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SITE PLANS

ISSUED
FOR PERMIT

1
A0.6
Board of Zoning Adjustment
Case No. 2118
Exhibit No. 24A

2/3/25

12TH ST NE

176.79' BMP @ CURB

PUBLIC SIDEWALK

LANDSCAPING

LANDSCAPING

PENTHOUSE
DECK

DN

PENTHOUSE
DECK

PENTHOUSE
DECK

DN

PENTHOUSE
DECK

DN

2-STORY + CELLAR + PENTHOUSE

PENTHOUSE
ROOF

3319 12TH ST NE
WASHINGTON, DC
SQ: 3930
LOT: 0029

MAIN ROOF

MAIN ROOF

PENTHOUSE
DECK

PENTHOUSE
DECK

PENTHOUSE
DECK

DECK @ 1ST
FLOOR

PENTHOUSE
DECK

LANDSCAPING

PENTHOUSE
DECK

PROPOSED SITE PLAN

SCALE: 1" = 5'

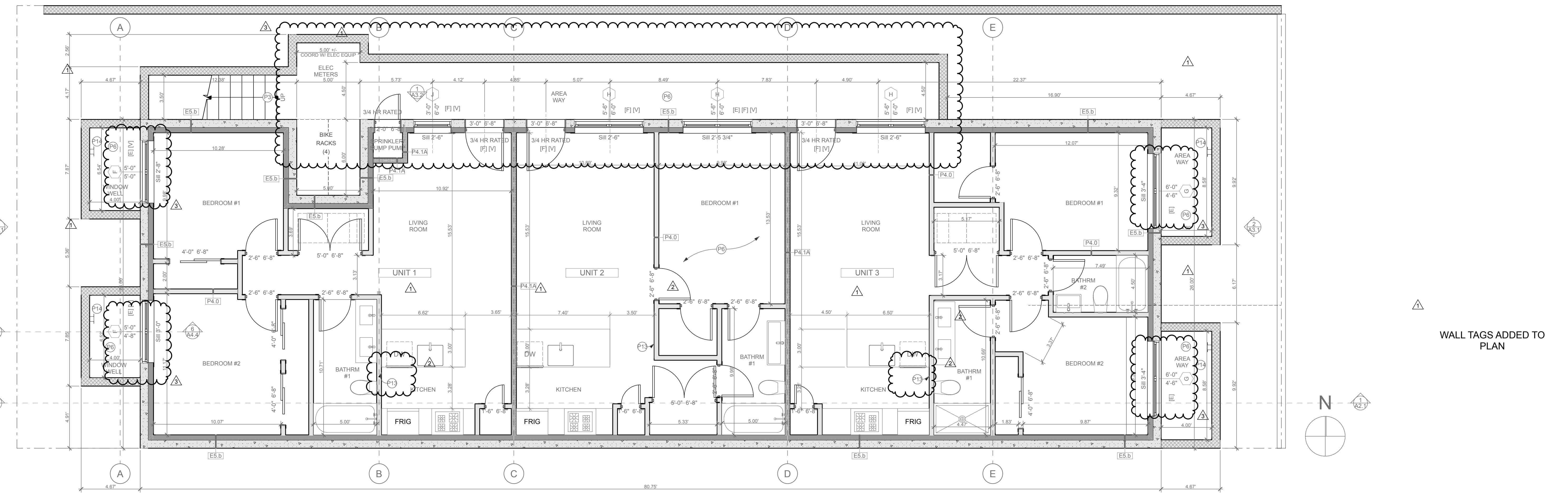
REVISION

1

A0.6

Board of Zoning Adjustment
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CELLAR

SCALE: 1/4" = 1'-0"

