

## BZA Application No. 21241

**Nga (“Luna”) and Zene Howard**  
**5010 V Street, NW**  
**March 12, 2025**

### **Applicant**

Luna Howard

### **Zoning Attorney**

Sullivan & Barros, LLP

Martin Sullivan

Board of Zoning Adjustment

District of Columbia

### **Project Architect**

Peter Lee

CASE NO. 21241  
EXHIBIT NO. 28

## Overview and Requested Relief

- The property is in the R-1B zone and contains a two-story single-family row dwelling.
- The Applicant proposes a two-story addition at what is functionally the rear of the Building, but for zoning purposes technically classified as the front of the Building.
- The Addition will align with the front wall of one of the two adjoining buildings, complying with front yard setback requirements.
- The Building is a nonconforming row dwelling in the R-1B zone, requiring special exception relief from the side yard requirements under D-208.7 and the pervious surface requirements under D-211.1, as the Addition will increase lot occupancy by more than 10%, triggering the pervious requirement. While this proposal will no increase the pervious surface percentage, the existing percentage is already over the restriction of fifty percent (50%).

## Community & Agency Support

- The Office of Planning recommends approval.
- ANC 3D voted unanimously in support.
- There is a letter of support from each adjacent neighbor.

**Subj. Property**  
5010 V St., NW



**Subj. Property**  
5010 V St., NW

5010 V St NW

5001

5012

5018



**Subj. Property**  
5010 V St., NW



## General Special Exception Criteria

- The granting of the special exception will be in harmony with the general purpose and intent of the Zoning Regulations and Zoning Maps. The subject Property is located in the R-1B zone; the purpose of the R-1B zone is “stabilize the residential areas and promote a suitable environment for family life.” The Addition is in line with this purpose.
- The Applicant is only subject to the pervious surface requirements because the Addition increases the lot occupancy by more than 10%. Accordingly, the proposed Addition will be in harmony with the general purpose and intent of the Zoning Regulations and Zoning Maps.

Requirements of Subtitle D § 5201	Project
5201.4: An application for special exception relief under this section shall demonstrate that the proposed addition, new principal building, or accessory structure shall not have a substantially adverse effect on the use or enjoyment of any abutting or adjacent dwelling or property, specifically: (a)The light and air available to neighboring properties shall not be unduly affected;	The Addition will line up with the front wall of the building at 5008 V Street, NW. The existing building at 5012 V Street, NW, will still extend several feet past the Addition.
(b)The privacy of use and enjoyment of neighboring properties shall not be unduly compromised;	The are no north or south facing windows proposed.
(c)The proposed addition or accessory structure, together with the original building, or the new principal building, as viewed from the street, alley, and other public way, shall not substantially visually intrude upon the character, scale, and pattern of houses along the street or alley frontage;	The Addition is in line with the properties along V Street.



DISTRICT OF COLUMBIA GOVERNMENT  
OFFICE OF THE SURVEYOR

Washington, D.C., July 12, 2024

Plat for Building Permit of :

SQUARE 1388 LOT 104

Scale: 1 inch = 20 feet

Recorded in Book 222 Page 24

Receipt No. 24-04335

Drawn by: A.S.

Furnished to: LUNA HOWARD

"I hereby certify that the dimensions and configuration of the lot(s) hereon depicted are consistent with the records of the Office of the Surveyor unless otherwise noted, but may not reflect actual field measurements. The dimensions and configuration of A&T lots are provided by the Office of Tax and Revenue and may not necessarily agree with the deed description(s)."

*Mama'D. Fabel*  
For Surveyor, D.C.

I hereby certify that on this plat on which the Office of the Surveyor has drawn the dimensions of this lot, I have accurately and completely depicted and labeled the following:  
1) all existing buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, and any existing face-on-line or party wall labeled as such, well as projections and improvements in public space - with complete and accurate dimensions;  
2) all proposed demolition or raze of existing buildings duly labeled as such; all proposed buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, any existing face-on-line or party wall labeled as such, as well as projections and improvements in public space and the improvements used to satisfy pervious surface or green area ratio requirements - with complete and accurate dimensions, in conformity with the plans submitted with building permit application; and  
3) any existing chimney or vent on an adjacent property that is located within 10 feet of this lot.

