

PROJECT TITLE

HOUSE ADDITION 5010 V ST, NORTHWEST, WASHINGTON DC.

PERMIT SET

DRAWN BY: PETER .I
FEBRUARY 2024

CLIENT
LUNA HOWARD

HOWARD RESIDENCE

5010 V ST, NW WASHINGTON, DC 20007

PLAT DATA

LOTS 849, SQUARE 1388
N.W. WASHINGTON,
DISTRICT OF COLUMBIA

MIN. LOT WIDTH= 50'
MIN. LOT AREA: 5,000 SF
MAX BLDG. HGT: 40 FEET/ 3 STORIES
FRONT B.R.L.= ESTABLISHED BUILDING LINE
MIN. REAR YARD= 25'
MIN. SIDE YARD= 8'
MAX LOT OCCUPANCY= 40%
MIN. PERVIOUS SURFACE COVERAGE= 50%

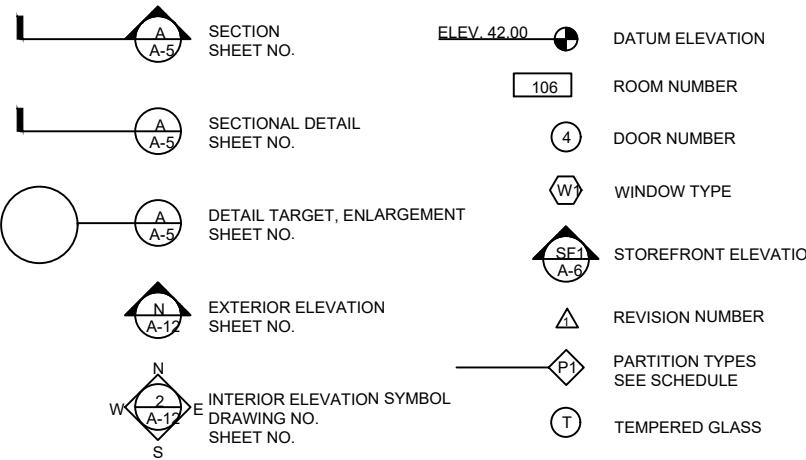
CALCULATIONS

FLOOR AREA	EXISTING	ADDITION
FIRST	504 SF	197 SF
SECOND	504 SF	193.55 SF
TOTAL	1008 SF	390.55 SF

ZONE R-1-B
SINGLE FAMILY RESIDENCE
PROJECT SCOPE OF WORK: BUILDING ADDITION

PROPOSED GROSS SQUARE FOOTAGE: 1451 SF
PROPOSED FOOTPRINT 390.55 SF
BUILDING WIDTH 20' (NO CHANGE)
BUILDING LENGTH 35.2' (CHANGE)
BUILDING HEIGHT ± 22'-1" FROM BACK GRADE TO ROOF FINISH
BUILDING VOLUME 15,558 CUBIC FEET

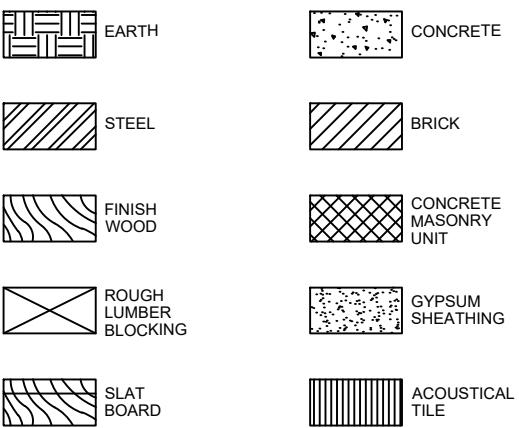
GRAPHIC SYMBOLS



LIST OF DRAWINGS

001	COVER SHEET
002	SPECIFICATIONS
A100	FLOOR PLANS
A200	ELEVATIONS
A300	BUILDING SECTION & DETAILS
E000	ELECTRICAL COVER SHEET
E001	ELECTRICAL FLOOR PLAN
P000	PLUMBING COVER SHEET
E001	PLUMBING FLOOR PLAN