CONSTRUCTION PLAN GENERAL NOTES

- REFER TO A0.1 FOR ABBREVIATIONS, PROJECT INFORMATION AND TYPICAL LEGEND. REFER TO SPECIFICATION NOTES FOR ADDITIONAL INFORMATION.
- ALL PENETRATIONS THROUGH A FIRE RATED ASSEMBLY SHALL BE SEALED WITH 3M FIRE BARRIER (UP TO 4 HOURS) OR SIMILAR.
- ALL EXTERIOR WOOD DECKING SHALL BE FIRE RETARDANT TREATED.
- WATER CLOSETS SHALL NOT BE SET CLOSER THAN 15" FROM CENTER OF FIXTURE TO ADJACENT WALL OR OBSTRUCTION. THERE SHALL BE 21" MIN CLEAR DISTANCE IN FRONT OF ALL WATER CLOSETS.
- SHOWER COMPARTMENT SHALL NOT BE LESS THAN 30" X 30" CLEAR.
- COORDINATE ALL DIMENSIONS WITH EQUIPMENT AND APPLIANCES.
- VERIFY ALL DIMENSIONS IN THE FIELD.
- VERIFY FLOOR TO FLOOR HEIGHTS, VERIFY STAIR RISE/RUN AND COORDINATE STAIR OPENINGS WITH STRUCTURAL FRAMING. WITHIN UNITS TREADS SHALL BE 10" MIN FROM NOSING TO NOSING. RISERS SHALL BE 7.75" MAX. IN COMMON AREAS, TREADS SHALL BE 11" MIN FROM NOSING TO NOSING. RISERS SHALL BE 7" MAX. DIMENSIONS ARE FROM THE CENTER OF THE STAIR TO THE FINISHED WALL OR NEAREST EDGE OF GUARDRAIL. HANDRAILS MAY PROJECT INTO REQUIRED CLEARED DIMENSION 3" MAX.
- VERIFY ALL DOOR/WINDOW SIZES PRIOR TO ORDERING.
- REFER TO A4 SERIES FOR WALL TYPE DETAILS.
- REFER TO A4 SERIES FOR TYPICAL STAIR, RAILING AND GUARD RAIL DETAILS.
- REFER TO A4 SERIES FOR HORIZONTAL ASSEMBLY TYPES.
- ALL INTERIOR PARTITIONS SHALL BE TYPE P4.0, UNO.
- STRUCTURAL FRAMING AND COMPONENTS OF EXTERIOR STAIRS AND REAR DECK WITH 5' OF THE PROPERTY LINE SHALL BE CONSTRUCTED NON-COMBUSTIBLE FRT WOOD.
- INTERIOR FINISHES ARE AS FOLLOWS, UNLESS NOTED OTHERWISE:
 - WALLS: PAINTED, TYP (SEE GENERAL NOTE 7 FOR WALL FINISH AT BATHROOMS)
 - FLOORS: ENGINEERED WOOD, TYP, CERAMIC TILE @ ALL BATHROOMS
 - CEILINGS: PAINTED, TYP
- DURING CONSTRUCTION, PROVIDE A PORTABLE FIRE EXTINGUISHER W/ A MINIMUM RATING OF 1-A:10-B:C ON EACH FLOOR.

CONSTRUCTION PLAN KEYED NOTES

P1 WEATHER RESISTANT WOOD DECKING
 P2 INTERIOR WOOD FRAMED STAIRS W/ HANDRAILS & GUARDRAILS, RE: DETAILS ON A4 SERIES
 P3 EXTERIOR WOOD FRAMED STAIRS W/ HANDRAILS & GUARDRAILS, RE: DETAILS ON A4 SERIES
 P4 OSHA COMPLIANT METAL LADDER
 P5 42" (H) PAINTED METAL GUARDRAIL W/ PICKET SPACED 4" OC MAX
 P6 CONCRETE SLAB, RE: DETAILS ON A4 SERIES
 P7 ROOFING MEMBRANE
 P8 42" (H) PARAPET
 P9 SCUPPER TO DOWNSPOUT
 P10 DOWNSPOUT
 P11 SLOPE ROOF FRAMING, RE: BLDG SECTION
 P12 INCLINED WHEELCHAIR STAIR LIFT, BOD: GARAVENTA LIFT, XPRESS II STAIR LIFT
 P13 PORTABLE FIRE EXTINGUISHER, MINIMUM RATING OF 1-A:10-B:C IN RECESS WALL CABINET. PROVIDE FIRE RATED CABINET @ FIRE RATED PARTITIONS
 P14 EMERGENCY EGRESS LADDER, RE: DTLs A4.3

WINDOW GENERAL NOTES

- REFER TO EXTERIOR ELEVATIONS AND WINDOW SCHEDULE FOR MORE INFORMATION.
- REFER TO A4.3 FOR EGRESS WINDOW REQUIREMENTS.
- OPERABLE WINDOWS SHALL BE PROVIDED WITH WINDOW CONTROL DEVICES (WOD) THAT RESTRICT THE OPENING TO LESS THAN 4". WOD SHALL COMPLY WITH ASTM F2090. ONCE RELEASED, THE WOD SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF ANY DESIGNATED EMERGENCY EGRESS WINDOW.

DOOR GENERAL NOTES

- REFER TO PLAN FOR DOOR SIZES.
- ALL UNIT ENTRY DOORS SHALL HAVE THUMB TURN LOCKS W/ DEADBOLTS.
- MAIN ENTRY DOOR TO HAVE ALWAYS LOCKING KEY ACCESS FUNCTION W/ FREE EGRESS AT ALL TIMES.
- ALL RATED DOORS SHALL BE SELF CLOSING.
- REFER TO A0.1 FOR INSULATION REQUIREMENTS.

