

PROJECT TITLE

HOUSE ADDITION
5010 V ST, NORTHWEST,
WASHINGTON DC.

PERMIT SET

DRAWN BY: PETER .I
FEBRUARY 2024

CLIENT
LUNA HOWARD

HOWARD RESIDENCE
5010 V ST, NW
WASHINGTON, DC 20007

PLAT DATA

LOTS 849, SQUARE 1388

N.W. WASHINGTON,
DISTRICT OF COLUMBIA

MIN. LOT WIDTH= 50'
MIN. LOT AREA: 5,000 SF
MAX BLDG. HGT: 40 FEET/ 3 STORIES
FRONT B.R.L. = ESTABLISHED BUILDING LINE
MIN. REAR YARD= 25'
MIN. SIDE YARD= 8'
MAX LOT OCCUPANCY= 40%
MIN. PERVIOUS SURFACE COVERAGE= 50%

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CALCULATIONS

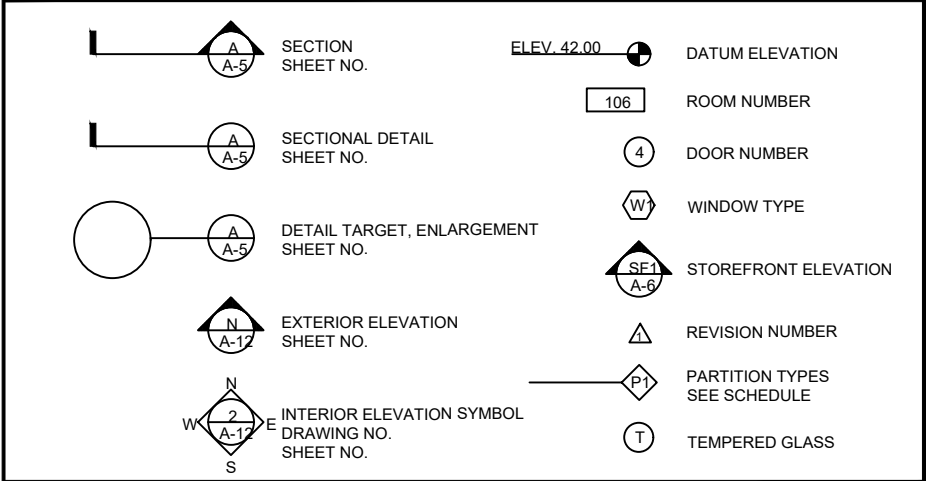
FLOOR AREA	EXISTING	ADDITION	
FIRST	504 SF	197 SF	
SECOND	504 SF	193.55 SF	
TOTAL	1008 SF	390.55 SF	
PROPOSED GROSS SQUARE FOOTAGE:	1451 SF		
PROPOSED FOOTPRINT	390.55 SF		
BUILDING WIDTH	20' (NO CHANGE)		
BUILDING LENGTH	35.2' (CHANGE)		
BUILDING HEIGHT	± 22'-1" FROM BACK GRADE TO ROOF FINISH		
BUILDING VOLUME	15,558 CUBIC FEET		

ZONE R-1-B

SINGLE FAMILY RESIDENCE

PROJECT SCOPE OF WORK: BUILDING ADDITION

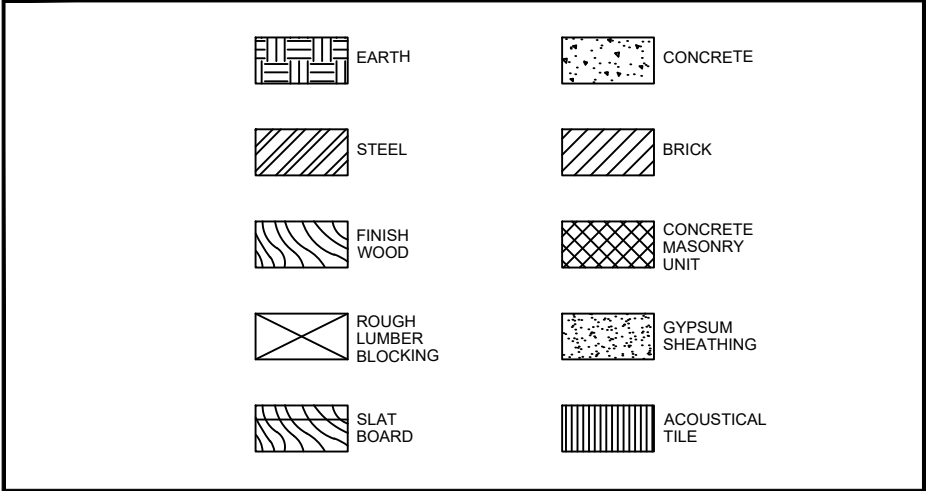
GRAPHIC SYMBOLS



LIST OF DRAWINGS

001	COVER SHEET
002	SPECIFICATIONS
A100	FLOOR PLANS
A200	ELEVATIONS
A300	BUILDING SECTION & DETAILS
E000	ELECTRICAL COVER SHEET
E001	ELECTRICAL FLOOR PLAN
P000	PLUMBING COVER SHEET
E001	PLUMBING FLOOR PLAN

