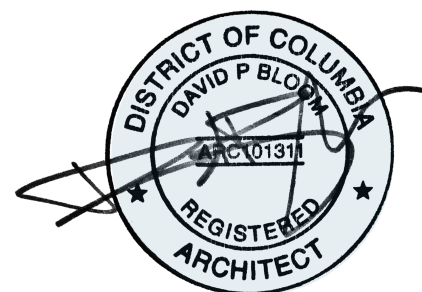
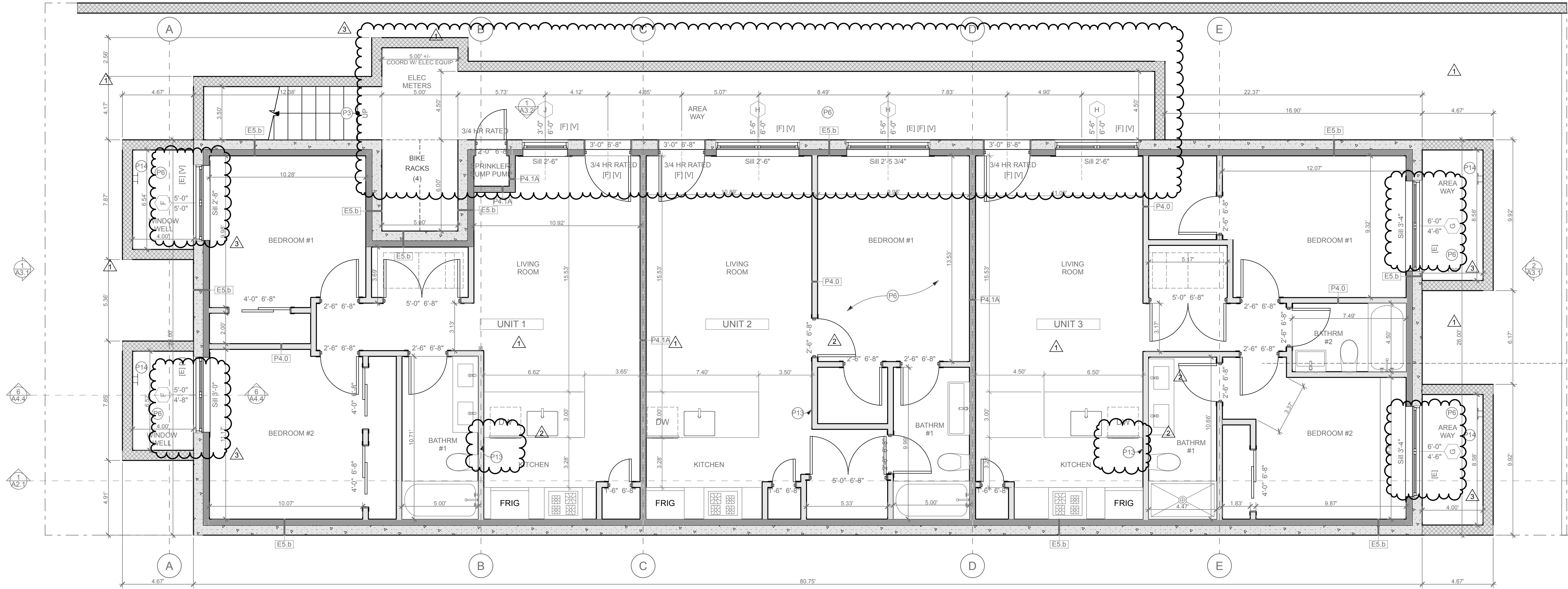


PROPOSED SITE PLAN

SCALE: 1" = 5'



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WALL TAGS ADDED TO PLAN

CELLAR

SCALE: 1/4" = 1'-0"