WINDOW/DOOR KEYED NOTES

[E] DESIGNATED EMERGENCY EGRESS WINDOW, REFER TO DETAIL ON A4.3
 [S] SAFETY GLASS REQUIRED
 [H] NEW WOOD WINDOW IN EXISTING OPENING. MATCH EXISTING FUNCTION, MULLION PATTERN & BRICK MOLDING
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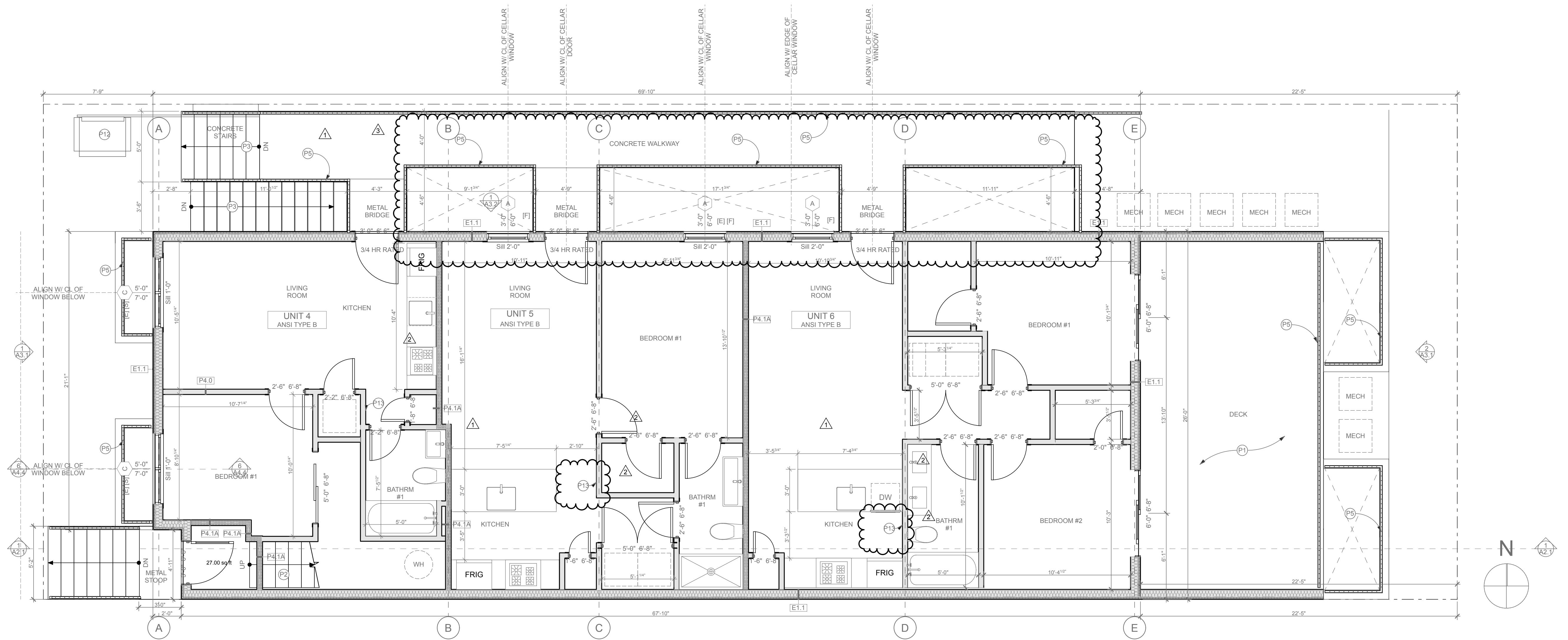
CONSTRUCTION PLANS

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REVISION
R.02

DATE
2/3/25

A1.1



1ST FLOOR

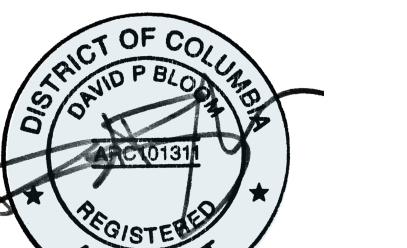
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DISTRICT
architecture studio

1766 Florida Ave NW Washington DC

3319 12TH ST NE
WASHINGTON DC

CLIENT: BORS PROPERTIES LLC



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- SHOWER COMPARTMENT SHALL NOT BE LESS THAN 30" X 30" CLEAR.
- COORDINATE ALL DIMENSIONS WITH EQUIPMENT AND APPLIANCES.
- ALL BATHROOM AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS AND IN SHOWERS COMPARTMENTS SHALL BE FINISHED WITH A SMOOTH NON-ABSORBENT SURFACE, CERAMIC TILE, TO A HEIGHT 6'-0" MIN.
- VERIFY ALL DIMENSIONS IN THE FIELD.
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DOOR GENERAL NOTES

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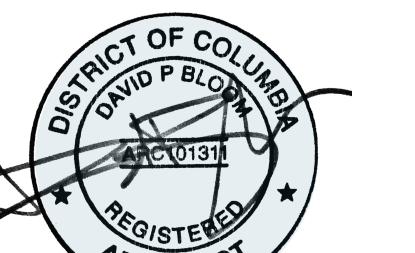
CONSTRUCTION PLANS