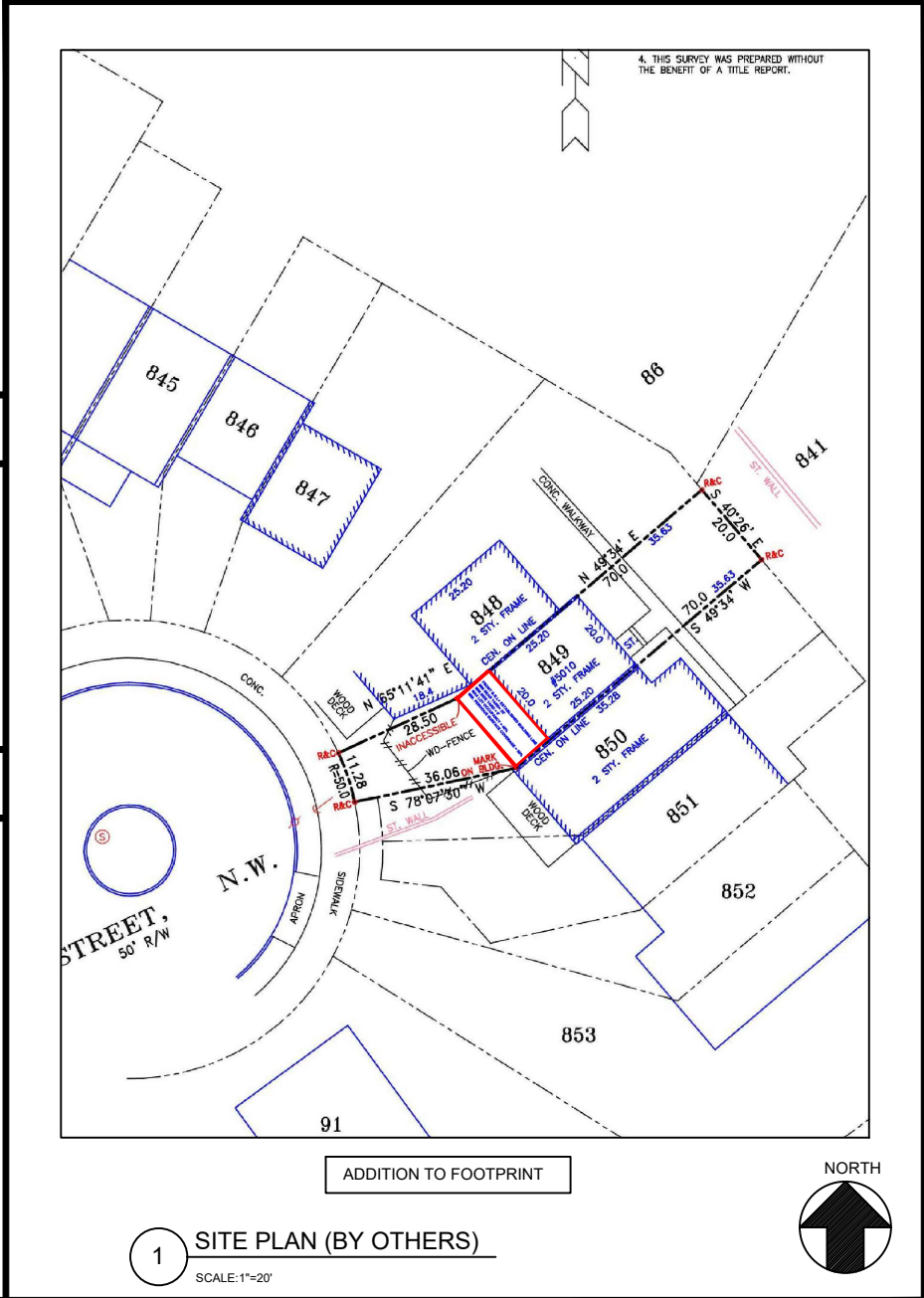
MATERIAL SYMBOLS



ABBREVIATIONS

ABOVE FINISH FLOOR	APF	EACH	EA	INTERIOR	INT	PLATE	PL	VERTICAL	VERT
ADJUST	ADJ	EAST	EAS	PLUMBING	PLB	PLASTER	PLS	VISIBLE	VISI
ADJUSTABLE	ADJ	ELECTRIC, ELECTRICAL	ELB	JANITORS CLOSET	JCT	PLYWOOD	PLYMD	VINYL COMPOSITE TILE	VCT
ALUMINUM	ALU	ELEVATOR	ELEV	JOB	JO	PVC	PVC	VINYL	V
AIR HANDLING	AHU	ELEVATOR	ELEV	JOIST	JCT	ROOF	ROOF		
AIR HANDLING UNIT	AHU	EMERGENCY POWER	EM	JUNCTION BOX	JB	INCH	INCH		
ALTERNATE CURRENT	AC	ENGINEER	ENR	LAH	LAM	POINTS PER SQUARE	PPS	HALLOWEED	HS
ALUMINUM	ALU	EXHAUST	EXH	LAMINATE	LAM	PREFABRICATED	PREFAB	HEAVY FABRIC	HFB
ANCHOR BOLT	AB	EXHAUST	EXH	LEFT HAND	LH	PREFRESSED	PREFRS	DEPTH	DETH
ANCHOR BOLT	AB	EXISTING	EXI	LIBRARY	LIB	PREFLUMBER	PREFLM	INDOOR	INDO
ARCHITECT	ARCH	EXPANSION	EXP	LINEAR FEET	LF	QUARRY TILE	QT	NITRO	NITR
AVERAGE	AVG	EXTERIOR	EXT	LONG LESS HORIZONTAL	LLH	RADIUS	RAD	FEET	FT
				LONG LESS VERTICAL	LLV	REFRIGERATOR	REFR	YARD	YD
BEAM	BM	FANFIREWET	FFW			REINFORCING	REINF		
BOARD	BD	FEET PER MINUTE	PPM	MAINTENANCE	MAINT	RESIST	RES		
		FEET, FOOT	FT	MANUFACTURER	MFR	RETURN AIR	RA		
CABINET	CAB	FISH	FI	MAS	MAS	REWORK	REW		
CATALOG	CAT	FEET EXTENSIBILITY CAB.	FE	MASONRY OPENING	MO	ROUGH HAND	RH		
CELLING	CL	FLOOR	FLR	MASONRY	M	ROUGH	ROU		
CENTERLINE	CL	FLUORESCENT	FLC	MECHANICAL	MCH	ROUGH OPENING	RO		
CERAMIC TILE	CT	FIRE RATED	FR	MECHANICAL	MCH				
CLO	CLO	CLOSET	CLO	MEZANINE	MEZ	SCHEDULE	SCHD		
COLUMN	COL	GAUGE	GA	HIGHWAY	HWH	SECTION	SECT		
CORNER	CR	GALLON	GA	MISCELLANEOUS	MIS	SERVICE SINK	SS		
CONCRETE	CON	GALLONS PER MINUTE	GPM	MAINTAINED	MNT	SIMILAR	SIM		
CONCRETE MASONRY UNITS	CMU	GALV	GV	MILLION	MIL	SOUND TRANSMISSION	STH		
CONFERENCE	CONF	GENERAL CONTRACTOR	GC	NOT IN CONTRACT	NC	SPECIFICATION	SPEC		
COORDINATE	COOR	GROUNDING FAULT INTERRUPT.	GFI	NOT IN CONTRACT	NC	SQUARE	SQ		
CORNER	CR	GUTTER	GUT	NOT TO SCALE	NTS	STANDARD	STD		
COORD. COORD	COORD	GUTTER HALLBOARD	GHB			STAND PIPE	SP		
CUBIC FEET	CF	HANDICAPPED	HDCP	OFFICE	OFF	STAINLESS STEEL	SS		
CUBIC FEET PER MINUTE	CFM	HANDICAPED	HDCP	OFFICE	OFF	STATION	STA		
		HANDICAPED	HDCP	ON CENTER	OC	STEEL	STL		
DEDICATED	DED	HORIZONTAL	HOZ	OPENING	OPN	STORAGE	STRG		
DEPARTMENT	DEPT	HEIGHT	HGT	OPPOSITE	OP	STRUCTURAL	STRCT		
DEPTH	DEPT	HORIZONTAL	HOZ	OVERALL	OA	SUSPENDED CEILING	SC		
DIAGONAL	DIA	HOLLOW METAL	HM	OVERHEAD	OH	TELEPHONE	TEL		
DIAMETER	DIA	HOUR	HR	PAINTED	PTD	THICK OR THICKNESS	THK		
DIMENSION	DIM	NOT WATER HEATER	NWH	PANEL	PANL	THRESHOLD	THRS		
DIMENSIONER	DMR			PARTITION	PTN	TILE	TIL		
DOWN	DN	INCH	INH	PERSONICULAR	PRN	TO BE SELECTED	TBS		
DRAWING	DRW	INFORMATION	INFO	PERSONAL COMPUTER	PC	TOP	TOP		
DRAINING POUNTAIN	DP	INSIDE DIAMETER	ID	PHASE	PH	TYPICAL	TP		
		INSULATED, INSULATION	INSUL	PLASTIC LAMINATE	PLAM				