MATERIAL SYMBOLS



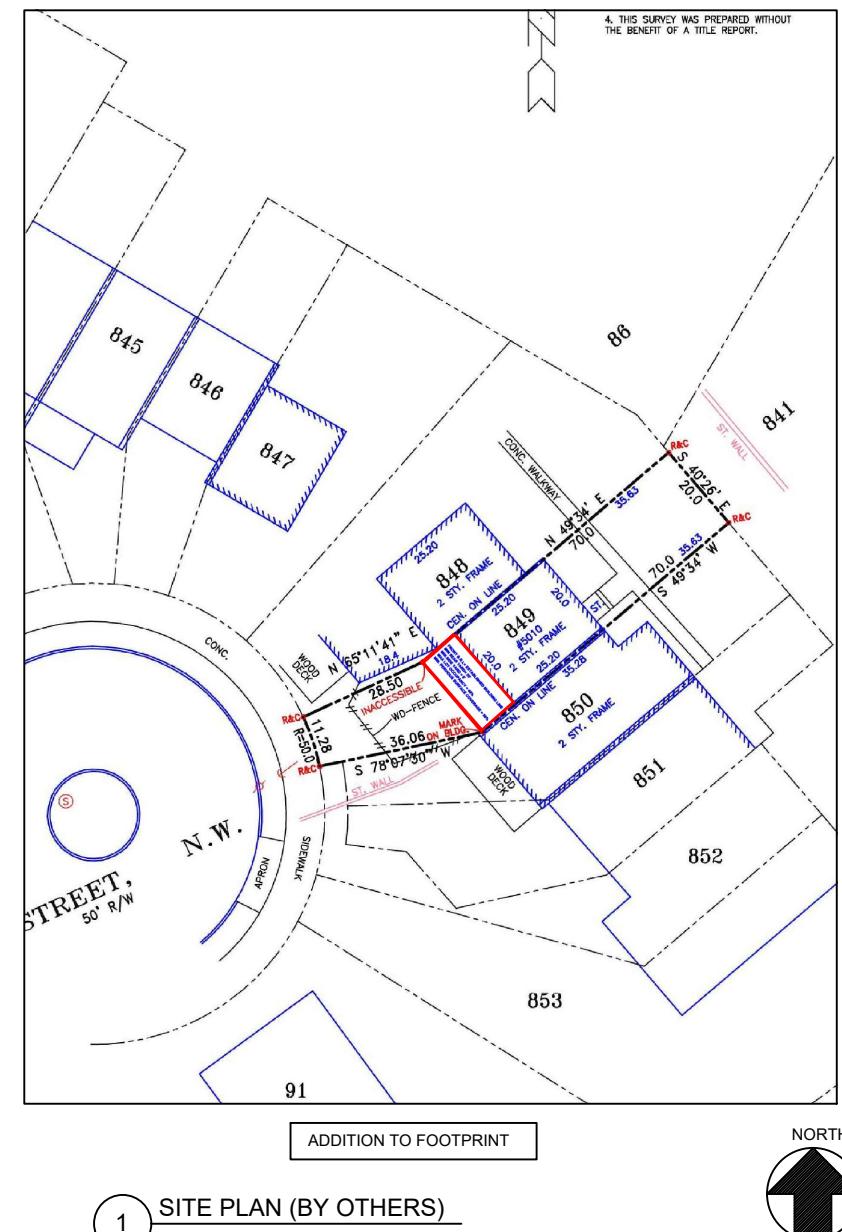
ABBREVIATIONS

ABOVE FLOOR	AF	EACH	EA	INTERIOR	INT	PLATE	PL	VERTICAL	VERT
ACOUSTIC	ACST	EAST	EST	JANITOR'S CLOSET	JJC	PLYWOOD	PLW	VERTICAL	VCT
ADJUSTABLE	ADJ	ELECTRIC, ELECTRICAL	ELEC	JUNCTION	JCT	PLYWOOD	PLW	VERTICAL	VCT
AIR CONDITIONING	AC	ELCTRIC	ELCT	JUNCTION BOX	JBX	POLYVINY CHLORIDE	PLV	VERTICAL	VCT
AIR EXHAUST	AEX	ELCTRIC	ELCT	JOINT	JNT	POLE	PL	VERTICAL	VCT
AIR HANDLING UNIT	AHU	ELCTRIC	ELCT	JOINT	JNT	POUNDS PER SQUARE INCH	PSI	VERTICAL	VCT
ALARM	AL	EMERGENCY POWER	EM	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
ALTERNATE CURRENT	ACT	EMERGENCY POWER	EM	JOINT	JNT	PREFABRICATED	PRF	VERTICAL	VCT
ALUMINUM	AL	EMERGENCY POWER	EM	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
AMPERE	AMP	EMERGENCY POWER	EM	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
ANCHOR BOLT	AB	EMERGENCY POWER	EM	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
ARCHITECT	ARCH	EXISTING	EX	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
AT	EXPANSION	EXISTING	EX	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
AVERAGE	AVG	EXISTING	EX	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
BEAM	BM	FAIRWEIGHT	F	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
BOARD	BD	FEET PER MINUTE	FFM	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
CABINET	CAB	FEET, FOOT	FT	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
CATALOG	CAT	FEET, FOOT	FT	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
CEMENT	CES	FEET, FOOT	FT	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
CONFERENCE	CONF	FEET, FOOT	FT	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
CONFERENCE	CONF	FEET, FOOT	FT	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
CONTROL JOINT	CJ	FEET, FOOT	FT	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
COORDINATE	COORD	FEET, FOOT	FT	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
CORNER	COR	FEET, FOOT	FT	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
CUBIC FEET	CF	FEET, FOOT	FT	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
DEDICATED	DED	FEET, FOOT	FT	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
DEPARTMENT	DEP	FEET, FOOT	FT	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
DETAIL	DET	FEET, FOOT	FT	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
DIAGONAL	DET	FEET, FOOT	FT	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
DIAMON	DET	FEET, FOOT	FT	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
DIMENSION	DIM	FEET, FOOT	FT	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
DISPENSER	DISP	FEET, FOOT	FT	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
DOOR	DR	FEET, FOOT	FT	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
DRIVING	DRV	FEET, FOOT	FT	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
DRINKING FOUNTAIN	DRF	FEET, FOOT	FT	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
EARTH	EARTH	FEET, FOOT	FT	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
CONCRETE	CONCRETE	FEET, FOOT	FT	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
STEEL	STEEL	FEET, FOOT	FT	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
BRICK	BRICK	FEET, FOOT	FT	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
FINISH WOOD	FINISH WOOD	FEET, FOOT	FT	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
CONCRETE MASONRY UNIT	CONCRETE MASONRY UNIT	FEET, FOOT	FT	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
GYPSUM SHEATHING	GYPSUM SHEATHING	FEET, FOOT	FT	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
ROUGH LUMBER BLOCKING	ROUGH LUMBER BLOCKING	FEET, FOOT	FT	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
GYPSUM	GYPSUM	FEET, FOOT	FT	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
ACOUSTICAL TILE	ACOUSTICAL TILE	FEET, FOOT	FT	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
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GYPSUM	GYPSUM	FEET, FOOT	FT	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT
ACOUSTICAL TILE	ACOUSTICAL TILE	FEET, FOOT	FT	JUNCTION	JCT	PREFABRICATED	PRF	VERTICAL	VCT