CONSTRUCTION PLAN GENERAL NOTES

- REFER TO A0.1 FOR ABBREVIATIONS, PROJECT INFORMATION AND TYPICAL LEGEND. REFER TO SPECIFICATION NOTES FOR ADDITIONAL INFORMATION.
- ALL PENETRATIONS THROUGH A FIRE RATED ASSEMBLY SHALL BE SEALED WITH 3M FIRE BARRIER (UP TO 4 HOURS) OR SIMILAR
- ALL EXTERIOR WOOD DECKING SHALL BE FIRE RETARDANT TREATED
- WATER CLOSETS SHALL NOT BE SET CLOSER THEN 15" FROM CENTER OF FIXTURE TO ADJACENT WALL OR OBSTRUCTION. THERE SHALL BE 21" MIN CLEAR DISTANCE IN FRONT OF ALL WATER CLOSETS
- SHOWER COMPARTMENT SHALL NOT BE LESS THEN 30" X 30" CLEAR
- COORDINATE ALL DIMENSIONS WITH EQUIPMENT AND APPLIANCES
- ALL BATHROOM AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS AND IN SHOWERS COMPARTMENTS SHALL BE FINISHED WITH A SMOOTH NONABSORBENT SURFACE, CERAMIC TILE, TO A HEIGHT 6'-0" MIN
- VERIFY ALL DIMENSIONS IN THE FIELD
- VERIFY FLOOR TO FLOOR HEIGHTS, VERIFY STAIR RISE/RUN AND COORDINATE STAIR OPENINGS WITH STRUCTURAL FRAMING. WITHIN UNITS TREADS SHALL BE 10" MIN FROM NOSING TO NOSING, RISERS SHALL BE 7.75" MAX. IN COMMON AREAS TREADS SHALL BE 11" MIN FROM NOSING TO NOSING, RISERS SHALL BE 7" MAX. DIMENSIONS ARE FROM FINISHED WALL TO FINISHED WALL OR NEAREST EDGE OF GUARDRAIL. HANDRAILS MAY PROJECT INTO REQUIRED CLEARED DIMENSION 3" MAX.
- VERIFY ALL DOOR/WINDOW SIZES PRIOR TO ORDERING
- REFER TO A4 SERIES FOR WALL TYPE DETAILS
- REFER TO A4 SERIES FOR TYPICAL STAIR, RAILING AND GUARD RAIL DETAILS
- REFER TO A4 SERIES FOR HORIZONTAL ASSEMBLY TYPES
- ALL INTERIOR PARTITIONS SHALL BE TYPE P4.0, UNO
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- INTERIOR FINISHES ARE AS FOLLOWS, UNLESS NOTED OTHERWISE:
 - WALLS: PAINTED, TYP (SEE GENERAL NOTE 7 FOR WALL FINISH AT BATHROOMS)
 - FLOORS: ENGINEERED WOOD, TYP, CERAMIC TILE @ ALL BATHROOMS
 - CEILINGS: PAINTED, TYP
- DURING CONSTRUCTION, PROVIDE A PORTABLE FIRE EXTINGUISHER W/ A MINIMUM RATING OF 1-A-10-B-C ON EACH FLOOR

CONSTRUCTION PLAN KEYED NOTES

- P1 WEATHER RESISTANT WOOD DECKING
- P2 INTERIOR WOOD FRAMED STAIRS W/ HANDRAILS & GUARDRAILS, RE: DETAILS ON A4 SERIES
- P3 EXTERIOR WOOD FRAMED STAIRS W/ HANDRAILS & GUARDRAILS, RE: DETAILS ON A4 SERIES
- P4 OSHA COMPLIANT METAL LADDER
- P5 42" (H) PAINTED METAL GUARDRAIL W/ PICKET SPACED 4" OC MAX
- P6 CONCRETE SLAB, RE: DETAILS ON A4 SERIES
- P7 ROOFING MEMBRANE
- P8 42" (H) PARAPET
- P9 SCUPPER TO DOWNSPOUT
- P10 DOWNSPOUT
- P11 SLOPE ROOF FRAMING, RE: BLDG SECTION
- P12 INCLINED WHEELCHAIR STAIR LIFT, BOD. CARAVENTA LIFT, XPRESS II STAIR LIFT
- P13 PORTABLE FIRE EXTINGUISHER, MINIMUM RATING OF 1-A-10-B-C IN RECESS WALL CABINET. PROVIDE FIRE RATED CABINET @ FIRE RATED PARTITIONS
- P14 EMERGENCY EGRESS LADDER, RE: DTLS A4.3

WINDOW GENERAL NOTES

- REFER TO EXTERIOR ELEVATIONS AND WINDOW SCHEDULE FOR MORE INFORMATION
- REFER TO A4.3 FOR EGRESS WINDOW REQUIREMENTS
- OPERABLE WINDOWS SHALL BE PROVIDED WITH WINDOW CONTROL DEVICES (WOCD) THAT RESTRICT THE OPENING TO LESS THAN 4". WOOD SHALL COMPLY WITH ASTM F2090. ONCE RELEASED, THE WOOD SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF ANY DESIGNATED EMERGENCY EGRESS WINDOW

DOOR GENERAL NOTES

- REFER TO PLAN FOR DOOR SIZES
- ALL UNIT ENTRY DOORS SHALL HAVE THUMB TURN LOCKS W/ DEADBOLTS
- MAIN ENTRY DOOR TO HAVE ALWAYS LOCKING KEY ACCESS FUNCTION W/ FREE EGRESS AT ALL TIMES
- ALL RATED DOORS SHALL BE SELF CLOSING
- REFER TO A0.1 FOR INSULATION REQUIREMENTS

WINDOW/DOOR KEYED NOTES

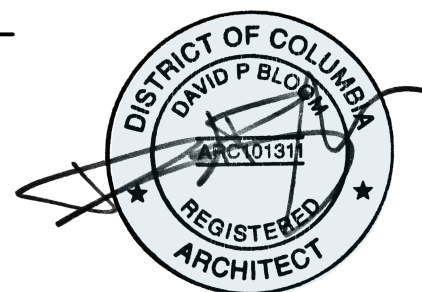
- [E] DESIGNATED EMERGENCY EGRESS WINDOW, REFER TO DETAIL ON A4.3
- [S] SAFETY GLASS REQUIRED
- [H] NEW WOOD WINDOW IN EXISTING OPENING. MATCH EXISTING FUNCTION, MULLION PATTERN & BRICK MOLDING
- [O] NEW WINDOW IN EXISTING OPENING
- [F] 3/4 HOUR RATED FIRED RATED WINDOW W/ AUTOMATIC HEAT CLOSURE DEVICE
- [V] CLEAR OPENING FOR NATURAL VENTILATION, REFER TO NATURAL VENTILATION SCHEDULE ON A4.3