SITE PLAN



PROJECT INFORMATION

<p><u>CLIENT</u> LUNA HOWARD 403 DANBRIDGE S GAITHERSBURG, MD 20878 (301) 461-1728 LUNANH@AOL.COM</p>	<p><u>CONTRACTOR</u> TBD</p>	<p><u>ARCHITECT</u> GTM ARCHITECTS CONTACT: TAMARA GORODETZKY 7735 OLD GEORGETOWN ROAD BETHESDA, MD 20814 (240) 333-2043 (240) 333-2000 FAX tgorodetzky@gtmarchitects.com</p>
<p><u>STRUCTURAL ENGINEER</u> RADWAN ASSOCIATES, INC. CONTACT: GUS RADWAN 8609 WESTWOOD CENTER DR. SUITE 110 VIENNA, VA 22182 (703) 790-8435 RADWANINC@AOL.COM</p>	<p><u>MEP ENGINEER</u> KK ENGINEERING, LLC CONTACT: KHALID KHALIFA, P.D., C.E.M. 5305 VILLAGE CENTER DRIVE SUITE 205 COLUMBIA, MD 21044 443-393-4838 (O) 240-687-2163 (C) kkhalifa@kkedesign.com www.kkedesign.com</p>	

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PROJECT

HOWARD
RESIDENCE

5010 V ST, NW WASHINGTON DC

CLIENT

CLIENT	
LUNA HOWARD	
DEVELOPER	
PERMIT SET	JULY 19, 2023
<i>Issue Description</i>	Date

DEVELOPER

[illegible][illegible][illegible][illegible][illegible][illegible][illegible][illegible][illegible]

<p>CLIENT _____</p> <h1 style="margin: 0;">LUNA HOWARD</h1> <p>DEVELOPER _____</p> <hr style="border: 1px solid black; margin: 10px 0;"/> <div style="display: flex; justify-content: space-between;"> <div style="width: 48%;"> <hr style="border: 1px solid black; margin-bottom: 5px;"/> <hr style="border: 1px solid black; margin-bottom: 5px;"/> <hr style="border: 1px solid black; margin-bottom: 5px;"/> <hr style="border: 1px solid black; margin-bottom: 5px;"/> <hr style="border: 1px solid black; margin-bottom: 5px;"/> <hr style="border: 1px solid black; margin-bottom: 5px;"/> <hr style="border: 1px solid black; margin-bottom: 5px;"/> <hr style="border: 1px solid black; margin-bottom: 5px;"/> <hr style="border: 1px solid black; margin-bottom: 5px;"/> <hr style="border: 1px solid black; margin-bottom: 5px;"/> </div> <div style="width: 48%;"> <hr style="border: 1px solid black; margin-bottom: 5px;"/> <hr style="border: 1px solid black; margin-bottom: 5px;"/> <hr style="border: 1px solid black; margin-bottom: 5px;"/> <hr style="border: 1px solid black; margin-bottom: 5px;"/> <hr style="border: 1px solid black; margin-bottom: 5px;"/> <hr style="border: 1px solid black; margin-bottom: 5px;"/> <hr style="border: 1px solid black; margin-bottom: 5px;"/> <hr style="border: 1px solid black; margin-bottom: 5px;"/> <hr style="border: 1px solid black; margin-bottom: 5px;"/> <hr style="border: 1px solid black; margin-bottom: 5px;"/> </div> </div>	<div style="display: flex; justify-content: space-between; align-items: center;"> <div style="width: 48%;"> <p>PERMIT SET _____</p> <p><i>Issue Description</i> _____</p> </div> <div style="width: 48%;"> <p>JULY 19, 2023</p> <p><i>Date</i> _____</p> </div> </div>
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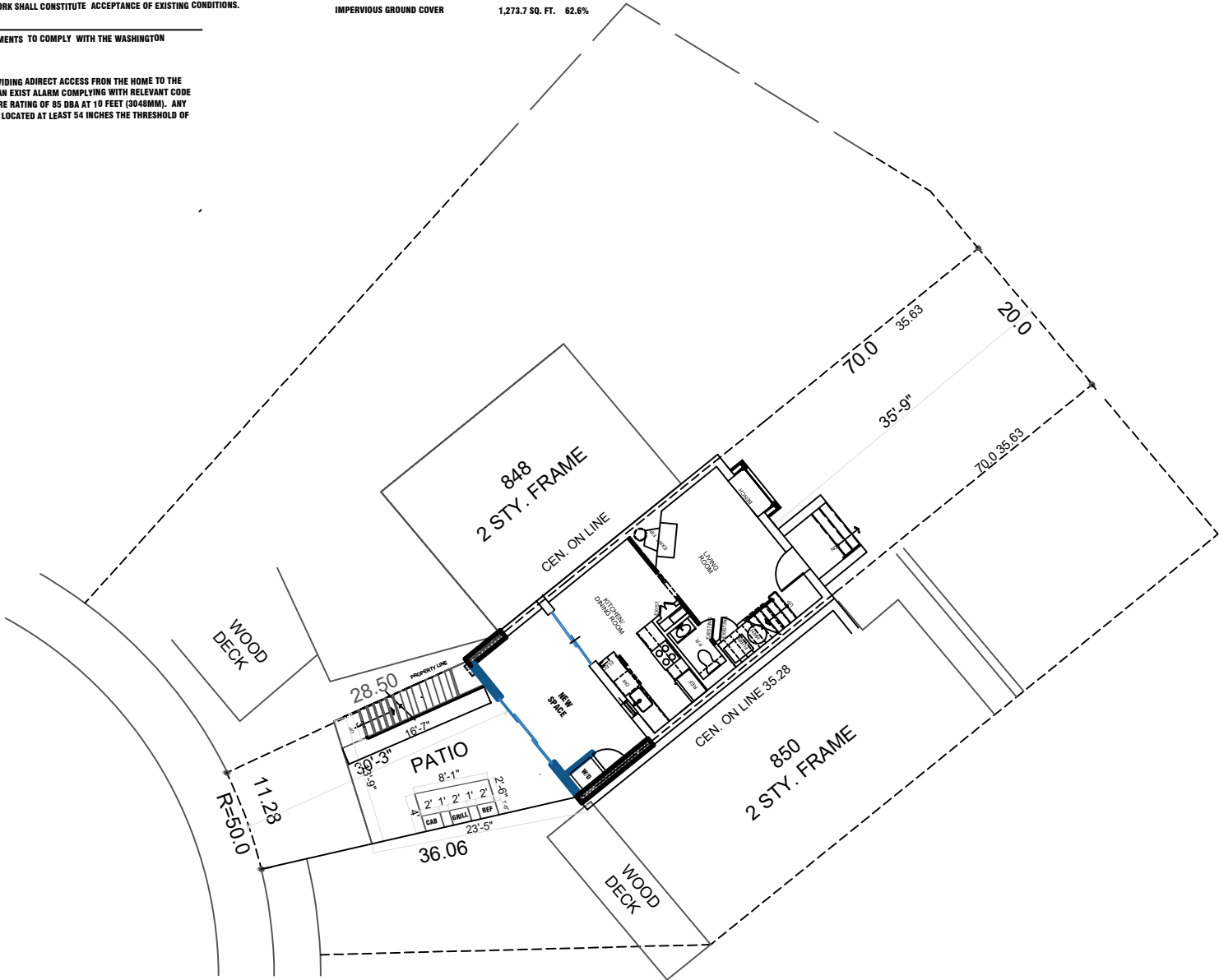
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PROJECT DATA
SCOPE OF WORK 1 STORY ADDITIONAL
OCCUPANCY TYPE RESIDENTIAL R-1-B