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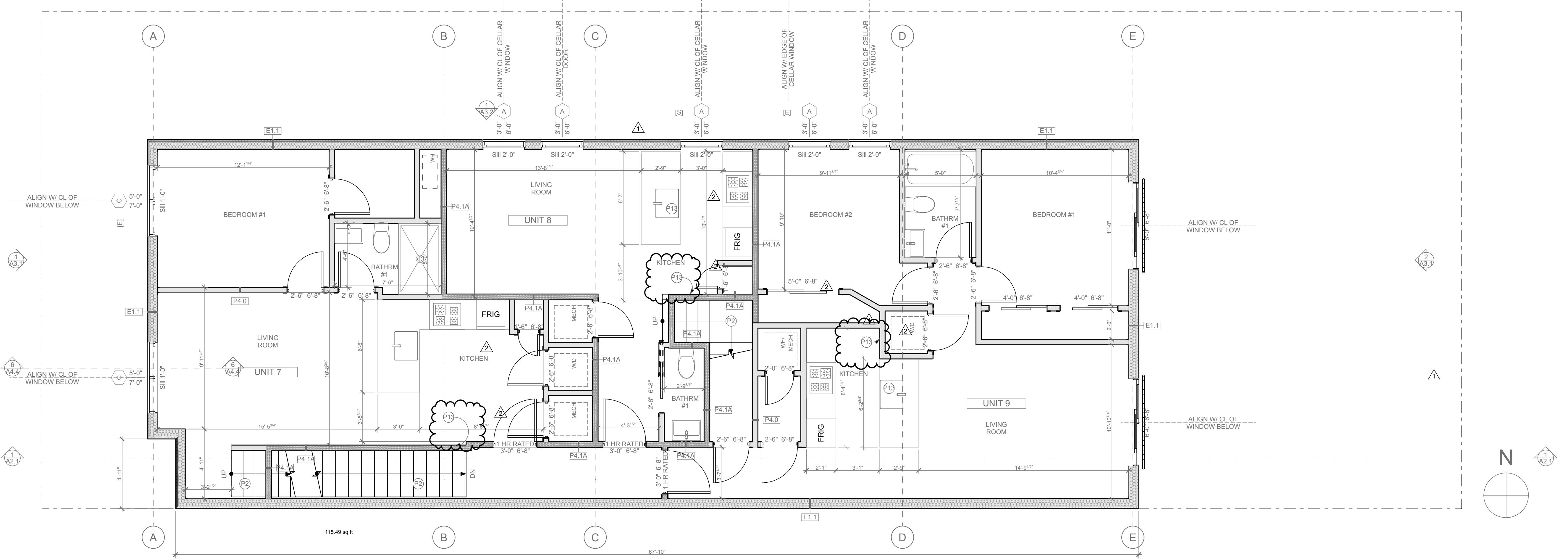
DATE
2/3/25

A1.2



1
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CONSTRUCTION PLANS



2ND FLOOR

SCALE: 1/4" = 1'-0"

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WINDOW GENERAL NOTES

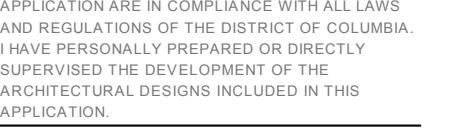
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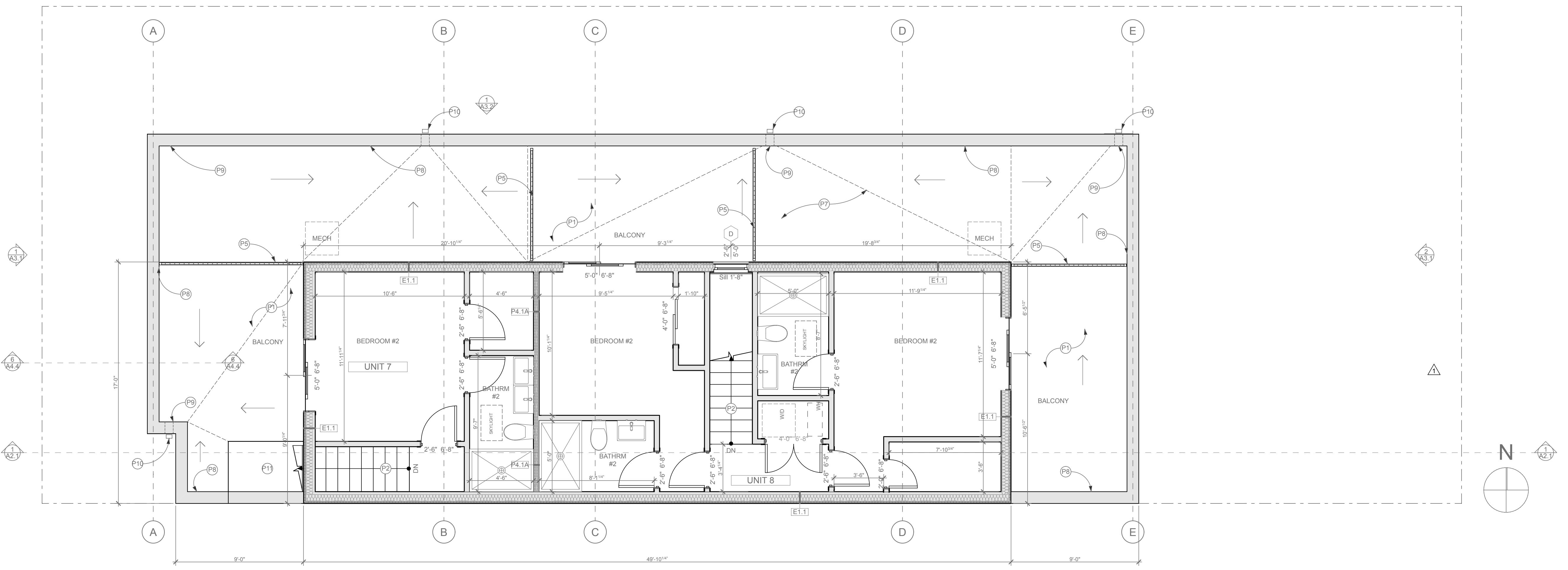
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DAVID P. BLOOM
REG. #1311
REGISTERED
ARCHITECT