I also hereby certify that:

- 1) my depiction on this plat, as detailed above, is accurate and complete as of the date of my signature hereon;
- 2) there is no elevation change exceeding ten feet measured between lot lines; or if so, this elevation change is depicted on a site plan submitted with the plans for this permit application;
- 3) I have/have not (circle one) filed a subdivision application with the Office of the Surveyor;
- 4) I have/have not (circle one) filed a subdivision application with the Office of Tax & Revenue; and
- 5) if there are changes to the lot and its boundaries as shown on this plat, or to the proposed construction and plans as shown on this plat, that I shall obtain an updated plat from the Office of the Surveyor on which I will depict all existing and proposed construction and which I will then submit to the Office of the Zoning Administrator for review and approval prior to permit issuance.

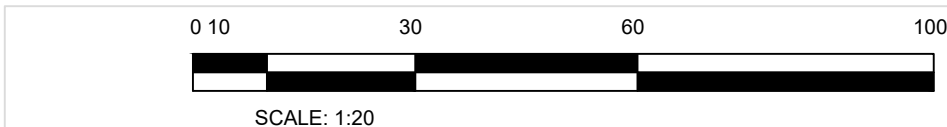
The Office of the Zoning Administrator will only accept a Building Plat issued by the Office of the Surveyor within the two years prior to the date DCRA accepts a Building Permit Application as complete. I acknowledge that any inaccuracy or errors in my depiction on this plat will subject any permit or certificate of occupancy issued in reliance on this plat to enforcement, including revocation under Sections 105.6(1) and 110.5.2 of the Building Code (Title 12A of the DCMR) as well as prosecution and penalties under Section 404 of D.C. Law 4-164 (D.C. Official Code §22-2405).

Signature: \_\_\_\_\_

Date: 10/30/24

Printed Name: Nga Howard Relationship to Lot Owner: Owner

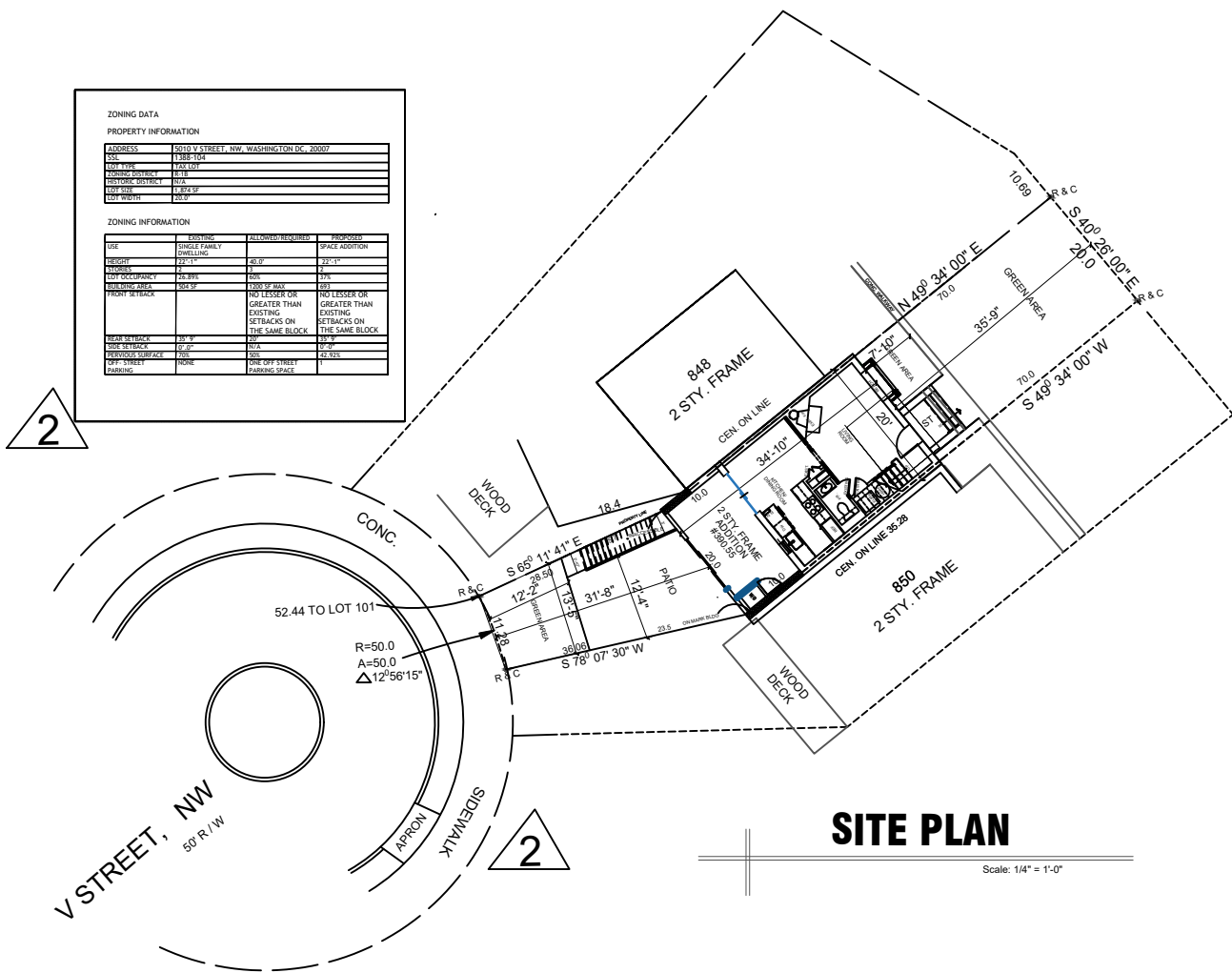
If a registered design professional, provide license number \_\_\_\_\_ and include stamp below.