ABBREVIATIONS

CLIENT	LUNA HOWARD	CONTRACTOR	TBD
CONTACT	403 DANBRIIDGE S GAITHERSBURG, MD 20878 (301) 461-1728 LUNANH@AOL.COM	ARCHITECT	GTM ARCHITECTS CONTACT: TAMARA GORODETZKY 7735 OLD GEORGETOWN ROAD BETHESDA, MD 20814 (240) 333-0243 (240) 333-2000 FAX tgorodetzky@gtmarchitects.com
STRUCTURAL ENGINEER	RADWAN ASSOCIATES, INC. CONTACT: GUS RADWAN 8609 WESTWOOD CENTER DR. SUITE 110 VIENNA, VA 22182 (703) 790-8435 RADWANINC@AOL.COM www.kkedesign.com	MEP ENGINEER	KK ENGINEERING, LLC CONTACT: KHALID KHALIFA, P.D., C.E.M. 5305 VILLAGE CENTER DRIVE SUITE 205 COLUMBIA, MD 21044 443-393-4838 (O) 240-687-2163 (C) khalifa@kkedesign.com www.kkedesign.com
PLANS PREPARED BASED ON THE FOLLOWING CODES	2017 DISTRICT OF COLUMBIA BUILDING CODE 2017 DISTRICT OF COLUMBIA ENERGY CONSERVATION CODE	PLANS PREPARED BASED ON THE FOLLOWING CODES	(W/ 2017 DC AMENDMENTS): 2014 NATIONAL ELECTRIC CODE 2015 INTERNATIONAL RESIDENTIAL CODE 2015 INTERNATIONAL ENERGY CONSERVATION CODE 2015 INTERNATIONAL FIRE PREVENTION CODE 2015 INTERNATIONAL FUEL GAS CODE 2015 INTERNATIONAL MECHANICAL CODE 2015 INTERNATIONAL PLUMBING CODE DCMR TITLE 12 RESIDENTIAL CODE AMENDMENTS (2017)
DEPARTMENT	DEPARTMENT	OCCUPANCY GROUP: R RESIDENTIAL USE TYPE OF CONSTRUCTION: 5B	
DETAIL	DETAIL	SHEET TITLE	
DIAGONAL	DIAGONAL	COVER SHEET	
DIMENSION	DIMENSION	SHEET NO.	
DISPENSER	DISPENSER	A-01	
DOOR	DOOR		
DRIVING	DRIVING		
DRINKING FOUNTAIN	DRINKING FOUNTAIN		
EARTH	EARTH		
CONCRETE	CONCRETE		
STEEL	STEEL		
BRICK	BRICK		
FINISH WOOD	FINISH WOOD		
CONCRETE MASONRY UNIT	CONCRETE MASONRY UNIT		
GYPSUM SHEATHING	GYPSUM SHEATHING		
ROUGH LUMBER BLOCKING	ROUGH LUMBER BLOCKING		
GYPSUM	GYPSUM		
ACOUSTICAL TILE	ACOUSTICAL TILE		