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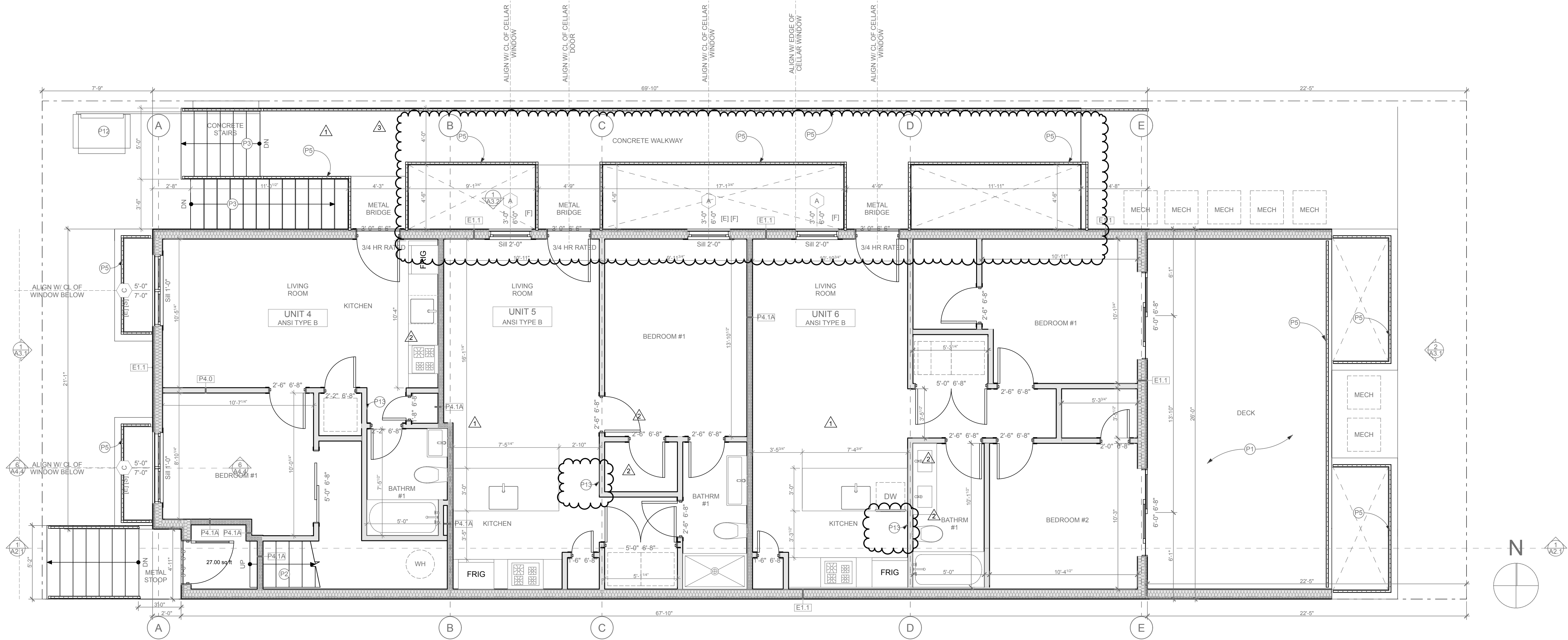
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1ST FLOOR

SCALE: 1/4" = 1'-0"

CONSTRUCTION PLAN GENERAL NOTES

1. REFER TO A0.1 FOR ABBREVIATIONS, PROJECT INFORMATION AND TYPICAL LEGEND. REFER TO SPECIFICATION NOTES FOR ADDITIONAL INFORMATION.
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5. SHOWER COMPARTMENT SHALL NOT BE LESS THEN 30" X 30" CLEAR
6. COORDINATE ALL DIMENSIONS WITH EQUIPMENT AND APPLIANCES
7. ALL BATHROOM AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS AND IN SHOWERS COMPARTMENTS SHALL BE FINISHED WITH A SMOOTH NONABSORBENT SURFACE, CERAMIC TILE, TO A HEIGHT 6'-0" MIN
8. VERIFY ALL DIMENSIONS IN THE FIELD
9. VERIFY FLOOR TO FLOOR HEIGHTS, VERIFY STAIR RISE/RUN AND COORDINATE STAIR OPENINGS WITH STRUCTURAL FRAMING. WITHIN UNITS TREADS SHALL BE 10" MIN FROM NOSING TO NOSING, RISERS SHALL BE 7.75" MAX. IN COMMON AREAS TREADS SHALL BE 11" MIN FROM NOSING TO NOSING, RISERS SHALL BE 7" MAX. DIMENSIONS ARE FROM FINISHED WALL TO FINISHED WALL OR NEAREST EDGE OF GUARDRAIL. HANDRAILS MAY PROJECT INTO REQUIRED CLEARED DIMENSION 3" MAX.
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11. REFER TO A4 SERIES FOR WALL TYPE DETAILS
12. REFER TO A4 SERIES FOR TYPICAL STAIR, RAILING AND GUARD RAIL DETAILS
13. REFER TO A4 SERIES FOR HORIZONTAL ASSEMBLY TYPES
14. ALL INTERIOR PARTITIONS SHALL BE TYPE P4.0, UNO
15. STRUCTURAL FRAMING AND COMPONENTS OF EXTERIOR STAIRS AND REAR DECK WITH 5' OF THE PROPERTY LINE SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE FRP WOOD
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17. DURING CONSTRUCTION, PROVIDE A PORTABLE FIRE EXTINGUISHER W/ A MINIMUM RATING OF 1-A-10-B-C ON EACH FLOOR