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CONSTRUCTION PLANS



PENTHOUSE/MAIN ROOF

SCALE: 1/4" = 1'-0"

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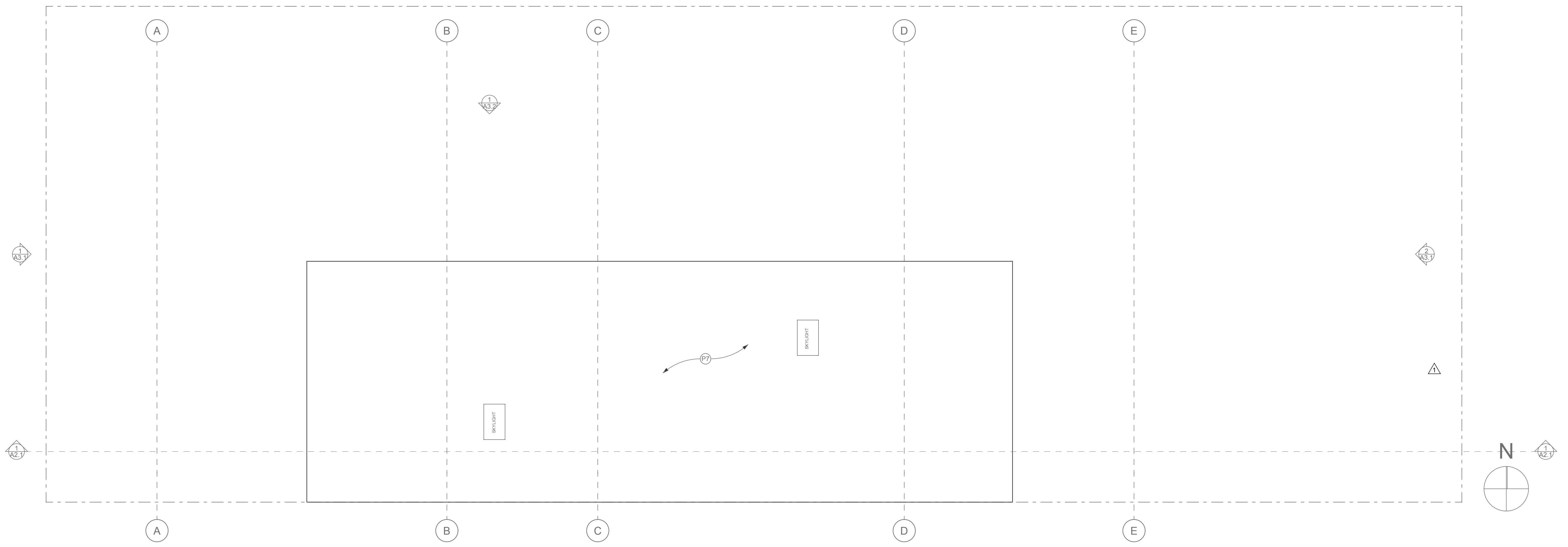
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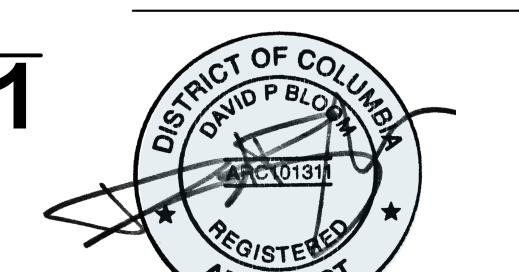
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5. PENTHOUSE ROOF

SCALE: 1/4" = 1'-0"