SITE PLAN

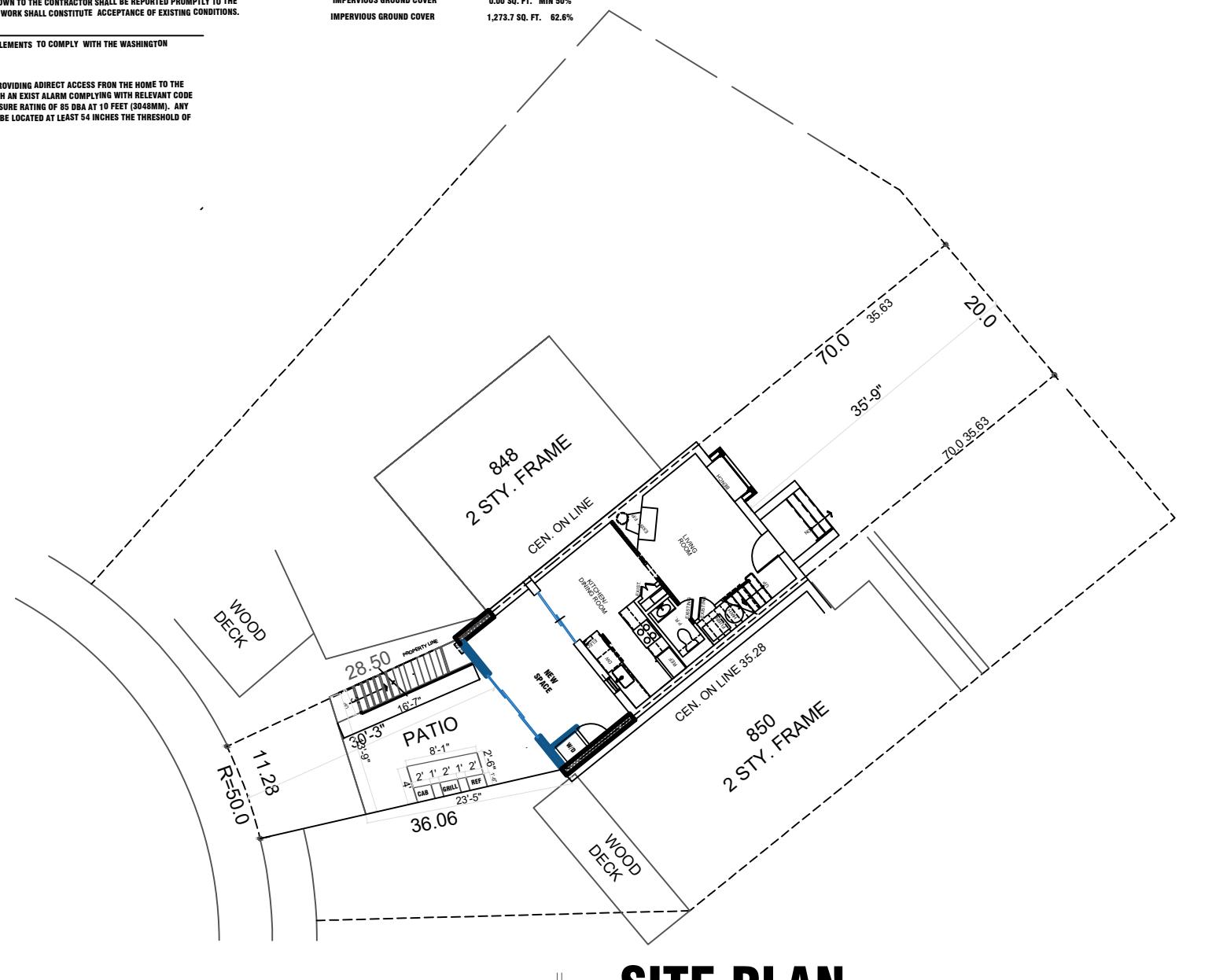




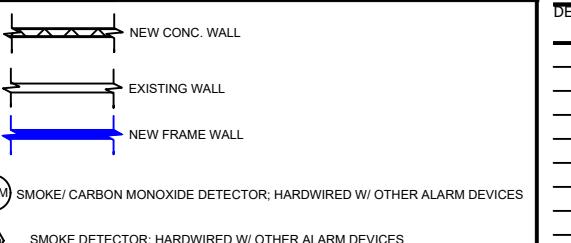
CONSTRUCTION NOTES

PROJECT DATA	
SCOPE OF WORK	1 STORY ADDITIONAL
OCCUPANCY TYPE	RESIDENTIAL R-1-B
PUBLIC WORKS	
1) ANY WORK AND/OR IMPROVEMENT FROM/TO THE RIGHT-OF-WAY INCLUDING LANDSCAPE AND IRRIGATION REQUIRE A SEPARATE A CMB OF WORKS DEPARTMENT RIGHT OF WAY CONSTRUCTION PERMITS IN COMPLIANCE WITH CITY CENTER NEIGHBORHOOD IMPROVEMENT PROJECTS PLANS PACKAGE	
2) ALL CONSTRUCTION AND/TO USE OF EQUIPPED RIGHT-OF-WAY WILL REQUIRE A SEPARATE CITY PUBLIC WORKS DEPARTMENT RIGHT OF WAY CONSTRUCTION PERMIT PRIOR TO START OF CONSTRUCTION	
CONTRACTORS NOTE	
THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND CAREFULLY COMPARE SUCH FIELD MEASUREMENT AND CONDITIONS AND OTHER INFORMATION KNOWN THE CONTRACTOR WITH THE DRAWINGS BEFORE COMMENCING WORK ACTIVITIES. ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED BY OR MADE KNOWN TO THE CONTRACTOR SHALL BE REPORTED PROMPTLY TO THE ARCHITECT. CONTRACTOR OF WORK SHALL CONSTITUTE ACCEPTANCE OF EXISTING CONDITIONS.	
CONTRACTORS NOTE	
1) ALL NEW CONSTRUCTION ELEMENTS TO COMPLY WITH THE WASHINGTON BUILDING CODE EDITION A	
2) ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL SHALL BE EQUIPPED WITH AN EXIST ALARM COMPLYING WITH RELEVANT CODE HAVING MINIMUM SOUND PRESSURE RATING OF 85 DBA AT 10 FEET (304MM). ANY DEACTIVATION SWITCH SHALL BE LOCATED AT LEAST 54 INCHES THE THRESHOLD OF THE ACCESS	

ZONING DATA		(RS-3)
REQUIRED/ALLOWED	PROPOSED	
LOT AREA	1,878.3 SQ. FT	1,878.3 SQ. FT
MINIMUM LOT WIDTH	50'-0"	50'-0"
MINIMUM SETBACK		
FRONT:	0'-0"	35'-0"
REAR	25'-0"	30'-3"
SIDES (0'-0" MIN on each side)	8'-0"	0'-0"
	8'-0"	0'-0"
MAXIMUM BUILDING HEIGHT:	40'-0"	22'-1"
MAX LOT OCCUPANCY:	40%	37.4 %
SITE DATA		
EXISTING LOT SIZE	1878.3 SQ. FT. (100%)	
BLDG LOT COVERAGE RESIDENCE	701.8 SQ. FT. (37.4%)	
IMPERVIOUS GROUND COVER IMPERVIOUS GROUND COVER	0.00 SQ. FT. MIN 50% 1,273.7 SQ. FT. 62.6%	



KEY



NOTE:

1. UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING
2. VERIFY ALL EXTERIOR RISER + TREAD DIMENSIONS IN THE FIELD
3. PROVIDE UNFACED R-19 FIBERGLASS Batts IN WALLS, CEILING, + FLOOR OF THE FOLLOWING ROOMS:
BATH 203

WALL TYPES

TYPICAL NEW EXTERIOR WALL; 10" CONC. WALL; SEE FOUNDATION PLAN, SHEET S004; FUR WHERE SHOWN W/ 2X6 STUDS @ 16" O.C., R-15 CLOSED CELL SPRAY FOAM INSUL. & 1/2" GYP. BD.

TYPICAL NON-BEARING INTERIOR PARTITION; 2"x4" STUDS 16" O.C. W/ 1/2" GYP. BD. EACH SIDE; INCREASE WALL THICKNESS AS SHOWN TO ALIGN FINISHES

HOWARD RESIDENCE

5010 V ST, NW WASHINGTON DC

PROJECT

LUNA HOWARD
DEVELOPER

PERMIT SET
Issue Description
Date

Project No. 011.024

Checked By

Drawn By Peter I

Scale As Shown

SHEET TITLE

SITE PLAN

SHEET NO.

A-03



CONSTRUCTION NOTES

- (M01) WASHER /DRYER ON OVERFLOW PAN AND FLOOR DRAIN, TO BE REMOVED TO CREATE DOORWAY INTO NEW BEDROOM
- (M02) EXISTING WINDOW TO BE REMOVED AND DOOR WAY CREATED TO ALLOW PASSAGE TO DECK
- (M03) PROPOSED METER LOCATION
- (M04) PROPOSED CONDENSING UNIT LOCATION
- (M05) REMOVAL OF OLD DOOR AND A NEW ONE INTRODUCED.



HOWARD RESIDENCE

5010 V ST, NW WASHINGTON DC

PROJECT

KEY

- NEW CONC. WALL
- EXISTING WALL
- NEW FRAME WALL
- (S/C) SMOKE/ CARBON MONOXIDE DETECTOR; HARDWIRED W/ OTHER ALARM DEVICES
- (SM) SMOKE DETECTOR; HARDWIRED W/ OTHER ALARM DEVICES

CLIENT
LUNA HOWARD
DEVELOPER

REVISED SET
Issue Description
DEC 18, 2024
Date

Project No. 011.024
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Scale As Shown