CONSTRUCTION PLAN KEYED NOTES

- P1 WEATHER RESISTANT WOOD DECKING
- P2 INTERIOR WOOD FRAMED STAIRS W/ HANDRAILS & GUARDRAILS, RE: DETAILS ON A4 SERIES
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WINDOW GENERAL NOTES

1. REFER TO EXTERIOR ELEVATIONS AND WINDOW SCHEDULE FOR MORE INFORMATION
2. REFER TO A4.3 FOR EGRESS WINDOW REQUIREMENTS
3. OPERABLE WINDOWS SHALL BE PROVIDED WITH WINDOW CONTROL DEVICES (WOCD) THAT RESTRICT THE OPENING TO LESS THAN 4". WOOD SHALL COMPLY WITH ASTM F2090. ONCE RELEASED, THE WOOD SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF ANY DESIGNATED EMERGENCY EGRESS WINDOW

DOOR GENERAL NOTES

1. REFER TO PLAN FOR DOOR SIZES
2. ALL UNIT ENTRY DOORS SHALL HAVE THUMB TURN LOCKS W/ DEADBOLTS
3. MAIN ENTRY DOOR TO HAVE ALWAYS LOCKING KEY ACCESS FUNCTION W/ FREE EGRESS AT ALL TIMES
4. ALL RATED DOORS SHALL BE SELF CLOSING
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WINDOW/DOOR KEYED NOTES

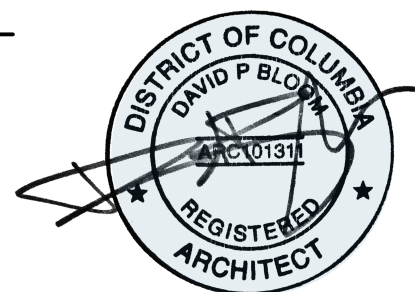
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2/3/25

2ND FLOOR
SCALE: 1/4" = 1'-0"

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WINDOW GENERAL NOTES

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DOOR GENERAL NOTES

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WINDOW/DOOR KEYED NOTES

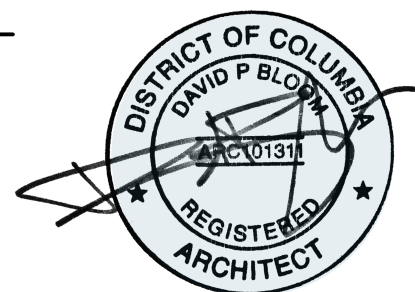
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- [V] CLEAR OPENING FOR NATURAL VENTILATION, REFER TO NATURAL VENTILATION SCHEDULE ON A4.3

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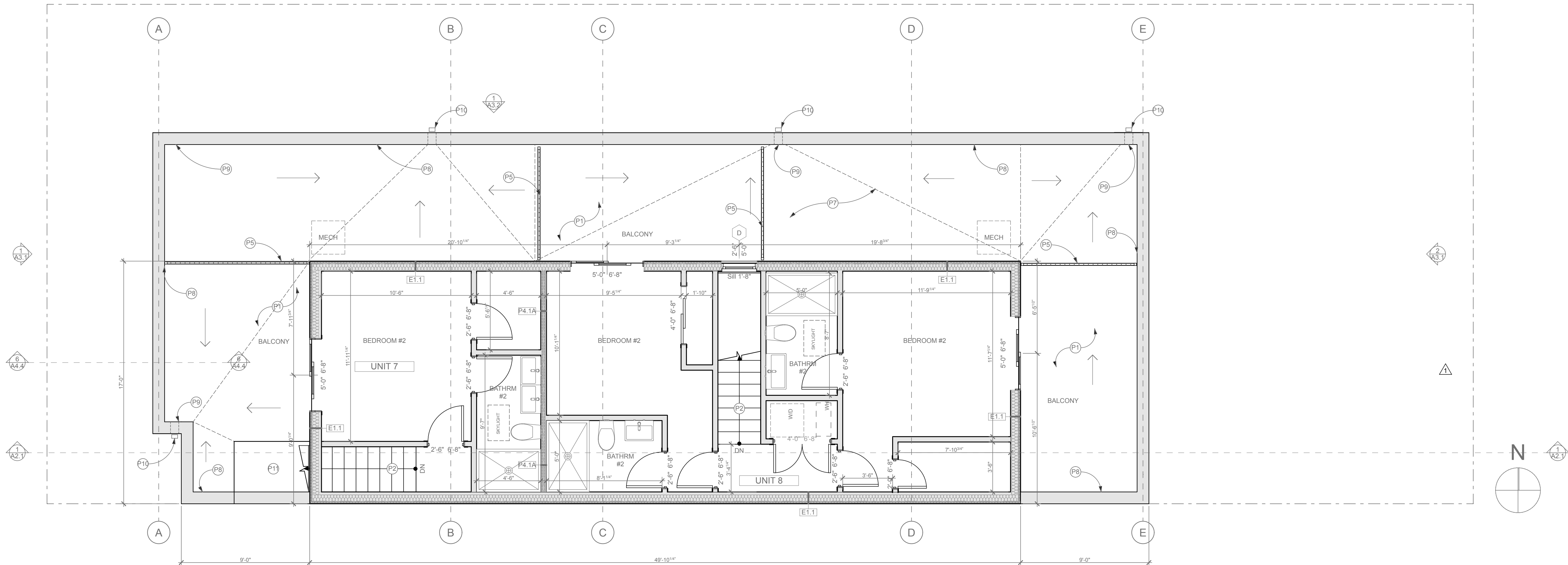
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PENTHOUSE/MAIN ROOF