PUBLIC WORKS
1) ANY WORK AND/OR IMPROVEMENT FROM/TO THE RIGHT-OF-WAY INCLUDING LANDSCAPE AND IRRIGATION REQUIRE A SEPARATE A CMB OF WORKS DEPARTMENT RIGHT OF WAY CONSTRUCTION PERMITS IN COMPLIANCE WITH CITY CENTER NEIGHBORHOOD IMPROVEMENT PROJECTS PLANS PACKAGE
2) ALL CONSTRUCTION AND/TO USE OF EQUIPPED RIGHT-OF WAY WILL REQUIRE A SEPARATE CITY PUBLIC WORKS DEPARTMENT RIGHT OF WAY CONSTRUCTION PERMIT PRIOR TO START OF CONSTRUCTION

CONTRACTORS NOTE
THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND CAREFULLY COMPARE SUCH FIELD MEASUREMENT AND CONDITIONS AND OTHER INFORMATION KNOWN THE CONTRACTOR WITH THE DRAWINGS BEFORE COMMENCING WORK ACTIVITIES. ERRORS INCONSISTENCIES OR OMISSIONS DISCOVERED BY OR MADE KNOWN TO THE CONTRACTOR SHALL BE REPORTED PROMPTLY TO THE ARCHITECT. CONTRACTOR OF WORK SHALL CONSTITUTE ACCEPTANCE OF EXISTING CONDITIONS.
CONTRACTORS NOTE
1) ALL NEW CONSTRUCTION ELEMENTS TO COMPLY WITH THE WASHINGTON BUILDING CODE EDITION A
2) ALL DOORS AND WINDOWS PROVIDING ADIRECT ACCESS FROM THE HOME TO THE POOL SHALL BE EQUIPPED WITH AN EXIST ALARM COMPLYING WITH RELEVANT CODE HAVING MINIMUM SOUND PRESSURE RATING OF 85 DBA AT 10 FEET (3040MM). ANY DEACTIVATION SWITCH SHALL BE LOCATED AT LEAST 54 INCHES THE THRESHOLD OF THE ACCESS

ZONING DATA	(RS-3)
LOT AREA	1,878.3 SQ. FT.
MINIMUM LOT WIDTH	50'-0"
MINIMUM SETBACK	
FRONT:	0'-0"
REAR	25'-0"
SIDES (0'-0" MIN on each side)	8'-0"
MAXIMUM BUILDING HEIGHT:	40'-0"
MAX LOT OCCUPANCY:	40%
SITE DATA	
EXISTING LOT SIZE	1878.3 SQ. FT. (100%)
BLDG LOT COVERAGE RESIDENCE	701.8 SQ. FT. (37.4%) 701.8 SQ. FT.
IMPERVIOUS GROUND COVER	0.00 SQ. FT. MIN 50%
IMPERVIOUS GROUND COVER	1,273.7 SQ. FT. 62.6%



SITE PLAN

Scale: 1/4" = 1'-0"



CONSTRUCTION NOTES

KEY

	NEW CONC. WALL
	EXISTING WALL
	NEW FRAME WALL
	SMOKE/ CARBON MONOXIDE DETECTOR; HARDWIRED W/ OTHER ALARM DEVICES
	SMOKE DETECTOR; HARDWIRED W/ OTHER ALARM DEVICES

NOTE:

- UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING
- VERIFY ALL EXTERIOR RISER + TREAD DIMENSIONS IN THE FIELD
- PROVIDE UNFACED R-19 FIBERGLASS BATTS IN WALLS, CEILING, + FLOOR OF THE FOLLOWING ROOMS:
BATH 203

WALL TYPES

TYPICAL NEW EXTERIOR WALL; 10" CONC. WALL; SEE FOUNDATION PLAN, SHEET S004; FUR WHERE SHOWN W/ 2X6 STUDS @ 16" O.C., R-15 CLOSED CELL SPRAY FOAM INSUL. & 1/2" GYP. BD.

TYPICAL NON-BEARING INTERIOR PARTITION; 2"x4" STUDS 16" O.C. W/ 1/2" GYP. BD. EACH SIDE; INCREASE WALL THICKNESS AS SHOWN TO ALIGN FINISHES