SHEET TITLE

FIRST FLOOR,
SECOND FLOOR
& ROOF PLAN

SHEET NO. A-04

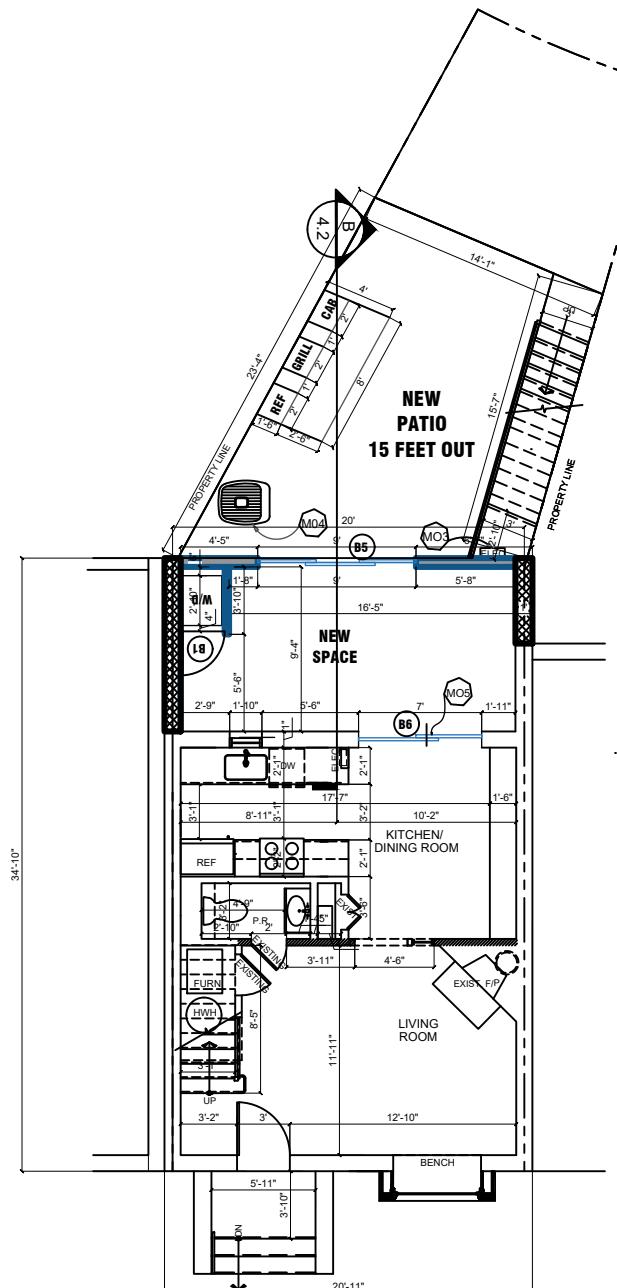
NOTE:

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2. VERIFY ALL EXTERIOR RISER + TREAD DIMENSIONS IN THE FIELD
3. PROVIDE UNFACTED R-15 FIBERGLASS BATT INSULATION IN WALLS, CEILING, + FLOOR OF THE FOLLOWING ROOMS: BATH 203

WALL TYPES

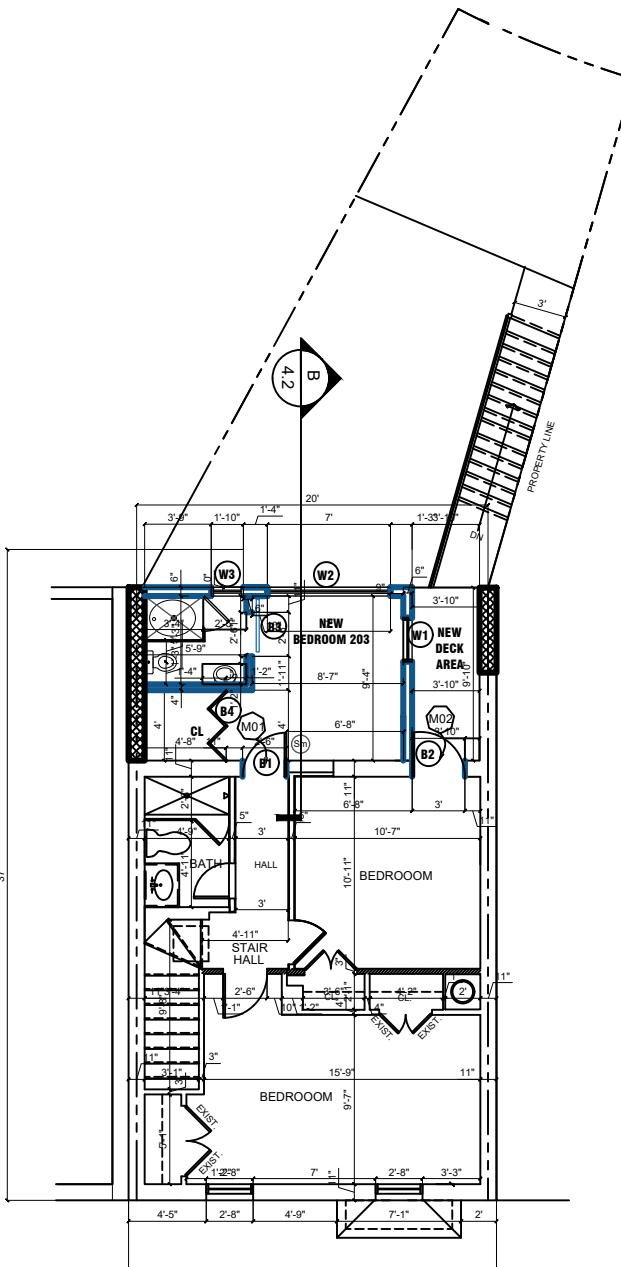
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TYPICAL NON-BEARING INTERIOR PARTITION; 2"x4" STUDS 16" O.C. W/ 1/2" GYP. BD. EACH SIDE; INCREASE WALL THICKNESS AS SHOWN TO ALIGN FINISHES