SCALE: 1/4" = 1'-0"

CONSTRUCTION PLAN GENERAL NOTES

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CONSTRUCTION PLAN KEYED NOTES

- | | |
|-----|---|
| P1 | WEATHER RESISTANT WOOD DECKING |
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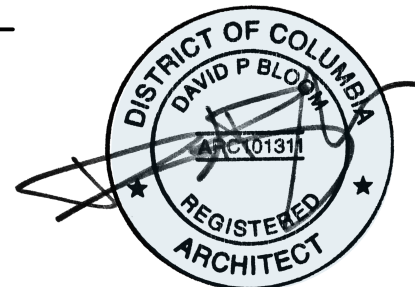
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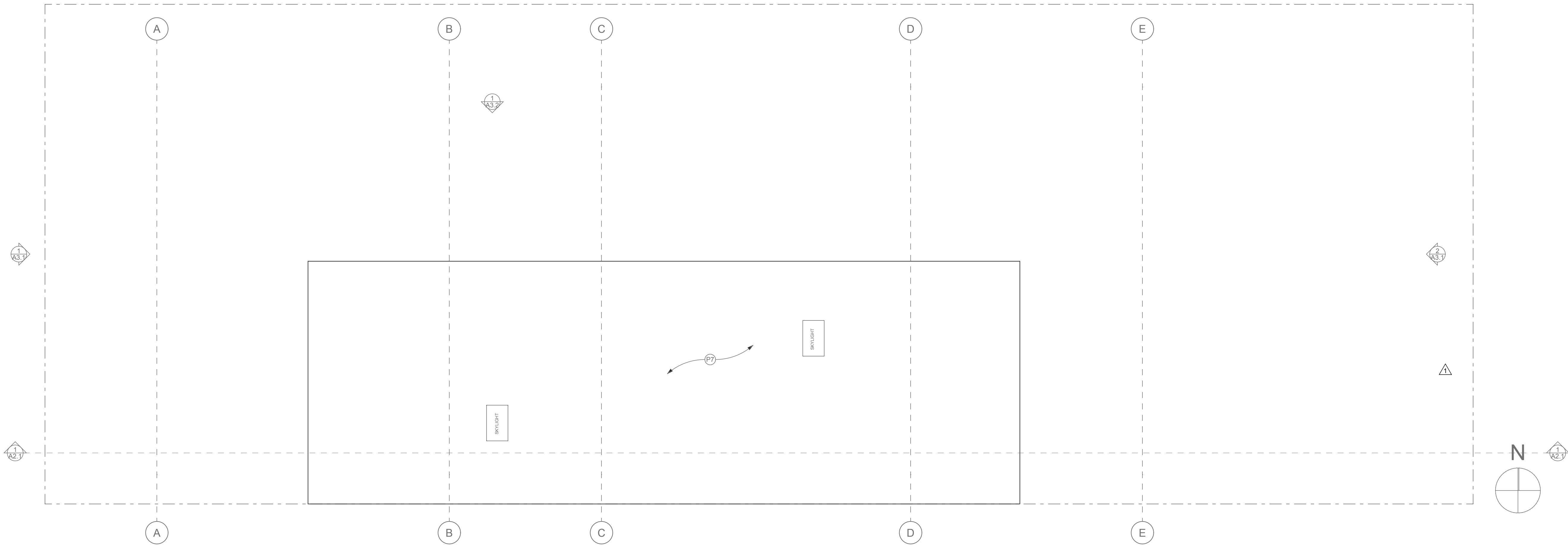


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5. PENTHOUSE ROOF

SCALE: 1/4" = 1'-0"