Consultant

HOWARD RESIDENCE

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HOWARD**
DEVELOPER

PERMIT SET
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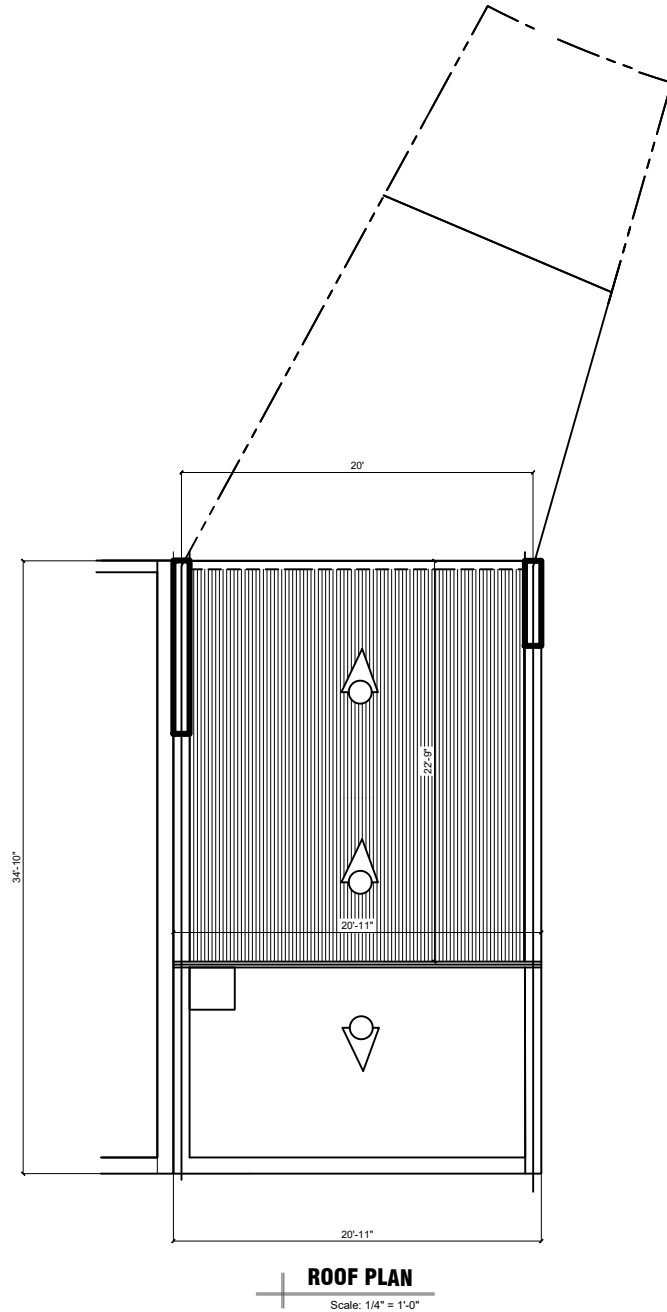
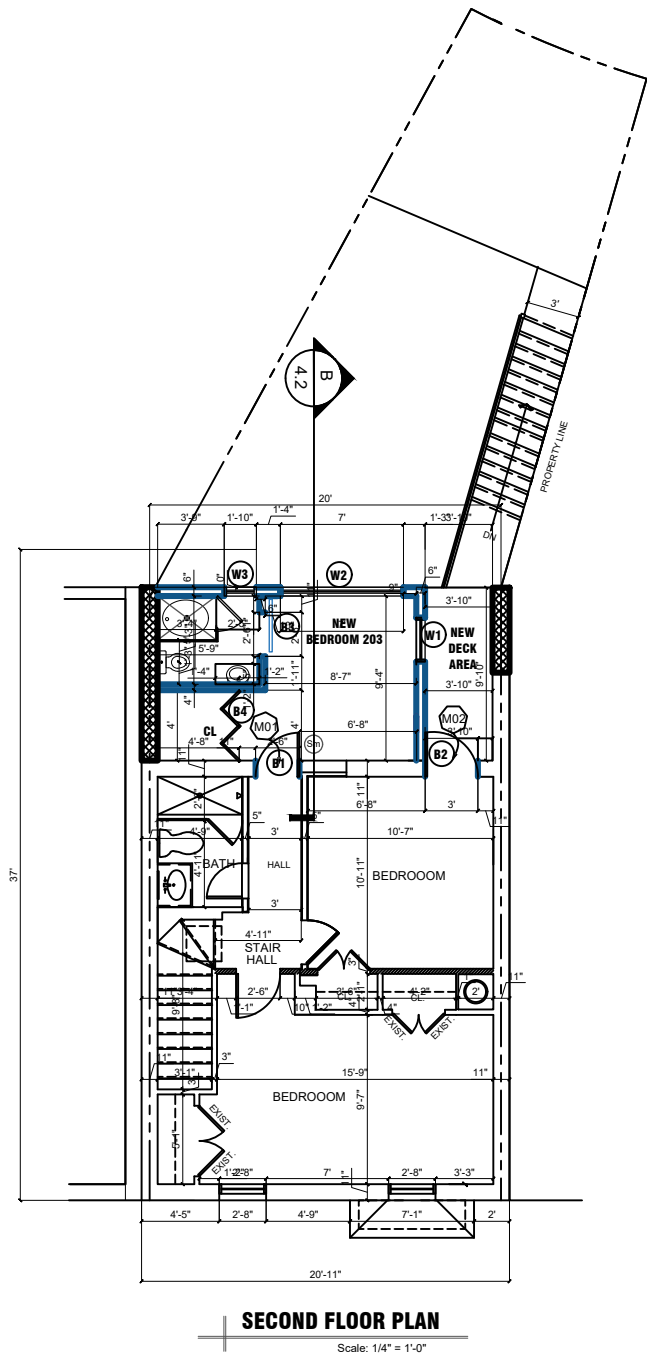
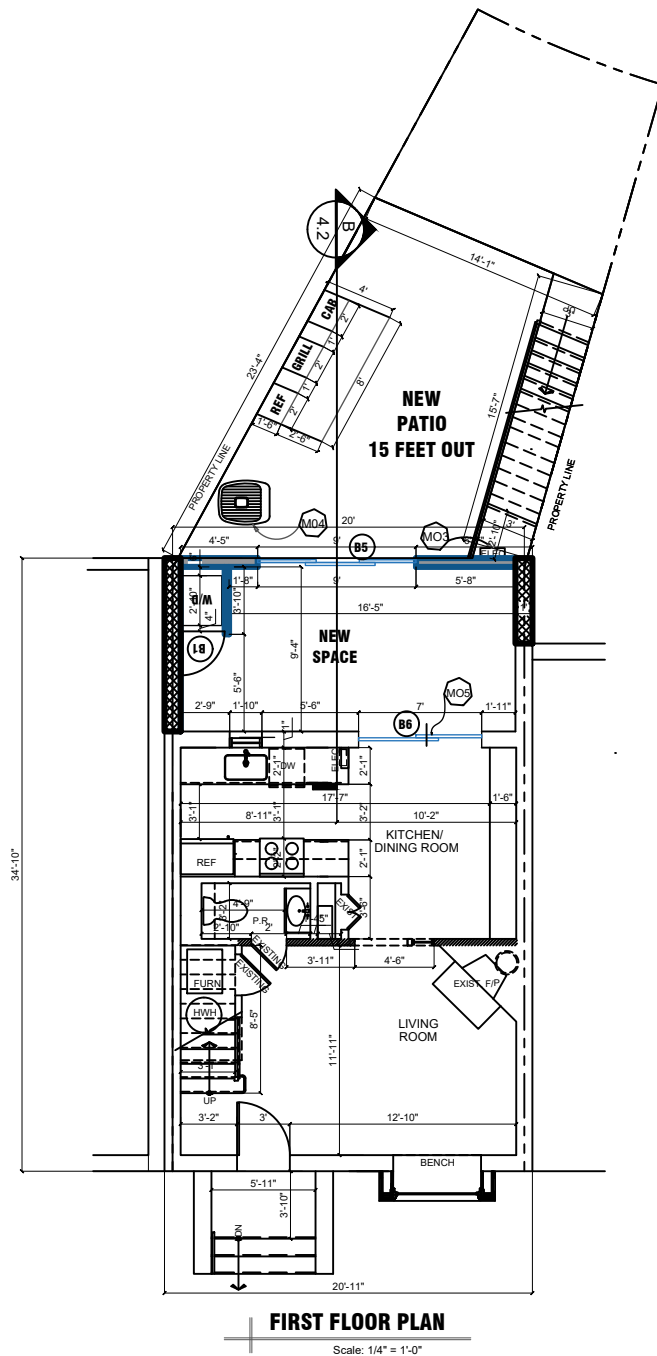
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Drawn By Peter I
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SHEET TITLE

SITE PLAN

SHEET NO.