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- COORDINATE ALL DIMENSIONS WITH EQUIPMENT AND APPLIANCES.
- VERIFY ALL DIMENSIONS IN THE FIELD.
- VERIFY FLOOR TO FLOOR HEIGHTS, VERIFY STAIR RISE/RUN AND COORDINATE STAIR OPENINGS WITH STRUCTURAL FRAMING. WITHIN UNITS TREADS SHALL BE 10" MIN FROM NOSING TO NOSING. RISERS SHALL BE 7.75" MAX. IN COMMON AREAS, TREADS SHALL BE 11" MIN FROM NOSING TO NOSING. RISERS SHALL BE 7" MAX. DIMENSIONS ARE FROM CENTER OF WALL TO FINISHED WALL OR NEAREST EDGE OF GUARDRAIL. HANDRAILS MAY PROJECT INTO REQUIRED CLEARED DIMENSION 3" MAX.
- VERIFY ALL DOOR/WINDOW SIZES PRIOR TO ORDERING.
- REFER TO A4 SERIES FOR WALL TYPE DETAILS.
- REFER TO A4 SERIES FOR TYPICAL STAIR, RAILING AND GUARD RAIL DETAILS.
- REFER TO A4 SERIES FOR HORIZONTAL ASSEMBLY TYPES.
- ALL INTERIOR PARTITIONS SHALL BE TYPE P4.0, UNO.
- STRUCTURAL FRAMING AND COMPONENTS OF EXTERIOR STAIRS AND REAR DECK WITH 5' OF THE PROPERTY LINE SHALL BE CONSTRUCTED NON-COMBUSTIBLE FRT WOOD.
- INTERIOR FINISHES ARE AS FOLLOWS, UNLESS NOTED OTHERWISE:
 - WALLS: PAINTED, TYP (SEE GENERAL NOTE 7 FOR WALL FINISH AT BATHROOMS)
 - FLOORS: ENGINEERED WOOD, TYP. CERAMIC TILE @ ALL BATHROOMS
 - CEILINGS: PAINTED, TYP
- DURING CONSTRUCTION, PROVIDE A PORTABLE FIRE EXTINGUISHER W/ A MINIMUM RATING OF 1-A:10-B:C ON EACH FLOOR.

CONSTRUCTION PLAN KEYED NOTES

P1 WEATHER RESISTANT WOOD DECKING
 P2 INTERIOR WOOD FRAMED STAIRS W/ HANDRAILS & GUARDRAILS, RE: DETAILS ON A4 SERIES
 P3 EXTERIOR WOOD FRAMED STAIRS W/ HANDRAILS & GUARDRAILS, RE: DETAILS ON A4 SERIES
 P4 OSHA COMPLIANT METAL LADDER
 P5 42" (H) PAINTED METAL GUARDRAIL W/ PICKET SPACED 4" OC MAX
 P6 CONCRETE SLAB, RE: DETAILS ON A4 SERIES
 P7 ROOFING MEMBRANE
 P8 42" (H) PARAPET
 P9 SCUPPER TO DOWNSPOUT
 P10 DOWNSPOUT
 P11 SLOPE ROOF FRAMING, RE: BLDG SECTION
 P12 INCLINED WHEELCHAIR STAIR LIFT, BOD: GARAVENTA LIFT, XPRESS II STAIR LIFT
 P13 PORTABLE FIRE EXTINGUISHER, MINIMUM RATING OF 1-A:10-B:C IN RECESS WALL CABINET. PROVIDE FIRE RATED CABINET @ FIRE RATED PARTITIONS
 P14 EMERGENCY EGRESS LADDER, RE: DTLs A4.3

WINDOW GENERAL NOTES

- REFER TO EXTERIOR ELEVATIONS AND WINDOW SCHEDULE FOR MORE INFORMATION
- REFER TO A4.3 FOR EGRESS WINDOW REQUIREMENTS
- OPERABLE WINDOWS SHALL BE PROVIDED WITH WINDOW CONTROL DEVICES (WODC) THAT RESTRICT THE OPENING TO LESS THAN 4". WODC SHALL COMPLY WITH ASTM F2090. ONCE RELEASED, THE WODC SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF ANY DESIGNATED EMERGENCY EGRESS WINDOW

DOOR GENERAL NOTES

- REFER TO PLAN FOR DOOR SIZES
- ALL UNIT ENTRY DOORS SHALL HAVE THUMB TURN LOCKS W/ DEADBOLTS
- MAIN ENTRY DOOR TO HAVE ALWAYS LOCKING KEY ACCESS FUNCTION W/ FREE EGRESS AT ALL TIMES
- ALL RATED DOORS SHALL BE SELF CLOSING
- REFER TO A0.1 FOR INSULATION REQUIREMENTS

WINDOW/DOOR KEYED NOTES

[E] DESIGNATED EMERGENCY EGRESS WINDOW, REFER TO DETAIL ON A4.3
 [S] SAFETY GLASS REQUIRED
 [H] NEW WOOD WINDOW IN EXISTING OPENING
 MATCH EXISTING FUNCTION, MULLION PATTERN & BRICK MOLDING
 [O] NEW WINDOW IN EXISTING OPENING
 [F] 3/4 HOUR RATED FIRED RATED WINDOW W/ AUTOMATIC HEAT CLOSURE DEVICE
 [V] CLEAR OPENING FOR NATURAL VENTILATION, REFER TO NATURAL VENTILATION SCHEDULE ON A4.3



LONG SECTION

SCALE: 1/4" = 1'-0"

1

BUILDING SECTION GENERAL NOTES

1. REFER TO A0.1 FOR ABBREVIATIONS, PROJECT INFORMATION AND TYPICAL LEGEND. REFER TO SPECIFICATION

NOTES FOR ADDITIONAL INFORMATION.