SR-24-04335(2024)

SHEET 1 OF 2

SQUARE 1388



SR-24-04335(2024)

SHEET 2 OF 2

Consultant



PROJECT  
**HOWARD  
RESIDENCE**  
5010 V ST, NW WASHINGTON DC

CLIENT

LUNA  
HOWARD

DEVELOPER

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

REVISED SET  
Issue Description

DEC 18, 2024  
Date

Project No. 011.024

Checked By \_\_\_\_\_

Drawn By Peter I

Scale As Shown

SHEET TITLE

SITE PLAN

Board of Zoning Adjustment  
District of Columbia  
CASE NO. 2024-  
EXHIBIT NO. 24B

SHEET NO. 02

DISTRICT OF COLUMBIA GOVERNMENT  
OFFICE OF THE SURVEYOR

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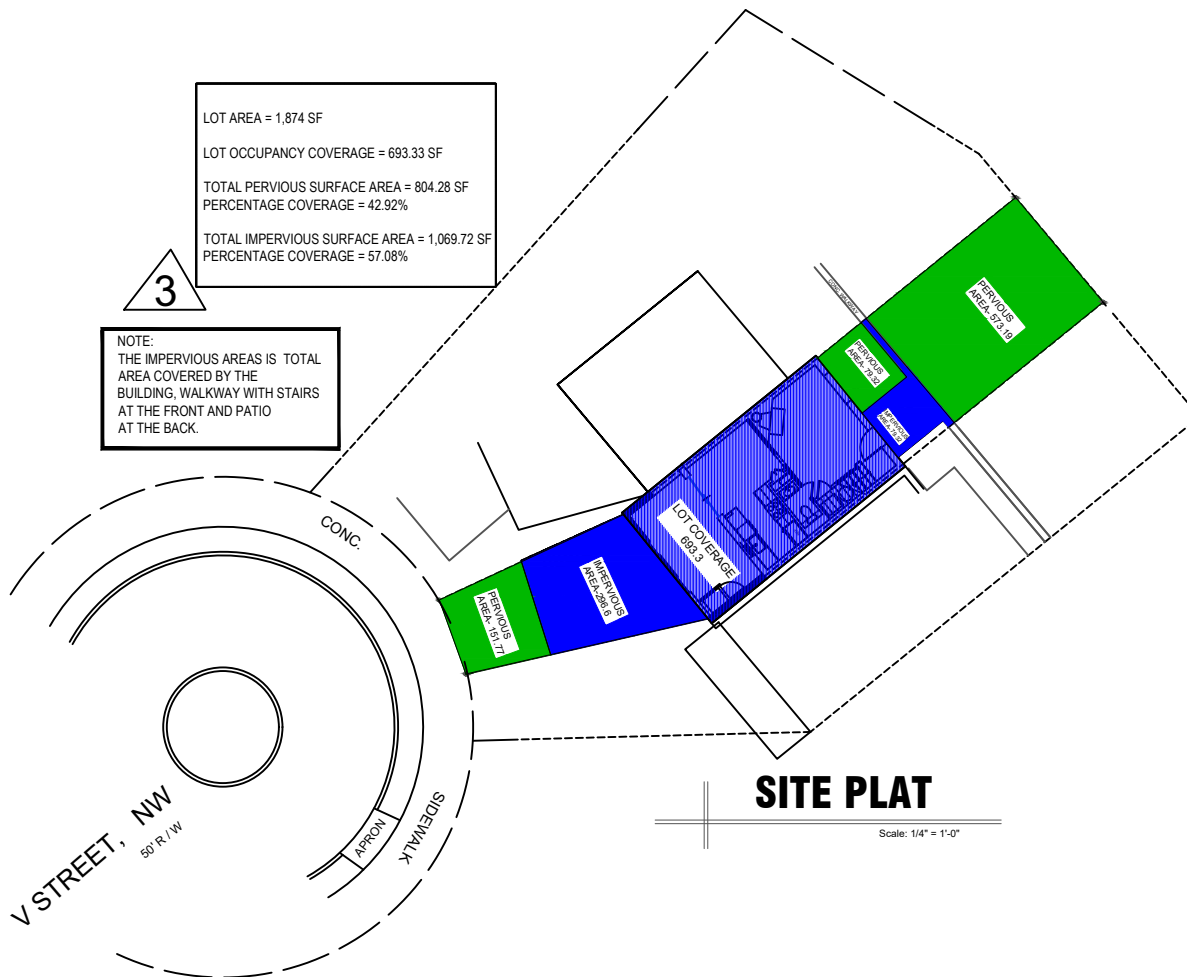
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SCALE: 1:20