A-03



CONSTRUCTION NOTES

- M01 WASHER /DRYER ON OVERFLOW PAN AND FLOOR DRAIN, TO BE REMOVED TO CREATE DOORWAY INTO NEW BEDROOM
- M02 EXISTING WINDOW TO BE REMOVED AND DOOR WAY CREATED TO ALLOW PASSAGE TO DECK
- M03 PROPOSED METER LOCATION
- M04 PROPOSED CONDENSING UNIT LOCATION
- M05 REMOVAL OF OLD DOOR AND A NEW ONE INTRODUCED.

KEY

- NEW CONC. WALL
- EXISTING WALL
- NEW FRAME WALL

- S/CM SMOKE/ CARBON MONOXIDE DETECTOR; HARDWIRED W/ OTHER ALARM DEVICES
- SM SMOKE DETECTOR; HARDWIRED W/ OTHER ALARM DEVICES

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TYPICAL NON-BEARING INTERIOR PARTITION; 2"x4" STUDS 16" O.C. W/ 1/2" GYP. BD. EACH SIDE; INCREASE WALL THICKNESS AS SHOWN TO ALIGN FINISHES

Consultant



PROJECT

HOWARD RESIDENCE

5010 V ST, NW WASHINGTON DC

CLIENT

LUNA
HOWARD
DEVELOPER

REVISED SET DEC 18, 2024
Issue Description Date

Project No. 011.024

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Drawn By Peter I

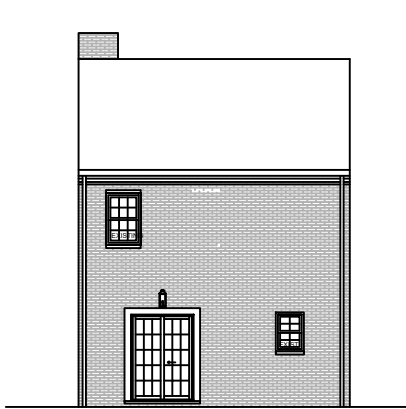
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SHEET TITLE

FIRST FLOOR,
SECOND FLOOR
& ROOF PLAN

SHEET NO.

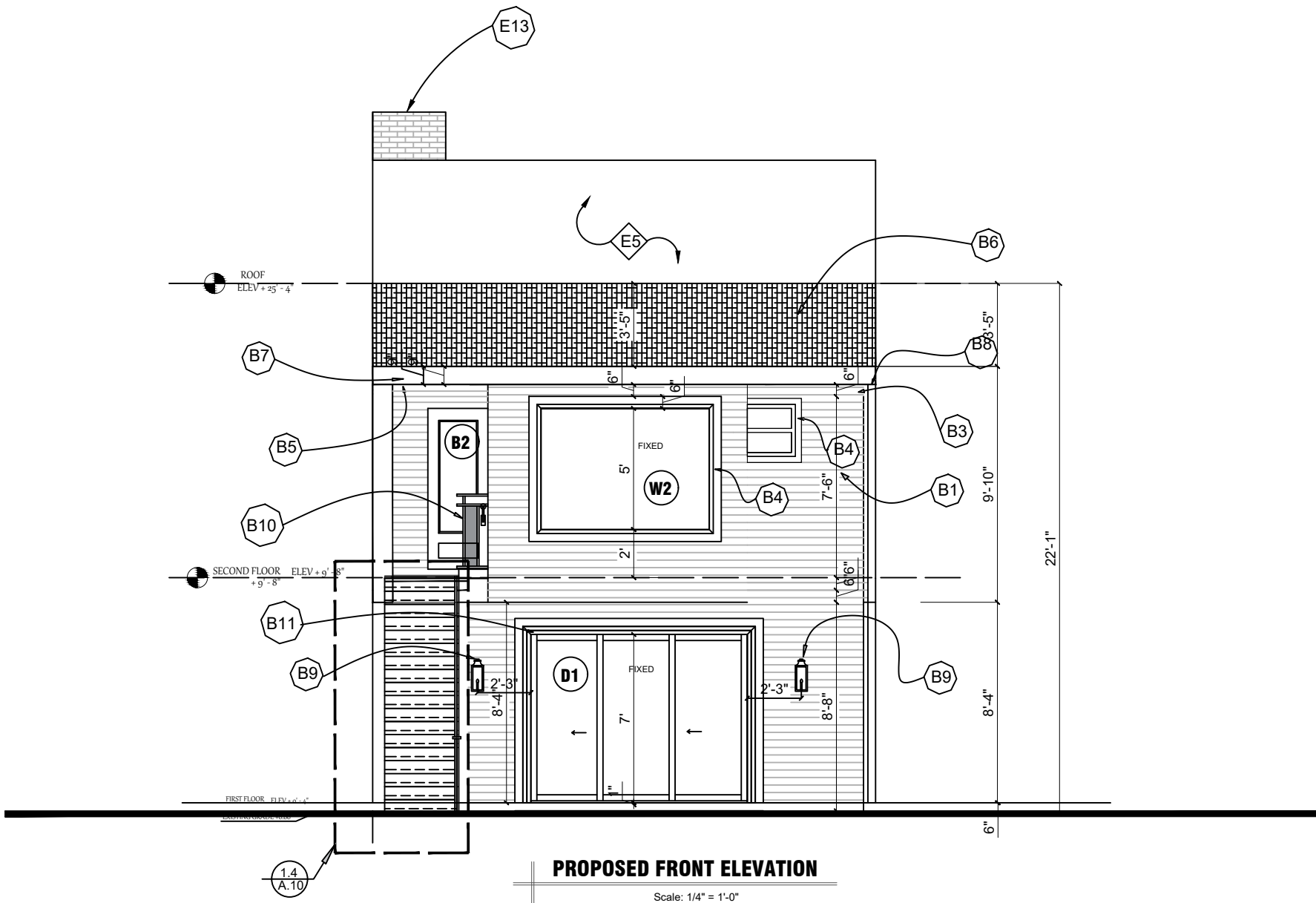
A-04



3 EXISTING REAR ELEVATION



3 EXISTING FRONT ELEVATION



PROPOSED FRONT ELEVATION

Scale: 1/4" = 1'-0"

ELEVATION NOTES

- B1 HARDI PLANK SLIDING FINISH, TBS
- B2 EXISTING WINDOW REMOVED & REPLACE WITH A DOOR
- B3 ENGINEERING TRIM FRIEZE BOARD, TBS
- B4 6 INCHES TRIM AROUND PICTURE WINDOW, TBS
- B5 1 FOOT VINYL SOFFIT @ BOTTOM OF EVE, TBS
- B6 ROOF SHINGLES SEE ARCHITECTURAL FOR DETAILS
- B7 2X9" VINYL FASCIA, SAND AND PAINT SMOOTH
- B8 GUTTERS & DOWNSPOUTS, TBS
- B9 EXTERIOR LIGHT FIXTURES, T.B.S.
- B10 HANDRAIL @ 48" FROM FLOOR FINISH
- B11 6 INCHES TRIM AROUND EXIST DOOR, TBS
- E13 EXISTING CHIMNEY

Consultant



PROJECT

HOWARD RESIDENCE

5010 V ST, NW WASHINGTON DC

CLIENT

LUNA
HOWARD

DEVELOPER

REVISED SET DEC 18, 2024
Issue Description Date

Project No. 011.024

Checked By

Drawn By Peter I

Scale As Shown

SHEET TITLE

ELEVATION

SHEET NO.

