ELEVATION

GRAPHIC SCALES

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DATE DESCRIPTION

STAMP



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EXTER	IOR MATER	IALS
MARK		DESCRIPTION
	X	
CP1		FIBER CEMENT PANEL
CM1		CORRUGATED METAL
CIVIT		CORRUGATED METAL
MC1		METAL COPING
PC1		PAINTED CONCRETE
		DAINITED METAL
PM1		PAINTED METAL
WT1		WOOD TILE

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DRAWING TITLE

SOUTH ELEVATION

GRAPHIC SCALES

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ISSUE DATE **09/06/2024**

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1 SOUTH ELEVATION 3/16" = 1'-0"

FIBER CEMENT PAI CORRUGATED MET METAL COPING
CORRUGATED MET
METAL COPING
PAINTED CONCRET
PAINTED METAL

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DRAWING TITLE

GARAGE ELEVATIONS

GRAPHIC SCALES

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