2. REFER TO A4.3 FOR TYPICAL STAIR, RAILING AND

3. REFER TO A4.2 FOR HORIZONTAL ASSEMBLY

3. REFER TO A4.1 FOR WALL ASSEMBLIES

SECTION

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FOR PERMIT

REVISION

DATE

6/6/25



FRONT ELEVATION

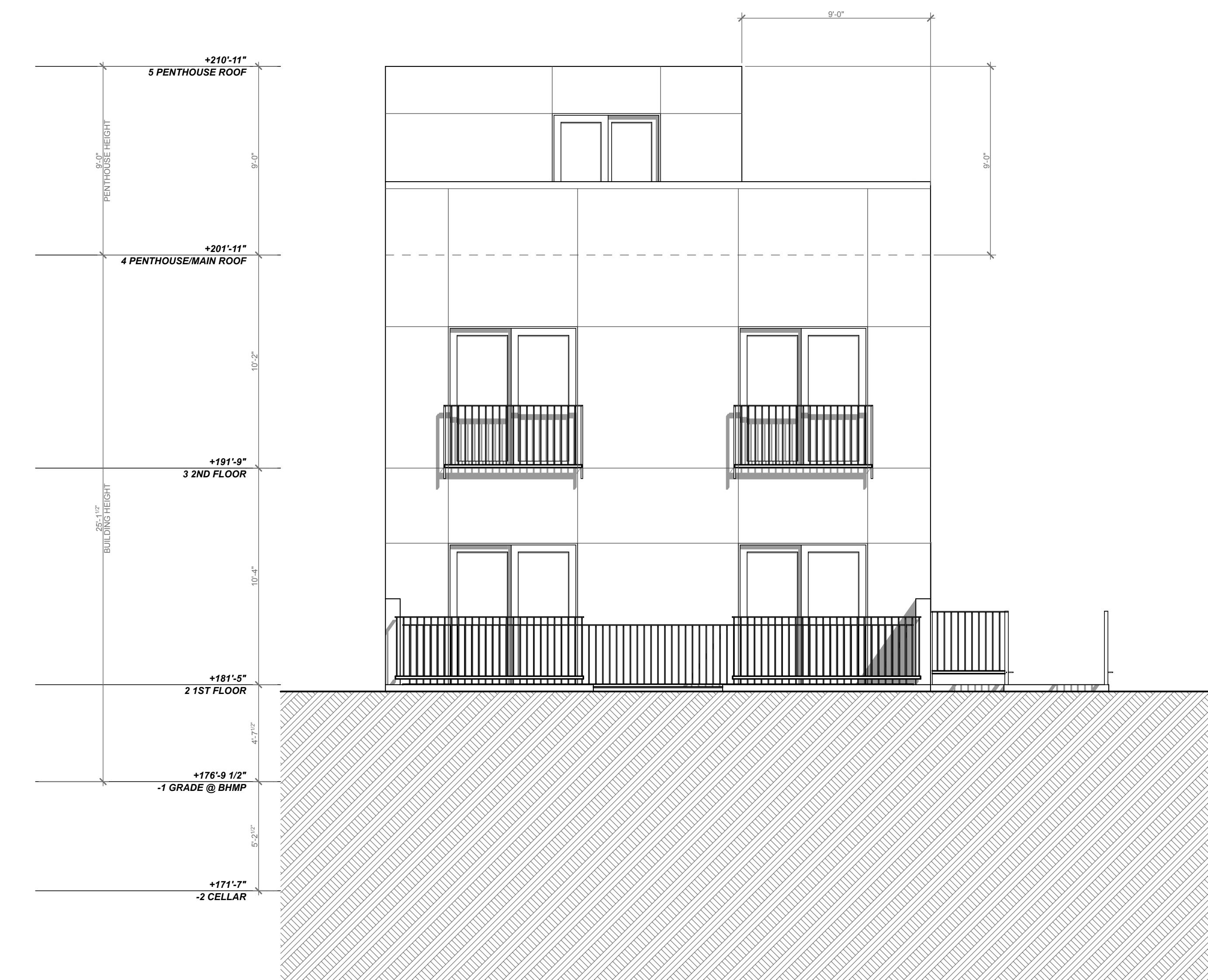
SCALE: 1/4" = 1'-0"

1

REAR ELEVATION

SCALE: 1/4" = 1'-0"

2



ELEVATIONS

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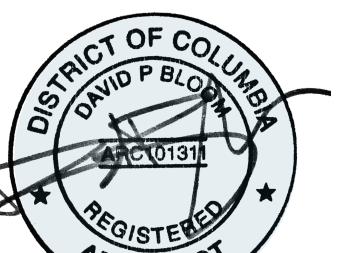
A3.1
DATE
2/3/25