A-06

NOTE:

1. VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD

GENERAL AZEK TRIM NOTES

GLUE ALL AZEK TO AZEK JOINTS SUCH AS WINDOW SURROUNDS, LONG FASCIA RUNS, ETC., WITH AZEK ADHESIVE TO PREVENT JOINT SEPARATION.

THE GLUE JOINT SHOULD BE SECURED WITH A FASTENER AND/OR FASTENED ON EACH SIDE OF THE JOINT TO ALLOW ADEQUATE BONDING TIME.

AZEK ADHESIVE HAS A WORKING TIME OF 10 MINUTES AND WILL BE FULLY CURED IN 24 HOURS.

IF STANDARD PVC CEMENTS ARE USED, KEEP IN MIND THESE PRODUCTS TYPICALLY CURE QUICKLY WHICH WILL RESULT IN LIMITED WORKING TIME AND MAY REDUCE ADHESIVE STRENGTH. AS SUCH THEY ARE NOT ACCEPTABLE.

FOR BEST RESULTS, SURFACES TO BE GLUED SHOULD BE SMOOTH, CLEAN AND IN COMPLETE CONTACT WITH EACH OTHER.

TO BOND AZEK TO OTHER SUBSTRATES, VARIOUS ADHESIVES MAY BE USED. CONSULT ADHESIVE MANUFACTURER TO DETERMINE SUITABILITY.

AZEK PRODUCTS EXPAND AND CONTRACT WITH CHANGES IN TEMPERATURE.

PROPERLY FASTENING AZEK MATERIAL ALONG ITS ENTIRE LENGTH WILL MINIMIZE EXPANSION AND CONTRACTION.

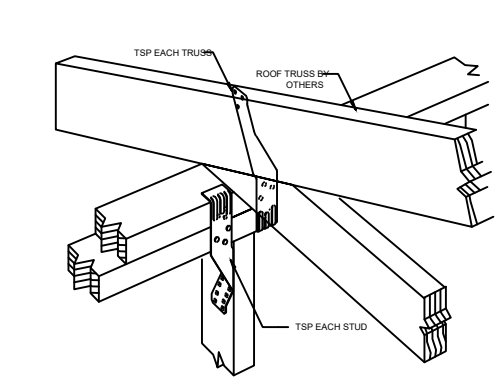
WHEN PROPERLY FASTENED, ALLOW 1/8" PER 18 FOOT OF AZEK PRODUCT FOR EXPANSION AND CONTRACTION. JOINTS BETWEEN PIECES OF AZEK SHOULD BE GLUED TO ELIMINATE JOINT SEPARATION. SEE "GLUING" DIAGRAM BELOW.



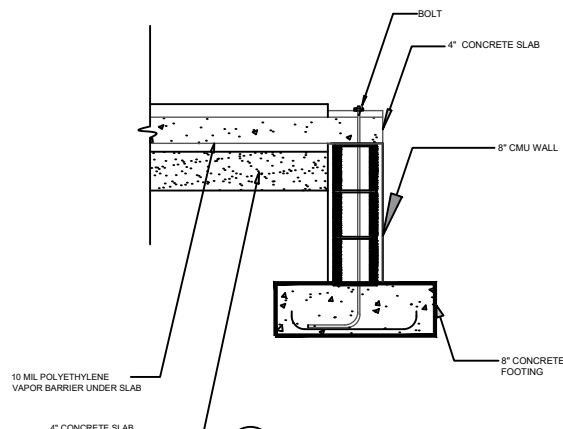
WHEN GAPS ARE GLUED ON A LONG RUN OF AZEK, ALLOW EXPANSION AND CONTRACTION SPACE AT ENDS OF THE RUN.

INSTALL PER AZEK.

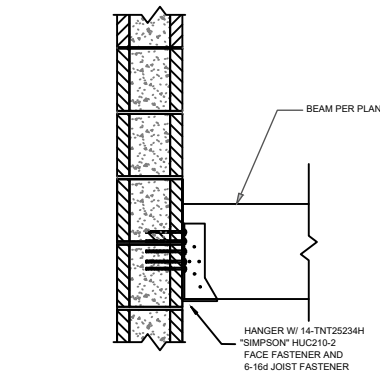
FOR ADDITIONAL INFORMATION: VISIT WWW.AZEK.COM OR CALL 877-ASK-AZEK.



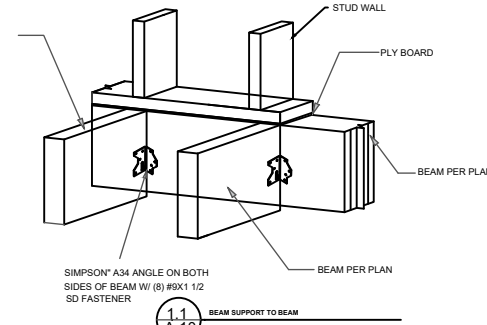
1.2
A.10 STUD WALL TO TRUSS CONNECTION DETAIL
NOT TO SCALE



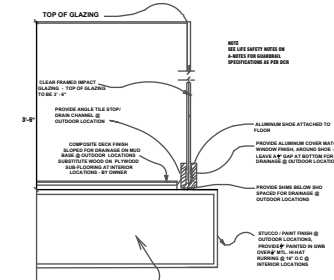
1
A.10 FOUNDATION DETAIL
1 1/2" = 1'-0"



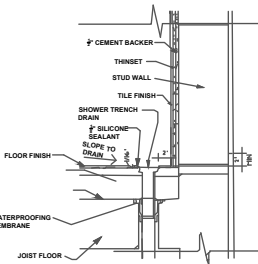
1.3
A.10 CMU TO HANGER CONNECTION 2
1 1/2" = 1'-0"



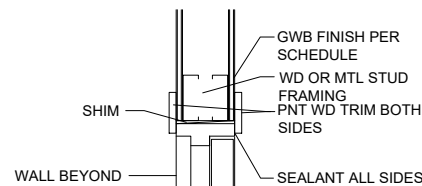
1.1
A.10 BEAM SUPPORT TO BEAM
1" = 1'-0"