CONSTRUCTION PLAN GENERAL NOTES

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- ALL PENETRATIONS THROUGH A FIRE RATED ASSEMBLY SHALL BE SEALED WITH 3M FIRE BARRIER (UP TO 4 HOURS) OR SIMILAR
- ALL EXTERIOR WOOD DECKING SHALL BE FIRE RETARDANT TREATED
- WATER CLOSETS SHALL NOT BE SET CLOSER THEN 15" FROM CENTER OF FIXTURE TO ADJACENT WALL OR OBSTRUCTION. THERE SHALL BE 21" MIN CLEAR DISTANCE IN FRONT OF ALL WATER CLOSETS
- SHOWER COMPARTMENT SHALL NOT BE LESS THEN 30" X 30" CLEAR
- COORDINATE ALL DIMENSIONS WITH EQUIPMENT AND APPLIANCES
- ALL BATHROOM AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS AND IN SHOWERS COMPARTMENTS SHALL BE FINISHED WITH A SMOOTH NONABSORBENT SURFACE, CERAMIC TILE, TO A HEIGHT 6'-0" MIN
- VERIFY ALL DIMENSIONS IN THE FIELD
- VERIFY FLOOR TO FLOOR HEIGHTS, VERIFY STAIR RISE/RUN AND COORDINATE STAIR OPENINGS WITH STRUCTURAL FRAMING. WITHIN UNITS TREADS SHALL BE 10" MIN FROM NOSING TO NOSING, RISERS SHALL BE 7.75" MAX. IN COMMON AREAS TREADS SHALL BE 11" MIN FROM NOSING TO NOSING, RISERS SHALL BE 7" MAX. DIMENSIONS ARE FROM FINISHED WALL TO FINISHED WALL OR NEAREST EDGE OF GUARDRAIL. HANDRAILS MAY PROJECT INTO REQUIRED CLEARED DIMENSION 3" MAX.
- VERIFY ALL DOOR/WINDOW SIZES PRIOR TO ORDERING
- REFER TO A4 SERIES FOR WALL TYPE DETAILS
- REFER TO A4 SERIES FOR TYPICAL STAIR, RAILING AND GUARD RAIL DETAILS
- REFER TO A4 SERIES FOR HORIZONTAL ASSEMBLY TYPES
- ALL INTERIOR PARTITIONS SHALL BE TYPE P4.0, UNO
- STRUCTURAL FRAMING AND COMPONENTS OF EXTERIOR STAIRS AND REAR DECK WITH 5' OF THE PROPERTY LINE SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE FRT WOOD
- INTERIOR FINISHES ARE AS FOLLOWS, UNLESS NOTED OTHERWISE:
 - WALLS: PAINTED, TYP (SEE GENERAL NOTE 7 FOR WALL FINISH AT BATHROOMS)
 - FLOORS: ENGINEERED WOOD, TYP, CERAMIC TILE @ ALL BATHROOMS
 - CEILINGS: PAINTED, TYP
- DURING CONSTRUCTION, PROVIDE A PORTABLE FIRE EXTINGUISHER W/ A MINIMUM RATING OF 1-A:10-B:C ON EACH FLOOR

CONSTRUCTION PLAN KEYED NOTES

- | | |
|-----|---|
| P1 | WEATHER RESISTANT WOOD DECKING |
| P2 | INTERIOR WOOD FRAMED STAIRS W/ HANDRAILS & GUARDRAILS, RE: DETAILS ON A4 SERIES |
| P3 | EXTERIOR WOOD FRAMED STAIRS W/ HANDRAILS & GUARDRAILS, RE: DETAILS ON A4 SERIES |
| P4 | OSHA COMPLIANT METAL LADDER |
| P5 | 42" (H) PAINTED METAL GUARDRAIL W/ PICKET SPACED 4" OC MAX |
| P6 | CONCRETE SLAB, RE: DETAILS ON A4 SERIES |
| P7 | ROOFING MEMBRANE |
| P8 | 42" (H) PARAPET |
| P9 | SCUPPER TO DOWNSPOUT |
| P10 | DOWNSPOUT |
| P11 | SLOPE ROOF FRAMING, RE: BLDG SECTION |
| P12 | INCLINED WHEELCHAIR STAIR LIFT, BOD: GARAVENTA LIFT, XPRESS II STAIR LIFT |
| P13 | PORTABLE FIRE EXTINGUISHER, MINIMUM RATING OF 1-A:10-B:C IN RECESS WALL CABINET. PROVIDE FIRE RATED CABINET @ FIRE RATED PARTITIONS |
| P14 | EMERGENCY EGRESS LADDER, RE: DTLS A4.3 |

WINDOW GENERAL NOTES

- REFER TO EXTERIOR ELEVATIONS AND WINDOW SCHEDULE FOR MORE INFORMATION
- REFER TO A4.3 FOR EGRESS WINDOW REQUIREMENTS
- OPERABLE WINDOWS SHALL BE PROVIDED WITH WINDOW CONTROL DEVICES (WOCD) THAT RESTRICT THE OPENING TO LESS THAN 4". WOCD SHALL COMPLY WITH ASTM F2090. ONCE RELEASED, THE WOOD SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AERA OF ANY DESIGNATED EMERGENCY EGRESS WINDOW

DOOR GENERAL NOTES

- REFER TO PLAN FOR DOOR SIZES
- ALL UNIT ENTRY DOORS SHALL HAVE THUMB TURN LOCKS W/ DEADBOLTS
- MAIN ENTRY DOOR TO HAVE ALWAYS LOCKING KEY ACCESS FUNCTION W/ FREE EGRESS AT ALL TIMES
- ALL RATED DOORS SHALL BE SELF CLOSING
- REFER TO A0.1 FOR INSULATION REQUIREMENTS

WINDOW/DOOR KEYED NOTES

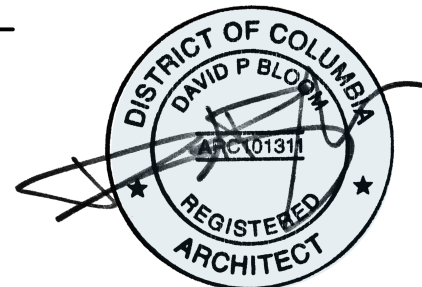
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|-----|---|
| [E] | DESIGNATED EMERGENCY EGRESS WINDOW, REFER TO DETAIL ON A4.3 |
| [S] | SAFETY GLASS REQUIRED |
| [H] | NEW WOOD WINDOW IN EXISTING OPENING. MATCH EXISTING FUNCTION, MULLION PATTERN & BRICK MOLDING |
| [O] | NEW WINDOW IN EXISTING OPENING |
| [F] | 3/4 HOUR RATED FIRED RATED WINDOW W/ AUTOMATIC HEAT CLOSURE DEVICE |
| [V] | CLEAR OPENING FOR NATURAL VENTILATION, REFER TO NATURAL VENTILATION SCHEDULE ON A4.3 |