SR-24-04335(2024)

SHEET 1 OF 2

SQUARE 1388



SR-24-04335(2024)

SHEET 2 OF 2

Consultant



PROJECT

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5010 V ST, NW WASHINGTON DC

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**LUNA  
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Peter I

Scale

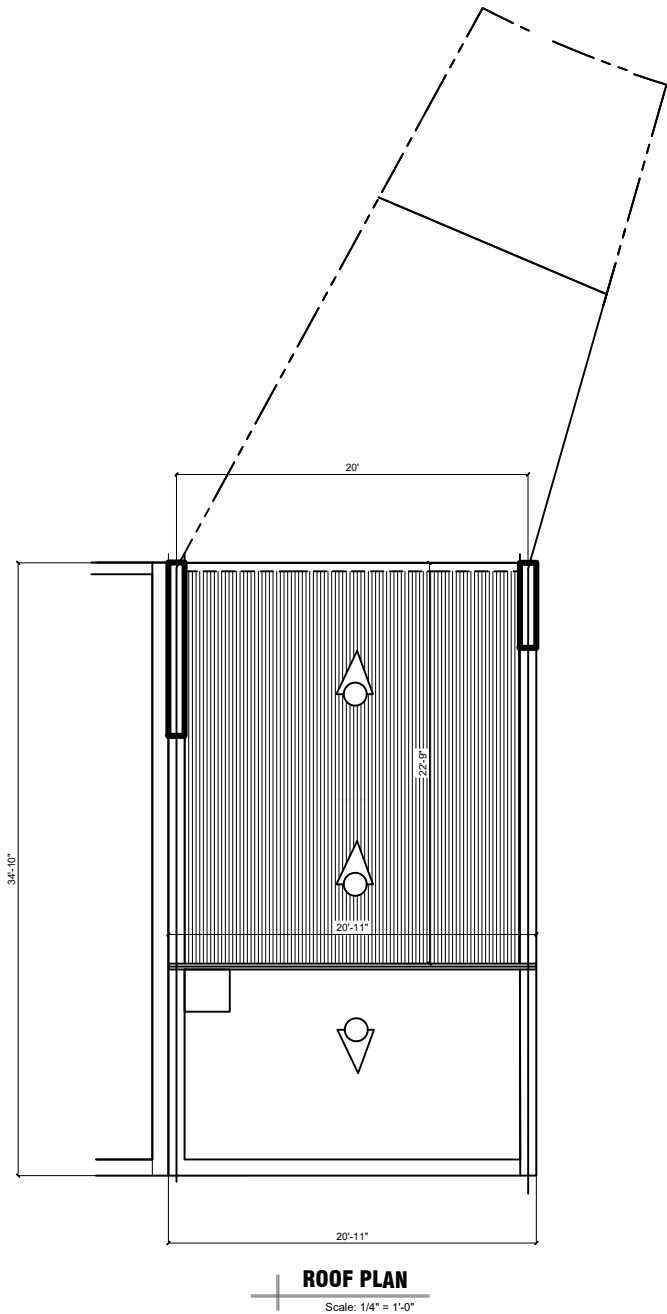
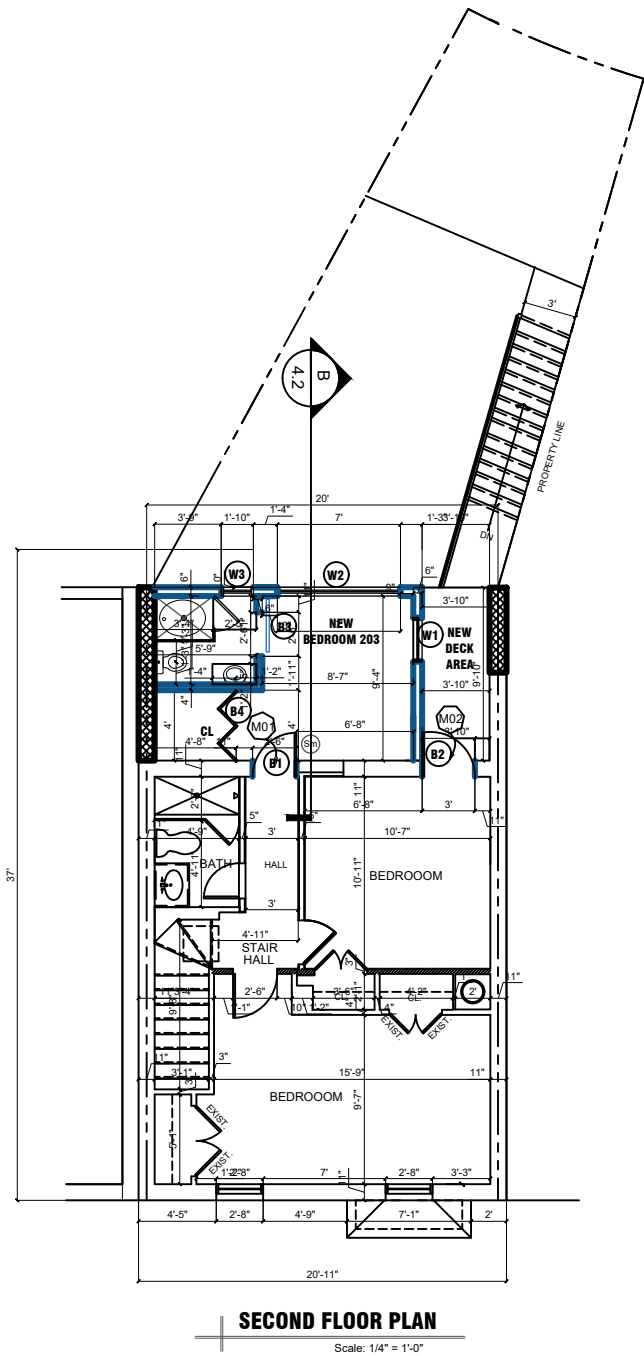
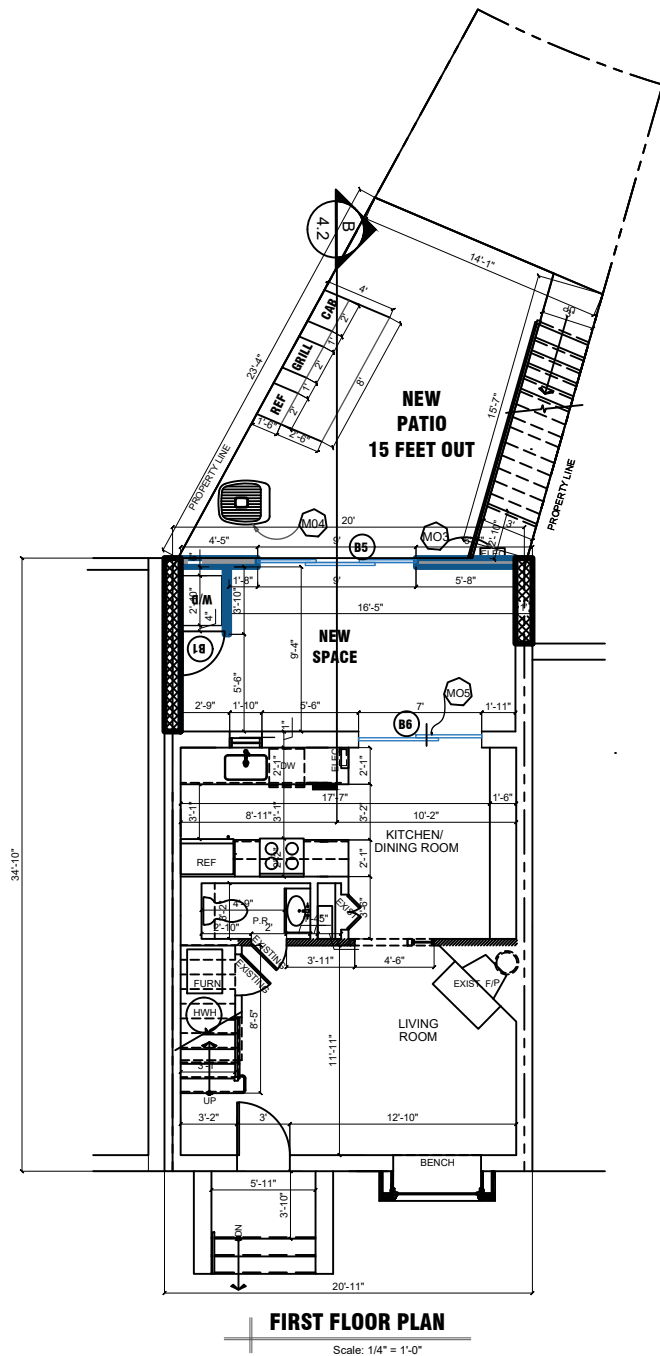
As Shown