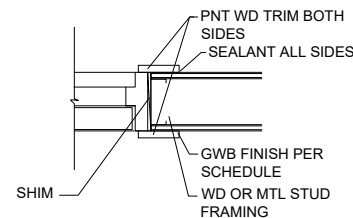
GLASS RAILING DETAIL
1 1/2" = 1'-0"



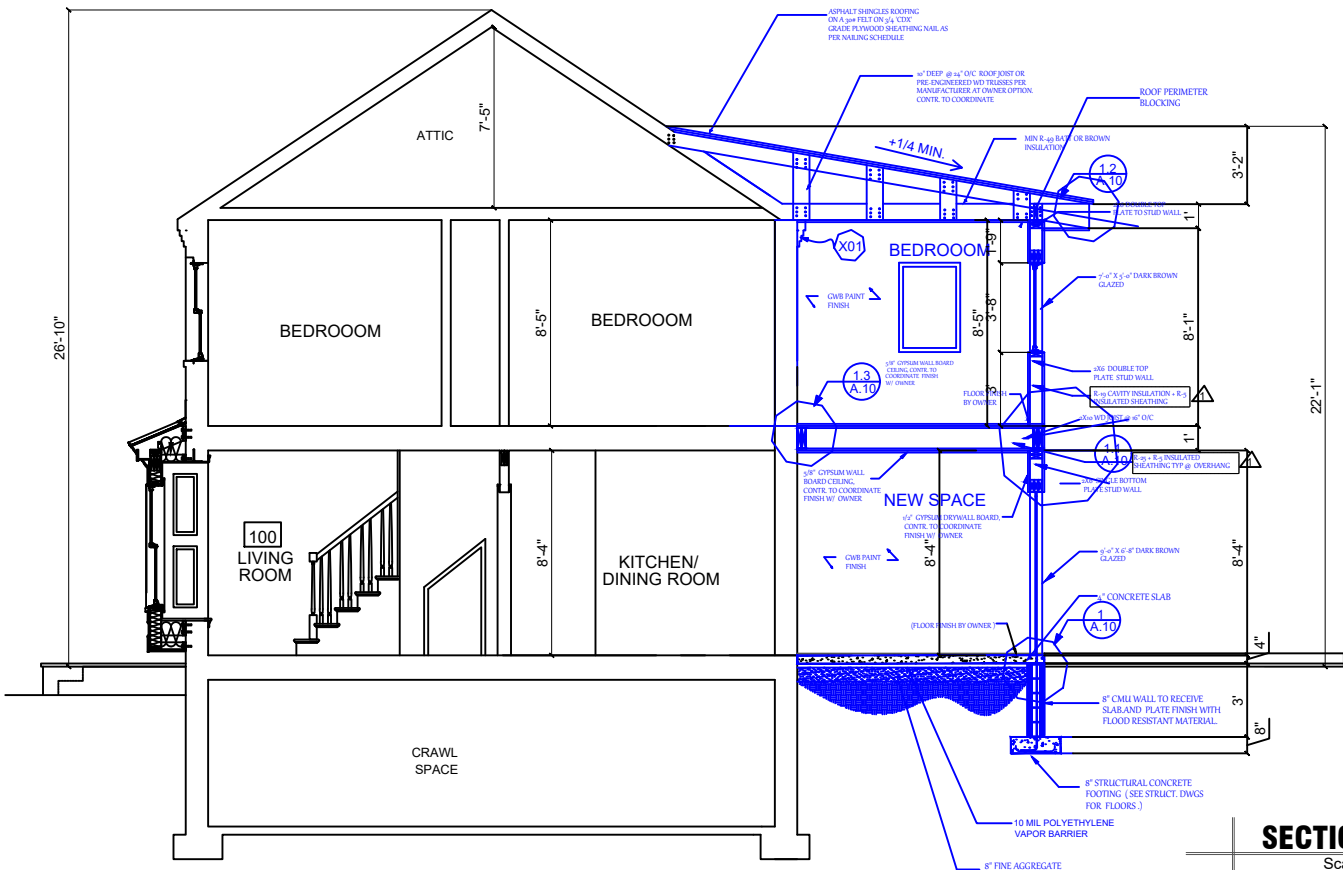
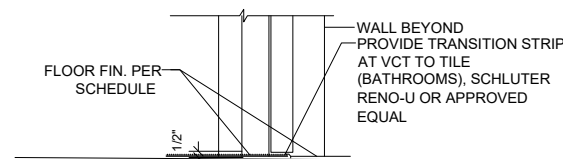
SHOWER DRAIN DETAIL
1 1/2" = 1'-0"



HEAD



JAMB



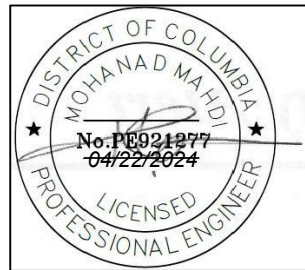
SECTION B-B

Scale: 1/4" = 1'-0"

CONSTRUCTION NOTES

- M01 WASHER /DRYER ON OVERFLOW PAN AND FLOOR DRAIN, TO BE REMOVED TO CREATE DOORWAY INTO NEW BEDROOM
- M02 EXISTING WINDOW TO BE REMOVED AND DOOR WAY CREATED TO ALLOW PASSAGE TO DECK
- M03 PROPOSED METER LOCATION
- M04 PROPOSED CONDENSING UNIT LOCATION
- M05 REMOVAL OF OLD DOOR AND A NEW ONE INTRODUCED.

Consultant



PROJECT

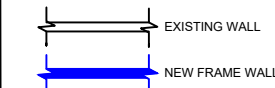
HOWARD RESIDENCE

5010 V ST, NW WASHINGTON DC

CLIENT

LUNA
HOWARD
DEVELOPER

KEY



(S/CM) SMOKE/ CARBON MONOXIDE DETECTOR; HARDWIRED W/ OTHER ALARM DEVICES

(SM) SMOKE DETECTOR; HARDWIRED W/ OTHER ALARM DEVICES

NOTE:

- UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING
- VERIFY ALL EXTERIOR RISER + TREAD DIMENSIONS IN THE FIELD
- PROVIDE UNFACED R-19 FIBERGLASS BATTS IN WALLS, CEILING, + FLOOR OF THE FOLLOWING ROOMS: BATH 203

WALL TYPES

TYPICAL NEW EXTERIOR WALL: 10" CONC. WALL; SEE FOUNDATION PLAN, SHEET S004; FUR WHERE SHOWN W/ 2X6 STUDS @ 16" O.C., R-15 CLOSED CELL SPRAY FOAM INSUL. & 1/2" GYP. BD.

TYPICAL NON-BEARING INTERIOR PARTITION; 2"x4" STUDS 16" O.C. W/ 1/2" GYP. BD. EACH SIDE; INCREASE WALL THICKNESS AS SHOWN TO ALIGN FINISHES

REVISED SET
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SHEET TITLE

SECTION B-B

SHEET NO.

A-07