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CONSTRUCTION PLANS

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A1.5

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R.02
DATE
2/3/25



LONG SECTION
SCALE: 1/4" = 1'-0" 1

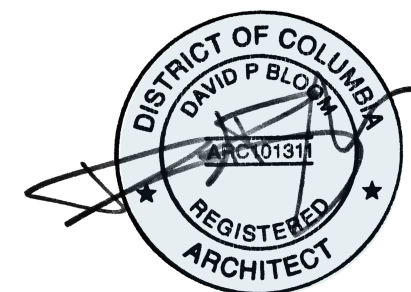
BUILDING SECTION GENERAL NOTES

1. REFER TO A0.1 FOR ABBREVIATIONS, PROJECT INFORMATION AND TYPICAL LEGEND. REFER TO SPECIFICATION NOTES FOR ADDITIONAL INFORMATION.
2. REFER TO A4.3 FOR TYPICAL STAIR, RAILING AND GUARD RAIL DETAILS
3. REFER TO A4.2 FOR HORIZONTAL ASSEMBLIES
3. REFER TO A4.1 FOR WALL ASSEMBLIES

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SECTION

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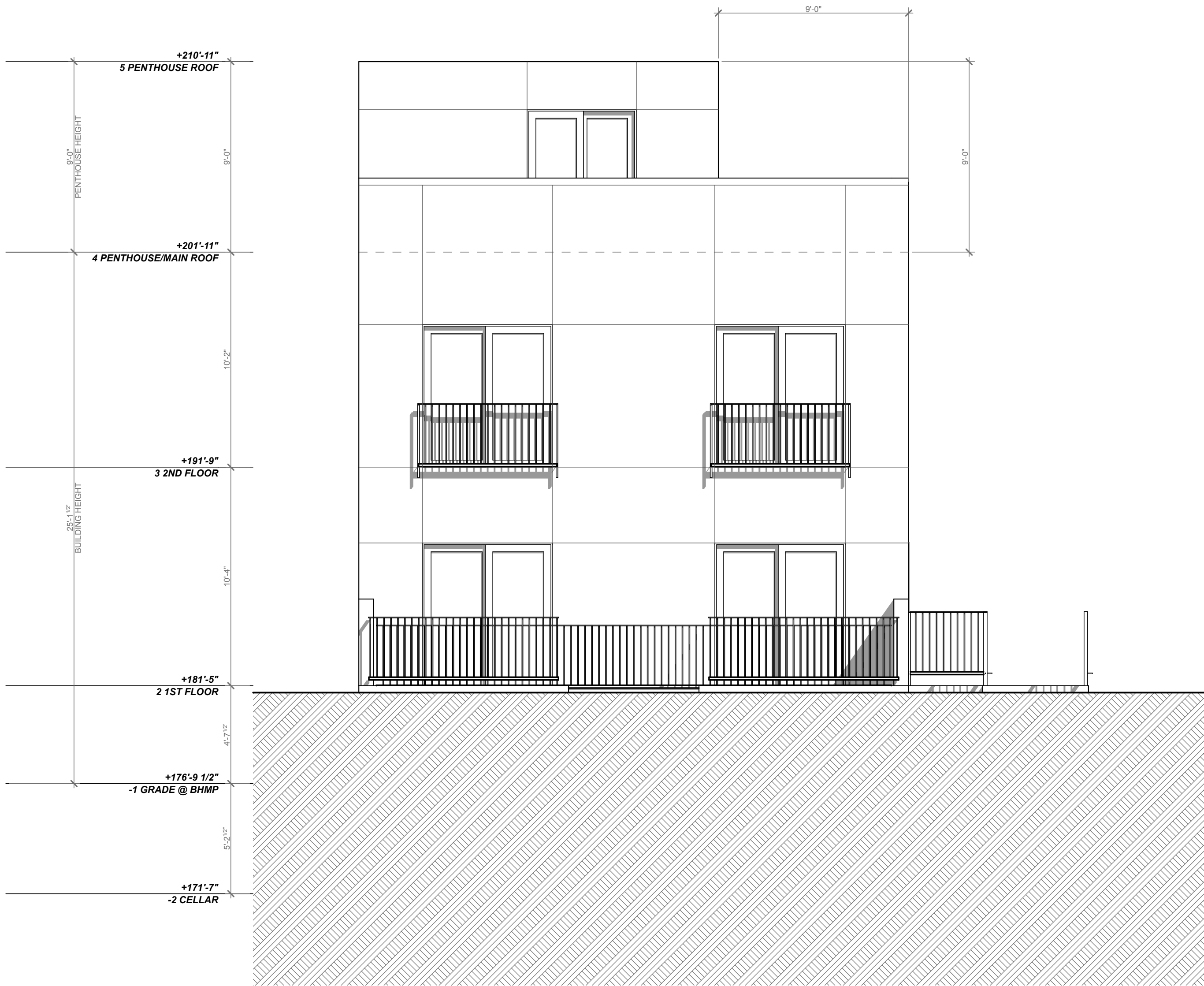
A2.1