SHEET TITLE

**ELEVATION**

SHEET NO.

**P-01**



## CONSTRUCTION NOTES

- M01 WASHER /DRYER ON OVERFLOW PAN AND FLOOR DRAIN, TO BE REMOVED TO CREATE DOORWAY INTO NEW BEDROOM
- M02 EXISTING WINDOW TO BE REMOVED AND DOOR WAY CREATED TO ALLOW PASSAGE TO DECK
- M03 PROPOSED METER LOCATION
- M04 PROPOSED CONDENSING UNIT LOCATION
- M05 REMOVAL OF OLD DOOR AND A NEW ONE INTRODUCED.

## KEY

- NEW CONC. WALL
- EXISTING WALL
- NEW FRAME WALL

- S/CM SMOKE/ CARBON MONOXIDE DETECTOR; HARDWIRED W/ OTHER ALARM DEVICES
- SM SMOKE DETECTOR; HARDWIRED W/ OTHER ALARM DEVICES

## NOTE:

1. UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING
2. VERIFY ALL EXTERIOR RISER + TREAD DIMENSIONS IN THE FIELD
3. PROVIDE UNFACED R-19 FIBERGLASS BATTS IN WALLS, CEILING, + FLOOR OF THE FOLLOWING ROOMS: BATH 203

## WALL TYPES

TYPICAL NEW EXTERIOR WALL: 10" CONC. WALL; SEE FOUNDATION PLAN, SHEET S004; FUR WHERE SHOWN W/ 2X6 STUDS @ 16" O.C., R-15 CLOSED CELL SPRAY FOAM INSUL. & 1/2" GYP. BD.

TYPICAL NON-BEARING INTERIOR PARTITION; 2"x4" STUDS 16" O.C. W/ 1/2" GYP. BD. EACH SIDE; INCREASE WALL THICKNESS AS SHOWN TO ALIGN FINISHES

Consultant



PROJECT

# HOWARD RESIDENCE

5010 V ST, NW WASHINGTON DC

CLIENT

LUNA  
HOWARD  
DEVELOPER

REVISED SET DEC 18, 2024  
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Checked By  
Drawn By Peter I  
Scale As Shown

SHEET TITLE

FIRST FLOOR,  
SECOND FLOOR  
& ROOF PLAN

SHEET NO.