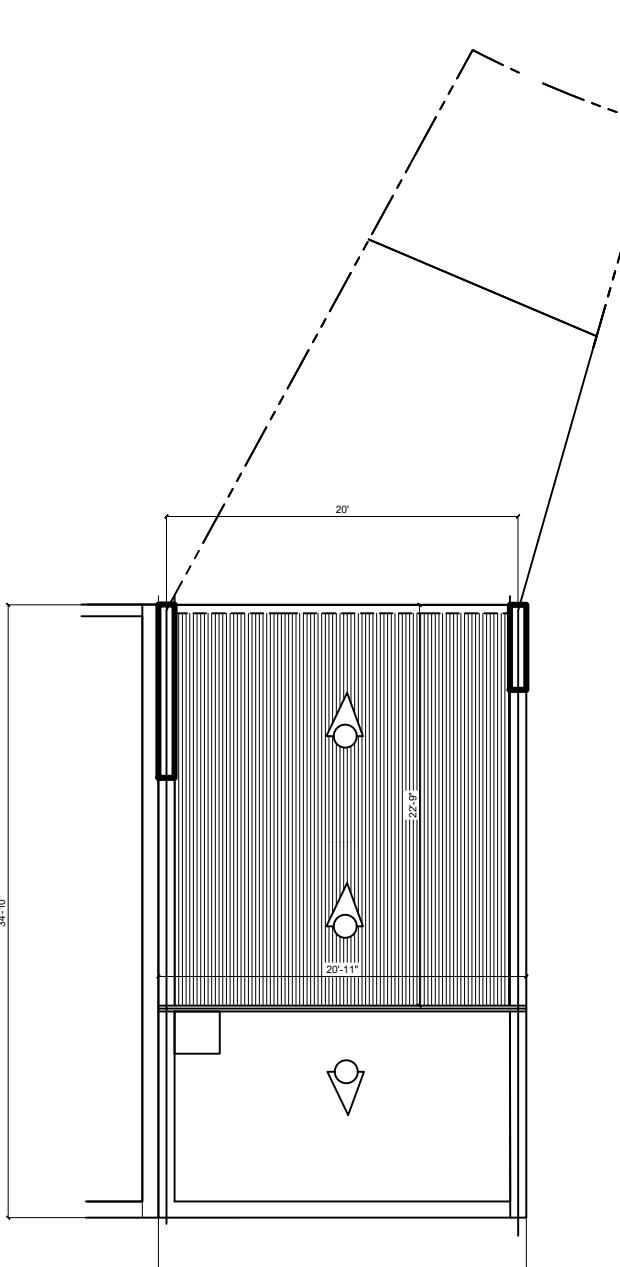
FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"



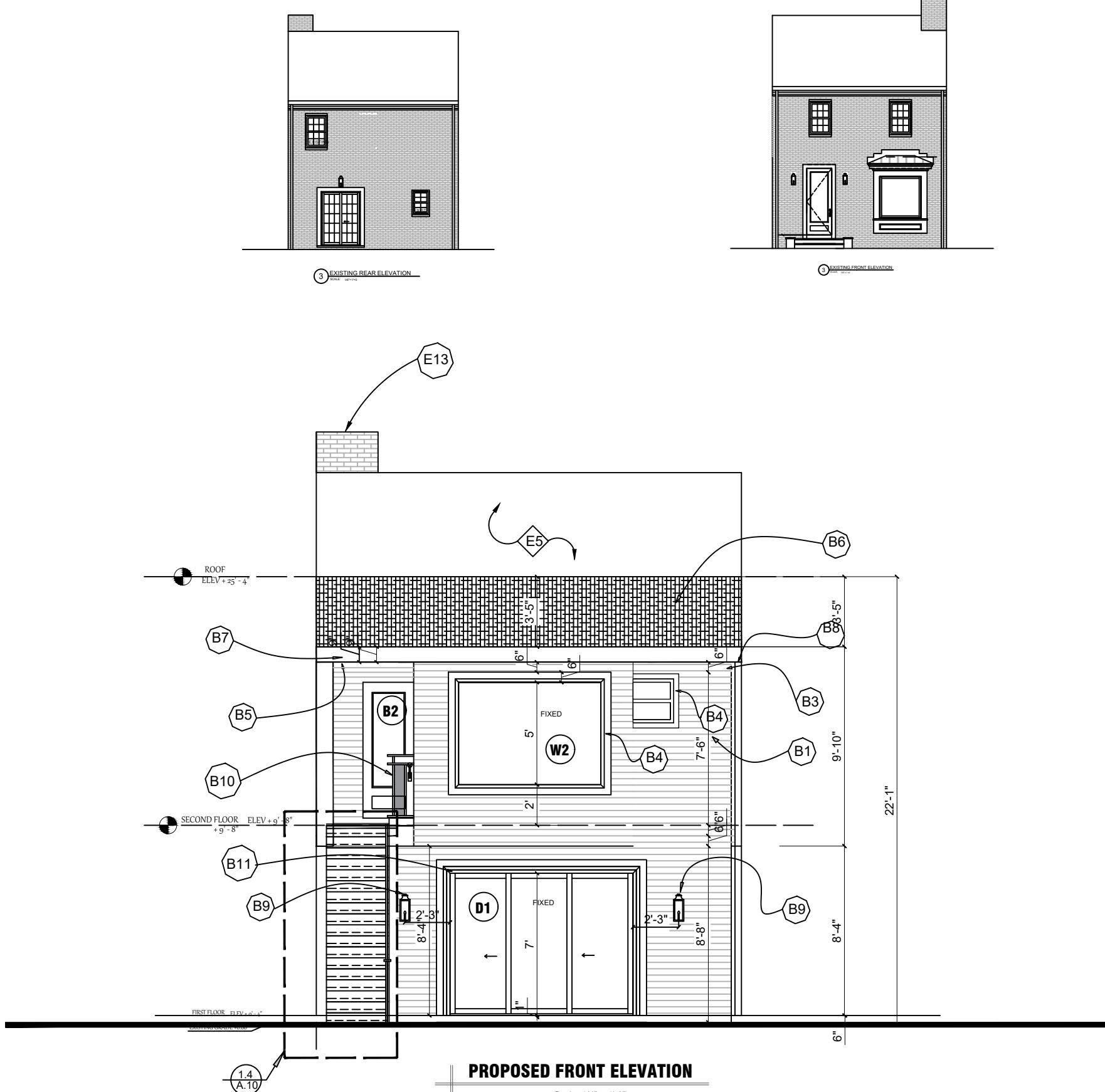
SECOND FLOOR PLAN

Scale: 1/4" = 1'-0"



ROOF PLAN

Scale: 1/4" = 1'-0"



ELEVATION NOTES

- (B1) HARDI PLANK SLIDING FINISH, TBS
- (B2) EXISTING WINDOW REMOVED & REPLACE WITH A DOOR
- (B3) ENGINEERING TRIM FRIEZE BOARD, TBS
- (B4) 6 INCHES TRIM AROUND PICTURE WINDOW, TBS
- (B5) 1 FOOT VINYL SOFFIT @ BOTTOM OF EVE, TBS
- (B6) ROOF SHINGLES SEE ARCHITECTURAL FOR DETAILS
- (B7) 2X9" VINYL FASCIA, SAND AND PAINT SMOOTH
- (B8) GUTTERS & DOWNSPOUTS, TBS
- (B9) EXTERIOR LIGHT FIXTURES, T.B.S.
- (B10) HANDRAIL @ 48" FROM FLOOR FINISH
- (B11) 6 INCHES TRIM AROUND EXIST DOOR, TBS
- (E13) EXISTING CHIMNEY



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SHEET TITLE

ELEVATION

SHEET NO. A-06

GENERAL AZEK TRIM NOTES

GLUE ALL AZEK TO AZEK JOINTS SUCH AS WINDOW SURROUNDS, LONG FASCIA RUNS, ETC., WITH AZEK ADHESIVE TO PREVENT JOINT SEPARATION.