3319 12TH ST NE
WASHINGTON DC

CLIENT: BORS PROPERTIES LLC

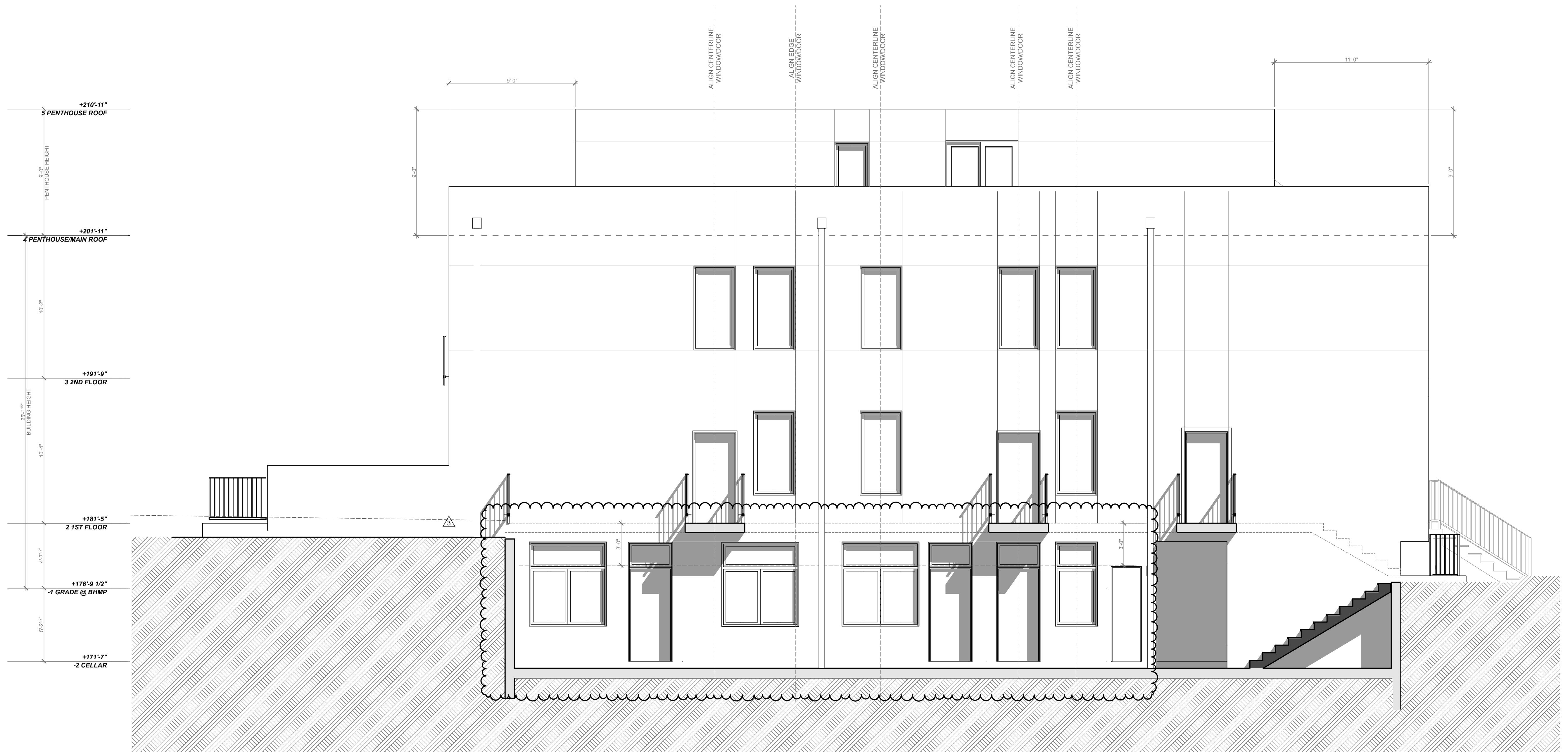
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architecture
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1766 Florida Ave NW Washington DC



DAVID P. BLOOM
#000131
REGISTERED
ARCHITECT

I AM RESPONSIBLE FOR DETERMINING THAT THE
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APPLICATION ARE IN COMPLIANCE WITH ALL LAWS
AND REGULATIONS OF THE DISTRICT OF COLUMBIA.
I HAVE BEEN DIRECTLY
SUPERVISED THE DEVELOPMENT OF THE
ARCHITECTURAL DESIGNS INCLUDED IN THIS
APPLICATION.



SIDE ELEVATION B

SCALE: 1/4" = 1'-0"

ELEVATIONS

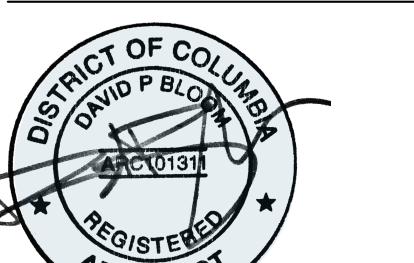
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