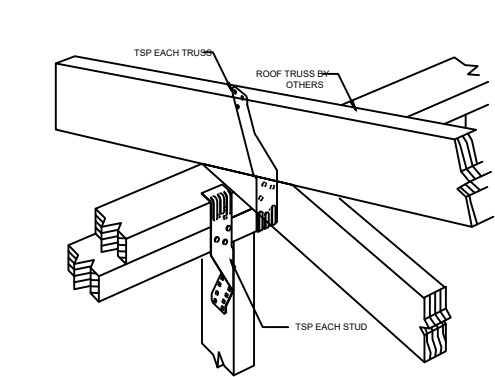
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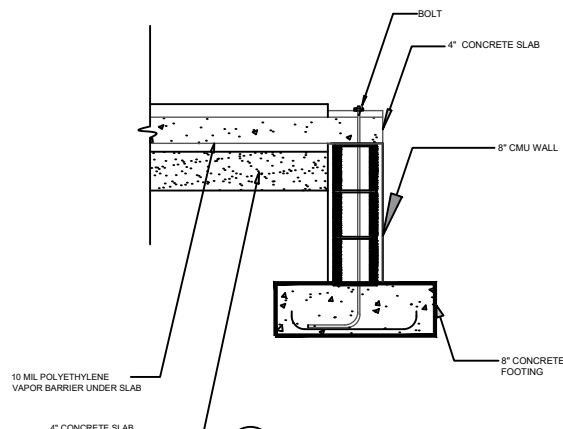
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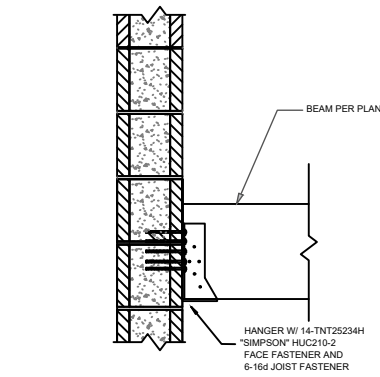




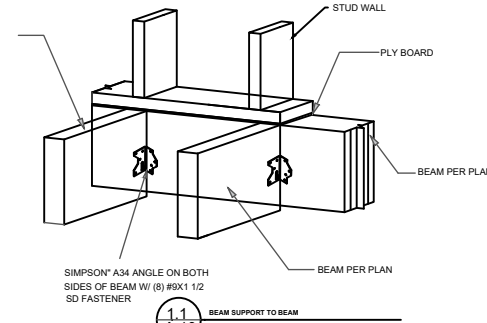
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A.10 STUD WALL TO TRUSS CONNECTION DETAIL  
NOT TO SCALE



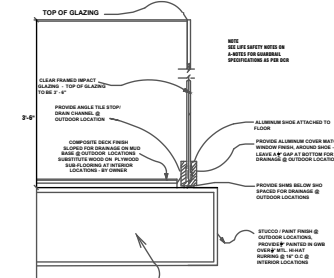
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A.10 FOUNDATION DETAIL  
1 1/2" = 1'-0"



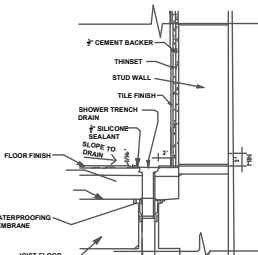
1.3  
A.10 CMU TO HANGER CONNECTION 2  
1 1/2" = 1'-0"



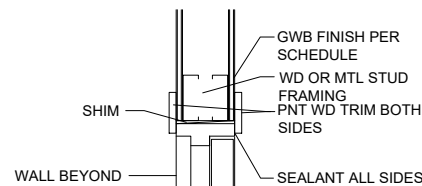
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A.10 BEAM SUPPORT TO BEAM  
1" = 1'-0"