THE GLUE JOINT SHOULD BE SECURED WITH A FASTENER AND/OR FASTENED ON EACH SIDE OF THE JOINT TO ALLOW ADEQUATE BONDING TIME.

AZEK ADHESIVE HAS A WORKING TIME OF 10 MINUTES AND WILL BE FULLY CURED IN 24 HOURS.

IF STANDARD PVC CEMENTS ARE USED, KEEP IN MIND THESE PRODUCTS TYPICALLY CURE QUICKLY WHICH WILL RESULT IN LIMITED WORKING TIME AND MAY REDUCE ADHESIVE STRENGTH. AS SUCH THEY ARE NOT ACCEPTABLE.

FOR BEST RESULTS, SURFACES TO BE GLUED SHOULD BE SMOOTH, CLEAN AND IN COMPLETE CONTACT WITH EACH OTHER.

TO BOND AZEK TO OTHER SUBSTRATES, VARIOUS ADHESIVES MAY BE USED. CONSULT ADHESIVE MANUFACTURER TO DETERMINE SUITABILITY.

AZEK PRODUCTS EXPAND AND CONTRACT WITH CHANGES IN TEMPERATURE.

PROPERLY FASTENING AZEK MATERIAL ALONG ITS ENTIRE LENGTH WILL MINIMIZE EXPANSION AND CONTRACTION.

WHEN PROPERLY FASTENED, ALLOW 1/8" PER 18 FOOT OF AZEK PRODUCT FOR EXPANSION AND CONTRACTION. JOINTS BETWEEN PIECES OF AZEK SHOULD BE GLUED TO ELIMINATE JOINT SEPARATION. SEE "GLUING" DIAGRAM BELOW.



WHEN GAPS ARE GLUED ON A LONG RUN OF AZEK, ALLOW EXPANSION AND CONTRACTION SPACE AT ENDS OF THE RUN.

INSTALL PER AZEK.

FOR ADDITIONAL INFORMATION: VISIT WWW.AZEK.COM OR CALL 877-ASK-AZEK.

CONSTRUCTION NOTES

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SHEET TITLE

SECTION B-B

SHEET NO. A-07

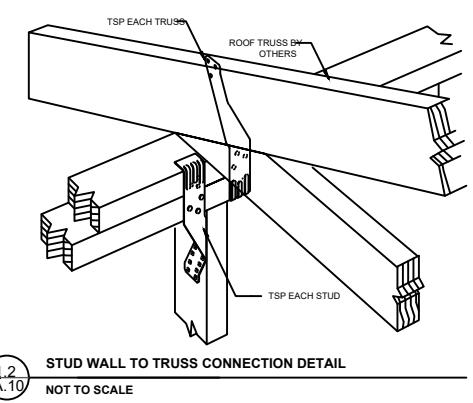
WALL TYPES

TYPICAL NEW EXTERIOR WALL: 10" CONC. WALL; SEE FOUNDATION PLAN, SHEET S004; FUR WHERE SHOWN W/ 2X6 STUDS @ 16" O.C., R-15 CLOSED CELL SPRAY FOAM INSUL. & 1/2" GYP. BD.

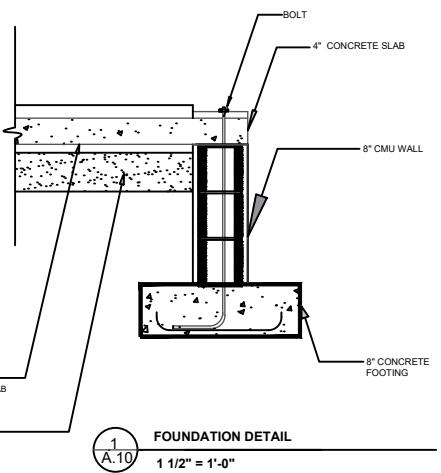
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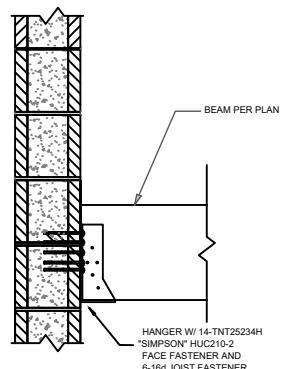
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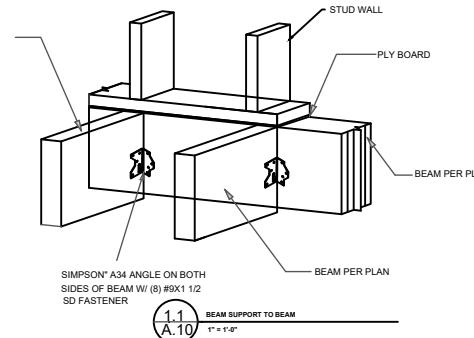
1.2
A.10
NOT TO SCALE



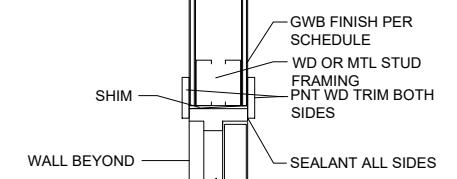
1
A.10
FOUNDATION DETAIL
1 1/2" = 1'-0"



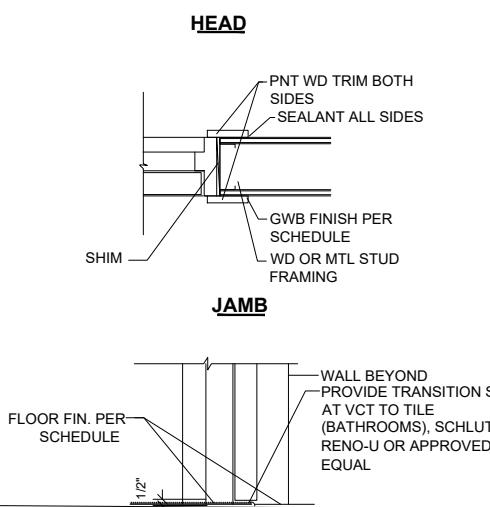
1.3
A.10
CMU TO HANGER CONNECTION 2
1 1/2" = 1'-0"