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2/3/25



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

1



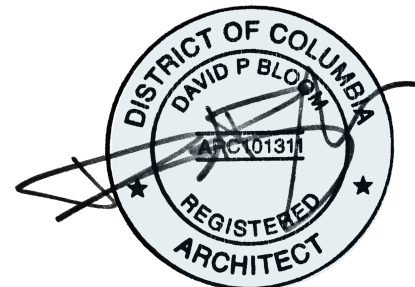
REAR ELEVATION
SCALE: 1/4" = 1'-0"

2

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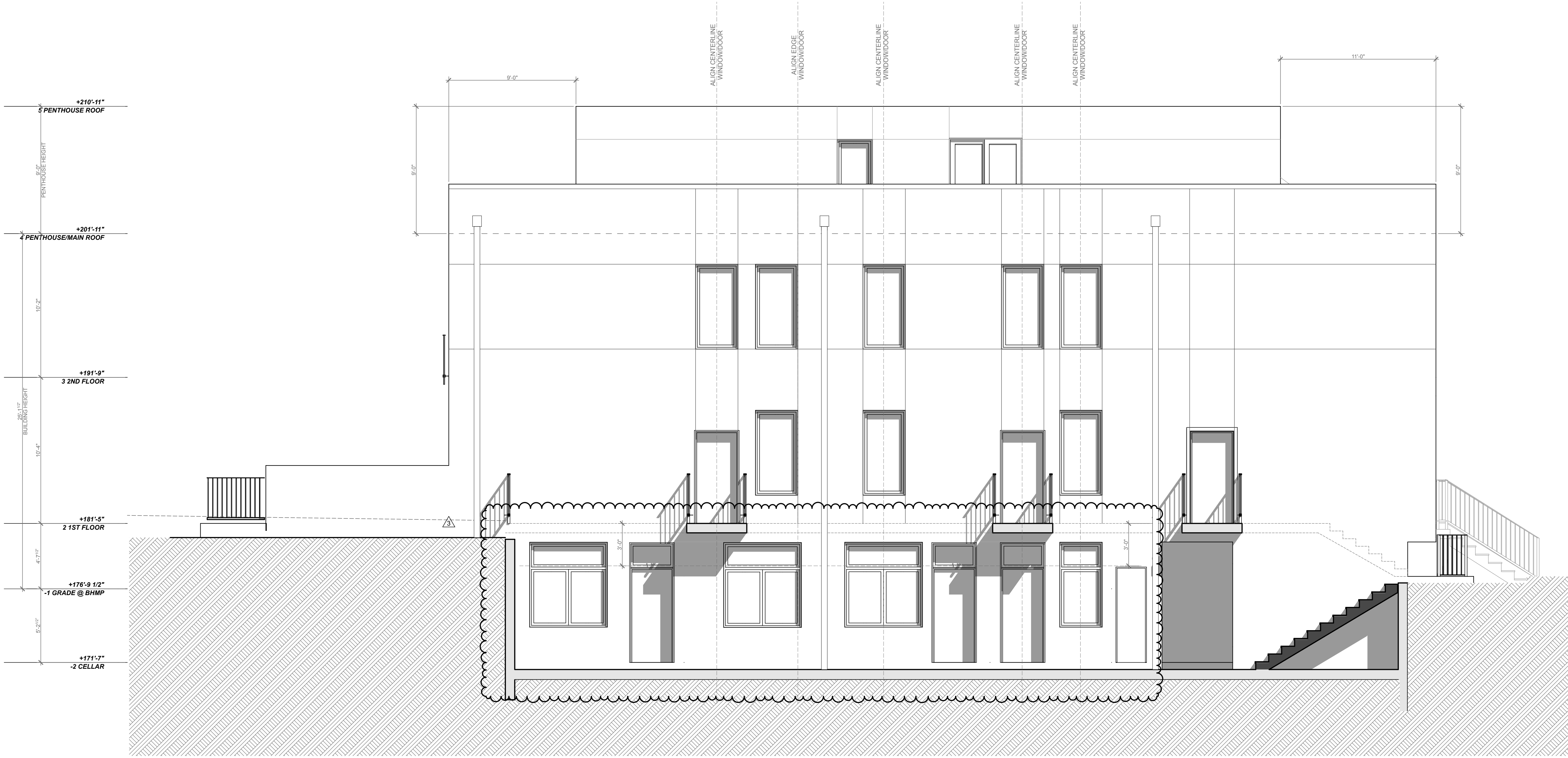
ELEVATIONS

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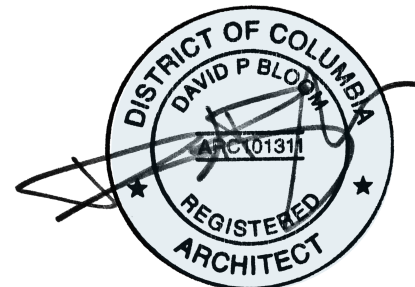


SIDE ELEVATION B
SCALE: 1/4" = 1'-0"

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ELEVATIONS

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A3.2

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