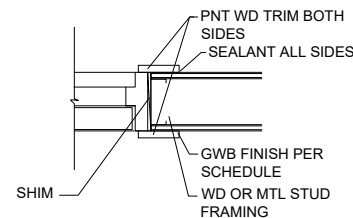
GLASS RAILING DETAIL  
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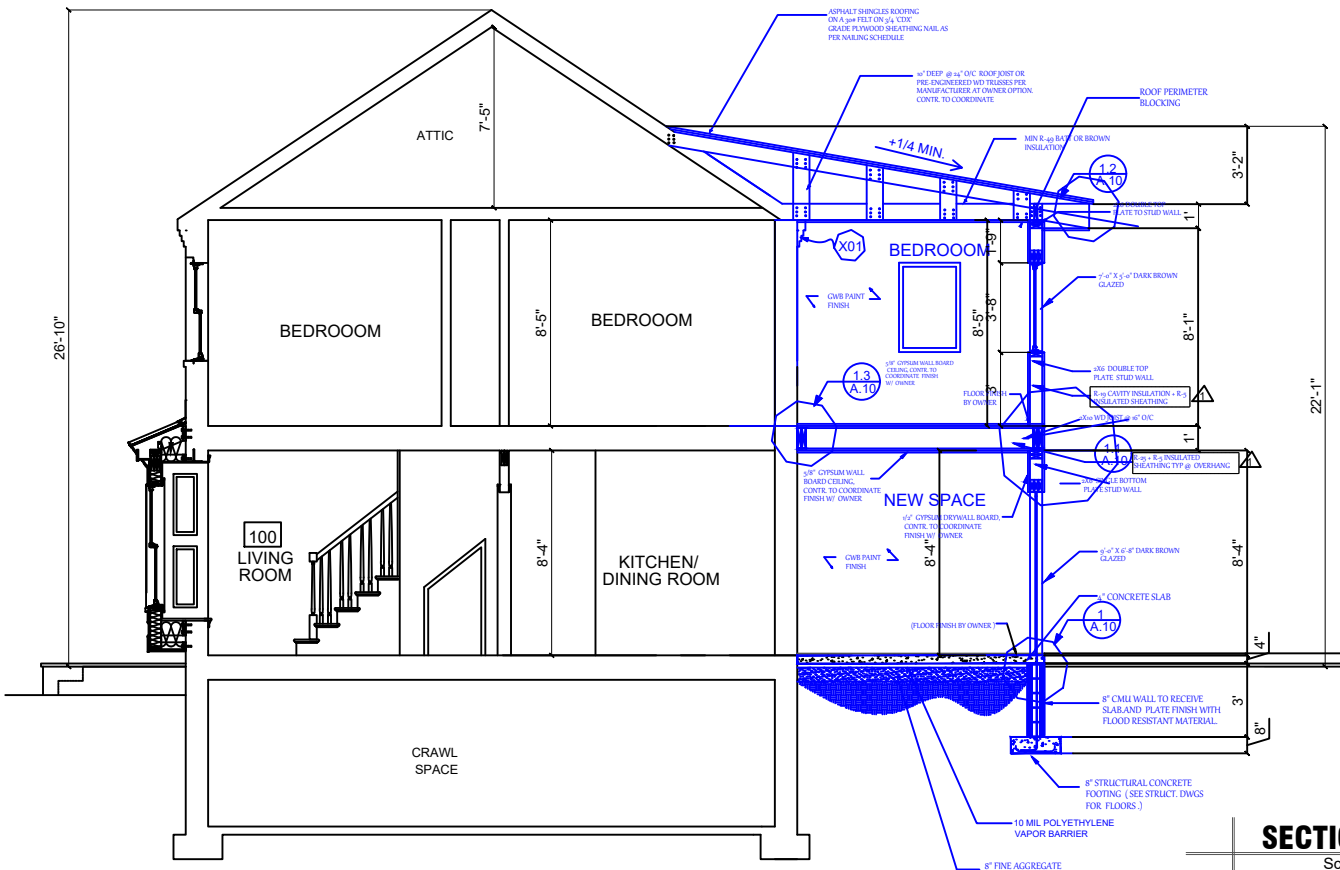
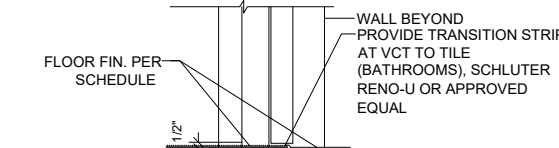
SHOWER DRAIN DETAIL  
1 1/2" = 1'-0"



HEAD



JAMB

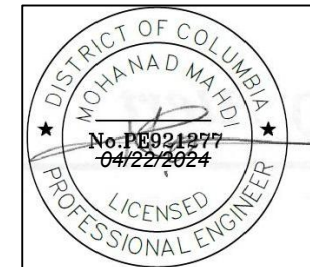


SECTION B-B  
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Consultant



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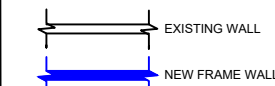
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PROJECT

CLIENT

LUNA  
HOWARD  
DEVELOPER

## KEY



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SHEET TITLE

SECTION B-B

SHEET NO.

A-07