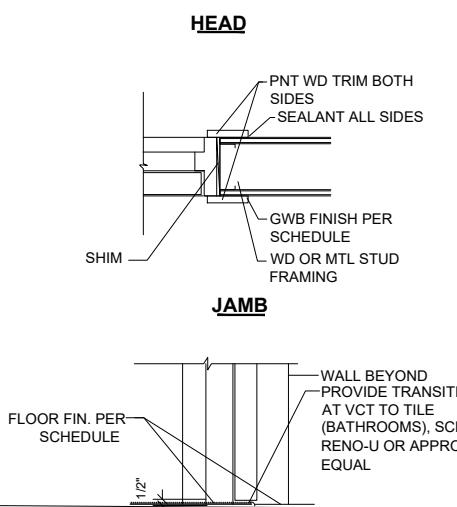
1.1
A.10
BEAM SUPPORT TO BEAM
1" = 1'-0"



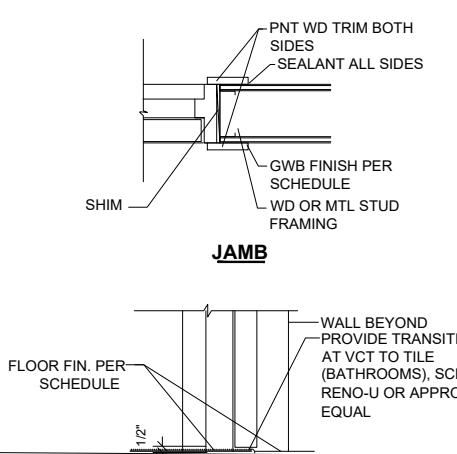
GLASS RAILING DETAIL
1 1/2" = 1'-0"



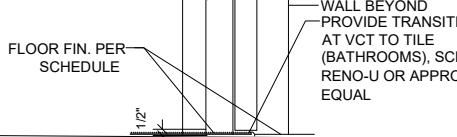
SHOWER DRAIN DETAIL
1 1/2" = 1'-0"



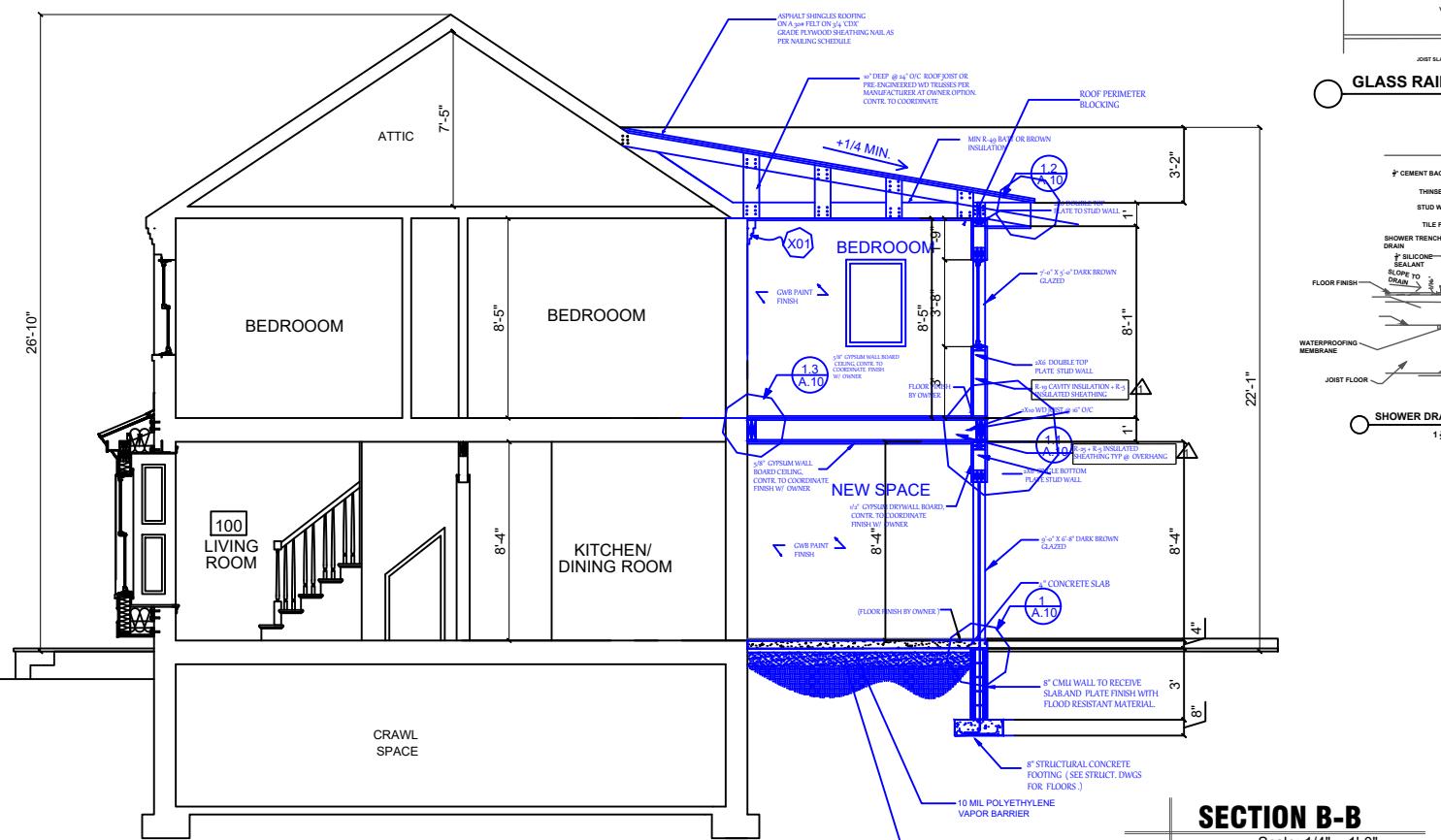
HEAD



JAMB



KEY



SECTION B-B

Scale: 1/4" = 1'-0"

